

**EAST GOSHEN TOWNSHIP
PLANNING COMMISSION
Meeting Agenda
Wednesday, October 4, 2017
7:00 PM**

- A. Call to Order / Pledge of Allegiance and Moment of Silence
- B. Chairman will ask if anyone is going to record the meeting
- C. Review of Tracking Log / Determine need for Workshop Meeting**
- D. Public Comment on Non-Agenda Items
- E. Approval of Minutes**
 - 1. **September 6, 2017**
 - 2. **September 14, 2017**
- F. Subdivision and Land Development Applications**
 - 1. **Applebrook GC (LD)**
 - 2. **1003-1007 Taylor Ave. (SD)**
- G. Conditional Uses and Variances**
 - 1. **Malvern Institute – (Variances and Special Exception)**
 - 2. **Synthes USA – Impervious Coverage Expansion**
- H. Ordinance Amendments**
 - 1. **Wall Signs in the BP (Discussion)**
- I. 2017 Goals
- J. Any Other Matter
- K. Liaison Reports
- L. Correspondence**
 - 1. **CCPC – Commercial Landscapes**

Bold Items indicate new information to review.

**East Goshen Township
Planning Commission Tracking Log**

Application Name	Application (CU,LD,O, SD,V, SE, CA)	Type (Sk, P, F)	Date Filed	Start Date	Date to Township Engineer	Date to CCPC	Date to Abutting Prop. / ABC's	Extension	PC NLT Action Date	BOS NLT Action Date	Hearing Date	Drop Dead date	Comments
Malvern Institute, 940 King Rd.	V, SE	P	3/27/17	3/27/17	NA	NA	3/30/17	3	11/1/17	12/5/17	12/12/17	12/19/17	
Synthes USA	CU	P	8/28/2017	8/28/2017	8/30/2017	8/30/2017	8/31/2017		10/4/2017	10/17/2017	10/17/2017	10/27/2017	
Applebrook Associates	LD	P/F	8/28/2017	8/28/2017	8/30/2017	8/30/2017	8/31/2017		11/1/2017	12/5/2017	NA	12/5/2017	
Taylor Partners, 1007 Taylor Ave	SD	P/F	9/25/2017	10/4/2017	9/27/2017	9/27/2017	9/29/2017		12/6/2017	1/2/2018	NA	1/2/2017	
Bold = New Application or PC action required													
Completed in 2017													
1506 Meadowbrook Dr.	V	P	7/10/17	7/10/17	NA	NA	7/13/17		8/2/17	8/15/17	9/7/17	9/8/17	APPVD
1380 Enterprise Drive	V	P	7/17/17	7/17/17	NA	NA	7/27/17		8/2/17	9/5/17	9/11/17	9/15/17	APPVD
1007 Taylor Ave.	V	P	7/11/17	7/11/17	NA	NA	7/13/17		8/2/17	8/15/17	8/29/17	9/9/17	APPVD
Crown Castle, DAS Nodes	CU	P/F	7/3/17	7/4/17	NA	NA	7/5/17		8/2/17	8/15/17	8/15/17	8/31/17	APPVD
14 Reservoir Rd.	SK	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
1420 E. Strasburg Rd. / Brakman	SD/LD	P/F	5/18/16	6/1/16	5/19/16	5/19/16	5/20/16	3	3/1/17	3/21/17	NA	3/29/17	APPVD
1506 Meadowbrook Dr.	SD / V	Sk	4/24/17	NA	NA	NA	NA		NA	NA	NA	NA	NA
1007 Taylor Ave.	SD / V	Sk	5/30/17	NA	NA	NA	NA		NA	NA	NA	NA	NA

Draft
EAST GOSHEN TOWNSHIP
PLANNING COMMISSION MEETING
September 6, 2017

The East Goshen Township Planning Commission held a regularly scheduled meeting on Wednesday, September 6, 2017 at 7:00 p.m. at the East Goshen Township building. Members present were: Chairman Adam Knox, Brad Giresi, Dan Daley, Monica Close, Jim McRee, and Silvia Shin. Also present was Mark Gordon, (Township Zoning Officer), and Janet Emanuel (Township Supervisor).

COMMON ACRONYMS:

<i>BOS – Board of Supervisors</i>	<i>CPTF – Comprehensive Plan Task Force</i>
<i>BC – Brandywine Conservancy</i>	<i>CVS – Community Visioning Session</i>
<i>CB – Conservancy Board</i>	<i>SWM – Storm Water Management</i>
<i>CCPC – Chester Co Planning Commission</i>	<i>ZHB – Zoning Hearing Board</i>

A. FORMAL MEETING – 7:00 pm

1. Adam called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and a moment of silence to remember our first responders and those in the hurricane areas.
2. Adam asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
3. Adam reviewed the Tracking Log and commented that there is no need for a workshop.
4. Adam noted that the minutes of the August 2, 2017 meeting were approved as amended.

B. LIAISON REPORTS

1. Board of Supervisors – Janet reported that the BOS is asking the Planning Commission to list the hardships related to an application in their letter of recommendation. The Paoli Pike Corridor Committee is looking at possible trails to connect developments, etc. to the Paoli Pike Trail. She requested that the Planning Commission include in their 2018 goals an overlay of Paoli Pike from Rt. 352 to Boot Road showing adjacent undeveloped properties.

C. SUBDIVISION AND LAND DEVELOPMENT

1. Applebrook Golf Club - Bob Plucienik, Chester Valley Engineers, explained that the application is for a proposed learning center. Currently they teach golf lessons on the driving range. They want an all weather facility. It will be 1800 sq.ft. with a 5 ft. paved walkway for access from the existing parking lot to the proposed building. He described the interior of the building. They will add landscaping to the buffer along Mrs. Fox's property. A lesson takes about 1 hour and is for existing club members only. There will be no flood lights and they don't anticipate the need for additional parking.

Public Comment:

Shirley Fox, 1711 Boot Road – She asked how many people could be there for lessons. She commented that golf balls have been hit into her property. Before the club was built she had lots of water on her property. Then her well went dry. Jared Viarengo, General Manager of the Golf Club, explained the position of the proposed building in relation to Mrs. Fox's property. There are only 3 areas in the building for lessons so approximately 6 people could be there at one time. Mrs. Fox mentioned that an archeological and ecological study was supposed to be done. Mark will check on the need for an archeological study. The ecological study will be done by the township engineer. Brad asked about the temporary entrance for construction from Boot Road. Mr. Viarengo said it will be restored. Mark explained that Mobil will be involved because of their pipeline. The landscape plans will be reviewed by the Conservancy Board next Wednesday September 13.

D. CONDITIONAL USES AND VARIANCES

1. 1301 Goshen Parkway – Synthes USA – Brendan Burke, Attorney, reviewed the application. They are requesting an increase in impervious coverage from 55% to 60%. David Citro, of Mainstay

1 Engineering, explained that there will be a 1200 sq. ft. addition to the building referred to as the finishing
2 room. Parking and equipment pads will be expanded. A drum storage area will be added. He mentioned
3 that there are 252 parking spaces and 288 employees over 3 shifts. They hired a company to do a study of
4 infiltration flows. They will clean out the current basin and provide underground infiltration for storm
5 water. He reviewed the landscape plan and they will be at the Conservancy Board meeting next week.
6 Any lighting needs will be addressed. They want a waiver of the traffic impact study.
7 Kyle Turner, Safety Officer – is responsible for compliance of PA state requirements. He reviewed all
8 egress areas from the building. Their insurance company did an inspection of their chemical storage,
9 which is currently over the loading dock. They want to move it to the proposed drum storage area. The
10 fire company does an annual walk through.
11 The location of the buildings in the campus and what is done in each building was discussed. Future
12 sidewalks were discussed along with the heating/cooling system.
13 Mark mentioned that Crown Castle will be installing a DAS (Distributive Antenna System) pole on the
14 right-of-way in front of their building. He recommended they include aerial shots of the property and
15 more information on the outdoor drum storage units in they next presentation.
16

17 **E. ORDINANCE AMENDMENTS**

18 1. Signs in the BP District – Mark provided copies of the ordinance relating to signs in the BP
19 District. He asked the Commission members to review it for discussion next month.
20

21 **F. GOALS** – Mark will write an update for the BOS.
22

23 **ADJOURNMENT**

24 There being no further business, Brad moved to adjourn the meeting. Dan seconded the motion.
25 The meeting adjourned at 9:30 pm. The next regular meeting will be held on Wednesday,
26 October 4, 2017 at 7:00 pm.
27

28 Respectfully submitted, _____

Ruth Kiefer, Recording Secretary

EAST GOSHEN TOWNSHIP
PLANNING COMMISSION WORKSHOP MEETING
September 14, 2017

The East Goshen Township Planning Commission held a workshop meeting on Thursday, September 14, 2017 at 6:00 p.m. at the East Goshen Township building. Members present were: Chairman, Adam Knox, Dan Daley, Monica Close, Silvia Shin, and Ernest Harkness. Also present was Mark Gordon, (Township Zoning Officer).

COMMON ACRONYMS:

<i>BOS – Board of Supervisors</i>	<i>CPTF – Comprehensive Plan Task Force</i>
<i>BC – Brandywine Conservancy</i>	<i>CVS – Community Visioning Session</i>
<i>CB – Conservancy Board</i>	<i>SWM – Storm Water Management</i>
<i>CCPC – Chester Co Planning Commission</i>	

A. FORMAL MEETING – 6:00 pm

1. Adam called the meeting to order at 6:00 pm. He led the Pledge of Allegiance and a moment of silence to remember our troops.
2. Adam asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.

B. ORDINANCE AMENDMENTS

1. ZONING – Floodplain Ordinance, Variances for accessory buildings. Mark mentioned that East Goshen Township adopted a new Floodplain Ordinance in July, which goes into effect September 29, along with the new floodplain maps. Upon adoption, the Township forwarded the ordinance to FEMA for their records. Upon further inspection by FEMA and DEP, they recommended an amendment to the variance section pertaining to accessory structures within the floodplain. Mark reviewed the recommended additional language to specifically limit the maximum size of accessory structures in the floodplain. Dan moved that the Planning Commission recommend approval of this amendment to the Township Floodplain Ordinance. Monica seconded the motion. The motion passed unanimously. This will go to the BOS for approval.

ADJOURNMENT

There being no further business, Dan moved to adjourn the meeting. Silvia seconded the motion. The meeting adjourned at 6:20 pm. The next regular meeting will be held on Wednesday, October 4, 2017 at 7:00 pm.

Respectfully submitted,

Ruth Kiefer, Recording Secretary

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Voice: 610-692-7171
Fax: 610-692-8950
E-mail: mgordon@eastgoshen.org

Date: 9/29/2017
To: Planning Commission
From: Mark Gordon, Township Zoning Officer *mlg*
Re: Applebrook GC LD Application

Dear Commissioners,

The Township has received a Land Development Application from Applebrook Golf Club proposing to build a +/- 1700 s.f. building within the practice area for a Golf Learning Center.

The Township Engineer has commented on the plan and we are waiting a response and revised plans from the applicant

The Conservancy Board is walking the property on 9/30 at 9 AM with the applicant to view the wetland area. The CCPC review is provided for your information.

At this point the PC can hear from the applicant and ask questions however taking action at this point is premature.



September 13, 2017

Reference No. 11134002

Bob Plucienik
President
Chester Valley Engineers, Inc.
83 Chestnut Road, P.O. Box 447
Paoli, PA 19301

Dear Mr. Plucienik:

**Re: Proposed Golf Learning Center Building
Applebrook Golf Course
100 Line Road, Malvern, Pennsylvania 19355**

Applebrook Golf Course is proposing to construct a golf learning center building on the developed portion of their course located at 100 Line Road in Malvern, Pennsylvania. A temporary access road from East Boot Road is proposed to facilitate the construction of the building. The original development plans for the golf course indicate the presence of wetlands in the vicinity of the proposed access road. The current design for the access road has the road being constructed west of the area that was mapped as wetlands.

On September 12, 2017, a wetland scientist from GHD conducted a site visit to inspect the area in the vicinity of the proposed temporary access road from East Boot Road. Wetlands were present and they appeared to generally follow the originally delineated wetland boundaries shown on your design drawings. While onsite, GHD took GPS readings on the wetland boundary flags hung in the vicinity of the proposed access road. Based on our GPS readings, it does not appear that the wetlands boundaries have changed significantly from the previous delineation.

Please contact the undersigned at (610) 321-1800 if you require further information or clarification.

Sincerely,

GHD

A handwritten signature in black ink that reads "Scott E. Bush". The signature is fluid and cursive.

Scott E. Bush, P.W.S. #1567
Wetland Scientist

cc: Jared B. Viarengo, Applebrook GC

September 14, 2017

EGOS 0121

Mark A. Gordon
Director of Code Enforcement/Zoning Officer
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

**RE: Applebrook Golf Club Golf Learning Center
Preliminary/Final Land Development**

Dear Mark:

As requested, we have reviewed the following information, prepared by Chester Valley Engineers, regarding the referenced submission:

- *"Land Development Plan for Applebrook Golf Club Golf Learning Center"* (seven sheets) dated August 29, 2017;
- *"Post-Construction Stormwater Management Report for Applebrook Golf Club – New Learning Center"* dated August 25, 2017; and
- Subdivision and Land Development application.

The owner/applicant, Applebrook Associates, proposes to construct a new golf learning center (1805 SF) and paved walkway adjacent to the existing driving range on UPI No. 63-4-89. The learning center will be served by on-site water and public sanitary sewer. The parcel is located on the west side of Line Road (T-385), within the I-2 Planned Business, Research and Limited Industrial zoning district. Temporary construction access is proposed from East Boot Road.

The applicant has requested the following two (2) waivers:

1. From §205-39 – requiring a traffic impact study; and
2. From §205-40 – requiring a water supply study.

We offer the following comments:

ZONING

1. While a detailed table indicating compliance with the various bulk and area requirements was not provided, it is our opinion the proposed improvements are consistent with these requirements.
2. As part of a preliminary plan submission for any land development application which proposes new construction of buildings, structures, roads, driveways, parking areas, or other land disturbance within 250 feet of the exterior walls of any Class I or II historic resource an historic resource impact study is required. (§240-38.10(A)(1)) It appears there is land disturbance within 250 feet of a Class I historic resource located on East Boot Road.

SUBDIVISION AND LAND DEVELOPMENT

3. The applicant is proposing preliminary/final plan approval, therefore a waiver from §205.1 should additionally be requested.
4. Regarding preliminary and final plan requirements (§205-30 and §205-33), the following should be provided:
 - a. The name of all abutting or adjacent property owners in the vicinity of the project. (§205-30.B(5))
 - b. Such private deed restrictions and/or a statement of any restrictions previously imposed in accordance with §205-33.C(2). If no such deed restrictions exist or will be imposed, it is recommended a note stating the same be indicated on the plan.

STORMWATER MANAGEMENT

5. Please label the infiltration test locations on the plans to verify conformance with the requirements regarding infiltration volume and depth to limiting zones. (§195-20.A, B, J(1))
6. All soil names and boundaries shall be indicated on the plans. (§195-27.B(8)(k))
7. There shall be a fifty-foot construction nondisturbance buffer to protect streams, wetlands and other water bodies during construction of the proposed regulated activity. (§195-27.B(8)(q)) The proposed temporary construction entrance is within 50 feet of the wetlands.
8. Regarding the bio-filtration area:
 - a. Additional elevation details should be provided and the proposed grading reviewed for consistency with the detail.
 - b. The proposed underdrain/outlet pipe should be indicated on the plans and additional plan detail provided.
 - c. The applicant shall indicate how the increase in 2-year runoff is being infiltrated, as the calculations indicate that the full inflow volume is discharging through the underdrain.
 - d. The location of the rip rap apron is not indicated on the plan/detail.
 - e. The underdrain pipe diameter is inconsistent on the various details.
 - f. A seed mixture and/or detailed planting plan should be provided.
9. Regarding the infiltration bed:
 - a. Grate elevations should be indicated on the plans and detail.
 - b. There appear to be multiple discrepancies regarding the pipe diameter between the details, notes and report.
 - c. The grading within and around the proposed bed should be reviewed for consistency with the report.
10. Please clarify where the roof drains will connect to the storm sewer system
11. The applicant is reminded that a Stormwater Management Operation and Maintenance agreement shall be completed. (§195-27.F.2) This document is available on the Township website. Please sign two copies and return to the Township for authorization by the Board of Supervisors. The Township will then return to the applicant for recording with the plan, at the County. A copy of the time stamped document and proof of recording should then be returned to the Township.

12. Per §195-39, the Township requests that the following be added to General Note 16 on Sheet 3 regarding stormwater management easement:

“A blanket stormwater management easement is provided over and across the property in favor of East Goshen Township to allow the Township and its agent and designees access to the proposed stormwater management facilities. The Township is granted the right, but not the duty, to access and conduct periodic inspections and to undertake other actions that may be necessary to enforce the requirements of the Township’s Stormwater Management Ordinance or of any applicable O&M plan or O&M agreement.”

SANITARY SEWER

13. Limited sanitary sewer information was provided, including no details. If the proposed method is a connection to an existing force main, a new grinder pump will be required along with an hydraulic analysis of the existing force main to confirm that the new grinder pump system can pump into the force main. Other grinder pump system requirements from the Sewer Ordinance will also need to be addressed. All applicable details and notes will need to be added to the plans.

GENERAL

14. Please additionally note the status of the following reviews/permits:
- a. NPDES Permit (PaDEP/CCCD) (§195-15.C(2), -16.A, -17.A) – Not applicable.
 - b. Planning Module (PaDEP) (§240-24.F, §205-33.B(22)(a)) – Not required per June 24, 2017 correspondence from DEP.
 - c. Sanitary Sewer (Municipal Authority) – Correspondence has not yet been received.
 - d. On-lot Wells (CCHD) – Correspondence has not yet been received.
 - e. Highway Occupancy Permit (PennDOT) – Not applicable.
 - f. Fire Planning (Fire Marshal) – Not applicable.
 - g. Historic Resource (Historical Comm.) – Correspondence has not yet been received.
 - h. Landscaping (Conservancy Board) – Correspondence has not yet been received.

Should you have any further questions or comments, please contact the undersigned.

Sincerely,

PENNONI



Nathan M. Cline, PE
Township Engineer

cc: Robert H. Plucienik, PE, Chester Valley Engineers (via e-mail)
Applebrook Associates, c/o Jared Viarengo (via e-mail)
Rick Smith, Township Manager (via e-mail)
Mark Miller, Public Works Director (via e-mail)



THE COUNTY OF CHESTER



COMMISSIONERS

Michelle Kichline
Kathi Cozzone
Terence Farrell

Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION

Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

September 22, 2017

Louis F. Smith, Jr., Manager
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Re: Preliminary/Final Land Development - Applebrook Golf Club, Golf Learning Center
LD-09-17-15080 - East Goshen Township

Dear Mr. Smith:

A Preliminary/Final Land Development Plan entitled "Applebrook Golf Club, Golf Learning Center", prepared by Chester Valley Engineers, Inc., and dated August 29, 2017, was received by this office on August 30, 2017. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed land development for your consideration.

PROJECT SUMMARY:

Location:	north side of East Boot Road, west of the municipal border with Willistown Township
Site Acreage:	160.71
Proposed Use:	1,760 square foot Golf Learning Center
Municipal Land Use Plan Designation:	Planned Community
UPI#:	53-4-89

PROPOSAL:

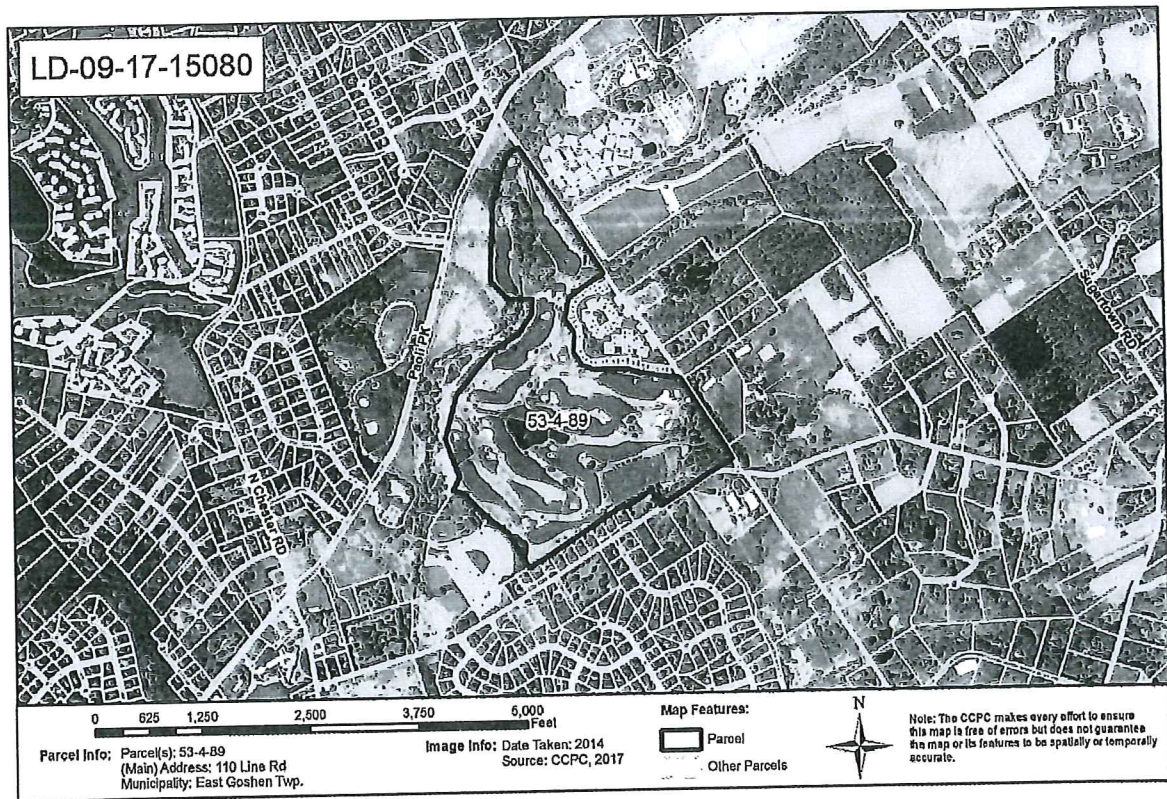
The applicant proposes the construction of a 1,760 square foot golf learning center on the existing Applebrook Golf Club site. The project site, which is served by onsite water and public sewer, is located in the I-2 Planned Business, Research and Limited Industrial zoning district.

RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed and all East Goshen Township issues should be resolved before action is taken on this land development plan.

COUNTY POLICY:

LANDSCAPES:

1. The proposed development activity is situated on the portion of the golf course site located within the **Rural Landscape** designation of *Landscapes2*, the 2009 County Comprehensive Plan, adjoining a **Suburban Landscape** designation to the south. The proposed land development is consistent with the objectives of the **Rural Landscape**.

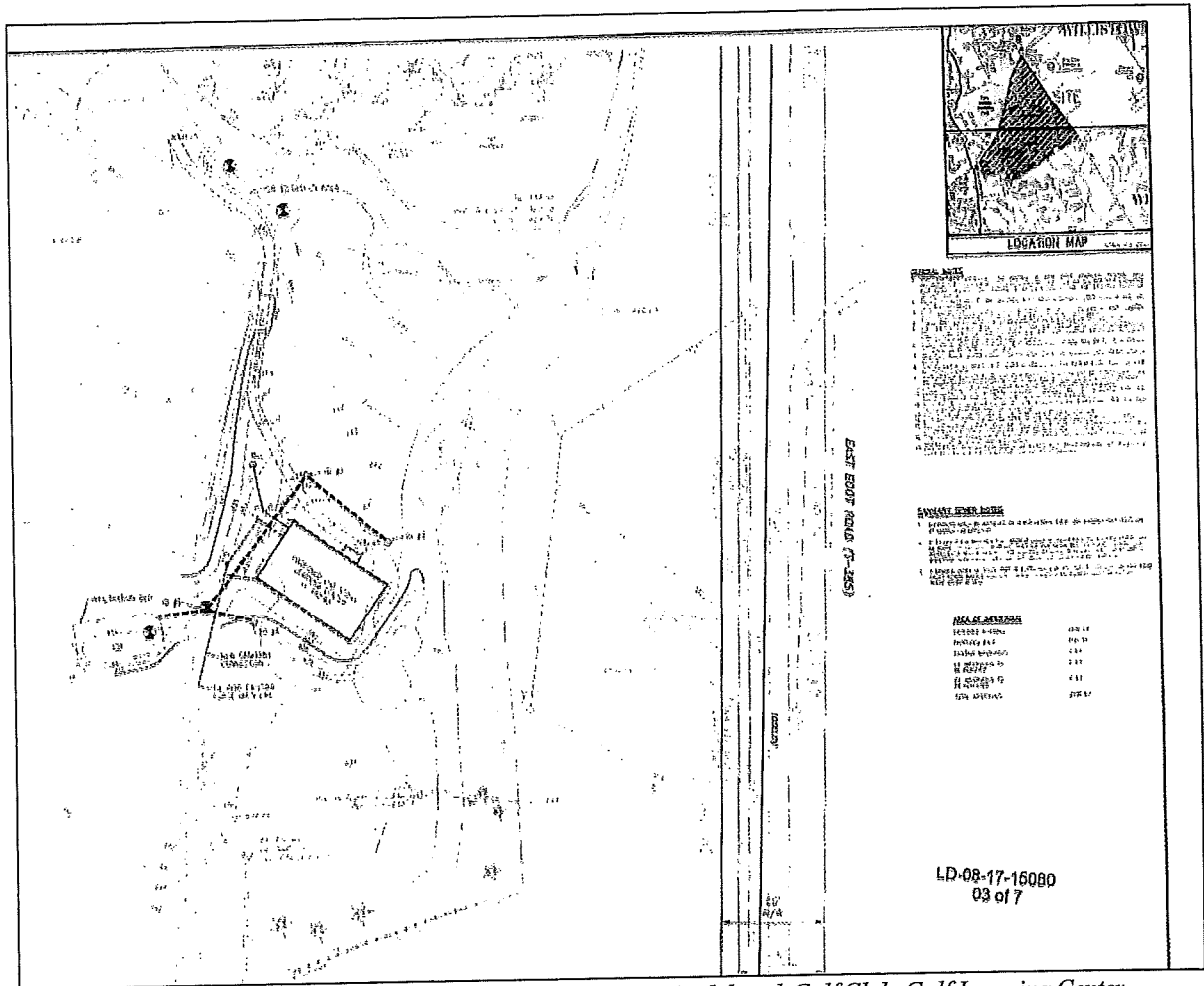


WATERSHEDS:

2. **Watersheds**, the water resources component of *Landscapes2*, indicates the proposed development is located within the Ridley Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are: reduce stormwater runoff, protect vegetated riparian corridors, and protect/enhance water-based recreation, cultural, historic resources and public access. **Watersheds** can be accessed at www.chesco.org/water.

PRIMARY ISSUES:

3. The proposed land development appears to be in the proximity of hazardous liquid transmission pipelines operated by Laurel Pipeline Company/Buckeye Partners and Sunoco Pipeline L.P. Applicants should be aware that the actual location of the pipeline may not always be within the center of the easement or right-of-way. To minimize risks before and during construction, the project designer should contact the Pennsylvania One Call Center at 811 or <http://www.pa1call.org/pa811> consistent with the provisions of Section 4(2) of Act 287 (Underground Utility Protection Act) prior to finalizing the design. The PA One Call Center should also be contacted at least 3 business days, but not more than 10 days, prior to any excavation. More information about pipeline safety can be found at the Chester County Pipeline Information Center at <http://www.landscapes2.org/pipeline/Safety.cfm>.



Site Plan Detail-Sheet 3: Preliminary/Final Land Development - Applebrook Golf Club, Golf Learning Center

ADMINISTRATIVE ISSUES:

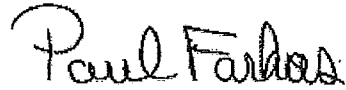
4. The applicant is requesting two waivers from Supplementary Studies and Plan provisions of Article VIII of the Township Subdivision and Land Development Ordinance. Waiver requests should only be granted following the determination that the proposed project either meets the purpose of these requirements or does not create the impacts that these provisions are intended to manage.
5. A minimum of five (5) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, the Assessment Office, and the Health Department.

Page: 4

Re: Preliminary/Final Land Development - Applebrook Golf Club, Golf Learning Center
LD-09-17-15080 - East Goshen Township

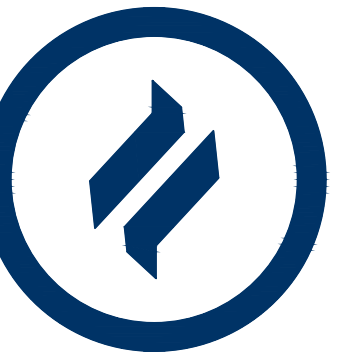
This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of East Goshen Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,

A handwritten signature in black ink that reads "Paul Farkas". The signature is written in a cursive style with a large, prominent initial "P".

Paul Farkas
Senior Review Planner

cc: Applebrook Golf Club
Applebrook Associates, L.P.
Chester Valley Engineers, Inc.
Chester County Health Department
Chester County Conservation District



DLHowell
Civil Engineering
Land Planning
Environmental
www.DLHowell.com

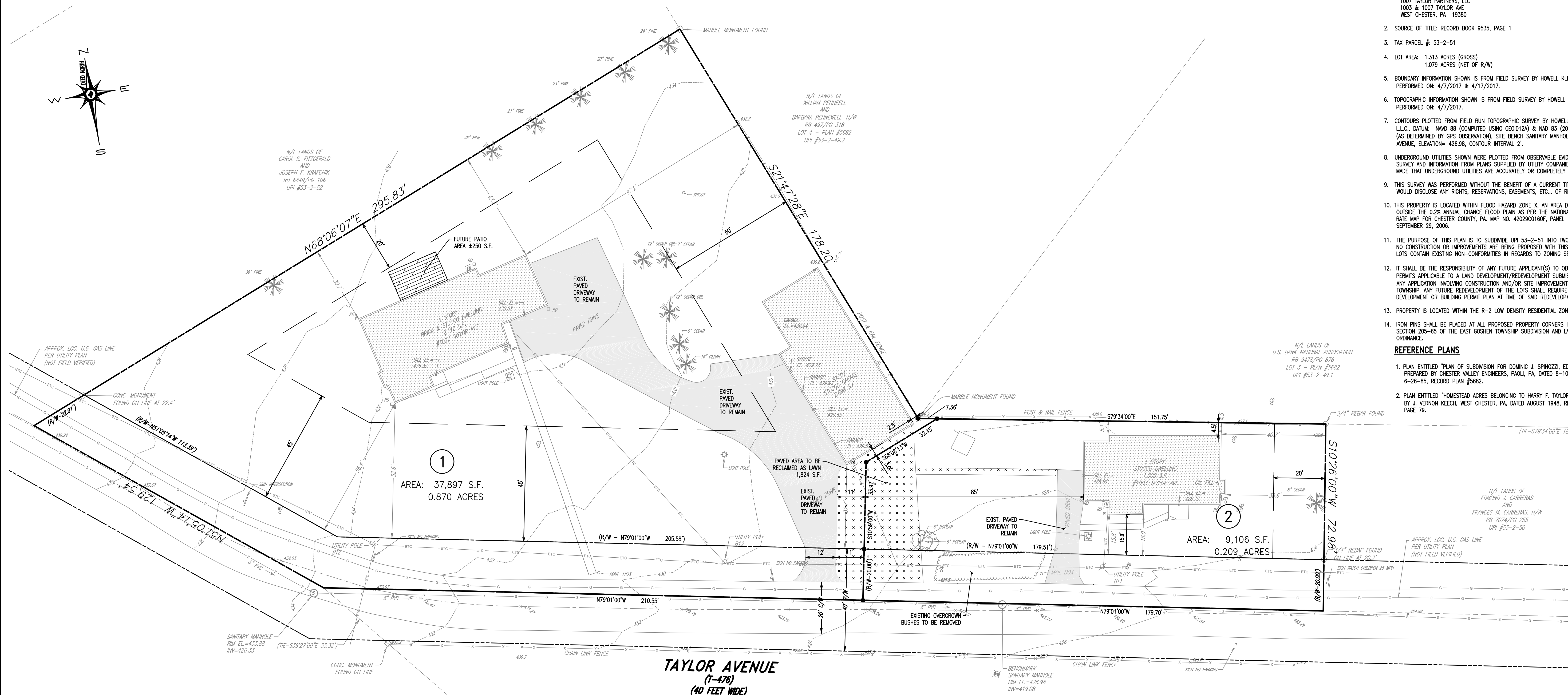
1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003

GENERAL NOTES

- RECORD OWNER:
1007 TAYLOR PARTNERS, LLC
1003 & 1007 TAYLOR AVE.
WEST CHESTER, PA 19380
- SOURCE OF TITLE: RECORD BOOK 9535, PAGE 1
- TAX PARCEL #: 53-2-51
- LOT AREA: 1.313 ACRES (GROSS)
1.079 ACRES (NET OF R/W)
- BOUNDARY INFORMATION SHOWN IS FROM FIELD SURVEY BY HOWELL KLINE SURVEYING, LLC. PERFORMED ON: 4/7/2017 & 4/17/2017.
- TOPOGRAPHIC INFORMATION SHOWN IS FROM FIELD SURVEY BY HOWELL KLINE SURVEYING, LLC. PERFORMED ON: 4/7/2017.
- CONTOURS PLOTTED FROM FIELD RUN TOPOGRAPHIC SURVEY BY HOWELL KLINE SURVEYING, LLC. DATUM: NAVD 88 (COMPUTED USING GEOID12A) & NAD 83 (2011) (EPOCH:2010.0000) (AS DETERMINED BY GPS OBSERVATION), SITE BENCH SANITARY MANHOLE RIM IN TAYLOR AVENUE, ELEVATION= 426.98, CONTOUR INTERVAL 2'.
- UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM OBSERVABLE EVIDENCE AT THE TIME OF SURVEY AND INFORMATION FROM PLANS SUPPLIED BY UTILITY COMPANIES. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT, WHICH WOULD DISCLOSE ANY RIGHTS, RESERVATIONS, EASEMENTS, ETC... OF RECORD.
- THIS PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN AS PER THE NATIONAL FLOOD INSURANCE RATE MAP FOR CHESTER COUNTY, PA. MAP NO. 42029C0160F, PANEL 160 OF 380, DATED SEPTEMBER 29, 2006.
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE UPI 53-2-51 INTO TWO (2) INDIVIDUAL LOTS. NO CONSTRUCTION OR IMPROVEMENTS ARE BEING PROPOSED WITH THIS APPLICATION. BOTH LOTS CONTAIN EXISTING NON-CONFORMITIES IN REGARDS TO ZONING SETBACK REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF ANY FUTURE APPLICANT(S) TO OBTAIN ALL REQUIRED PERMITS APPLICABLE TO A LAND DEVELOPMENT/REDEVELOPMENT SUBMISSION IF AND WHEN ANY APPLICATION INVOLVING CONSTRUCTION AND/OR SITE IMPROVEMENTS IS FILED WITH THE TOWNSHIP. ANY FUTURE REDEVELOPMENT OF THE LOTS SHALL REQUIRE THE FILING OF A LAND DEVELOPMENT OR BUILDING PERMIT PLAN AT TIME OF SAID REDEVELOPMENT.
- PROPERTY IS LOCATED WITHIN THE R-2 LOW DENSITY RESIDENTIAL ZONING DISTRICT.
- IRON PINS SHALL BE PLACED AT ALL PROPOSED PROPERTY CORNERS IN ACCORDANCE WITH SECTION 205-65 OF THE EAST GOSHEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

REFERENCE PLANS

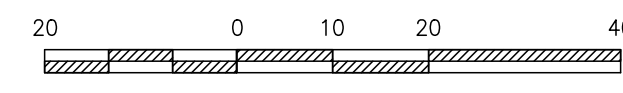
- PLAN ENTITLED "PLAN OF SUBDIVISION FOR DOMINIC J. SPINOZZI, EDWARD L. MELLOR", PREPARED BY CHESTER VALLEY ENGINEERS, PAOLI, PA, DATED 8-10-84, LAST REVISED 6-26-85, RECORD PLAN #5682.
- PLAN ENTITLED "HOMESTEAD ACRES BELONGING TO HARRY F. TAYLOR, ET AL.", PREPARED BY J. VERNON KEECH, WEST CHESTER, PA, DATED AUGUST 1948, RECORD PLAN BOOK #2, PAGE 79.



TAYLOR AVENUE
(1-476)
(40 FEET WIDE)

2-LOT SUBDIVISION PLAN

SCALE: 1"=20'



ZONING DATA TABULATION
EAST GOSHEN TOWNSHIP
ZONING ORDINANCE
ZONE R-2 LOW DENSITY RESIDENTIAL
AREA AND BULK REGULATIONS
(SEC 240-9.6)

	REQUIRED	EXISTING	PROPOSED LOT 1	PROPOSED LOT 2
MIN. LOT AREA	1.312 AC.	(57,185 S.F.)	1.021 AC. (44,487 S.F.) (**)	0.291 AC. (12,689 S.F.) (**)
NET LOT AREA	1 AC. NET	1.079 AC. NET (47,003 S.F.)	0.870 AC. NET (37,897 S.F.)	0.209 AC. NET (9,106 S.F.)
MIN. LOT WIDTH				
AT BUILDING LINE	150'	499'±	340'±	159'±
AT STREET LINE	60'	499'±	340'±	159'±
BUILDING SETBACKS				
MIN. FRONT YARD	45'	32.7' & 15.8' (*)	32.7' (*) - EX. GARAGE	15.8' (*) - EX. HOUSE
MIN. SIDE YARD	20'	30.7'	3' (**)	38.6'
MIN. REAR YARD	50'	2.5' & 4.5' (*)	2.5' (*) - EX. GARAGE	4.5' (*) - EX. HOUSE
MAX. BUILDING COVERAGE	25%	12.2%	11.1% (4,208 S.F.)	16.5% (1,505 S.F.)
MAX. LOT COVERAGE	35%	28.3%	24.3% (9,193 S.F.)	22.0% (2,006 S.F.)
MAX. BUILDING HEIGHT	30'	<30'	<30'	<30'

(*) EXISTING NON-CONFORMING
(**) VARIANCE REQUIRED

LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. WETLANDS
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEV.
- NEW SPOT ELEV.
- SOILS TYPE
- SOILS LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. EDGE OF PAVING
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EXIST. PARKING SPACES
- PROP. PARKING SPACES TO BE REMOVED
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- PROP. STORM INLET
- PROP. STORM INLET ID
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- PROP. SAN. SEWER LATERAL
- PROP. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- PROP. WATER LATERAL
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- EX. PERC TEST
- EX. TEST PIT

THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE AN EXISTING PARCEL INTO TWO (2) INDIVIDUAL LOTS (UPI 53-2-51). NO CONSTRUCTION OR IMPROVEMENTS ARE BEING PROPOSED WITH THIS APPLICATION. THE EXISTING DWELLINGS AND GARAGE ARE TO HAVE EXTERIOR COSMETIC IMPROVEMENTS.

APPLICANT
1007 TAYLOR PARTNERS, LLC.
1003 & 1007 TAYLOR AVE.
WEST CHESTER, PA 19380
PHONE: 610-873-5585

SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY THAT THE BOUNDARY SHOWN HEREON WAS CALCULATED BY ME AND THAT THE PLAN AND SURVEY ACCURACY IS IN CONFORMANCE WITH ALL EAST GOSHEN TOWNSHIP ORDINANCES.

RICHARD F. KLINE, P.L.S. LICENSE NO. SU050044E

COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER

ON THIS THE ____ DAY OF _____ 20__ A.D. BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____ PERSONALLY APPEARED NOAH KAHN WHO ACKNOWLEDGES HIMSELF TO BE A TRUSTEE OF 1007 TAYLOR PARTNERS, LLC AND THAT AS SUCH TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THE NAME OF SAID CORPORATION BY HIMSELF AS TRUSTEE, THAT THE SAID TRUST IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT THE SAID TRUST DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

FOR: 1007 TAYLOR PARTNERS, LLC
BY: NOAH KAHN

NOTARY PUBLIC (SEAL)

MY COMMISSION EXPIRES: _____

REVIEWED BY THE EAST GOSHEN TOWNSHIP PLANNING COMMISSION
THIS ____ DAY OF _____ 20__

- CHAIRMAN _____
- VICE-CHAIRMAN _____
- MEMBER _____
- MEMBER _____
- MEMBER _____

APPROVED BY THE BOARD OF SUPERVISORS OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, THIS ____ DAY OF _____ 20__

- CHAIRMAN _____
- VICE-CHAIRMAN _____
- SUPERVISOR _____
- SUPERVISOR _____
- SUPERVISOR _____

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION
THIS ____ DAY OF _____ 20__

SECRETARY _____

REVIEWED BY THE EAST GOSHEN TOWNSHIP ENGINEER
THIS ____ DAY OF _____ 20__

TOWNSHIP ENGINEER _____

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA, IN PLAN BOOK _____ PAGE _____ ON THE ____ DAY OF _____ 20__

(DEPUTY) RECORDER OF DEEDS _____

PRELIMINARY/FINAL 2-LOT SUBDIVISION PLAN

CLIENT: 1007 TAYLOR PARTNERS, LLC
PROJECT: 1003 & 1007 TAYLOR AVENUE
LOCATION: EAST GOSHEN TOWNSHIP
CHESTER COUNTY, PA

DATE:	09/19/2017
SCALE:	1"=20'
DRAWN BY:	AJA
CHECKED BY:	DLH
PROJECT NO.:	3167
CAD FILE:	3167 PR-SK4 09-12-2017.dwg
PLOTTED:	09/25/2017
DRAWING NO.:	C01.1
SHEET	1 of 1

UPI#: 53-2-51



**EAST GOSHEN TOWNSHIP
CHESTER COUNTY, PA**

SUBDIVISION AND / OR LAND DEVELOPMENT APPLICATION

Date Filed: _____

Application for (Circle one):

Subdivision Land Development Subdivision & Land Development

A. Application is hereby made by the undersigned for approval of a Subdivision and or Land Development Plan, more particularly described below.

1. Applicant's name: 1007 Taylor Partners, LLC

Address: 1003 & 1007 Taylor Ave, West Chester, PA 19380 Phone: 610-873-5585

Fax: _____ Email: noahkahn1@comcast.net

2. Name and address of present owner (if other than 1. above)

Name: Same as Above

Address: _____ Phone: _____

Fax: _____ Email: _____

3. Location of plan: 1003 & 1007 Taylor Ave, West Chester, PA 19380

4. Proposed name of plan: 2-Lot Subdivision

5. County Tax Parcel No.: 53-2-51 Zoning District: R-2

6. Area of proposed plan (ac.): 1.312 (gross) Number of lots: 2

7. Area of open space (ac.): N/A

8. Type of structures to be constructed: N/A

9. What provisions are to be made for water supply and sanitary sewer? N/A

10. Linear feet of road to be constructed: N/A

11. Name of Engineer: Denny Howell, PE; D. L. Howell and Associates, Inc.

Phone Number: 610-918-9002 Fax: 610-918-9003

Email address: aalbano@dihowell.com

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

12. Name of Land Planner: N/A

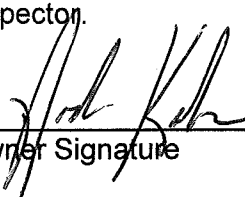
Phone Number: _____ Fax: _____

Email address: _____

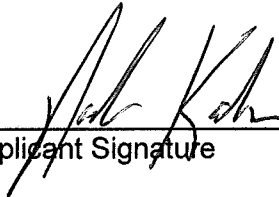
- B. I/We agree to reimburse the Township of East Goshen for such fees and expenses the Township may incur for the services of an Engineer(s) in investigations, tests, and review in relation to the Subdivision Plan.
- C. I/We agree to post financial security for the improvements depicted on the Subdivision and or land Development Plan pursuant to the Subdivision and Land Development Ordinance.
- D. I/We agree to reimburse the Township of East Goshen for all inspection fees at the actual cost to Township.

NOTICE

The Township requires an Occupancy Permit before any building can be occupied; no Occupancy Permit will be issued until final inspection and approved by the Zoning Officer and Building Inspector.



Owner Signature



Applicant Signature

Administrative Use

Fees received from applicant \$ _____ basic fee, plus \$ _____ per lot

For _____ lots = \$ _____.

Application and plan received by: _____ Date: _____
(Signature)

Application accepted as complete on: _____
(Date)

EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

SUBDIVISION AND/OR LAND DEVELOPMENT CHECKLIST

This checklist outlines the steps and items needed to insure completeness of the application and to insure the application follows the process and conforms to the timeframe outlined by the State of Pennsylvania and East Goshen Township. This checklist is broken into two parts, the Application Process and the Review Process. The application process must be completed in its entirety prior to the advancement into the Review Process.

*** Review the formal Planning Commission review procedure on page five.**

Application for (Circle all appropriate): Subdivision Land Development

Applicant Information:

Name of Applicant: 1007 Taylor Partners, LLC

Address: 1003 & 1007 Taylor Ave, West Chester, PA 19380

Telephone Number: 610-873-5585 Fax: _____

Email Address: noahkahn1@comcast.net

Property Address: 1007 Taylor Ave, West Chester, PA 19380

Property Information:

Owner's Name: 1007 Taylor Partners, LLC

Address: 1003 & 1007 Taylor Ave, West Chester, PA 19380

Tax Parcel Number: 53-2-51 Zoning District: R-2 Acreage: 1.312 (r

Description of proposed subdivision and or land Development:

Proposing the subdivision of an existing lot (1.312 gross acres) into 2 individual lots.

The existing lot has 2 single-family dwellings, therefore the lots are being subdivided in such a way that each lot contains 1 of the single family dwellings.

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

Application Process Checklist (Administrative use only):

<u>Item</u>	<u>Date Complete</u>
1. Completed Township Application Form:	_____
2. Township application and review fees paid:.....	_____
3. County Act 247 Form complete:	_____
4. Appropriate County Fees included:	_____
5. 11 Copies of sealed Sub / LD plans:	_____
6. 11 copies of other required plans:	
a. Landscape: (sealed).....	_____
b. Conservancy: (sealed).....	_____
c. Stormwater Management: (sealed).....	_____
7. Three copies of the stormwater report and calculations:	_____
8. Copies of supplementary studies, if required:	
a. Traffic Impact Study:.....	_____
b. Water Study:	_____

Application accepted on _____ by _____

Official Signature _____ Title _____

Review Process Checklist (Administrative use only)

<u>Item</u>	<u>Date Complete</u>
1. Date of first formal Planning Commission Meeting following complete submission of application, (Day 1):.....	_____
Date Abutting property letter sent:	_____
2. Date presented to Planning Commission:	_____
3. Date submitted to CCPC:	_____
4. Date submitted to Township Engineer:	_____
5. Date by which the PC must act, (Day 70):	_____
6. Date by which Board of Supervisors must act, (Day 90):	_____
7. Date sent to CB:	_____
8. Date sent To MA:	_____
9. Date sent to HC:	_____
10. Date sent to PRB:	_____
11. Date sent to TAB:	_____

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

**East Goshen Township Planning Commission
Procedure for processing Subdivision, Land Development, Conditional Use,
Variance, and Special Exception Applications**

August 19, 2002

1st Revision: September 22, 2003

2nd Revision: March 2, 2006

1. In order for any application to be considered by the Planning Commission it must be submitted to the Township with all required documentation as per the Township Code and with all applicable fees paid. The Township will use a checklist to verify all required documentation has been submitted. Until the application is complete the application will not be considered "filed" by the Township staff. The Planning Commission will acknowledge receipt of the application at their next regularly scheduled meeting.
2. All materials to be considered at the next regular meeting of the Planning Commission must be submitted with at least eleven (11) copies to the Township Staff by not later than close of business the previous Tuesday. Any materials submitted after that time will be held for the following meeting and not provided to the Commission at the upcoming meeting.
3. The application review cycle for Subdivision and Land Development Applications shall begin with the next regular meeting of the Commission after the complete application is filed. The application review cycle for Conditional Use, Variance, and Special Exception Applications shall begin the day a complete application is filed with the Township.
4. Applicants should not distribute material to the Commission during a meeting unless it is directly related to the initial presentation of the application. All materials for the Planning Commission, including any material to be used at a meeting, must be delivered to the Township Staff not later than close of business the previous Tuesday.
5. The burden of supplying necessary materials to the Planning Commission in a timely manner is on the applicant. Late delivery of material may require an extension on the part of the applicant or a recommendation for denial of the application by the Planning Commission.
6. Formal application presentations to the Planning Commission will only be made at the regular meeting after the complete application is submitted and accepted by the Township staff.
7. The application will remain on the Planning Commission's agenda until such time as the Commission has made its recommendation to the Board of Supervisors and or Zoning Hearing Board.
8. Applicants are encouraged to attend each Planning Commission meeting in order to answer questions or address issues concerning their application.
9. Applications will be voted on only during the regular Planning Commission meetings.
10. The Chairman, in his sole discretion, may waive or modify any of this procedure.

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Voice: 610-692-7171
Fax: 610-692-8950
E-mail: mgordon@eastgoshen.org

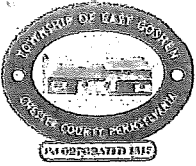
Date: 9/29/2017
To: Planning Commission
From: Mark Gordon, Township Zoning Officer *mlg*
Re: 1007 Taylor Avenue / SD Plan

Dear Commissioners,

The Township has received a Subdivision Application for 1007 Taylor Ave. This property recently received zoning variances to permit the subdivision of this Non-Conforming lot. The ZHB Decision is being written now and I expect to have it for your review and incorporation before the meeting.

The Township Engineer at the County Planning Commission Review letters are pending and will not be available for the meeting.

A Planning Commission recommendation is not appropriate at this time.



EAST GOSHEN TOWNSHIP
CHESTER COUNTY, PA

SUBDIVISION AND / OR LAND DEVELOPMENT APPLICATION

Date Filed: 9/25/17

Application for (Circle one):

Subdivision Land Development Subdivision & Land Development

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Fax: _____ Email: noahkahn1@comcast.net

2. Name and address of present owner (if other than 1. above)

Name: Same as Above

Address: _____ Phone: _____

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3. Location of plan: 1003 & 1007 Taylor Ave, West Chester, PA 19380

4. Proposed name of plan: 2-Lot Subdivision

5. County Tax Parcel No.: 53-2-51 Zoning District: R-2

6. Area of proposed plan (ac.): 1.312 (gross) Number of lots: 2

7. Area of open space (ac.): N/A

8. Type of structures to be constructed: N/A

9. What provisions are to be made for water supply and sanitary sewer? N/A

10. Linear feet of road to be constructed: N/A

11. Name of Engineer: Denny Howell, PE; D. L. Howell and Associates, Inc.

Phone Number: 610-918-9002 Fax: 610-918-9003

Email address: aalbano@dhowell.com

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

12. Name of Land Planner: N/A

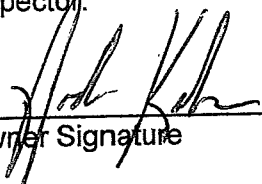
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Email address: _____

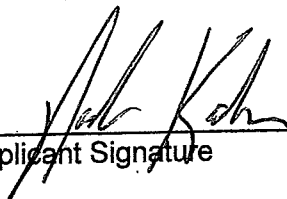
- B. I/We agree to reimburse the Township of East Goshen for such fees and expenses the Township may incur for the services of an Engineer(s) in investigations, tests, and review in relation to the Subdivision Plan.
- C. I/We agree to post financial security for the improvements depicted on the Subdivision and or land Development Plan pursuant to the Subdivision and Land Development Ordinance.
- D. I/We agree to reimburse the Township of East Goshen for all inspection fees at the actual cost to Township.

NOTICE

The Township requires an Occupancy Permit before any building can be occupied; no Occupancy Permit will be issued until final inspection and approved by the Zoning Officer and Building Inspector.



Owner Signature



Applicant Signature

Administrative Use

Fees received from applicant \$ _____ basic fee, plus \$ _____ per lot

For _____ lots = \$ _____.

Application and plan received by: _____ Date: _____
(Signature)

Application accepted as complete on: _____
(Date)

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

SUBDIVISION AND/OR LAND DEVELOPMENT CHECKLIST

This checklist outlines the steps and items needed to insure completeness of the application and to insure the application follows the process and conforms to the timeframe outlined by the State of Pennsylvania and East Goshen Township. This checklist is broken into two parts, the Application Process and the Review Process. The application process must be completed in its entirety prior to the advancement into the Review Process.

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Application for (Circle all appropriate): Subdivision Land Development

Applicant Information:

Name of Applicant: 1007 Taylor Partners, LLC

Address: 1003 & 1007 Taylor Ave, West Chester, PA 19380

Telephone Number: 610-873-5585 Fax: _____

Email Address: noahkahn1@comcast.net

Property Address: 1007 Taylor Ave, West Chester, PA 19380

Property Information:

Owner's Name: 1007 Taylor Partners, LLC

Address: 1003 & 1007 Taylor Ave, West Chester, PA 19380

Tax Parcel Number: 53-2-51 Zoning District: R-2 Acreage: 1.312 (r)

Description of proposed subdivision and or land Development:

Proposing the subdivision of an existing lot (1.312 gross acres) into 2 individual lots.
The existing lot has 2 single-family dwellings, therefore the lots are being subdivided
in such a way that each lot contains 1 of the single family dwellings.

BOARD OF SUPERVISORS
EAST GOSHEN TOWNSHIP

CHESTER COUNTY
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

September 29, 2017

Dear Property Owner:

The purpose of this letter is to inform you that the owner of 1007 Taylor Avenue, West Chester, PA 19380, has submitted a subdivision application and plan for review and approval by the Township. The owner, Taylor Ave Partners, proposes a 2 lot subdivision of the property. The existing parcel has an area of approximately 1.08 acres, has two existing single family homes and a large garage.

The property was recently granted zoning variances to allow for the subdivision of this legal non-conforming lot with legal non-conforming structures. The owner proposes to subdivide the 1.079 acre parcel into two lots in such a way as to position each single family home on its own parcel.

The application and plan proposes to subdivide the existing lot creating one new .870 acre lot and one new .209 acre lot.

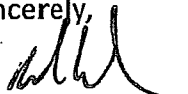
Pursuant to Township policy, property owners and residents within 1000 feet of the subject property are notified of subdivision application submissions.

The public meeting schedule for the review and possible approval of this application is:

- **October 4, 2017 - Planning Commission meeting (7:00 PM)**
- **November 1, 2017 - Planning Commission meeting (7:00 PM)**
- **November 21, 2017 - Board of Supervisors (7:00 PM)**

All meetings are held at the Township Building and are open to the public and subject to change without further written notice. The application and plan is available for review at the Township building during normal business hours. Please give me a call at or email me at mgordon@eastgoshen.org if you have any questions or need additional information.

Sincerely,



Mark A. Gordon
Township Zoning Officer

Cc: All Township Authorities, Boards and Commissions

**BOARD OF SUPERVISORS
EAST GOSHEN TOWNSHIP**

Want more information about the latest news in the Township and surrounding area? East Goshen Township and Chester County offer two valuable resources to stay informed about important local issues. East Goshen communicates information by email about all Township news through Constant Contact. To sign up, go to www.eastgoshen.org, and click the "E-notification & Emergency Alert" button on the left side of the homepage. Chester County offers an emergency notification system called ReadyChesco, which notifies residents about public safety emergencies in the area via text, email and cell phone call. Signing up is a great way to keep you and your loved ones safe when disaster strikes. Visit www.readychesco.org to sign up today!

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Voice: 610-692-7171
Fax: 610-692-8950
E-mail: mgordon@eastgoshen.org

Date: 9/29/2017
To: Planning Commission
From: Mark Gordon, Township Zoning Officer *mlg*
Re: Malvern Institute ZHB Application for Special Exception and Variances

Planning Commission Members:

Please see the revised application materials for the Malvern Institute Zoning Hearing Board Application. The institute will present their revised application materials. The Planning Commission will see the Malvern Institute again on November 1, 2017.

The following application materials have been provided and / or updated.

1. The application and narrative has been updated.
2. The 15 Year Master Plan has been updated.
 - a. The proposed parking lot expansion near king road has been eliminated and new parking is now proposed on the East side of the existing parking lot and adjacent to the entrance drive. This eliminates the need for the "Parking in the front yard" variance.
3. The volleyball court does not need to be relocated now that the parking expansion in the front yard has been eliminated.
4. The sight line profiles on page 3 have been updated.
5. The applicant has provided a 15 year renovation Timeline

Questions / Issues:

1. The Barn is currently use for storage for the Treatment Center. The MI proposes to renovate the barn and double the usable square footage of the building by adding a loft. If the current floor area is used as storage now and is proposed to be converted to office space and patient use areas, wouldn't that be considered an expansion?

The MI application requests Special Exception approval to expand the non-conforming use.

2. The MI Website states: "The Malvern campus has 59 residential beds and 21 detox beds and offers a full continuum of care. King Road provides adult intervention,

detox, and residential services. Psychiatric assessment and follow-up are available for those with co-occurring disorders”

- a. MI Has presented testimony that their License permits them for 80 beds.
 - i. How is the bed count calculated?
 - ii. Can Malvern provide the PA License for the facility?
3. Does expansion of the parking, walking trails, and meditation areas constitute an expansion of the use?
 - a. Historically we have not considered these to be expansions to the nonconforming use as accessory to the treatment center use, however the zoning ordinance states: §240-40.C.(2)(d) “The total increase in area of the nonconforming use of land shall not exceed an aggregate total of more than 25% of the total area of the lot which is devoted to the nonconforming use.”
 - i. How do we calculate the use of the land with respect to the expansion of new trails, parking areas, and meditation areas?
 - ii. Does increasing these elements constitute an expansion of the use?

A Legal interpretation of this may need to be determined?

4. The MI is situated in the R-2 zoning District however it has been used as a commercial use since before the first Zoning ordinance was adopted in 1952.
 - a. §240-32.E.(1) Fences and walls which are erected in the side or rear yards shall not exceed six feet in height on a **residential lot** and eight feet in height **on any other lot**, except tennis court fences, which may not exceed 10 feet in height. Such fences may be solid.

With regard to fences the Township has taken the position in the past that the MI is a commercial property and not a residential property therefore the commercial regulation for fences has been applied for the MI.

The Malvern Institute has requested a variance for this section of the Zoning Ordinance to erect an 8 foot fence in the side and rear yards and a 6 foot fence in the front yard.

5. Parking: The parking proposed may be accomplished without encroaching into the front yard setback area. The additional parking can be accomplished on the eastern side of the eastern parking lot because the Riparian zone is not correctly delineated. The riparian zone is calculated 50’ from the top of the stream bank, not 50’ from the SFHA. Also, additional parking can be accommodated within the building envelope by extending the proposed parking area further west on the lot as well as adding parking along the driveway entrance. **Parking for “extra employees during overlapping shifts” is not required by the ordinance.** The parking lot is going to need to be lit appropriately for safety. **Is the parking expansion and expansion of the use? Only 59 spaces are required by the ordinance.**

The MI has relocated the proposed parking expansion to the interior of the lot adjacent to the existing parking lot area.

6. The Lower lot (1 ac. parcel with frontage on Brookmont Dr.) should not be included as part of the Non-Conforming use.

This lot was created after the treatment center use.








7. Any crossings of the creek will require DEP permits.
8. Sound Fence? What is this?
9. Delivery vehicles cannot negotiate the gates in the wall at the east side of the property near the barn.
This will need to be addressed during the LD application.
10. Diesel Generator Noise Issues.
The MI has indicated that they will address this issue by installing sound attenuation blankets / curtains to be inside the existing generator enclosure.
11. Sound from the proposed pavilion may be amplified due to its position in relation to the new wall to the east and the existing building.
Enclosing the pavilion on two or three sides could help to prevent sound amplification.
12. The wooded area on the eastern side of the property has lost a significant amount of understory trees. The proposed walking area and meditation area in that vicinity will be visible to the residents on Line Rd.
The plan shows the installation of new understory plantings to improve the landscape buffer for adjacent property owners.
13. If approved, would this constitute a land development? They would be constructing a new pavilion, parking lot, a greenhouse, and improving a barn for commercial use. Here are the definitions from §205, SALDO:
LAND DEVELOPMENT
A. The improvement of one lot or two or more contiguous lots, tracts or parcels of land for any purpose involving:
(1) A group of two or more residential or nonresidential buildings, whether proposed initially or cumulatively, or a single nonresidential building on a lot or lots regardless of the number of occupants or tenure; or
(2) The division or allocation of land or space, whether initially or cumulatively, between or among two or more existing or prospective occupants by means of or for the purpose of streets, common areas, leaseholds, condominiums, building groups or other features.
B. A subdivision of land.
BUILDING
Any structure having a roof supported by columns or walls, used for the shelter, housing or enclosure of persons, animals or property. "Building" is interpreted as including the words "or part thereof."
The MI will submit a LD application if the special exception and variances are granted.
14. All these improvements are proposed over 15 years. How do we permit the zoning variances over this time period if some of the relief will not be acted on for a decade or more?
The MI has submitted a Renovation Timeline for the proposed renovations to the facility.

15. What will the building addition, Pavilion, Greenhouse, and Barn improvements look like?

If the Planning Commission is inclined to support the request I would suggest that the commission consider drafting some recommended conditions to mitigate the proposed expansion. The conditions could then be discussed at the November 1st PC meeting.



LEGEND

-  BUILDINGS
-  PAVING
-  PARKING
-  PATH (WOOD CHIPS)
-  PERVIOUS
-  TREES
-  FENCE

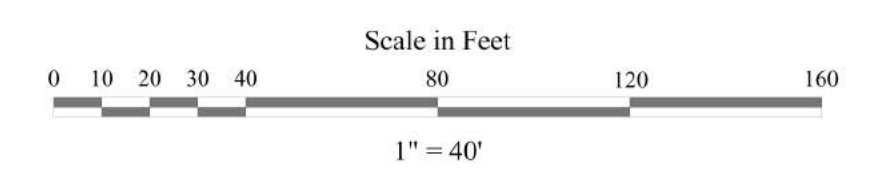
EXISTING CONDITIONS FOR THE MALVERN INSTITUTE

EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

Chester Valley Engineers
 civil engineers & land surveyors

Chester Valley Engineers, Inc.
 Main Office: 83 Chestnut Road
 P.O. Box 447, Paoli, PA 19301
 (610) 644-4623
 (610) 889-3143 Fax
 cve@chesterv.com
 http://www.chesterv.com
 JOB #: 20170

DATE: SEPTEMBER 26, 2017





PARKING TABULATION

REQUIRED PARKING PER ORDINANCE SECTION 240-33.A.(2)(b)2[C]D.2*

- 1 SPACE/4 BEDS * 80 BEDS = 20 SPACES
- 1 SPACE/EMPLOYEE DURING PEAK SHIFT * 35 EMPLOYEES = 35 SPACES
- 1 SPACE/ EXTRA EMPLOYEE DURING OVERLAPPING SHIFTS = 20 SPACES
- 4 SPACES FOR MALVERN INSTITUTE WORK VEHICLES = 4 SPACES

TOTAL REQUIRED = 79 SPACES

48 SPACES = 48 SPACES

TOTAL EXISTING = 33 SPACES (INCLUDES 3 HANDICAP SPACES)

TOTAL PROPOSED = 81 SPACES (INCLUDES 4 HANDICAP SPACES)

TOTAL PARKING PROVIDED = 81 SPACES

* TREATMENT CENTER USE NOT LISTED IN OFF STREET PARKING ORDINANCE THEREFORE REQUIRED PARKING TABULATED FOR MOST SIMILAR USE LISTED IN ACCORDANCE WITH 240-33.A(1)(b).

LOT AREA CALCULATIONS
(AREAS IN SQ. FT.)

VE# 53-2-18	VE# 53-2B-13
GROSS AREA = 418,080 (9.60 AC)	GROSS AREA = 43,565 (1.00 AC)
LESS:	LESS:
STREET R/W = 58,916 (1.35 AC)	STREET R/W = 4,040 (0.09 AC)
LOT AREA = 359,164 (8.25 AC)	LOT AREA = 39,525 (0.91 AC)

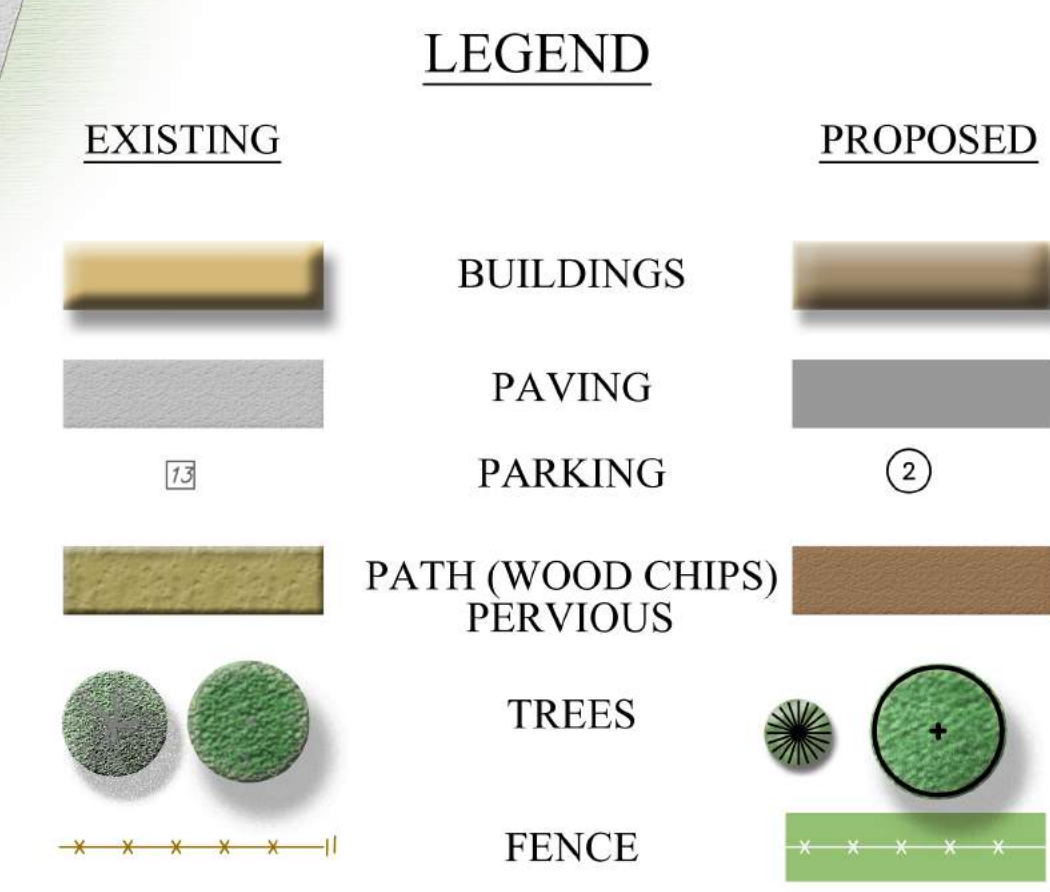
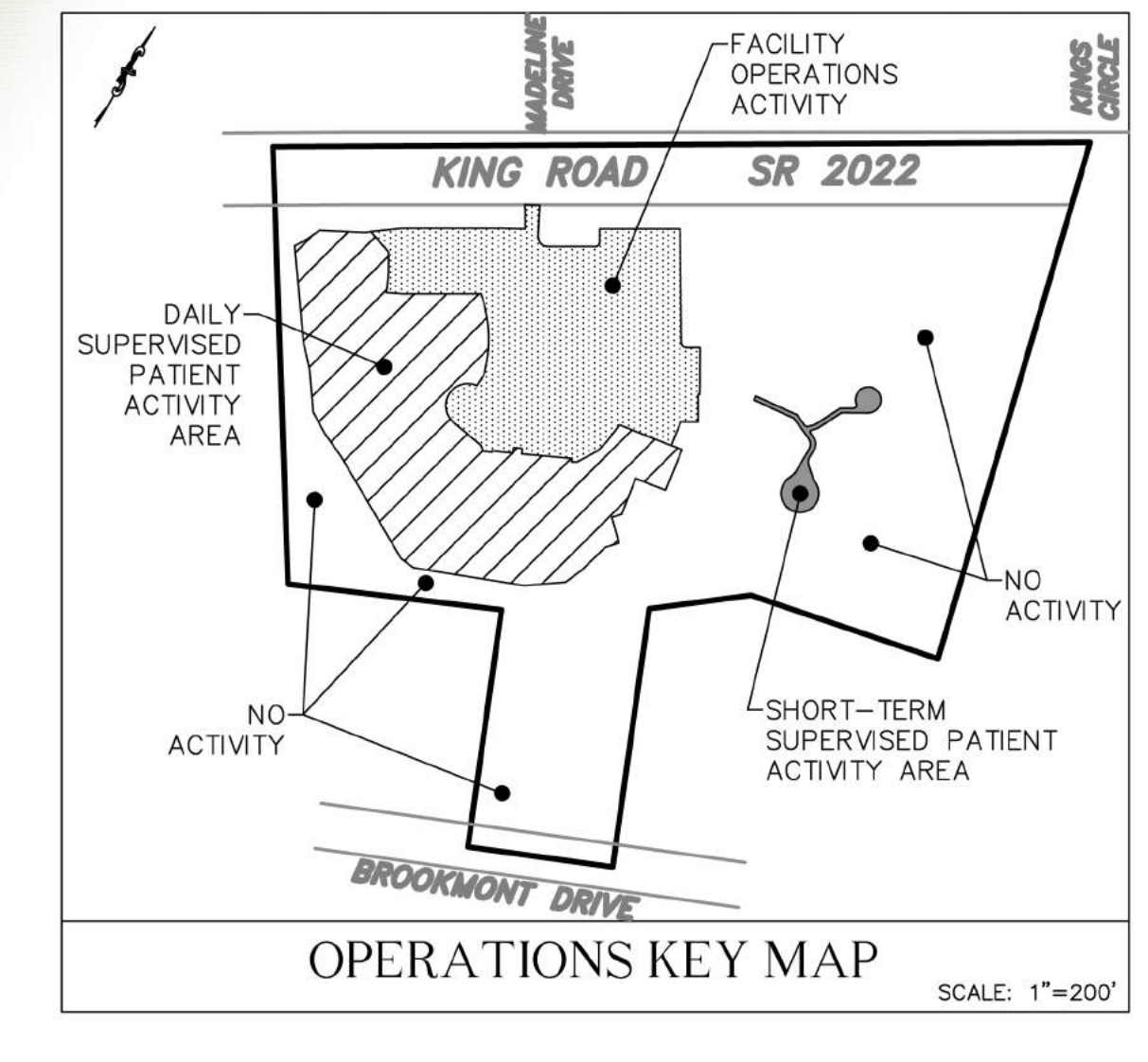
PARCEL 53-2B-13 HAS NOT BEEN INCLUDED IN ANY CALCULATIONS

IMPERVIOUS COVERAGE
(AREAS IN SQ. FT.)

	EXISTING	PROPOSED
2 1/2 STORY MASONRY (PRIMARY BUILDING)	13,411	13,631
1 STORY MASONRY	526	526
2 STORY BARN	2,240	2,320
SHED	120	120
SPRING HOUSE	296	296
PUMP STATION BUILDING	301	301
WALK-IN FREEZER (W.I.F.)	44	44
PAYMENT (INCLUDING CURB)	33,022	42,115
SIDEWALKS	1,484	1,859
SMOKING PAVILION	800	800
GREEN HOUSE	---	480
*TOTAL	51,444 (14.32%) (1.18 AC)	62,492 (17.33%) (1.43 AC)

**ZONING DATA -- EAST GOSHEN TOWNSHIP
R-2 -- RESIDENTIAL DISTRICT**

ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA (MIN.)	1 ACRE	9.60 ACRES	9.60 ACRES
LOT WIDTH AT BUILDING LINE (MIN.)	150 FT.	862 FT.	862 FT.
LOT WIDTH AT STREET LINE (MIN.)	60 FT.	877 FT.	877 FT.
BUILDING COVERAGE (MAX.)	25%	4.72%	5.16%
TOTAL IMPERVIOUS COVERAGE (MAX.)	35%	14.32%	17.33%
BUILDING HEIGHT (MAX.)	30 FT./3-STORIES	<30 FT.	<30 FT.
FRONT YARD SETBACK (MIN.)	45 FT.	332.8 FT.	332.8 FT.
AVERAGE FRONT YARD (MIN.)	60 FT.	N/A	N/A
SIDE YARD SETBACK (MIN.)	20 FT. EACH	111.4 FT./ 434.0 FT	111.4 FT./ 434.0 FT
REAR YARD SETBACK (MIN.)	50 FT.	54.7 FT.	54.7 FT.



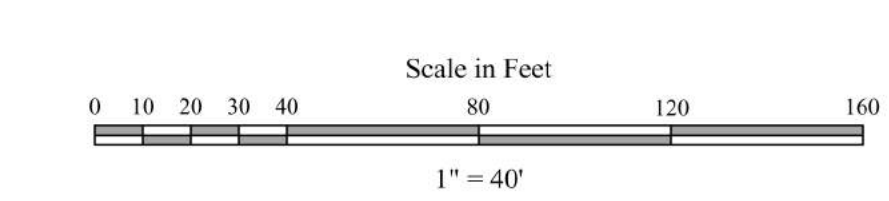
15-YEAR MASTER PLAN FOR THE MALVERN INSTITUTE

EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

Chester Valley Engineers
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http://www.chesterv.com

DATE: SEPTEMBER 26, 2017
JOB #: 20170





EXISTING FEATURES PLAN



PROPOSED PLAN

LEGEND	
EXISTING	PROPOSED
	BUILDINGS
	PAVING
	PARKING
	PATH (WOOD CHIPS) PERVIOUS
	TREES
	FENCE

15-YEAR MASTER PLAN FOR THE MALVERN INSTITUTE
 EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

Chester Valley Engineers
 civil engineers & land surveyors
 DATE: SEPTEMBER 26, 2017

Chester Valley Engineers, Inc.
 Main Office: 83 Chestnut Road
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 (610) 644-4623
 (610) 889-3143 Fax
 cve@cheesterv.com
 http://www.cheesterv.com
 JOB #: 20170

September 28, 2017

Via Hand Delivery

Mark Gordon
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380-6199

**Re: Application for Zoning Relief of
Malvern Institute for Psychiatric and Alcoholic Studies, Inc.**

Dear Mark:

Enclosed are fifteen (15) copies of the revised Application and Narrative for Zoning Relief of Malvern Institute for consideration by Zoning Hearing Board.

The Plans are part of the Application but have been submitted separately by Chester County Engineers. I also included Exhibit B-1, as well as the 15 Year Renovation Timeline. Thank you for your consideration.

Very truly yours,



Brian L. Nagle

/cfg
Enclosures

2611992v1
141117.60426

**EAST GOSHEN TOWNSHIP
ZONING HEARING BOARD APPLICATION**

1580 PAOLI PIKE WEST CHESTER, PA 19380-6199
PHONE (610)-692-7171 FAX (610)-692-8950

Name of Applicant: Malvern Institute

Applicant Address: 940 West King Road
Malvern, PA 19355

Telephone Number: 610-647-0330 Fax Number: 484-913-3620

Email Address: JGibbons@MalvernInstitute.com

Property Address: 940 West King Road
Malvern, PA 19355

Tax Parcel Number: 53-2-18 Zoning District: R-2 Acreage: 8+-

Purpose of Application (check one)

- Variance (Type: Use Variance Dimensional Variance)
 Special Exception
 Appeal determination of the Zoning Officer
 Other Relief pursuant to the land doctrine of natural expansion

Sections of Zoning Ordinance in which relief is sought:

Special Exception pursuant to Section 240-40-C(2)(e)

Variance from Sections 240-32.E(1) and (2); 240-33.B(5); 240-33.C(10); 240-40.C(2)(c); 240-58.D

Description of the Zoning Relief requested and the future use of the property:

Please see attached Narrative in Support of Application

Note: Application as revised 09/27/17

We hereby acknowledge that we have read this application and state that the above is correct and agree to comply with all provisions of the East Goshen Township Zoning Ordinance applicable to this project and property.


Signature of Applicant
Attorney in Fact

September 27, 2017

Date

***Please review the formal application and review procedures on page three.**

EXHIBIT "B-1"

Joseph J. & Angela L. Kucharczuk
1341 N. Chester Road
Malvern, PA 19355

Theodore & Nathalie Boris
1343 N. Chester Road
Malvern, PA 19355

James D. Jackson, Jr.
PO Box 570
Malvern, PA 19355

John R. Gailey, III
Joellen Berger
22 Treemont Drive
Malvern, PA 19355

Jason T. Darst
Amy Van Sciver
1028 King Road
Malvern, PA 19355

Stefanie Crea
1024 King Road
Malvern, PA 19355

Bruce W. & Marjorie A. Bellgrau
1020 King Road
Malvern, PA 19355

Robert W. & Bonnie A. Webb
9883 SE Osprey Point Drive
Hobe Sound, FL 33455

Steven W. & Karla A. German
4 Treemont Drive
Malvern, PA 19355

Douglas J. & Sheila M. Sweeney
6 Treemont Drive
Malvern, PA 19355

Douglas W. & Judith M. Jones
950 King Road
Malvern, PA 19355

Vincent & Clare Onorato
1 Treemont Drive
Malvern, PA 19355

Joseph H. & Paige T. Fenimore
3 Treemont Drive
Malvern, PA 19355

Alfred A. & Janice Denker
5 Treemont Drive
Malvern, PA 19355

Gregory G. & Lisa S. O'Neill
10 Brookmont Drive
Malvern, PA 19355

Joseph & Deborah A. Marovick
8 Brookmont Drive
Malvern, PA 19355

Joseph R. Mehl
Eva M. Misetic
4 Brookmont Drive
Malvern, PA 19355

Louis G. & Mary M. Irvine
2 Brookmont Drive
Malvern, PA 19355

Justin J. & Cathy A. Harding
1 Brookmont Drive
Malvern, PA 19355

R. Scott & Terri Relick
12 Treemont Drive
Malvern, PA 19355

Matthew C. Thomas
Eve Massa
16 Treemont Drive
Malvern, PA 19355

Mark J. Hamilton, II
20 Treemont Drive
Malvern, PA 19355

Eric T. & Jessica T. Biggs
13 Brookmont Drive
Malvern, PA 19355

Paul R. & Lynne A. Anderson
15 Brookmont Drive
Malvern, PA 19355

Sigmund J. & Colleen M. Fleck
17 Brookmont Drive
Malvern, PA 19355

Jonathan McGlohorn
21 Brookmont Drive
Malvern, PA 19355

George S. & Wendy Lee Andraos
25 Brookmont Drive
Malvern, PA 19355

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John D. & Joanne Murphy
20 Brookmont Drive
Malvern, PA 19355

Joseph P. & Elaine M. Rogers
18 Brookmont Drive
Malvern, PA 19355

William & Stephanie Gurley
16 Brookmont Drive
Malvern, PA 19355

Eric & Leslie Young
14 Brookmont Drive
Malvern, PA 19355

David R. & Denise C. Kelly
8 Treemont Drive
Malvern, PA 19355

Dennis & Laurette Stamis
306 Pine Drive
Huddleston, VA 24104

Eric P. & Maureen Anderson
19 Treemont Drive
Malvern, PA 19355

Robert A. & Carola Cifaldi
17 Treemont Drive
Malvern, PA 19355

Timothy Klutchka
Christina Neubert
5 Brookmont Drive
Malvern, PA 19355

Porter E. & Virginia M. May
7 Brookmont Drive
Malvern, PA 19355

Donald Tyson
Ellen B. Reimer
12 Line Road
Malvern, PA 19355

Martin & Patricia C. Shane
14 Line Road
Malvern, PA 19355

Paul D. & Bridget Rowe, Jr.
16 Line Road
Malvern, PA 19355

Raymond C. & Lisa Flanagan
18 Line Road
Malvern, PA 19355

Douglas & Katherine B. Martinides
20 Line Road
Malvern, PA 19355

Jesus A. & Patricia B. Prieto
49 Sherman Drive
Malvern, PA 19355

Bessam Al Tikriti
Rasha Aveen
47 Sherman Drive
Malvern, PA 19355

Michael Phelps
Kimberly Marinoff
45 Sherman Drive
Malvern, PA 19355

Reserve at Spring Meadows
Community Association
1129 Laurelwood Road
Pottstown, PA 19465

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8 Queen Anne Lane
Malvern, PA 19355

William D. & Natalie G. Penna
6 Queen Anne Lane
Malvern, PA 19355

Angus and Mary S. Wallace
965 King Road
Malvern, PA 19355

Stephen D. & Pamela K. Converse
961 King Road
Malvern, PA 19335

Maureen Loncar
957 King Road
Malvern, PA 19355

Andrew R. Vacante
Victoria G. Robbins
1 Madeline Drive
Malvern, PA 19355

Richard F. & Joy E. Mullin
35 Kings Circle
Malvern, PA 19355

Catherine B. Summers
36 Kings Circle
Malvern, PA 19355

John D. Profico Revocable Trust
Margaret Profico Revocable Trust
852 King Road
Malvern, PA 19355

Frederick & Lorraine M. Pierce
4 Line Road
Malvern, PA 19355

Thomas McElwee
Kathleen Thompson
6 Line Road
Malvern, PA 19355

Daniel & Maureen Martino
8 Line Road
Malvern, PA 19355



BEFORE THE ZONING HEARING BOARD OF EAST GOSHEN TOWNSHIP

**IN RE: APPLICATION FOR ZONING RELIEF OF
MALVERN INSTITUTE FOR PSYCHIATRIC AND ALCOHOLIC STUDIES, INC.**

NARRATIVE IN SUPPORT OF APPLICATION (Revised)

I. Introduction

Malvern Institute for Psychiatric and Alcoholic Studies, Inc. (“Malvern Institute” or “Applicant”), is the legal owner of certain real estate located at 940 W. King Road, East Goshen Township, Chester County, known as Chester County UPI No. 53-2-18 (the “Property”). The Property is improved with, *inter alia*, a 2 ½ story masonry structure (the “Main Building”) and a 2 story barn (the “Barn”). The Property constitutes approximately 8 acres in the Township’s R-2 Low Density Residential District.¹ Applicant uses the Property as a treatment center, as that term is defined in the Township’s Zoning Ordinance (the “Ordinance”). The treatment center is a legal nonconforming use, as that term is defined in the Township’s Zoning Ordinance. The Existing Conditions Plan, separately submitted, is made a part of this Application. Through the treatment center, Malvern Institute provides critical services to residents in need in Chester County and nearby, offering a continuum of care for those affected by addiction, including many fellow Chester County residents. All services are inpatient services and Malvern Institute’s success is achieved through dedication to clinical care and innovative treatment solutions.

Applicant hereby seeks relief, as set forth below, to expand the second floor of the Main Building on the Property by 6,200 square feet and to construct a loft in the Barn which would increase the floor area of that structure by 2,320 square feet. The

¹ A small portion of the Property is located in Willistown Township, which portion is not improved with any structures.

proposed expansion will not increase the footprint of the Barn, with the exception of an 80 square feet code-required elevator, and will only increase the footprint of the Main Building by 200 square feet *via* a small cantilever. The proposed expansion also includes the permanent relocation of the smoking area from the rear of the facility to the front of the facility at a new smoking pavilion that will be farther away from residential neighbors as compared to the prior location. The prior smoking area will be converted to a quiet greenhouse space.

The proposed expansion is necessary to accommodate natural expansion of the Applicant's pre-existing legal non-conforming use to enable Applicant to maintain its facility in accordance with industry standards, to remain competitive in the marketplace, and to effectively serve and treat its patients and the residents of Chester County. The proposed expansion of the Main Building will improve the accommodations available to Applicant's residents. Applicant does not propose to increase the number of patients it serves, and, in the event that the relief sought herein is granted, Applicant will agree to a condition of approval that it will not increase the state-approved limit of patient beds for the subject Property, which is currently approved at 80 beds.

II. Request for Relief and Project Background

Applicant seeks a special exception under Ordinance Chapter 240, Section 40.C(2)(e) in order to expand the floor area of the Main Building serving its legal nonconforming use. Applicant also seeks a dimensional variance from Ordinance Chapter 240, Section 40.C(2)(c) in order to permit an expansion of floor area serving a nonconforming use by 36%, if deemed required after consideration is given to the doctrine of natural expansion. The maximum expansion of floor area serving a

nonconforming use permitted by the Township's Zoning Ordinance is 25%². Chapter 240, Section 32.E(1) requires that fences erected in the side or rear yards shall not exceed six feet in height on a residential lot and eight feet in height on any other lot. The Applicant's position is that the subject lot is a commercial lot. In the event that the Board determines that the subject property is a residential lot by virtue of being located in a residential zoning district, notwithstanding the pre-existing and legally non-conforming non-residential use of the lot, than Applicant requests a variance to permit the eight foot sound fence as shown on the plans. The sound fence is designed to improve existing conditions relative the historical use of the outdoor portions of the Property for patient activities. The Section 32.E(2) states that fences which are erected within the required front yard shall not exceed four feet in height. The Applicant has proposed a six foot tall estate fence in the front yard, and hereby requests a variance to allow same. Applicant is proposing a 22 foot wide one-way section for a portion of the driveway to accommodate additional parking adjacent to that section of the driveway and to avoid additional parking in the front yard setback. This complies with the Township's zoning regulations. However, at night, the driveway will operate as a two-way driveway so that vehicle egress can be observed, and during that period of time, a variance of two feet in width is required, and hereby requested, from Section 33.C(10). Finally, given the timeframe of the proposed improvements, the Applicant requests a variance from Chapter 240, Section 58.D. to allow the variances to remain in place to allow the improvements to occur no later than 12 years from approval of the variances.

² Section 240-40.C(2)(c) includes the restriction that if prior to the effective date of the 25% expansion restriction in the zoning ordinance, the use has been expanded by a percentage greater than 25%, it shall not be entitled to any further expansion under this section. Malvern Institute underwent a prior expansion of 25% or greater in 1982. This retroactive restriction based upon a pre-ordinance expansion is of questionable legal impact.

The Applicant also requests that the Board grant such other relief that is necessary in the judgment of the Board to allow the proposed expansion.

The proposed expansion and dimensional variances are modest insofar as Applicant proposes a nominal increase in building footprint and does not propose to increase the number of residents it serves. Additionally, the proposal does not necessitate an increase in staff, nor is one anticipated. With the exception of a proposed greenhouse at the former rear smoking area, the 200 square foot second floor cantilever, the proposed new smoking pavilion, and the small elevator shaft area, there is no increase of the footprint of the structures on the Property.

It is noteworthy that the Applicant has designed its "15 Year Plan" in conjunction with the proposed improvements.³ The 15 Year Plan has been separately submitted as part of this application, together with the following plans: Existing Conditions, Sightline Profiles, 15 Year Master Plan with Existing Features. The 15 Year Plan was designed specifically to minimize and improve any Malvern Institute impacts on residential neighbors. The 15 Year Plan includes significant landscaping and buffering improvements in an effort to achieve this goal. After completing the design, Malvern Institute sent a letter to neighboring property owners inviting them to visit and tour the facility and to review the 15 Year Plan. See Exhibit "B-1", the mailing list for the letter, also attached. Numerous neighbors attended one of several meetings and provided insight and feedback to the Applicant. Changes were made to the plan as a result of those meetings.

³ The Township had previously requested that if any improvements were being proposed, that all improvements contemplated over the next 15 years be shown.

III. Conclusion

The Applicant will present testimony and evidence in support of the Application and establish compliance with all other applicable Ordinance standards during the hearing before the Zoning Hearing Board in support of the instant Application.

Respectfully submitted,

MacELREE HARVEY, LTD.

By:



Brian L. Nagle, Esquire
Lindsay A. Dunn, Esquire
Attorneys for Applicant

Date: September 27, 2017

MALVERN INSTITUTE

15 Year Renovation Timeline

Introduction

The Township has requested that all renovations necessary for the Malvern Institute over the next 15 years, as explained in the Narrative in Support of the Application (Revised), be included in a 15 Year Plan. After developing the 15 Year Plan, the Malvern Institute provides the following best estimate outline and timeline of improvements. Notwithstanding that the timing may alter to some degree, the Year 1-2 Site Improvements will be completed prior to any other listed improvements, and the Applicant will accept same as a condition of the approval of the relief sought in the Application that is pending before the Zoning Hearing Board.

YEAR 1-2

Site Improvements

Parking lot renovations, sound fence installation, smoking pavilion installation, sound blankets added at generator

YEAR 2-4

Barn Renovation

Loft level - patient activity space (group meeting and group fitness/activity space)

Main level - (parking lot side) Admissions and related offices

Lower level - (pond side) Storage and Laundry

YEARS 3-5

Main Building Relocation Renovation, Part 1

Scope TBD but relocated areas would be renovated and/or relocated for upcoming phases. Relocate designated personnel to the barn.

YEARS 4-6

Second Floor Renovations

Construction of Second Floor Renovation/Addition on the Main Building

YEARS 4-8

Main Building Renovations, Part 2

When the second floor renovation is complete, there will be areas open for renovation

All proposed improvements are required to enable Applicant to maintain its facility in accordance with industry standards, to remain competitive in the marketplace, and to effectively serve and treat its patients.



LEGEND

-  BUILDING
-  PAVING
-  PARKING
-  PATH/WOOD CLIPS
-  TREES
-  FENCE

EXISTING CONDITIONS FOR THE MALVERN INSTITUTE

EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA
 Chester Valley Engineers, Inc.
 Main Office: 82 Chestnut Street
 P.O. Box 441 • (810) 544-4823
 (810) 859-3143 Fax
 chester@cheval.com
 www.cheval.com
 DATE: SEPTEMBER 26, 2017
 JOB#: 20170



15-YEAR MASTER PLAN FOR THE MALVERN INSTITUTE

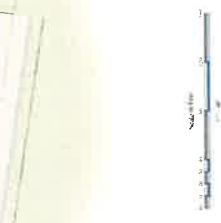
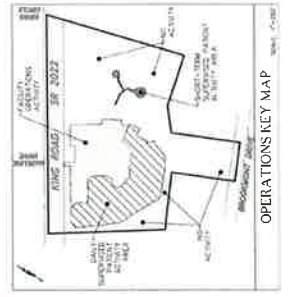
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Chester Valley Engineers, Inc.
 Malvern, PA 19361
 P.O. Box 410
 (610) 444-8323
 www.cheval.com
 info@cheval.com
 nlp@cheval.com

Job # 2017-0

LEGEND

EXISTING	PROPOSED



BROOKMONT DRIVE

TREEMONT DR

LINE ROAD

MADLINE DRIVE

KING ROAD SR 2022

LOT AREA CALCULATIONS

LOT NO.	AREA (SQ FT)	AREA (AC)
1	12,345	0.28
2	15,678	0.36
3	18,901	0.43
4	22,234	0.51
5	25,567	0.58
6	28,901	0.66
7	32,234	0.74
8	35,567	0.81
9	38,901	0.89
10	42,234	0.97
11	45,567	1.04
12	48,901	1.12
13	52,234	1.20
14	55,567	1.27
15	58,901	1.35
16	62,234	1.43
17	65,567	1.50
18	68,901	1.58
19	72,234	1.66
20	75,567	1.73
21	78,901	1.81
22	82,234	1.89
23	85,567	1.97
24	88,901	2.04
25	92,234	2.12
26	95,567	2.20
27	98,901	2.27
28	102,234	2.35
29	105,567	2.43
30	108,901	2.50
31	112,234	2.58
32	115,567	2.66
33	118,901	2.73
34	122,234	2.81
35	125,567	2.89
36	128,901	2.97
37	132,234	3.04
38	135,567	3.12
39	138,901	3.20
40	142,234	3.27
41	145,567	3.35
42	148,901	3.43
43	152,234	3.50
44	155,567	3.58
45	158,901	3.66
46	162,234	3.73
47	165,567	3.81
48	168,901	3.89
49	172,234	3.97
50	175,567	4.04
51	178,901	4.12
52	182,234	4.20
53	185,567	4.27
54	188,901	4.35
55	192,234	4.43
56	195,567	4.50
57	198,901	4.58
58	202,234	4.66
59	205,567	4.73
60	208,901	4.81
61	212,234	4.89
62	215,567	4.97
63	218,901	5.04
64	222,234	5.12
65	225,567	5.20
66	228,901	5.27
67	232,234	5.35
68	235,567	5.43
69	238,901	5.50
70	242,234	5.58
71	245,567	5.66
72	248,901	5.73
73	252,234	5.81
74	255,567	5.89
75	258,901	5.97
76	262,234	6.04
77	265,567	6.12
78	268,901	6.20
79	272,234	6.27
80	275,567	6.35
81	278,901	6.43
82	282,234	6.50
83	285,567	6.58
84	288,901	6.66
85	292,234	6.73
86	295,567	6.81
87	298,901	6.89
88	302,234	6.97
89	305,567	7.04
90	308,901	7.12
91	312,234	7.20
92	315,567	7.27
93	318,901	7.35
94	322,234	7.43
95	325,567	7.50
96	328,901	7.58
97	332,234	7.66
98	335,567	7.73
99	338,901	7.81
100	342,234	7.89

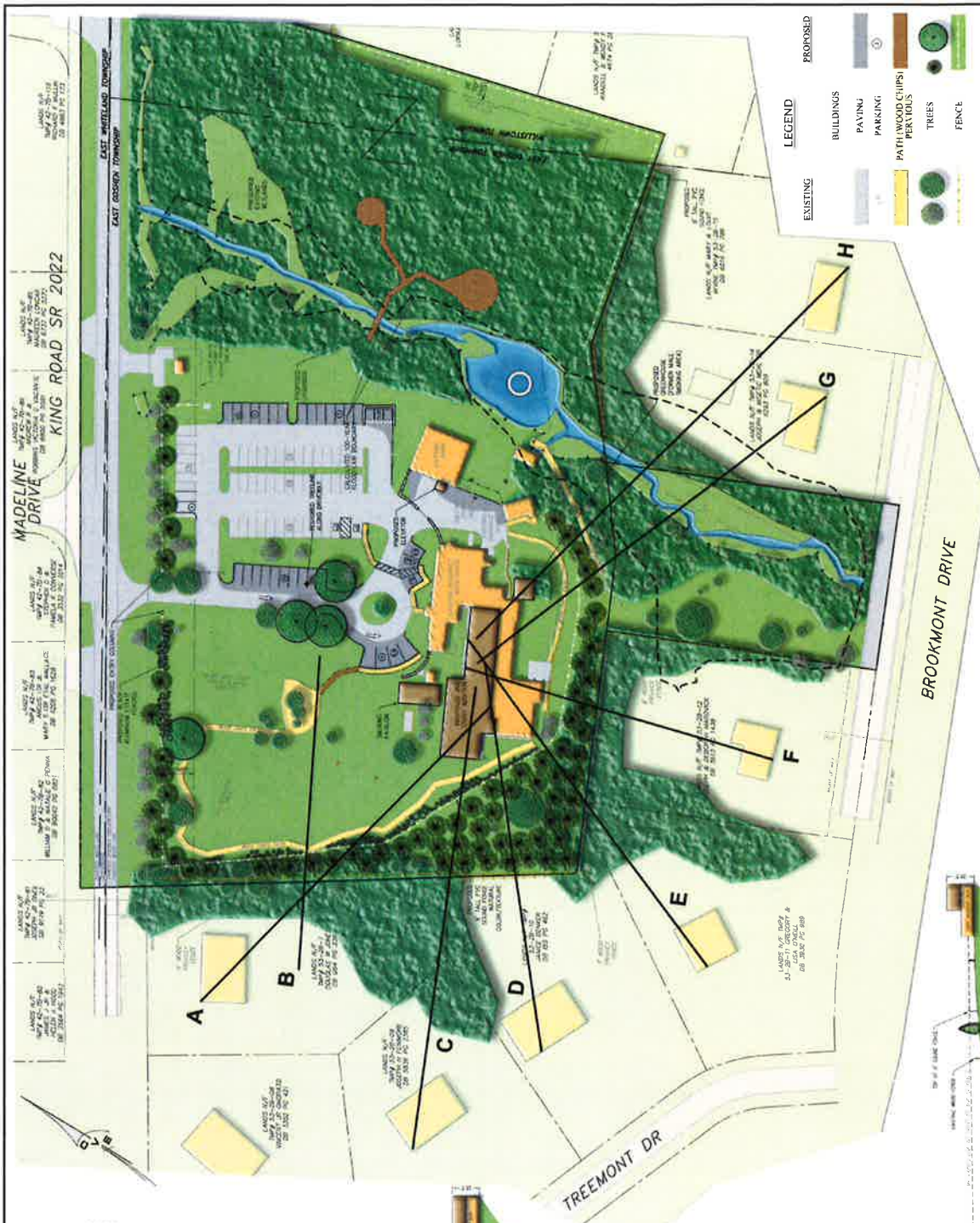
ZONING DATA - EAST GOSHEN TOWNSHIP

LOT NO.	ZONING DISTRICT	PERMITTED USES
1-10	R-1	Single-Family Detached
11-20	R-2	Single-Family Detached
21-30	R-3	Single-Family Detached
31-40	R-4	Single-Family Detached
41-50	R-5	Single-Family Detached
51-60	R-6	Single-Family Detached
61-70	R-7	Single-Family Detached
71-80	R-8	Single-Family Detached
81-90	R-9	Single-Family Detached
91-100	R-10	Single-Family Detached

IMPERVIOUS COVERAGE

Category	Area (sq ft)	Percentage (%)
Roofs	1,200,000	15.00
Paved Driveways	500,000	6.25
Paved Parking	1,800,000	22.50
Asphalt	3,500,000	43.75
Concrete	1,000,000	12.50
Other	1,500,000	18.75
Total	8,000,000	100.00

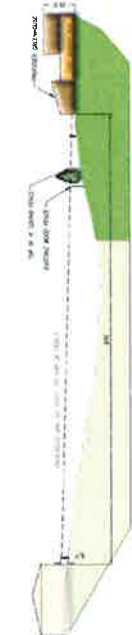
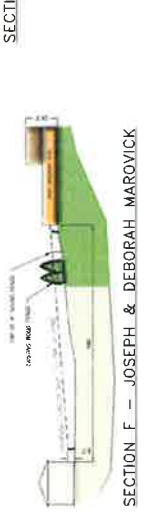
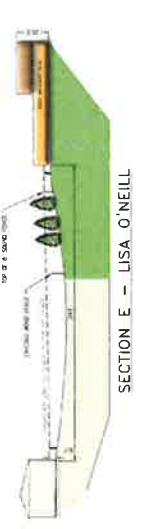
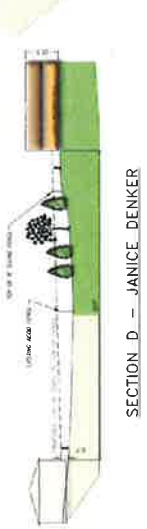
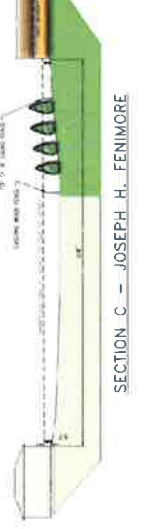
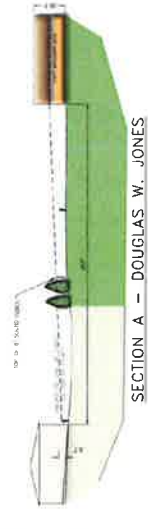




LEGEND

EXISTING	PROPOSED

SIGHT LINE PROFILES FOR
THE MALVERN INSTITUTE
 EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA
 Chester Valley Engineers, Inc.
 1800 N. 10th St., Suite 100
 P.O. Box 417, Pines, PA 15321
 (610) 644-6625
 info@chevalier.com
 www.chevalier.com
 DATE: SEPTEMBER 26, 2017



SECTION H - MARY & LOUIS IRVINE



EXISTING FEATURES PLAN



PROPOSED PLAN

LEGEND

	EXISTING BUILDINGS		PROPOSED BUILDINGS
	EXISTING PAVING		PROPOSED PAVING
	EXISTING TREES		PROPOSED TREES
	EXISTING STREAM		PROPOSED STREAM
	EXISTING PATIO/WOOD CHIPS		PROPOSED PATIO/WOOD CHIPS
	EXISTING FENCES		PROPOSED FENCES
	EXISTING LIGHTS		PROPOSED LIGHTS

15-YEAR MASTER PLAN FOR THE MALVERN INSTITUTE
 EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

Chester Valley Engineers
 Chester Valley Engineers, Inc.
 400 West 10th Street
 P.O. Box 441
 East Goshen, PA 17814
 Tel: 717.338.4400
 Fax: 717.338.4401
 www.chestervalleyengineers.com
 Reg. No. PA-0000000000
 Exp. 12/31/2018

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Voice: 610-692-7171
Fax: 610-692-8950
E-mail: mgordon@eastgoshen.org

Date: 9/29/2017
To: Planning Commission
From: Mark Gordon, Township Zoning Officer *mlg*
Re: Synthes USA Conditional Use Application

Dear Commissioners,

The Township has received a Conditional Use application from Synthes USA for their facility at 1301 Goshen Parkway. Synthes is seeking approval to increase the Total Impervious coverage on the property to 60%, the existing coverage is 55% which was approved by Conditional Use in 2003.

Draft Motion:

Mr. Chairman, I move that we recommend approval of the Synthes USA Conditional Use application to increase the impervious cover on their property to 60% with the following conditions.

1. All outstanding comments from the Township Engineer are addressed prior to approval.
2. The applicant return to the Conservancy Board during the Land Development review process to present their landscape plan.
3. The applicant adjusts the proposed plantings on the plan in order to meet the requirements of the Airport Zoning for landscape plantings within the airport approach zone of the property.
4. The applicant consider implementing a variety of best practice methods to deal with storm water runoff from the increased impervious coverage.

EAST GOSHEN CONSERVANCY

September 29, 2017

East Goshen Township
Planning Commission
1580 Paoli Pike
West Chester, Pa. 19380

Re: Synthes USA CU Application / Impervious Coverage Increase
Landscaping

Dear Commission Members:

At their meeting on September 13, 2017 the Conservancy Board voted in favor of the following motion:

Madame Chairman, I move that we recommend approval of the Synthes USA Conditional Use application to increase the impervious cover on their property to 60% with the following conditions.

1. The applicant return to the Conservancy Board during the Land Development review process to present their landscape plan.
2. The applicant adjusts the proposed plantings on the plan in order to meet the requirements of the Airport Zoning for landscape plantings within the airport approach zone of the property.
3. The applicant consider implementing a variety of best practice methods to deal with storm water runoff from the increased impervious coverage.

Sincerely,



Mark A. Gordon
Zoning Officer

September 15, 2017

EGOS 0122

Mark A. Gordon
Director of Code Enforcement/Zoning Officer
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

**RE: Synthes USA HQ, Inc., 1303 Goshen Parkway
Conditional Use**

Dear Mark:

As requested, we have reviewed the following information, regarding the referenced submission:

- *"Conditional Use Plan for Depuy Synthes"* (one sheet) dated August 25, 2017, last revised August 28, 2017, prepared by Mainstay Engineering Group, Inc.;
- *"Conditional Use Landscaping Plan for Depuy Synthes"* (two sheets) dated August 25, 2017, prepared by Glackin Thomas Panzak, Inc.;
- *"Narrative in Support of Conditional Use Application"* dated August 18, 2017 prepared by Law Offices of Brendan P. Burke, LLC; and
- Conditional Use Application.

The applicant, Synthes USA HQ, Inc., is requesting conditional use approval to increase the impervious coverage from 55% to 60% for UPI No. 53-3-1.12 (8.63 acres), located at 1303 Goshen Parkway. The Township had previously approved an increase from 50% to 55% in 2003. If the conditional use is granted, the applicant would subsequently seek land development approval. The proposed increase in impervious coverage includes a minor building expansion, various concrete pads, sidewalks and a patio, and a parking expansion. The parcel is located within the I-1 Light Industrial District.

We offer the following comments:

1. The Township should review the standards for conditional uses per §240-31.C(2).
2. The proposed conditional use is permitted via §240-31.C(3)(qq), which outlines several requirements:
 - a. *Justification of need* [1] - We will defer to the hearing testimony and Board.
 - b. *That there is no other area of the lot where the parking could be located* [1] - We concur that the proposed parking expansions are in the only remaining areas of the lot where parking could be provided.
 - c. *All parking areas shall be located a minimum of 20 feet from the street right-of-way line* [2] - Confirmed.
 - d. *There shall be a landscaped area between the front of the building and the parking area, a minimum of 15 feet deep* [2] - Existing non-conformity.

- e. *Regarding stormwater* [3] - It is our opinion the design engineer has identified appropriately sized areas to address stormwater management that can be designed at the time of the land development submission.
- f. *Regarding landscaping requirements* [4]:
 - i. Deciduous trees shall have a minimum caliper of 2.5-inches.
 - ii. A detailed breakdown of impervious coverage should be provided to confirm the increase in impervious from 50% to 60% is 37,601 square feet.
3. Detailed tabulations of existing and proposed building and impervious coverages, in square feet, should be provided to verify conformance with the requirements of §240-19.G and §240-31.C(3)(qq).
4. Additional screening may be warranted for the various improvements, including multiple equipment pads, a chiller pad extension, generator pad extensions and a drum storage pad/accessory use shed. (§240-24.I, §240-27.C(4) & §240-32.M). Further, note the outdoor storage requirements of §240-24.E.
5. At the time of land development submission, the applicant shall address the design and lighting requirements of §240-27.E.
6. A detailed parking tabulation shall be provided indicating conformance with §240-33.
7. The proposed parking expansion along the eastern property line proposes 13 parking spaces in a row; a maximum of 10 in a row is permitted. (§240-33.C(3))
8. The parcel appears to be located within an airport zone. (§24-35) Please provide the appropriate zone information on the plan and indicate conformance to the height requirement for trees and buildings, if applicable. The landscape design may need to address the maximum height of trees proposed and address any necessary maintenance of existing trees.
9. Note the proposed basin modification may require a temporary construction easement from the adjacent property.

Should you have any further questions or comments, please contact the undersigned.

Sincerely,

PENNONI



Nathan M. Cline, PE
Township Engineer

cc: Rick Smith, Township Manager (via e-mail)
Mark Miller, Director of Public Works (via e-mail)
Synthes USA HQ, Inc., 1302 Wrights Lane East, West Chester, PA 19380
Brendan P. Burke, Esquire (via e-mail)
David Citro, PE, Mainstay Engineering Group, Inc., 212 North Main, Street, North Wales, PA 19454



Civil Engineering
Structural Engineering
Project Management

September 26, 2017

Township of East Goshen
Mr. Mark Gordon, Director of Code Enforcement / Zoning Officer
1580 Paoli Pike
West Chester, PA 19380

RE: Synthes USA HQ, Inc. – 1303 Goshen Parkway – Conditional Use.
MEG Reference No. 16466.1

RECEIVED
SEP 26 2017

Mr. Gordon:

We are in receipt of a review letter dated September 15 from Pennoni regarding the above-referenced Conditional Use application. With this letter, we are re-submitting fifteen (15) revised copies of the Conditional Use Plan (1 sheet) and Landscaping Plans (2 sheets). With regard to the Pennoni review, we offer the following by-item response using the same numbering convention.

1. No plan response required.
2. We offer the following responses:
 - a. No plan response required.
 - b. No plan response required.
 - c. No plan response required.
 - d. No plan response required.
 - e. No plan response required at this time.
 - f. Please refer to the revised Landscaping Plan and Details.
3. Detailed tabulations of Area and Bulk Requirements are shown on the Conditional Use plan.
4. Screening will be provided for exterior equipment uses at the time of Permitting.
5. No plan response required at this time.
6. A parking tabulation is now provided.
7. A parking island has been added on the east side to break up the number of parking spaces in a row.
8. Please refer to the revised Landscaping Plan and Details.
9. The need for temporary easements will be addressed, if applicable, during Land Development design.

Please process the enclosed for review, and we look forward to our appearance before the Planning Commission on October 4.


Best Regards,
Mainstay Engineering Group, Inc.

David F. Citro, P.E.
Civil Engineering Department Manager

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Voice: 610-692-7171
Fax: 610-692-8950
E-mail: mgordon@eastgoshen.org

Date: 9/29/2017
To: Planning Commission
From: Mark Gordon, Township Zoning Officer 
Re: Signs in the BP District

Dear Commissioners,

We did a survey of the wall signage in the Business Park District and found the Buildings have heights of 20-28 feet and entry way heights of 10 feet for the most part. Also the existing landscaping is well established in the park and wall signs at 10 feet high will be obscured.

The Staff recommendation is to consider an amendment to the maximum height from 10 feet to 20 feet. We also believe the maximum size of the signage should be adjusted to more a more appropriate size. Our recommendation would be to limit the area of wall signs to 40 or 50 s.f.

Enterprise Dr Signage							
	Address	Company	BH	Front Door Band	Monument Sign		
	(Outer loop)						
1	1336 Enterprise Dr	CTDI	28'	Already has Zoning approval			
2	1334 Enterprise Dr	CTDI	20	13' h x 15' w door 8' h	53" h x 42" w		
3	1332 Enterprise Dr	PALCS	20'	4' h x 40" w	4' x 4'		
4	1330 Enterprise Dr	Advance Audio	20'	5 1/2' h x 15' w	3' h x 5 1/2" w		
5	1427 Enterprise Dr	Kantar Media	20'	5 1/2" h x 15' w	5 1/2" h x 3' w		
6	1381 Enterprise Dr	CTDI	28'	2 separate doors f-			
7	1373 Enterprise Dr	CTDI	28'	4' high x 27' w	2 signs 5' h x 42" w		
8	1365 Enterprise Dr	QVC	28'	Already has Zoning approval			
9	parking		NA				
10	parking		NA				
11	private		NA				
12	private		NA				
13	1340 Enterprise Dr	ACERO	24'	Will be adding 2 story office	5 1/2" x 5 1/2"		
	(Inner Loop)			5 1/2" h x 5 1/2" w			
14	1389 Enterprise Dr	CTDI	20'	7' h x 10' w	3 1/2' h x 9 1/2" w		

15	1380 Enterprise Dr	Corpor/Kantar Media/Frensena	20'	10' h x 20' w / 10' h x 40' w / Waiting for Zoning approval	3' h x 5 1/2' w
16	1372 Enterprise Dr	Star Printing	20'	10' h x 40' w	5 1/2' h x 3' w
17	1365 Enterprise Dr	QVC parking	NA		
18	1363 Enterprise Dr	Ball Field	NA		
19	1344 Enterprise Dr	Techin-plast/Thera	28'	5 1/2" h x 19' w	4' h x 11' w

CTDI (1334 Enterprise Dr.) Wall height 20'

1. Front Door sign band (front door) 13' h x 40' w. door 8'
2. Monument sign approx. 53" h x 42" w



PA Leadership Charter School (1332 Enterprise Dr.)

1. Wall height is 11'.
2. Front Door sign band (front door) 40" x4' high.
3. Monument sign approx. 4' x4'



Advance Audio (1330 Enterprise Dr.)

1. Wall height 20'
2. Front Door sign band (front door) 5 1/2' high x 15' wide.
3. Monument sign approx. 5 1/2' wide x 3' wide



Kantar Media (1385 Enterprise Dr.)

1. Wall height 20'
2. Front Door sign band (front door) 5 1/2' high x 15' wide.
3. Monument sign approx. 5 1/2' wide x 3' wide



CTDI (1373 Enterprise Dr.) Wall height 20'

1. Building wall height 27' approx
2. Front Door sign band (front door) 27' high x 28 1/2' wide.
3. Monument sign approx. 2 @ 42" wide x 5' wide



CTDI (1373 Enterprise Dr.) Wall height 20'

1. Building wall height 27' approx
2. Front Door sign band (front door) 27' high x 28 1/2' wide.
3. Monument sign approx. 2 @ 42" wide x 5' wide



Enterprise Drive Existing Signs

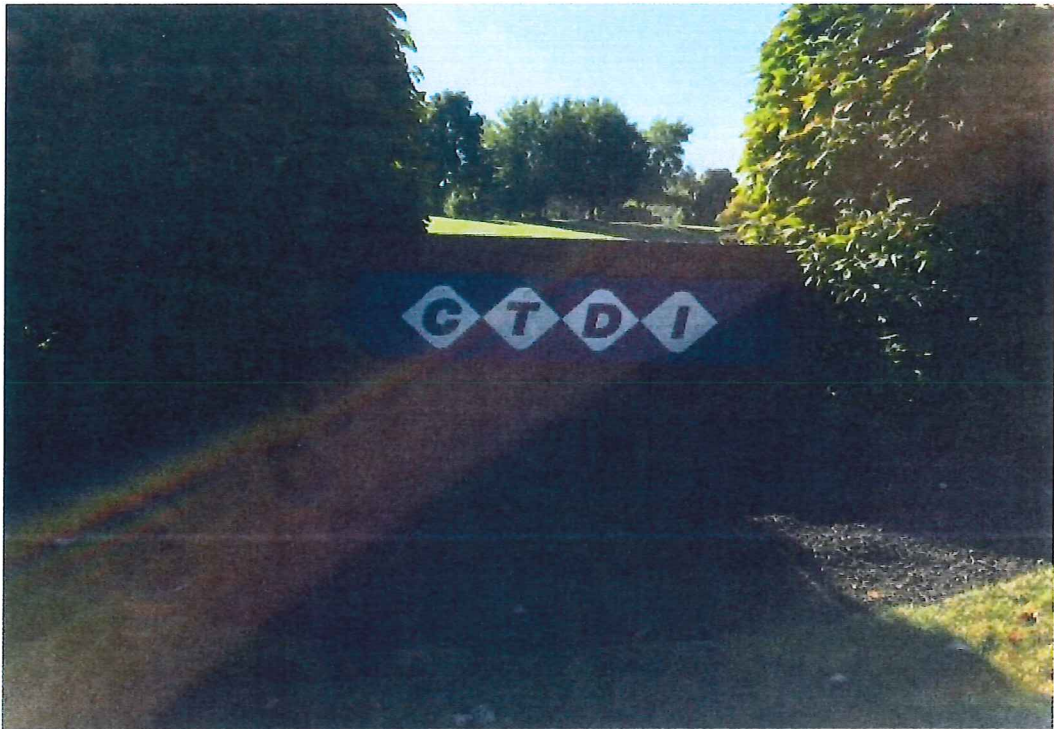
ACERO

1. No wall signs yet, have had discussion due to future building addition.
2. Front Door sign band (front door) 5 1/2' high x 51/2' wide.
3. Monument sign approx. 5 1/2' x 5 1/2'



CTDI (Inner Loop building (1339 Enterprise Dr.)

1. Wall height 20'
2. Front Door sign band (front door) 10' wide x 7' high.
3. Monument sign approx. 9 1/2' wide x 3 1/2" high



Corpro (1380 Enterprise Dr.) left side of 3 occupant bldg.

1. Wall height 20'
2. Front Door sign band (front door) 10' high x 20' wide.
3. Monument sign approx. 5 1/2' wide x 3' wide



Kantar Media (1380 Enterprise Dr.) center of 3 occupant bldg.

1. Wall height 20'

2. Front Door sign band (front door) 10' high x 40' wide.

3. Monument sign approx. 5 1/2' wide x 3' wide



Star Printing (1372 Enterprise Dr.) Wall height 20'

1. Front Door sign band (front door) 10' h x 40'w.

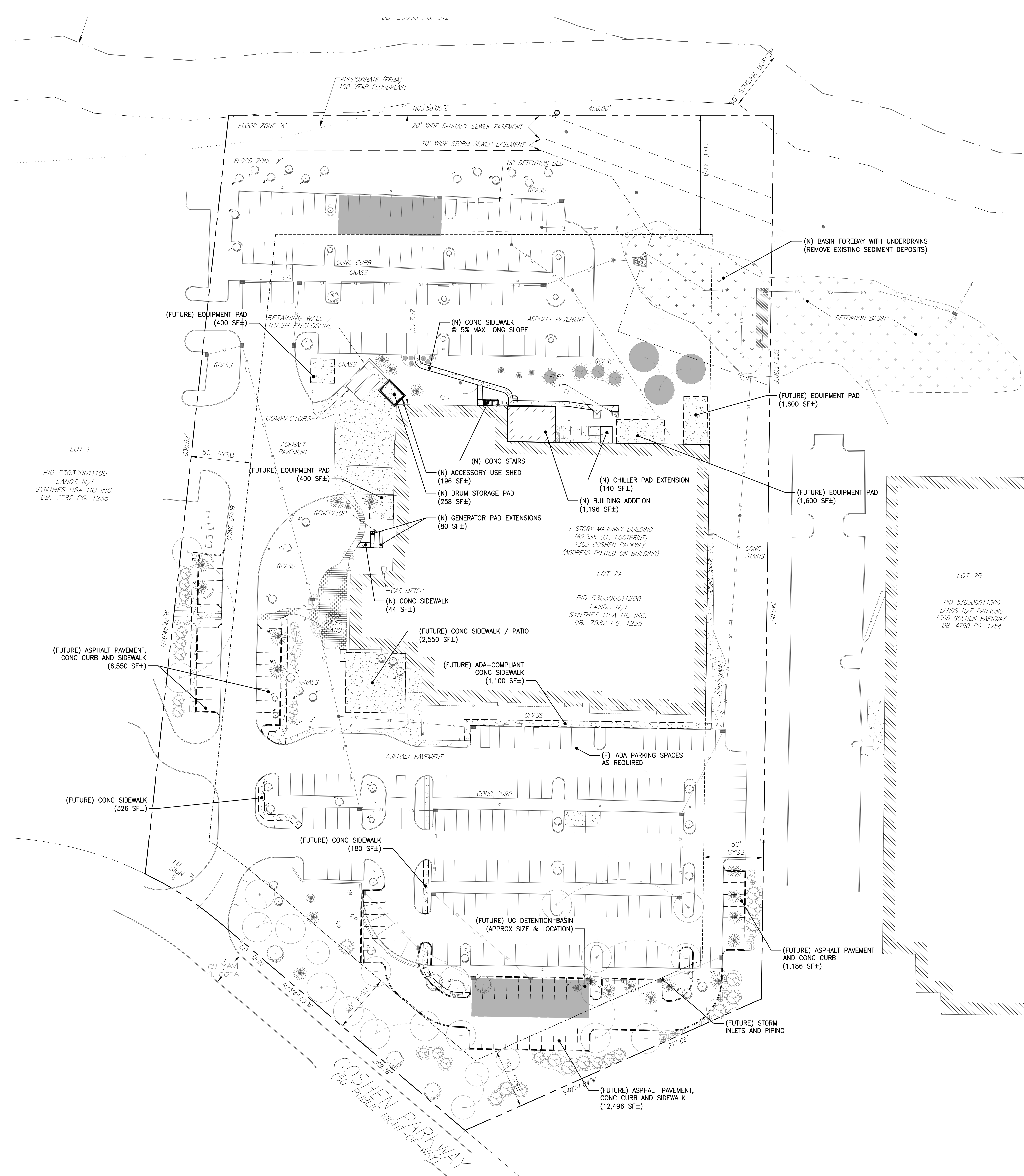
2. Monument sign approx. 501" h x 3' w



Techniplast-Thera (1330 Enterprise Dr.)

1. Front Door sign band (front door) 5 1/2' high x 19' wide.
2. Monument sign approx. 11' wide x 4' high





GENERAL NOTES:
 1. SITE SERVICED BY PUBLIC SANITARY SEWER AND PUBLIC WATER SUPPLY.
 2. SOIL DATA TAKEN FROM SOIL SURVEY OF CHESTER AND DELAWARE COUNTIES AND PER PLAN REFERENCED IN NOTE #1.
 3. ALL INLET GRATES ARE TO BE SUMPED TWO INCHES.
 4. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EAST GOSHEN TOWNSHIP DESIGN SPECIFICATIONS.
 5. ALL SIGNS SHALL CONFORM WITH SECTION 240-22 OF E.G.T.

CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. BEFORE THE START OF WORK, BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776

UTILITIES TO BE NOTIFIED

AQUA PA (CLEAR - NO FACILITIES)
 AT & T (CLEAR - NO FACILITIES)
 COMCAST CABLE (DID NOT RESPOND)
 CROWN CASTLE (FACILITIES PRESENT)
 DEPUY SYNTHES (FACILITIES PRESENT)
 EAST GOSHEN TWP MUNICIPAL AUTH
 LEVEL 3 COMMUNICATIONS (CLEAR - NO FACILITIES)
 PECC ENERGY (FACILITIES PRESENT)
 SUNOCO PIPELINE/ATLANTIC PIPELINE/CHEVRON (CLEAR - NO FACILITIES)
 TRANSCONTINENTAL GAS PIPELINE CORP. (CLEAR - NO FACILITIES)
 VERIZON PENNSYLVANIA (DID NOT RESPOND)

CERTIFICATE OF CONFORMANCE
 I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS.

David F. Citro
 DAVID F. CITRO, P.E.

OWNER/APPLICANT
 SYNTHES USA HQ INC
 1302 WRIGHTS LANE EAST
 WEST CHESTER PA 19380-3417

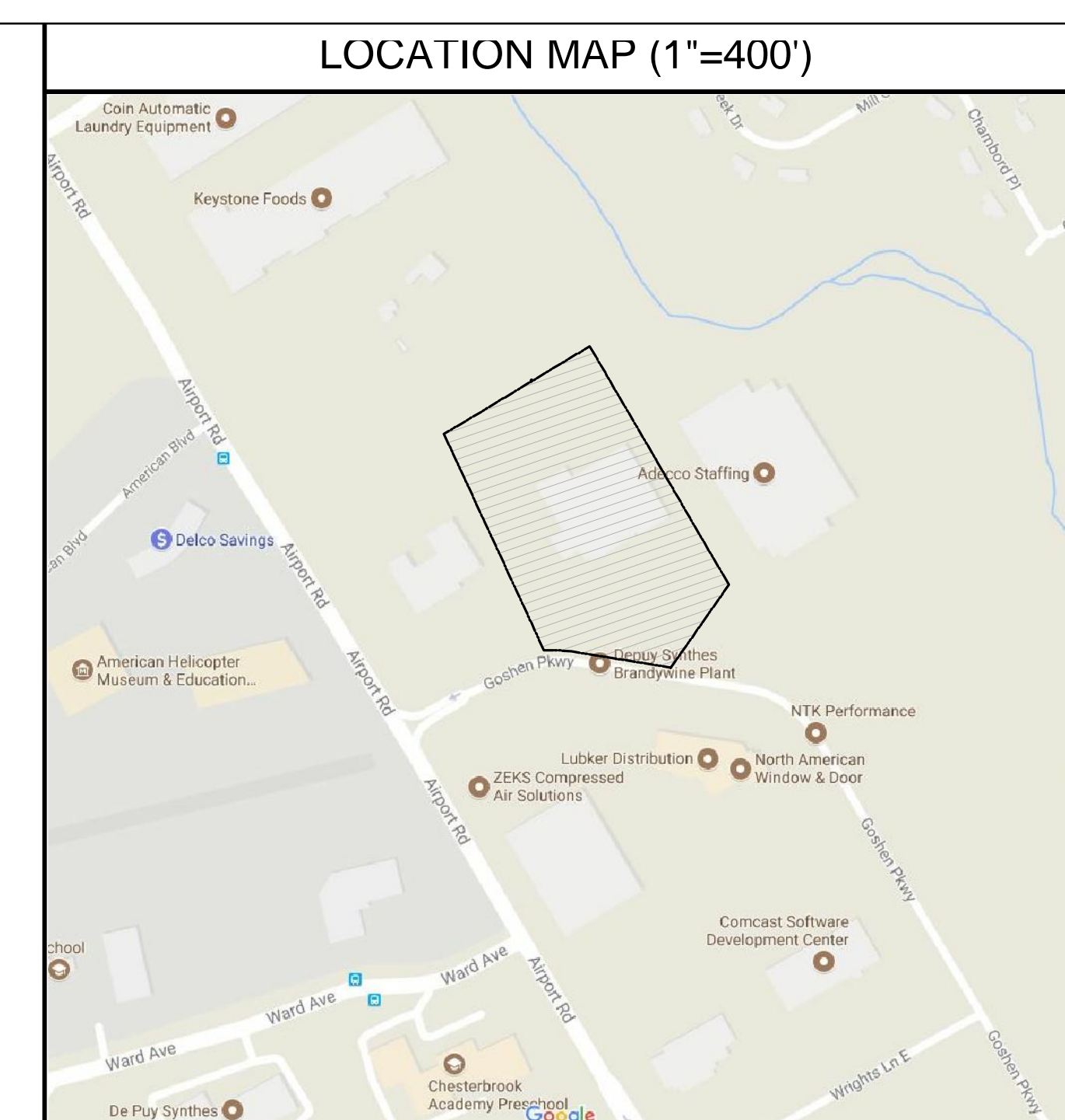
USE	DESCRIPTION	GFA (SF)	REQUIRED
PRODUCTION	1 space per 1,000 sq. ft. of gross floor area or 1 space per employee on the largest shift, whichever is greater	58,700	59
OFFICE	4 spaces per 1,000 sq. ft. of gross floor area or 1 space per each employee on the largest shift, whichever is greater	5,000	20
REQUIRED PARKING BASED ON EMPLOYEE COUNT			
EMPLOYEE COUNT @ MAXIMUM SHIFT CHANGE		192	192
PARKING TOTAL		192	252
		192	288

ZONING SUMMARY
 1303 GOSHEN PARKWAY, EAST GOSHEN, PA
 COUNTY OF CHESTER

ZONING DISTRICT: I-1 LIGHT INDUSTRIAL
 LAND USE: PRODUCTION
 FLOOD HAZARD ZONE: X, A

CATEGORY	BULK REQUIREMENTS		
	REQUIRED	EXISTING	PROPOSED
LOT AREA	174,240 SF	376,010 SF	376,010 SF
LOT WIDTH	200 FT	345 FT	345 FT
BUILDING COVERAGE	16.59%	62.385 SF	17.03% 64,031 SF
MAX IMPERVIOUS COVERAGE	60% 225,806 SF	55% 206,806 SF	59.61% 224,132 SF
MAX BUILDING HEIGHT	35 FT	28 FT	28 FT
FRONT YARD	50 FT	172.24 FT	172.24 FT
REAR YARD	100 FT	242.40 FT	242.40 FT
SIDE YARD	50 FT	50 FT	50 FT

*60% TOTAL IMPERVIOUS COVER ALLOWED BY CONDITIONAL USE [SECTION 240-31.C.(3).(qq)]. STORMWATER MANAGEMENT WILL BE DESIGNED FOR THE MAXIMUM ALLOWABLE IMPERVIOUS COVER (60%).



COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER
 ON THE _____ DAY OF _____ A.D. 20____ BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____ PERSONALLY APPEARED _____ WHO ACKNOWLEDGES HIMSELF TO BE THE _____ OF _____ A CORPORATION, AND THAT AS SUCH TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THE NAME OF THE SAID CORPORATION BY HIMSELF AS _____ THAT THE SAID CORPORATION IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT THE SAID CORPORATION DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____

REVIEWED BY THE PLANNING COMMISSION OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA, THIS _____ DAY OF _____ 20____

CHAIRMAN _____ MEMBER _____
 VICE-CHAIRMAN _____ MEMBER _____
 MEMBER _____ MEMBER _____
 MEMBER _____

APPROVED BY THE BOARD OF SUPERVISORS OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA, THIS _____ DAY OF _____ 20____

CHAIRMAN _____ SUPERVISOR _____
 VICE-CHAIRMAN _____ SUPERVISOR _____
 SUPERVISOR _____

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____ 20____

SECRETARY _____
 APPROVED BY THE EAST GOSHEN TOWNSHIP ENGINEER: _____ DATE _____
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____ ON THE _____ DAY OF _____ 20____
 (DEPUTY) RECORDER OF DEEDS _____

- EXISTING FEATURES LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - SETBACK LINE
 - EASEMENT LINE
 - FLOODPLAIN LINE
 - BUILDING
 - RETAINING WALL
 - CURB
 - DEPRESSED CURB
 - CONCRETE PAD
 - CONCRETE WALK
 - RIPRAP
 - PAVEMENT
 - CHAIN LINK FENCE
 - LIGHT POLE
 - FIRE HYDRANT
 - UG STORM
 - UG SWM
 - SURFACE SWM

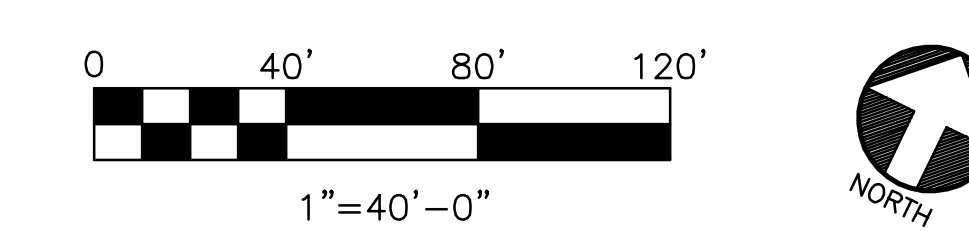
- NEW WORK LEGEND**
- BUILDING ADDITION
 - CONC STAIRS
 - CONC WALK
 - CONC PAD
 - SURFACE SWM

- FUTURE WORK LEGEND**
- CONC WALK
 - CONC CURB
 - CONC WALL
 - CONC PAD
 - STRIPING

SITE DATA

- PROPERTY IS KNOWN AS UPI 53-3-1.12 IN THE TOWNSHIP OF EAST GOSHEN, CHESTER COUNTY, PENNSYLVANIA.
- LOT AREA = 376,010 S.F. OR 8.6320 AC.
- NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR; NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.
- TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY FIRST ORDER, LLC.
- DATE OF FIELD SURVEY = MARCH 16, 2017 BY FIRST ORDER, LLC.

CONDITIONAL USE
 CO.11 SCALE: 1" = 40'-0"

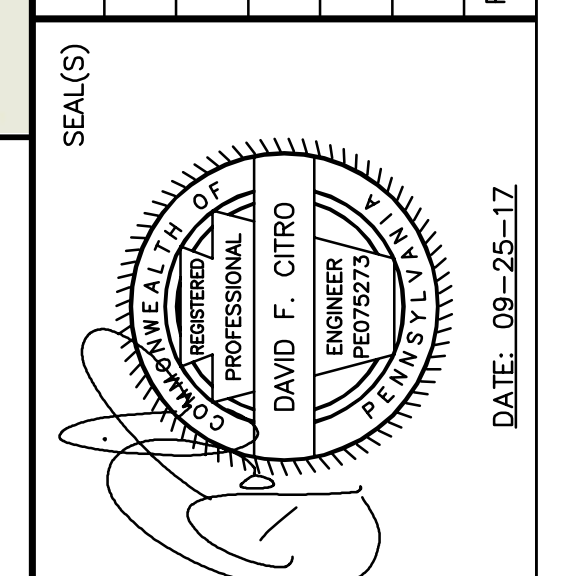


NOTE: THIS PLAN SHALL SUPERCEDE ALL PLANS PREVIOUSLY APPROVED AND RECORDED FOR THIS PROPERTY.

THIS PROPOSED CONDITIONAL USE PLAN IS SUBMITTED FOR ADDITIONAL IMPERVIOUS COVERAGE AND PARKING IN ACCORDANCE WITH THE EAST GOSHEN TOWNSHIP ZONING ORDINANCE [SECTION 240-31.C.(3).(qq)].

PRELIMINARY NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION
A	08-28-17	CONDITIONAL USE APPLICATION
B	09-25-17	PER TOWNSHIP ENGR LETTER AND PC COMMENTS
DFC		
DFC		
BY		

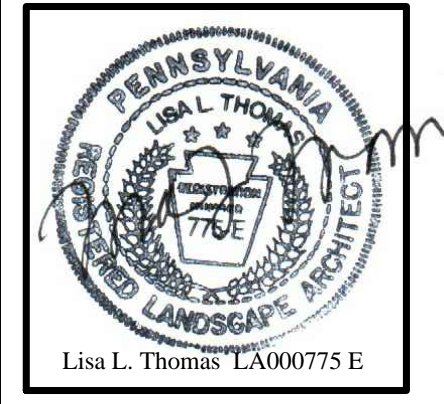


Mainstay ENGINEERING GROUP, INC.
 CIVIL & STRUCTURAL ENGINEERS
 212 North Main Street
 North Wales, PA 19454
 Tel: (215) 646-5588
 Fax: (215) 646-5588
 www.mesgr.com

CONDITIONAL USE PLAN
 DEPUY SYNTHES BRANDWINE PLANT UPGRADE WESTER CHESTER CHESTER COUNTY, PA

DATE: 08/25/2017
 DRAWN: JPD
 REVIEWED: DFC
 SCALE: AS NOTED
 PROJECT ID: 16466.1

CO.11



CONDITIONAL USE LANDSCAPE PLAN
DePuy Synthes Brandywine Plant Upgrade
 EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

DATE: 08/25/17 (gs)
 REV.: 09/26/17 (mw)

PROJECT #: 17-072

Landscape Plan

SHEET:

LP-1

GENERAL NOTES:

1. Base information including topography, grading, utilities, building and existing vegetation location prepared by Mainstay Engineering Group, Inc., August, 2017.
2. This plan is for landscaping purposes only.
3. The Landscape Architect's seal applies only to the landscape portion of this plan.
4. See Sheet LP-2 for Planting Details and Planting and Maintenance Notes.
5. All plant material is to be field adjusted as necessary to address existing site conditions, proposed unit landscaping, and to ensure that clear sight triangles and clear sight lines are maintained.
6. Proposed shade trees shall not be planted over the top of any sewer or water laterals, mains or services. Sewer and water laterals, mains and services are shown on Landscape Plans for reference only. See engineers plans for location of all utilities.
7. Shade and evergreen trees shall be planted fifteen (15) feet from overhead utility lines or light standards. Utilities are shown on Landscape Plans for reference only. See engineers plans for location of all utilities.
8. All plantings shall be permanently maintained.
9. All trees shall be pruned as necessary to maintain required light levels.
10. Tree locations provided by Mainstay Engineering Group, Inc. and Google aerial imagery.

LEGEND:

- PROPOSED EXISTING TREE TO BE REMOVED
- FUTURE EXISTING TREE TO BE REMOVED
- EXISTING DECIDUOUS AND EVERGREEN TREES
- PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED DECIDUOUS SHRUBS
- PROPOSED EVERGREEN SHRUBS
- FUTURE EVERGREEN TREE
- FUTURE DECIDUOUS TREE
- FUTURE EVERGREEN SHRUBS
- FUTURE DECIDUOUS SHRUBS
- PROPOSED BEDLINE

PARKING LOT LANDSCAPING - ZONING- SECTION 240-31.QQ.4.A

Additional landscaping shall include a minimum of two deciduous or evergreen trees and four deciduous or evergreen shrubs for each 3,000 square feet of impervious coverage above the 50% maximum impervious coverage.

IMPERVIOUS SURFACE AREA ABOVE 50% MAXIMUM - 37,601 SF

ADDITIONAL LANDSCAPING	REQUIRED	PROVIDED
DECIDUOUS OR EVERGREEN TREES	25	25
DECIDUOUS OR EVERGREEN SHRUBS	50	50

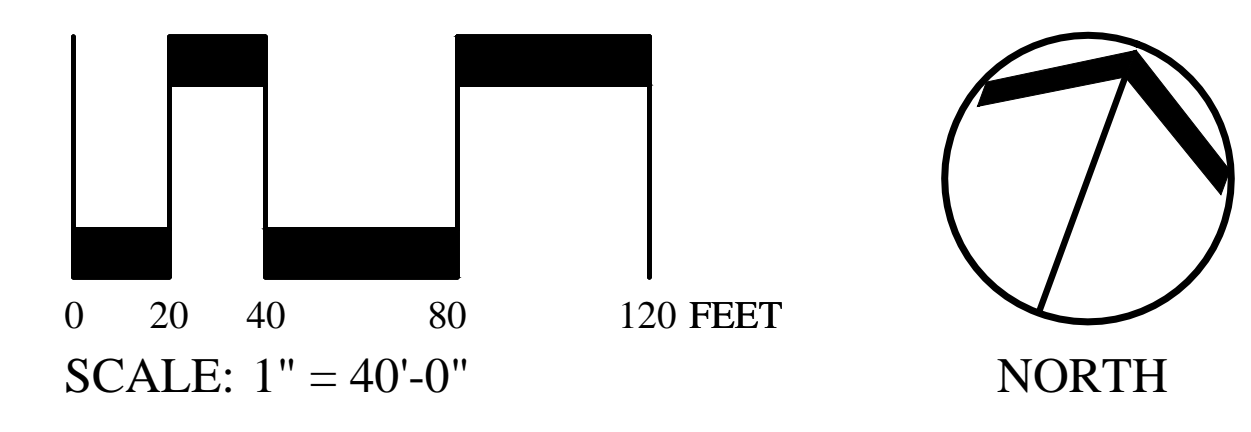
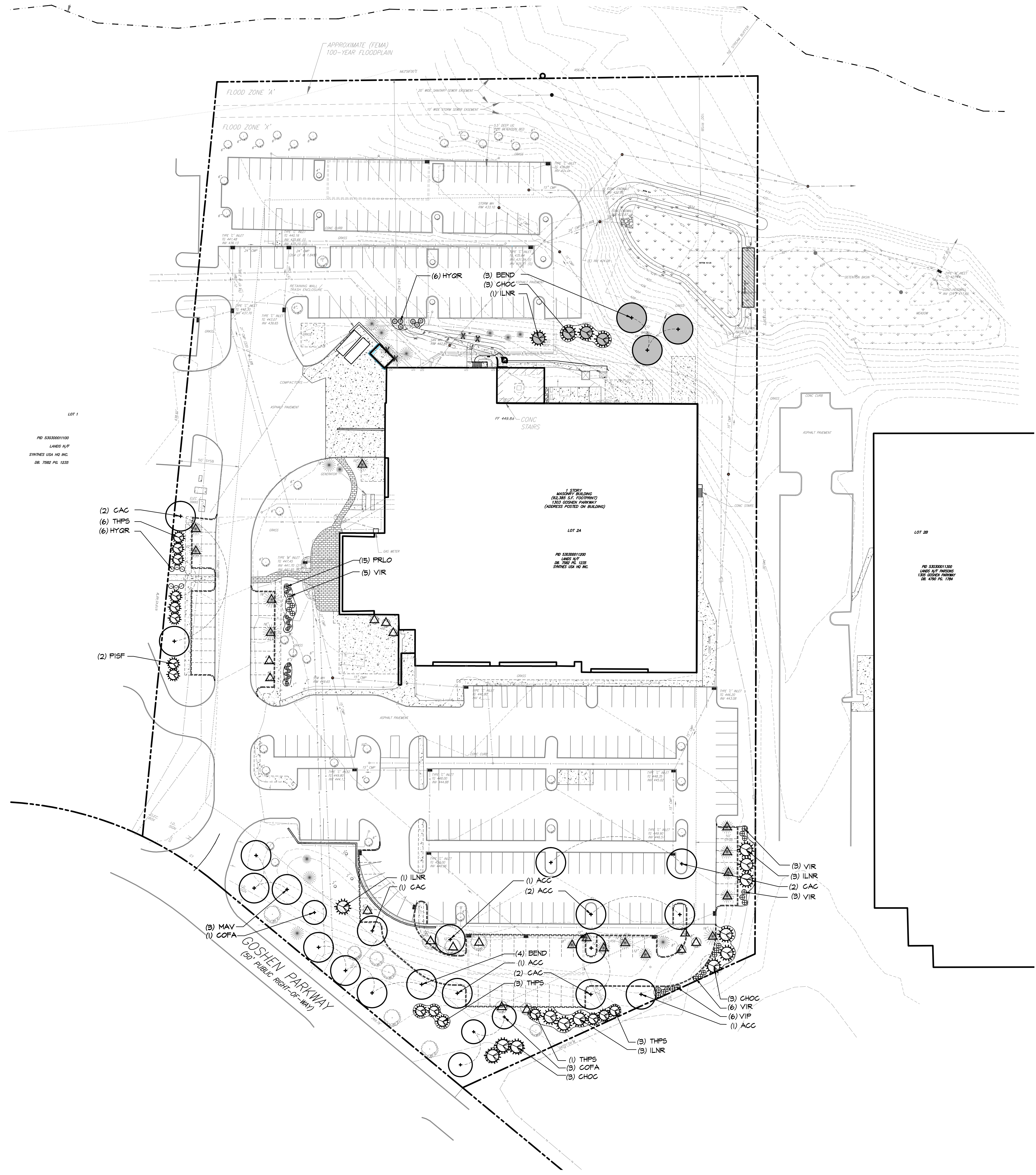
REPLACEMENT LANDSCAPING

PLANT MATERIAL	PROPOSED		FUTURE		TOTAL	
	REMOVAL	REPLACEMENT	REMOVAL	REPLACEMENT	REMOVAL	REPLACEMENT
DECIDUOUS TREES	-	-	14	14	14	14
EVERGREEN TREES	4	4	15	15	19	19
TOTAL REPLACEMENT TREES:						33

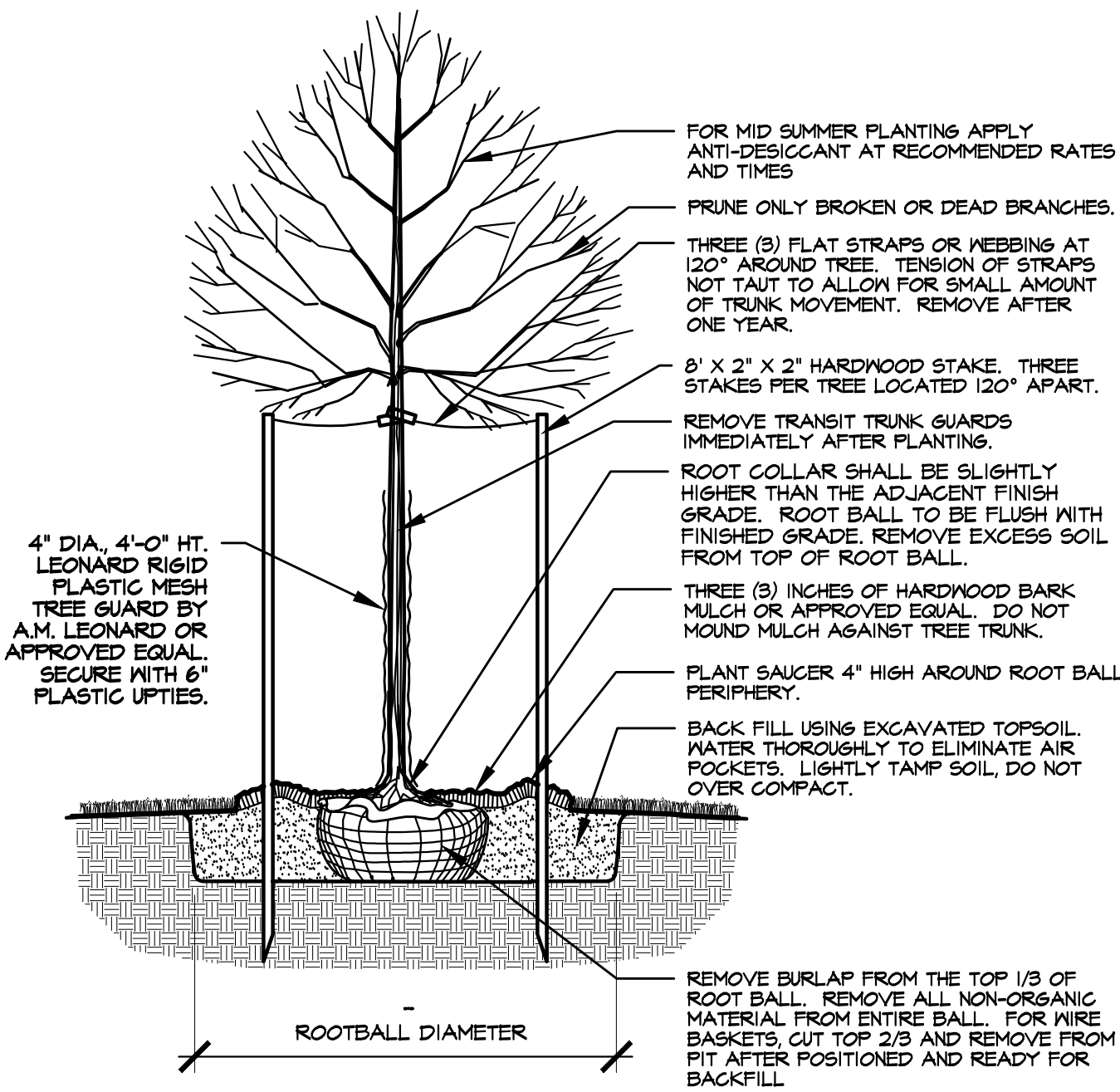
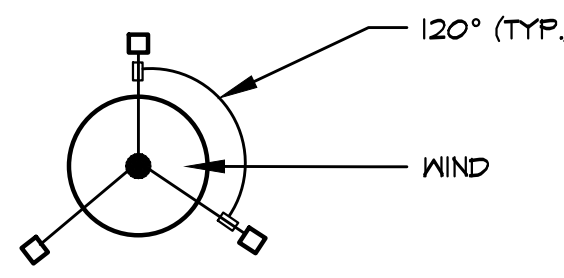
PLANT LIST:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	Mature Ht.
DECIDUOUS TREES						
ACC	5	Acer campestre	Hedge Maple	2'-2.5' cal.	B&B	25'-35'
BEND	7	Betula nigra 'DURA-HEAT'	Dura-Heat River Birch	10'-12' ht.	B&B	30'-40'
CAC	7	Carpinus caroliniana	Muscledwood	2'-2.5' cal.	B&B	20-35'
COFA	4	Cornus florida 'Appalachian Spring'	Appalachian Spring Flowering Dogwood	10'-12' ht.	B&B	15'-20'
MAV	3	Magnolia virginiana	Sweet Bay Magnolia	10'-12' ht.	B&B	15'-35'
EVERGREEN TREES						
CHOC	9	Chamaecyparis obtusa 'Compacta'	Compact Falsecypress	8'-10' ht.	B&B	25'
ILNR	8	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	8-10' ht.	B&B	15'-25'
PISF	2	Pinus strobus 'Fastigata'	Columnar White Pine	8-10' ht.	B&B	30'-40'
THPS	13	Thuja plicata 'Spring Grove'	Spring Grove Arborvitae	8-10' ht.	B&B	25-30'
SHRUBS						
HYQR	12	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Oakleaf Hydrangea	30'-36' ht.	Cont.	
PRLO	15	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel	30'-36' ht.	Cont.	
VIR	17	Viburnum thibaidophyllum	Leatherleaf Viburnum	30'-36' ht.	Cont.	
VIP	6	Viburnum x pragensis	Prague Viburnum	30'-36' ht.	Cont.	

NOTE:
 1. Where there is a discrepancy between the plant list and plan, the plan shall prevail.



GUY SPACING DIAGRAM

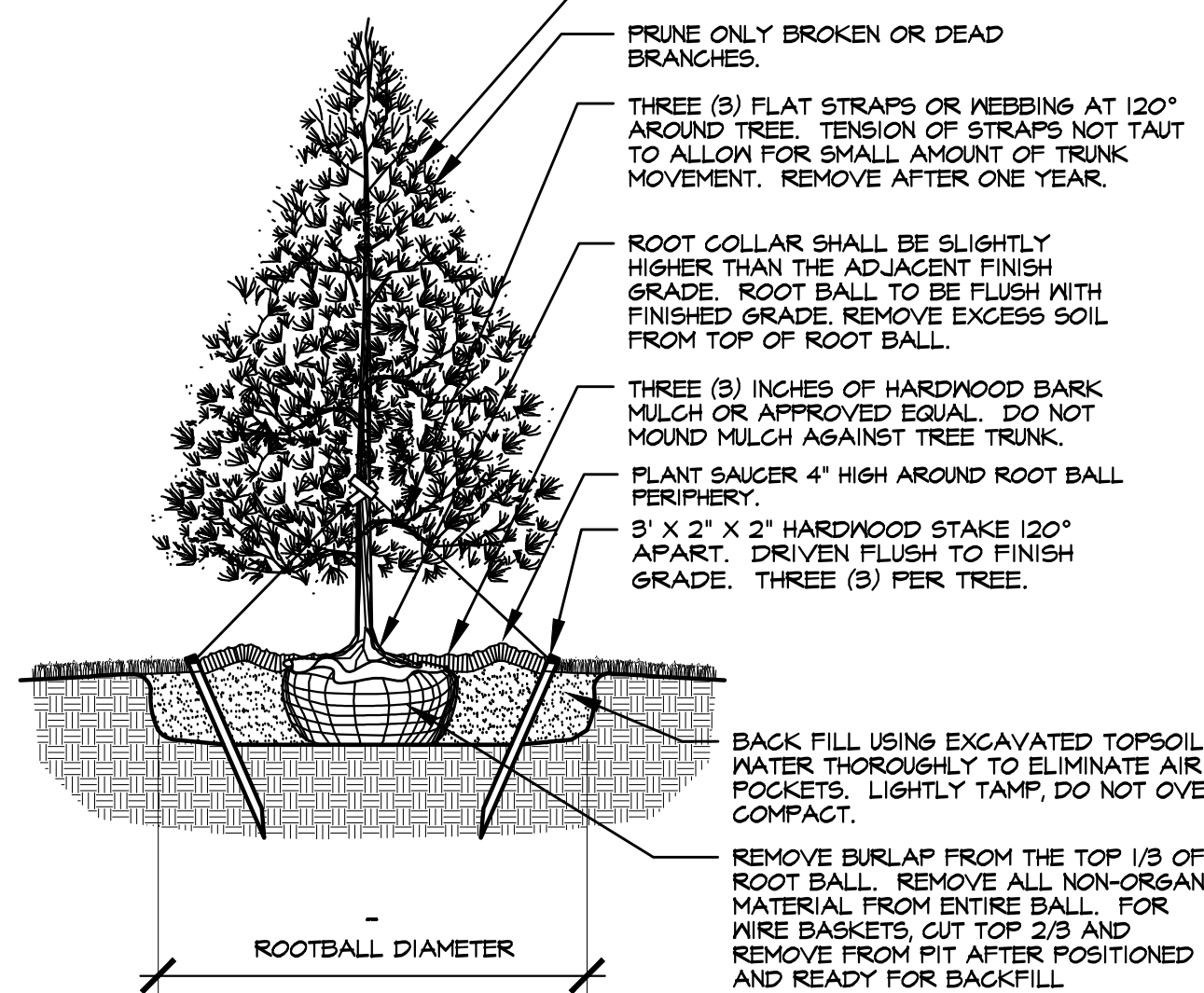
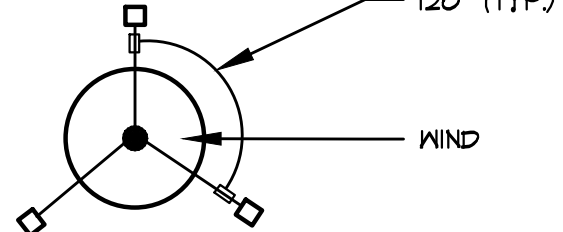


NOTES:

1. Trees with poor quality root balls or root balls that have been cracked or damaged shall be rejected.
2. Trees with central leader broken or dead shall be rejected.
3. Trees that do not display the typical characteristics for their species shall be rejected.
4. Flood planting pit with water twice within 24 hours of planting.

1 DECIDUOUS TREE WITH STAKES DETAIL
NTS

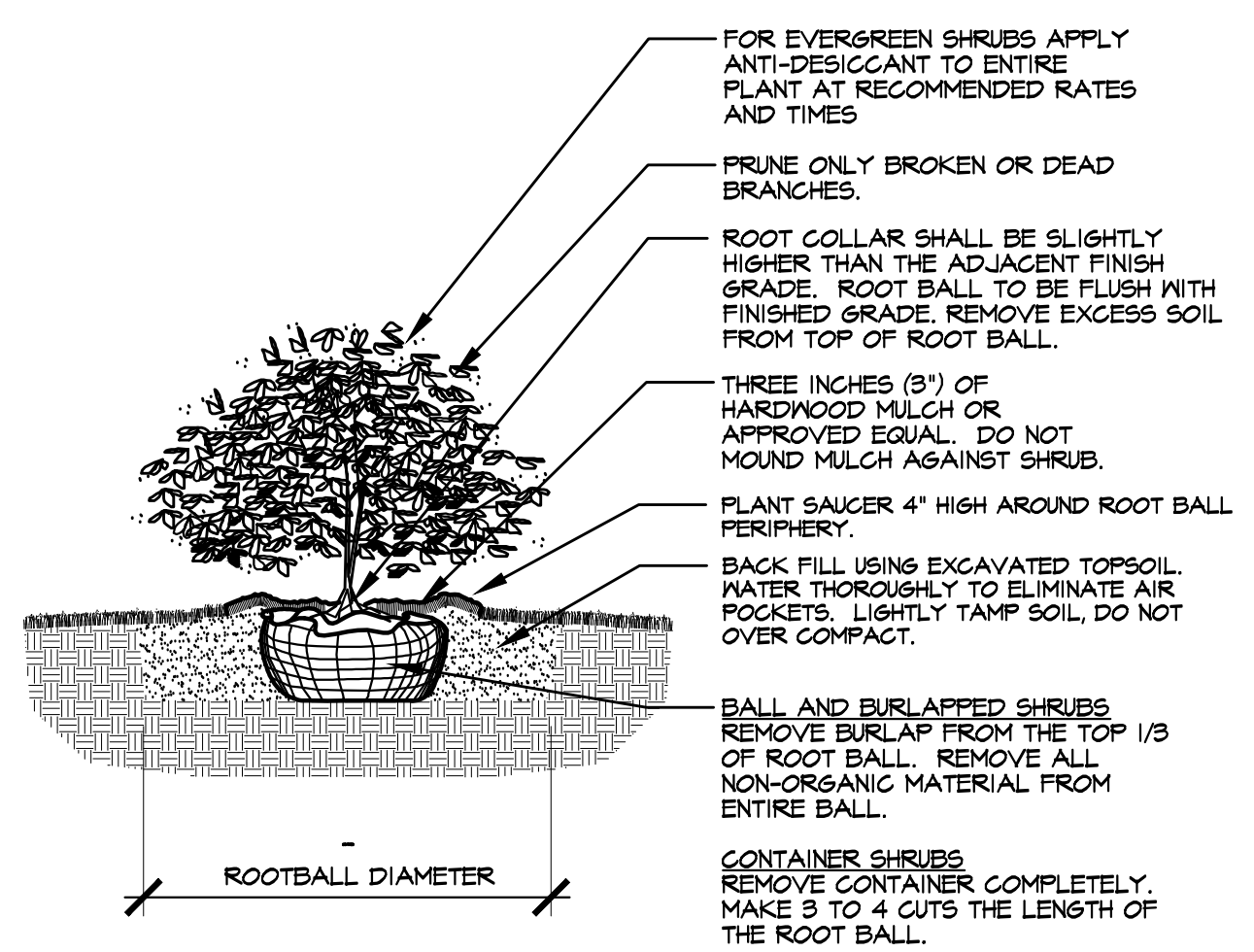
GUY SPACING DIAGRAM



NOTES:

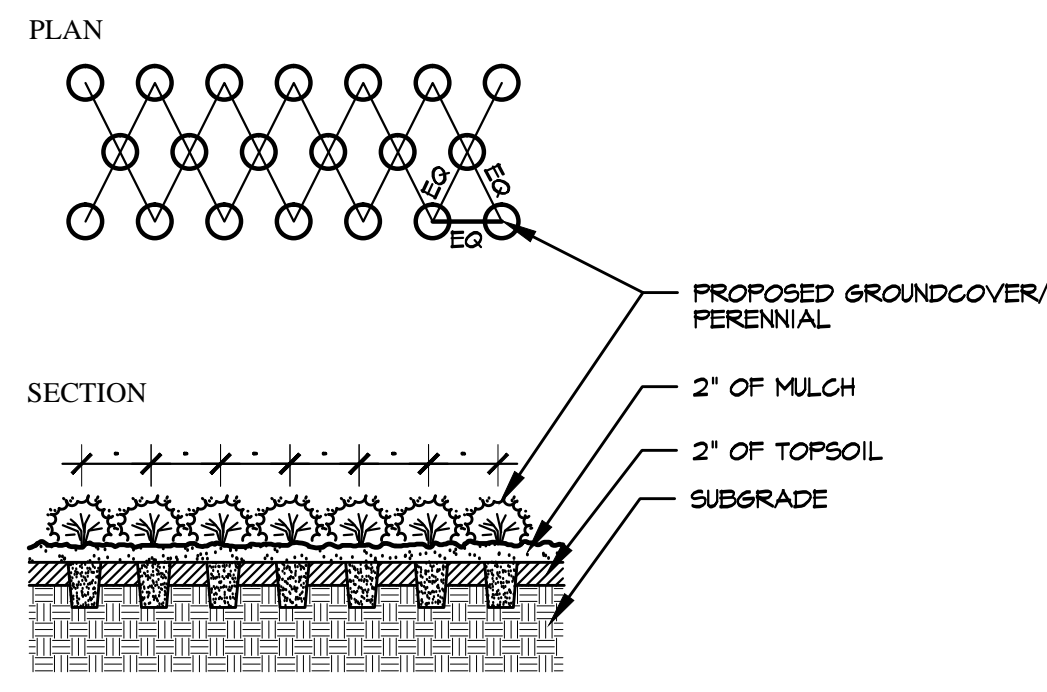
1. Trees with poor quality root balls or root balls that have been cracked or damaged shall be rejected.
2. Trees with central leader broken or dead shall be rejected.
3. Trees that do not display the typical characteristics for their species shall be rejected.
4. The owner shall be responsible for contacting the contractor, who shall right and secure any tree that leans out of plumb.
5. Flood planting pit with water twice within 24 hours of planting.

2 EVERGREEN TREE WITH STAKES DETAIL
NTS



- NOTE: FLOOD PLANTING PIT WITH WATER TWICE WITHIN 24 HOURS OF PLANTING.**

3 SHRUB DETAIL
NTS



- NOTES:**
1. Plants must be planted in bedding mix or topsoil not mulch.
2. See planting list for groundcover species, size, and spacing dimension.

4 PLANTING DETAIL
NTS

PLANTING NOTES:

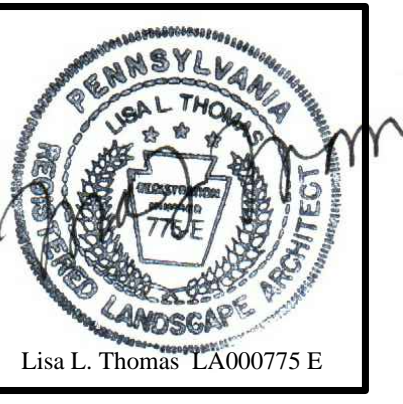
1. The contractor shall furnish and plant all plants shown on the drawings, as specified, and in quantities indicated on the plant list.
2. All plants shall be nursery grown and freshly dug.
3. All plants shall be in accordance with The American Standard for Nursery Stock, latest edition.
4. All plants shall be hardy under climatic conditions similar to those in the locality of the project.
5. Fall Digging Hazard: Any species listed below, if included on the plant list, must not be dug in the fall (October through December) because of risk to the tree's survival. Special exceptions may be granted if the owner is notified in writing and an extended warranty on these plants is agreed upon prior to digging. The following varieties should not be dug in fall: Betula, Carpinus, Celtis, Cercidiphyllum, Crataegus, Cryptomeria, Fagus, Halesia, Ilex (tree form varieties), Liquidambar, Liriodendron, Nysa, Ostrya, Prunus, Pyrus, Quercus (except Quercus palustris), Salix weeping varieties, and Tilia tomentosa. Digging for Malus and Zelkova varieties should be avoided in fall only when in leaf.
6. All plants shall be typical of their species or variety and shall have a normal habit or growth. They shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They shall be certified by appropriate State and Federal authorities to be free of disease and insect pests, eggs or larvae. They shall have healthy, well-developed root systems.
7. Trees with central leader broken or dead shall be rejected.
8. Plants that do not display typical characteristics for their species shall be rejected.
9. Substitutions: When plants of a specified kind or size are not available within a reasonable distance, substitutions may be made upon written request by the contractor, if approved by the owner and/or municipal authority.
10. Measurement: Dimensions of trees and shrubs shall conform to The American Standard for Nursery Stock, latest edition.
11. Size: All plants shall conform to the measurement specified on the plant list, unless authorized in writing by the Township Arborist and the owner.
12. Balled and burlapped plants shall be dug with firm natural balls of earth, of diameter and depth to include most of the fibrous roots. Container grown stock shall have been grown in a container long enough for the root system to have developed sufficiently to hold its soil together firm and whole. No plants shall be loose in the container.
13. Plants with poor quality root balls or root balls that have been cracked or damaged shall be rejected.
14. Root balls of all plants shall be adequately protected at all times from sun and drying winds or frost.
15. Conditions detrimental to plants: The contractor shall notify the project representative in writing of all soil or drainage conditions which the contractor considers detrimental to the growth of plants. The contractor shall state the conditions and submit a proposal for correcting the conditions, including any change in cost, for review and acceptance by the project representative.
16. The owner or the owner's representative shall be notified prior to beginning planting operations.
17. All planting shall be at the locations indicated on the drawings. The contractor shall be responsible for planting at the correct grades, alignment, and to the indicated layout of the planting beds.
18. Layout of planting: The contractor shall lay out with identifiable stakes the location of all planting beds as indicated on drawing. The layout of planting shall be approved by the project representative prior to any excavation of plant pits or plant beds.
19. Minor adjustments to plant locations may be necessary due to field conditions and final grading. The contractor shall notify the owner if major adjustments are required.
20. Do not install plants when ambient temperatures may drop below 35°F or above 90°F.
21. Do not install plants when wind velocity exceeds 30 mph.
22. Planting operations to commence only when preceding work within the area has been completed. Proceed with and complete planting as rapidly as portions of the site become available, working within seasonal limitations.
23. Planting soil shall be excavated native soil and topsoil from the planting pit. The planting soil shall be thoroughly mixed, with all rocks, clods and roots removed.
24. All trees shall be staked and guyed only in cases of steep slopes or high wind areas, and as noted on the planting details.
25. Each tree and shrub shall be pruned in accordance with The American Nursery and Landscape Association Standards to preserve the natural character of the plant. All dead wood or suckers and all broken or badly bruised branches shall be removed.
26. Mulch: Immediately after planting operations are completed, all trees and shrub planting pits shall be covered with a 3" (three-inch) layer of double shredded hardwood bark mulch, or other material approved by the owner or the owner's representative. A granular pre-emergent weed control shall be spread prior to mulching. The limit of this mulch for deciduous trees and single evergreen trees shall be the area of the pit. For shrub and perennial beds and for evergreen tree clusters, a continuous, mulched bed shall be created.
27. Trees in leaf, including evergreens, when planted shall be treated with anti-desiccant such as Wilt-Pro if planted during the months of June through September, November, and December.
28. Weed control: All planting areas shall be free from weeds prior to the beginning of planting operation. Contact herbicide sprays should only be used as required and all manufacturer's specifications followed.
29. Guarantee: All plant material shall be guaranteed by the contractor for eighteen (18) months from the date of installation. The owner shall be responsible for maintenance unless otherwise agreed with contractor. It shall be the contractor's responsibility to monitor the project during the guarantee and notify the owner if problems develop with the plant material. Any material that is 25 % dead or more shall be considered dead and must be replaced at no charge. A tree shall be considered dead when the main leader has died back, or there is 25% of the crown dead.
30. All debris resulting from landscape contracting operations shall be cleaned up and removed from the site on a weekly basis.
31. Watering: A drip system or irrigation must be added to the planting beds. The use of tree watering bags ("Treegator") is recommended for trees. It is the responsibility of the landscape contractor for watering sufficiently at the time of planting and until the job is completed, accepted and turned over to the owner.

TOPSOIL, PLANTING SOIL AND BED PREPARATION NOTES:

1. Soil Analysis: Submit soil test analysis and a written report for each sample of topsoil and planting mix from an approved testing laboratory. If necessary, several samples shall be taken or soil taken from several areas combined for analysis.
2. Testing shall be performed in accordance with the most current edition of Methods of Soil Analysis published by the Soil Science Society of America, Inc.
3. All soil mixes shall be tested for particle size and organic content after passing through a 1/4-inch sieve rather than the standard 2-mm sieve to include larger pieces of organic material.
4. Provide a particle size analysis, including gradation of mineral content.
5. Provide a chemical analysis, including the following:
 - a. Percent organic content by oven-dried weight, pH, chemical levels by parts per million, soluble salt by electrical conductivity of a 1:2 soil water sample measured in millimhos per centimeter, cation exchange capacity (CEC).
 - 1) Nutrient tests shall include the testing laboratory recommendations for supplemental additions to the soil mix for the plants specified and notice of when chemical levels are excessive.
 - 2) Report presence of problem salts, minerals or heavy metals, if present.
6. Provide a physical analysis of each planting mix to include the following test results:
 - a. Provide a water permeability analysis of each sample of soil mix ASTM F 1815-97 with sample compacted to 80 and 85 percent of maximum dry density using the standard Proctor method, ASTM D698. Each test shall include the calculation of the bulk density, measured in units of Mg/m³, for each sample when compacted to 80 and 85 percent maximum Proctor density.
7. All testing will be at the expense of the contractor. The landscape architect may request additional planting mix test on different mix component ratios to attain results that more closely meet the mix requirements.
8. Topsoil: Natural or cultivated top layer of the soil profile or manufactured topsoil, conforming to ASTM D 5268, pH range of 5.5 to 7.0, containing minimum 4 percent organic matter and sand, silt, and clay particles; friable, pervious; reasonably free of subsoil, clay lumps, gravel, and other objects more than 1-inch in diameter; and free of weeds, roots, and toxic and other non-soil materials. Provide topsoil from one of the following sources, in this order of preference:
 - a. Reuse surface soil stockpiled on the site. Verify suitability of surface soil to produce viable topsoil meeting requirements, and amend when necessary. Supplement with imported topsoil when quantities are insufficient. Remove from the soil all roots, plants, sod, stones, clay lumps, and other extraneous materials harmful to plant growth.
 - b. Import topsoil from off-site sources. Obtain topsoil from naturally well-drained sites where topsoil occurs at least 4-inches deep; do not obtain from bogs or marshes.
 - c. Amend existing surface soil to produce topsoil. Supplement with imported topsoil when required.
9. Reuse surface soil stockpiled on the site. Verify suitability of surface soil to produce viable topsoil meeting requirements, and amend when necessary. Supplement with imported topsoil when quantities are insufficient. Remove from the soil all roots, plants, sod, stones, clay lumps, and other extraneous materials harmful to plant growth.
10. Import topsoil from off-site sources. Obtain topsoil from naturally well-drained sites where topsoil occurs at least 4-inches deep; do not obtain from bogs or marshes.
11. Amend existing surface soil to produce topsoil. Supplement with imported topsoil when required.
12. Soil amendments shall only be used when indicated by soil analysis. The minimum amounts necessary to correct soil deficiencies shall be used. Organic materials are preferred over inorganic materials.
13. Compost, Leaf: Well-composted, stable, and weed-free organic matter, pH range of 5.5 to 8; moisture content 35 to 55 percent by weight; 100 percent passing through 1/4-inch sieve; soluble salt content of 5 to 10 decimes/cm²; not exceeding 0.5 percent inert contaminants and free of substances toxic to plantings; and as follows:
 - a. Yard debris or organic waste material composted for a minimum of 3 months.
14. Compost, Wood (High-Lignin): Decomposed, nitrogen-treated ground bark or wood waste; of uniform texture and free of chips, stones, sticks, soil, or toxic materials.
15. Manure: Well-rotted, unseparated, stable or cattle manure containing not more than 25 percent by volume of straw, sawdust, or other bedding materials; free of toxic substances, stones, sticks, soil, weed seed, debris, and material harmful to plant growth.
16. Spent Mushroom Substrate: Commercial, weathered, free from weed seeds; moisture content 30 to 80 percent; organic content 40 percent minimum; carbon to nitrogen ratio 30:1 maximum; nitrogen content 1.5 to 3.0 percent; phosphorus content 0.5 to 2.0 percent; potassium content 1.0 to 3.0 percent; pH range 6.0 to 8.0.
17. Lime: ASTM C 602, ground agricultural liming material containing a minimum of 80 percent calcium carbonate equivalent and as follows:
 - a. Class: D, with a minimum of 95 percent passing through No. 8 sieve and a minimum of 55 percent passing through No. 60 sieve.
 - b. Conforming to standards of the Association of Official Agricultural Chemists and comply with applicable State and Federal regulations.
18. Aluminum Sulfate: Commercial grade, undehydrated.
19. Sand: Clean, washed, natural or manufactured, and free of toxic materials.
20. Perlite: Horticultural perlite, soil amendment grade.
21. Agricultural Gypsum: Minimum 90 percent calcium sulfate, finely ground with 90 percent passing through No. 50 sieve.
22. Rough grading and topsoil placement is to be completed prior to commencement of landscape operations.
23. If site specific conditions require, planting beds are to be amended with 4" of mushroom soil prior to planting. Mushroom soil to be roto-tilled into topsoil to a depth of 6"-8".
24. If conditions detrimental to plants exist, contractor to submit a proposal for correcting condition.
25. Planting Soil, Standard Planting Pits: Planting soil shall consist of existing, native surface topsoil formed under natural conditions with the duff layer retained during excavation process and existing, in-place surface soil. Where existing soil quantities are insufficient, imported or manufactured topsoil shall be used to supplement. Clean soil of roots, plants, sod, stones, clods, clay lumps, pockets of coarse sand, concrete slurry, concrete layers or chunks, cement, plaster, building debris, and other extraneous materials harmful to plant growth. Mix planting soil thoroughly before placing.
26. Planting Soil, Hardscape Areas: Existing soils shall be removed and replaced to a minimum depth of 30-inches below finish grade with non-compacted topsoil and subsoil, amended with decomposed wood (high-lignin) compost at a rate of 1:1 percent by volume for the lower 24-inches of backfill. Soil shall be mixed thoroughly and cleared of roots, plants, sod, stones, clods, clay lumps, pockets of coarse sand, toxic and other non-soil materials larger than 2-inches in diameter before placing. The upper 6-inches of planting soil shall be native or manufactured topsoil.
27. Planting Soil, Planting Beds: Amend surface soil and topsoil with a 4-inch layer of spent mushroom substrate tilled into the soil to a depth of 6 to 8 inches. Planting Soil in annual beds shall be amended with 2-inches of sand in addition to spent mushroom substrate. Till amendments thoroughly into planting beds.
28. Soil Compaction: Planting soils for all planting areas, including landscape berms shall have a proctor density of 75% - 83%. DO NOT OVER-COMPACT PLANTING SOILS.

GLACKIN THOMAS PANZAK
LAND PLANNING
LANDSCAPE ARCHITECTURE

Glackin Thomas Panzak, Inc.
Paul Executive Green I
Suite 300
41 Leopard Road
Paoli, Pennsylvania 19381
610.408.9011
Fax: 610.408.9477
E-mail: plans@glackinplan.com



CONDITIONAL USE LANDSCAPE PLAN

DePuy Synthes Brandywine Plant Upgrade

EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

DATE: 08/25/17 (gs)
REV.: 09/26/17 (ID)

PROJECT #: 17-072

Landscape Details

SHEET:

LP-2

Serial Number:
CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PAUSE AND 10 WORKING
DAYS IN DESIGN STAGE-STOP CALL
Pennsylvania One Call System, Inc.
1-800-242-1776

1 *East Goshen Township*
2 *Zoning Ordinance*

3
4 § 240-22 **Signs.**

5 [1]Sign regulations applicable to all districts.

6 A. Scope and applicability.

7 (1) Permit required. A zoning permit shall be required for all signs allowed in any zoning district except for
8 signs listed in Subsections **H, I** and **J**. All signs shall comply with the regulations of this chapter.

9 (2) Special permit required. A special permit(s), not to exceed 30 days in any calendar year for all special
10 permits, may be issued for promotional devices, floodlights, flags, banners or other attention getting
11 devices for special occasions for new or existing businesses in any commercial or industrial district.

12 (3) Temporary permit required. A temporary zoning permit will be required for any sign erected and
13 maintained by a developer on a tract of ground. Permits will be valid for six months but may be renewed
14 by the Zoning Officer. Such sign shall not exceed 32 square feet in area.

15 B. Nonconforming signs.

16 (1) Signs legally existing at the time of enactment of this chapter and which do not conform to the
17 requirements of this chapter shall be considered nonconforming signs. Any nonconforming sign which
18 is damaged in excess of 25% of its cost of replacement or is removed shall be replaced only with a
19 conforming sign. Legal nonconforming signs may be repainted or repaired (including lighting),
20 provided that such repainted or repaired sign does not exceed the dimensions of the existing sign.
21 Wording may also be changed.

22 (2) Signs advertising a use no longer in existence shall be removed or changed to advertise the new use
23 within 30 days of the cessation of the original use. Signs once removed shall be replaced only by signs
24 in conformance with this chapter.

25 (3) It is the responsibility of the owner of a sign to provide evidence that a sign is lawfully nonconforming
26 and to register such sign with the Zoning Officer.

27 C. Construction of signs. Every sign permitted in this section must be constructed of durable materials and
28 must be kept in good condition and repair. Any sign which is allowed to become dilapidated may be
29 repaired or removed by the Township at the expense of the owner or lessee of the property on which it is
30 located upon written notice to both tenant and landlord.

31 D. Abandoned signs. No person shall maintain or permit to be maintained on any premises owned or
32 controlled by him a sign which has been abandoned.

33 (1) An abandoned sign for the purpose of this chapter is a sign located on and/or related to the use of a
34 property which becomes vacant and unoccupied for a period of six months or more; any sign which was
35 erected for an occupant or business unrelated to the present occupant in business; or any sign which
36 relates to a time, event or purpose which is past.

37 (2) Any such abandoned sign shall be abated by the owner or person controlling the property within 30 days
38 of the date of abandonment as herein defined.

1 E. Location of signs. The location for signs shall be governed by the following location requirements:

- 2 (1) No sign except official signs, name plate signs, bus shelter signs, public service signs (such as
3 telephone) and directional signs shall be erected within or project over a street right-of-way.
- 4 (2) No sign shall be so located or arranged that it interferes with the sight distance requirements of § 240-
5 23D(11).
- 6 (3) No signs except official signs, political signs, public service signs, bus shelter signs or off-premises
7 signs permitted by Subsection P shall be erected on a property to which it does not relate.
- 8 (4) No sign except removable political signs and temporary yard or garage sale signs shall be placed on any
9 tree, official sign, rocks or other natural features.
- 10 (5) All signs erected in any zoning district, except C-1, shall comply with the side yard requirements for the
11 district. A freestanding sign, other than an off-premises sign, may be erected one foot from the side
12 property line in the C-1 Commercial District. [Amended 9-4-2012 by Ord. No. 129-F-2012]

13 F. Illuminated signs.

- 14 (1) The lighting of signs shall be arranged so that a bare light bulb, spotlight bulb or fluorescent bulb is not
15 visible off the lot. Any lighting of signs shall be the minimum necessary to make the sign visible from a
16 distance of 500 feet.
- 17 (2) No sign in any residential zoning district established in § 240-5 of this chapter shall be indirectly and/or
18 internally illuminated unless specifically permitted by another provision of this chapter. [Amended 11-
19 16-1999 by Ord. No. 129-J-99]
- 20 (3) See also § 240-24H regarding light and glare control.

21 G. Vehicle signs. Any vehicle or structure to which a sign is affixed in such a manner that the carrying of
22 such sign or signs no longer is incidental to the primary purpose of the vehicle or structure but becomes
23 a primary purpose in itself shall be considered a freestanding sign and as such be subject to the
24 provisions regarding freestanding signs in the district in which such vehicle or structure is located. All
25 vehicles associated with a commercial establishment shall be parked in a location that precludes the
26 vehicle from being used as a freestanding sign.

27 H. Menu boards, bills of fare or price lists. [Amended 7-7-2015 by Ord. No. 129-F-2015]

- 28 (1) Notwithstanding anything in this chapter to the contrary, menu boards for restaurants shall be permitted,
29 provided that all of the following conditions are met:
- 30 (a) The menu board is three square feet or less in area;
- 31 (b) The letters and numbers on the menu board are a maximum of three inches in height; and
- 32 (c) The sign is located on the building next to the entrance of the establishment or in the window next to the
33 entrance to the establishment.

34 (2) Notwithstanding anything to the contrary in this chapter, menu boards associated with a beverage cafe

- 1 with drive-through service in a shopping center permitted pursuant to § 240-15C(9) shall be permitted,
2 provided that all of the following conditions are met:
- 3 (a) The menu board shall not exceed eight feet in height, including the base, as measured from the elevation
4 of the vehicle drive-through;
 - 5 (b) The menu board shall not exceed 50 square feet in area;
 - 6 (c) If the menu board is illuminated, it shall only be internally illuminated and may only be illuminated
7 during normal business hours;
 - 8 (d) The menu board shall be located so as not to obstruct traffic or sight lines of vehicles in a shopping
9 center; and
 - 10 (e) Landscaping shall be planted to minimize the visibility of the menu board from any public street.
- 11 I. Temporary signs. The following signs are permitted and do not require a zoning permit, provided that
12 they are removed in the time specified and conform to the sign requirements of this section. Any such
13 sign that does not meet the requirements of this section shall only be permitted if it meets the provisions
14 for another type of permitted sign.
- 15 (1) Yard or garage sale signs, provided that they do not exceed four square feet in area and are removed
16 within 48 hours after sale, and provided that a maximum of three such signs are posted.
 - 17 (2) Signs giving notice of the sale or rental of the property on which the sign is located, provided that such
18 sign does not exceed eight square feet in area in the R-1 (PRD Residential Area), R-2, R-3, R-4 and R-5
19 Zoning Districts, and 20 square feet in area in the R-1 (PRD Commercial Area), C-1, C-2, C-4, C-5, I-1,
20 I-2 and BP Zoning Districts, and are removed within 72 hours upon settlement of the sale or upon
21 signing of the lease of rental. Open house directional signs with a maximum size of two square feet may
22 be installed two hours prior to the open house and must be removed immediately following the event.
23 **[Amended 5-7-2002 by Ord. No. 129-L-02; 9-25-2012 by Ord. No. 129-G-2012]**
 - 24 (3) Political signs, provided that each does not exceed eight square feet in area and are removed within
25 seven days after the date of the election or referendum.
 - 26 (4) Signs erected by a United States Internal Revenue Service recognized nonprofit or charitable entity
27 recognized by the Zoning Officer denoting a special event, provided that they are erected no more than
28 15 days before the event and removed within seven days after the event and do not exceed 32 square
29 feet in sign area.
 - 30 (5) Noncommercial signs and decorations for an official or religious holiday, provided that they do not
31 create traffic or fire hazards and are removed within seven days following the event. Such sign shall not
32 exceed 32 square feet.
 - 33 (6) Signs announcing work actively being performed on the premises by contractors, mechanics, painters,
34 artisans, etc., not to exceed eight square feet, provided that they are removed within seven days after
35 such work is no longer actively and continuously being pursued, except such signs may be a maximum
36 of 32 square feet if the construction cost is over \$1,000,000.
 - 37 (7) Signs advertising the temporary sale of products or goods such as Christmas trees, provided that such

1 signs shall not exceed a total sign area on each of two sides of 12 square feet, are only posted for a
2 maximum of 30 days and are removed within three days after the completion of sales.

3 J. Exempt signs. The following type of signs (as defined in § 240-6) are exempt from zoning permit
4 requirements, within the following requirements:

5 (1) Official signs.

6 (2) Name plate signs not to exceed two square feet.

7 (3) Identification signs not to exceed two square feet.

8 (4) Directional signs not to exceed four square feet.

9 (5) Memorial or historic markers when approved by motion or resolution of the Board of Supervisors.

10 (6) Public service signs, such as those advertising availability of rest rooms, telephone, meeting times of
11 service organizations or other similar public conveniences. Not to exceed two square feet. *

12 (7) Temporary signs as provided in Subsection I.

13 (8) Trespassing signs or signs, indicating the private nature of a road, driveway or premise, and signs
14 prohibiting or controlling hunting and fishing upon the premises, not to exceed two square feet.

15 K. Signs prohibited in all districts. The following signs are prohibited in all zoning districts:

16 (1) Banners, spinners, flags, pennants or any moving object used for commercial advertising purpose
17 whether containing a message or not, except as permitted under Subsection A(2), and except banners or
18 flags meeting the requirements for a permitted type of sign.

19 (2) Flashing, blinking, twinkling, animated or moving signs of any type, except those portions of the sign
20 which indicate time and temperature, and except permitted under § 240-22W. [Amended 9-4-2012 by
21 **Ord. No. 129-F-2012**]

22 (3) Signs placed, inscribed or supported upon the roof or upon any structure which extends above the eave
23 of the roof of any building.

24 (4) Signs on mobile stands which can be moved from place to place.

25 (5) Signs which emit smoke, visible vapors or particles, sound or odor.

26 (6) Signs which contain information that states or implies that a property may be used for any purpose not
27 permitted under the provisions of this chapter in the zoning district in which the property to which the
28 sign relates is located.

29 (7) Signs that are of such character, form, shape or color that it imitates or resembles any official traffic
30 sign, signal or device, or that has any characteristics which are likely to confuse or distract the operator
31 of a motor vehicle on a public street.

32 (8) Signs that outline the rooflines, doors, windows or wall edges by illuminated tubing or strings of lights

1 for advertising purposes.

2 (9) Signs or displays visible from a street, sidewalk or another property that include words or images that
3 are obscene, pornographic or that an average reasonable person would find highly offensive to public
4 decency.[2]

5 L. Signs and/or structures denoting the name of a subdivision.

6 (1) Signs that are freestanding or attached to walls or fences constructed of weather-resistant wood or
7 decorative masonry designating the name of a subdivision and any accompanying logo may be erected
8 at each entrance of a subdivision. The location of all such structures or signs shall be approved by the
9 Township during the subdivision process and shall not contain any advertising except the name of the
10 subdivision. A maximum of two sign faces shall be permitted, each of which shall have a maximum sign
11 area of 50 square feet.

12 (2) The applicant shall prove that there will be a long-term system to ensure proper maintenance of the sign
13 and any accompanying landscaping and that the sign will be durably constructed as to require minimal
14 maintenance. The Zoning Officer shall issue a zoning permit upon the recommendation of the Planning
15 Commission.

16 (3) These signs shall only be permitted for use in conjunction with a subdivision and shall not be permitted
17 for use in conjunction with a land development.

18 L.1. Off-premises signs and structures denoting the uses in the I-2 District. **[Added 2-5-2002 by Ord. No.**
19 **129-G-2; amended 2-22-2005 by Ord. No. 129-A-05]**

20 (1) An off-premises, directly illuminated freestanding sign may be erected at the Paoli Pike entrance to the
21 uses. The location of such sign, the materials, the method of lighting, and the content of the sign shall be
22 approved by the Board of Supervisors during the subdivision/land development process. The sign shall
23 have a maximum sign area of 20 square feet and a maximum height of five feet. The Zoning Officer
24 shall issue a zoning permit upon the recommendation of the Planning Commission and approval of the
25 Board of Supervisors.

26 (2) The applicant shall prove by a preponderance of evidence that there will be a long-term system to ensure
27 proper maintenance of the sign and any accompanying landscaping.

28 M. Area of signs. The following regulations shall be used in computing the area of signs:

29 (1) The area of a sign shall be construed to include all lettering, wording and accompanying designs and
30 symbols, together with the background, whether open or enclosed, on which they are displayed, but not
31 including any supporting framework and bracing which are incidental to the display itself.

32 (2) Where the sign consists of individual letters or symbols attached to or painted on a surface, building,
33 wall or window, the area shall be considered to be that of the smallest rectangle or triangle, including
34 the sign background, which encompasses all of the letters and symbols.

35 (3) In computing square foot area of a double-face sign, only one side shall be considered, provided that
36 both faces are identical in size. If the interior angle formed by the two faces of the double-faced sign is
37 greater than 45°, then both sides of such sign shall be considered in calculating the sign area.

1 (4) Unless otherwise specified, all square footages are maximum sizes.

2 N. Height of signs. Except for off-premises signs,* no sign shall exceed the maximum height restriction for
3 the particular type of sign structure and zoning district established below: [Amended 2-5-2002 by Ord.
4 No. 129-G-2; 9-4-2012 by Ord. No. 129-F-2012]

Maximum Height**

(feet)

Type of Sign Structure	Residential Districts	Commercial Districts	Industrial and Business Park Districts
Freestanding	6	14	6
Wall	10	14	1020***

*The height of off-premises signs shall be regulated by § 240-22V.

**"Maximum height" shall mean the vertical distance measured from the average ground level immediately below a sign to the highest point of the sign and its supporting structure.

***Wall signs on office buildings in the I-2 District may have a maximum height of 41 feet.

5 O. Signs permitted in residential districts.

6 (1) Only the following types of signs are permitted in residential districts:

7 (a) Exempt signs as provided in Subsection J.

8 (b) Temporary signs as provided in Subsection I.

9 (c) Subdivision signs as provided in Subsection L.

10 (d) The following signs are permitted for those uses permitted in residential districts by conditional uses or
11 special exception:

12 [1] A wall sign not to exceed 20% of the wall-signable area or 32 square feet, whichever is less, and
13 permitted on the front wall of the structure only.

14 [2] A freestanding sign not to exceed 32 square feet in area. Such sign shall not be internally illuminated.
15 No more than one freestanding sign per road frontage.

16 [3] A nonilluminated window sign not to exceed 20% of window area to which it is attached.

17 (2) Any of the above signs that are to be associated with a proposed conditional or special exception use

1 shall be reviewed and either be approved or denied at the same time that the conditional or special
2 exception use is being reviewed.

3 (3) Signs relating to convenience commercial facilities when permitted in an apartment development in
4 accordance with the following regulations: **[Amended 11-16-1999 by Ord. No. 129-J-99]**

5 (a) Wall sign. One shall be permitted for each establishment and shall be attached only to either the front
6 wall, front advertising band or under the eave of the front of the main roof of the individual
7 establishment. The top of the sign shall not be as high as the roof eave and the bottom of the sign shall
8 be at least six feet and eight inches above the nearest finished walkway. (A parking area shall not be
9 considered a walkway). Such sign shall not exceed two feet in height or be longer than 75% of the linear
10 length of the individual commercial establishment. The maximum size of any such sign shall not exceed
11 24 square feet.

12 [1] All newly placed wall signs attached to the same building.

13 [a] Shall be generally consistent in proportion and format with existing signs so that consistency of signs is
14 achieved.

15 [b] Shall not be box-type signs if at least 75% of the existing signs in the convenience center are not box-
16 type signs. A "box-type" sign is a closed box with one or two faces being illuminated from within.

17 [c] Shall maintain common vertical and horizontal lines with other signs in a manner consistent with the
18 architecture of the building.

19 [d] Should be generally consistent in materials, font style and type size with other signs attached to the
20 same building.

21 [e] May be directly or indirectly illuminated.

22 (b) Freestanding sign. One freestanding sign shall be permitted for the convenience commercial facility.
23 The sign shall not exceed 20 square feet in area and shall have an overall height not exceeding eight
24 feet. Such signs may identify the names or businesses of the occupants of the convenience commercial
25 facility.

26 (c) Window sign. A nonilluminated window sign not to exceed 20% of the window area to which it is
27 attached.

28 (d) Design. All signs on the structures shall be of the same design, shall be lit in a similar manner and shall
29 be architecturally compatible with the structure.

30 (e) Wall sign alternative. In lieu of the wall sign authorized by § 240-220(3)(a), each establishment in the
31 building shall be permitted to erect one freestanding sign in accordance with the following
32 requirements:

33 [1] Each freestanding sign shall have a maximum size of 10 square feet and a maximum height of 10 feet.

34 [2] Each freestanding sign shall be located immediately in front of its respective establishment.

35 [3] All portions of the freestanding sign shall be located no more than 10 feet from the respective

1 establishment.

2 [4] Each freestanding sign shall comply with all front, rear and side yard requirements, and each such sign
3 shall comply with the setback requirements for the zoning district in which the property is located.

4 (4) See also Subsection F regarding illumination of signs in a residential district.

5 P. Signs permitted in commercial districts. Only the following types of signs are permitted in a commercial
6 district: **[Amended 9-4-2012 by Ord. No. 129-F-2012; 9-25-2012 by Ord. No. 129-G-2012; 7-7-2015**
7 **by Ord. No. 129-F-2015]**

8 (1) Exempt signs as provided in Subsection J.

9 (2) Temporary signs as provided in Subsection I.

10 (3) Signs relating to the principal use on a lot, with a maximum of one commercial establishment in
11 accordance with the following regulations:

12 (a) Wall sign. One wall sign shall be permitted for the commercial establishment. Such sign shall not
13 exceed two square feet in area for each linear foot of wall-signable area, but not exceed 60 square feet.

14 (b) A freestanding sign not to exceed 10 square feet in area. No more than one freestanding sign shall be
15 permitted on each street frontage.

16 (c) A window sign not to exceed 20% of window area to which it is attached.

17 (4) Signs relating to the principal use on a lot, including more than one commercial establishment are
18 permitted in accordance with the following regulations:

19 (a) Wall sign. One wall sign shall be permitted for each commercial establishment. Such sign shall not
20 exceed two feet in height or be longer than 75% of the linear length of the individual commercial
21 establishment, with a maximum size of 32 square feet. Two wall signs shall be permitted if the
22 commercial establishment is in a stand-alone building in a shopping center.

23 [1] All newly placed wall signs attached to the same building:

24 [a] Shall be generally consistent in proportion with existing signs.

25 [b] Shall not be box-type signs if at least 75% of the existing signs are not box-type signs.

26 [c] Shall maintain common vertical and horizontal lines with other signs in a manner consistent with the
27 architecture of the building.

28 [d] Should be generally consistent in materials, font style and type size with other signs attached to the
29 same building.

30 [2] An applicant for construction of a new principal building intended to include more than one
31 establishment is strongly encouraged to submit a proposed set of standards that the building owner
32 intends to use to control the types and colors of signs to ensure compatibility among the signs.

- 1 [3] See Subsection **K**, which prohibits certain types of signs, such as flashing and above-the-roofline signs.
- 2 [4] Wall sign alternative. In lieu of the wall sign referred to in Subsection **P(4)(a)**, each commercial
3 establishment in the structure shall be permitted to erect one freestanding sign in accordance with the
4 following requirements:
- 5 [a] Each freestanding sign shall have a maximum size of 10 square feet and a maximum height of 10 feet.
- 6 [b] Each freestanding sign shall be located immediately in front of its respective establishment.
- 7 [c] All portions of the freestanding sign shall be located no more than 10 feet from the respective
8 establishment.
- 9 [d] The freestanding signs shall comply with all front, rear and side yard requirements and they shall
10 comply with the setback requirements for the zoning district.
- 11 (b) Freestanding signs.
- 12 [1] A shopping center use in the C-2 District or within a PRD may have a freestanding sign with a
13 maximum area of 120 square feet and a maximum height of 14 feet on each street frontage. No more
14 than one freestanding sign shall be permitted on each street frontage.
- 15 [2] All other freestanding signs shall not exceed 10 square feet in area nor five feet in height. No more than
16 one freestanding sign shall be permitted on each street frontage.
- 17 (c) Window signs. The cumulative size of window signs is not to exceed 20% of the window area to which
18 it or they are attached. Such signs may contain the names or businesses of the occupants of the facilities.
- 19 (d) All signs on the structure shall be of the same design and lit in a similar manner and shall be
20 architecturally compatible with the structure.
- 21 (5) Sign bonus. Each permitted 10 square feet maximum freestanding sign in a commercial district may be
22 increased in size to a maximum of 20 square feet if the sign is not internally illuminated and is
23 constructed of relief-cut wood (other than plywood).
- 24 (6) Any sign (as defined in § **240-6**, which includes but is not limited to graphics and logos) attached to or
25 incorporated into functional elements of a building or development (including but not limited to
26 awnings, canopies or murals) that serve an advertising or use identification purpose shall be considered
27 to be a sign, and specifically shall be regulated by all provisions of this section for the applicable zoning
28 district.

29 **Q. Signs permitted in industrial and business park districts. Only the following types of signs are permitted**
30 **in the industrial and business park districts: [Amended 2-5-2002 by Ord. No. 129-G-2]**

31 **(1) Exempt signs as provided in Subsection J.**

32 **(2) Temporary signs as provided in Subsection I.**

33 **(3) Subdivision signs as provided in Subsection L.**

- 1 (4) Land development signs as provided in Subsection L.1.
- 2 (5) Wall sign. One shall be permitted for each establishment. Such sign shall not exceed two square feet for
3 each linear foot of wall area (where a sign could be located) or ~~100~~ 40 square feet, whichever is more
4 restrictive, and shall be permitted only on the front wall of the structure. In the I-2 District each office
5 building shall be permitted one sign, which shall not exceed 40 square feet.
- 6 (6) Freestanding sign. One sign along each street frontage, each of which shall not exceed 20 square feet in
7 sign area.
- 8 (7) Freestanding signs in the I-2 District for an office use. **[Amended 2-22-2005 by Ord. No. 129-A-05]**
- 9 (a) A maximum of one freestanding, directly illuminated sign that is located on the lot that contains the
10 office use shall be permitted for an office use in the I-2 District. The sign shall not exceed 13 square feet
11 in area and four feet in height. The Zoning Officer shall issue a zoning permit for the sign upon the
12 recommendation of the Planning Commission and approval of the Board of Supervisors.
- 13 (b) Off-site freestanding signs whose primary purpose is to direct persons to various uses in the I-2 Zoning
14 District may be installed by the Township in the I-2 Zoning District. These signs shall be considered
15 "official signs" as defined by this chapter.
- 16 (8) Freestanding signs in the I-2 District for National Register of Historic Places eligible buildings. A
17 maximum of two freestanding, off-premises, directly illuminated signs shall be permitted. Each sign
18 shall not exceed 24 square feet in area and five feet in height. If more than one such sign is installed,
19 lettering and symbols shall be restricted to one side only of each sign. The applicant shall prove by a
20 preponderance of evidence that there will be a long-term system to ensure proper maintenance of the
21 sign and any accompanying landscaping. The Zoning Officer shall issue a zoning permit for the signs
22 upon approval of the Board of Supervisors.
- 23 (9) Off premises freestanding signs in accordance with § 240-22L.1. **[Added 2-22-2005 by Ord. No. 129-
24 A-05]**
- 25 R. Approval of signs associated with proposed conditional uses and special exception uses. Any of the
26 signs in Subsections O through and including Q that are to be associated with a proposed conditional or
27 special exception use shall be reviewed and either be approved or denied at the same time that the
28 conditional or special exception use is being reviewed.
- 29 S. Display of street address numbers.
- 30 (1) Assignment of street address numbers.
- 31 (a) Street address numbers shall be assigned by the Township Manager or his/her designee to each lot, each
32 dwelling unit and each commercial or business establishment when there is more than one such
33 establishment on a lot.
- 34 (b) The Township Manager or his/her designee shall have the power to correct any errors with respect to the
35 assignment of street address numbers, as and when such errors are discovered, and shall have the power
36 to change and redesignate a street address number or numbers assigned to any lot, dwelling unit and
37 commercial or business establishment when there is more than one such establishment on a lot and
38 when it is deemed that such change or redesignation is necessary or desirable in order to provide street

1 address numbers appropriate for the purposes of uniquely identifying each such lot, dwelling unit and
2 commercial or business establishment and for reducing the time, effort and potential confusion
3 necessitated by such identification.

4 (2) Application for street address number. The owner or occupant of a lot, dwelling unit and commercial or
5 business establishment when there is more than one such establishment on a lot, to which no street
6 address number has been previously assigned or designated or to which a duplicative number has been
7 assigned or designated shall, prior to occupancy thereof, make application to the Township Manager or
8 his/her designee for assignment of such street address number which, upon designation, shall be the
9 street address number of the property.

10 (3) Specifications for street address number posting. The owner or occupant of each lot, each dwelling unit
11 or each commercial or business establishment when there is more than one such establishment on a lot
12 within the Township shall post the designated street address number on said lot, dwelling unit and
13 commercial or business establishment in strict compliance with the following specifications and
14 regulations:

15 (a) The street address numbers shall be Arabic in design and shall be constructed of a permanent and
16 weatherproof material or possessing a permanent and weatherproof coating.

17 (b) Each digit constituting the posted street address number shall be not less than three inches in height.

18 (c) If the lot is improved with a building or buildings, the digits constituting the posted street address
19 number shall be secured and permanently mounted to the principal building's element (e.g., front wall or
20 porch) most proximate to the public or private vehicular accessway providing principal access to said
21 building.

22 (d) Each digit constituting the posted street address number shall be mounted at a height not less than four
23 feet nor greater than 10 feet above the grade or elevation of the adjoining principal vehicular accessway.

24 (e) Each digit of the posted street address number together with the structure or building element to which
25 they are affixed shall be so designed with regard to contrasting background, arrangement, spacing, size
26 and uniformity of digits so as to be readily legible and visible during daylight hours or when illuminated
27 by a source of artificial light by a person possessing normal vision.

28 (f) Each digit of the posted street address number shall be so located so as to avoid all visual obstruction,
29 including trees, shrubs and any other temporary or permanent structure or fixture.

30 (g) If the lot has a mailbox located within the street right-of-way, the digits constituting the posted street
31 address number shall also be permanently mounted, painted or otherwise affixed on both sides to either
32 the mailbox or the mailbox post.

33 (h) If the lot does not have a mailbox located within the right-of-way but does have a freestanding sign, the
34 street address shall be placed on the freestanding sign. If the lot does not have a mailbox located within
35 the right-of-way or have a freestanding sign, the street address shall be placed on a small freestanding
36 sign which is located by the main entrance to the property. This freestanding sign shall not be larger
37 than two square feet in size and not more than three feet in height.

38 T. Bus shelter signs. A bus shelter permitted by § 240-37 may include a single off-premises sign, which
39 shall have a maximum of two sign faces. Such sign shall have a maximum sign area of 24 square feet on

- 1 each of the two sign faces. In addition, such sign may include a sign of up to four square feet identifying
2 the agency providing public transit service.
- 3 U. Historic wall signs. One historic wall sign shall be permitted on properties listed on the East Goshen
4 Township Historic Resource Inventory for those uses permitted pursuant to § 240-38.5A. The sign shall
5 be reviewed and approved by the Board of Supervisors contemporaneously with the use. **[Added 5-4-**
6 **2004 by Ord. No. 129-D-04]**
- 7 (1) The sign shall be a maximum size of six square feet on each of no more than two faces.
- 8 (2) The sign shall project no more than four feet from the face of the building.
- 9 (3) The top of the sign shall not exceed:
- 10 (a) One-story building: the eave height.
- 11 (b) Two- or three-story building: the height of the second floor windowsill.
- 12 (4) The sign may be directly illuminated by a maximum of two seventy-five-watt bulbs (one for each side).
- 13 (5) The sign, and related illumination, shall adhere to the standards of §§ 240-22 and 240-24H.
- 14 V. Off-premises signs. Off-premises signs shall be permitted when authorized as a conditional use, subject
15 to the following provisions: **[Added 9-4-2012 by Ord. No. 129-F-2012]**
- 16 (1) One off-premises sign shall be permitted on a lot as a principal use or as an accessory use on a lot which
17 abuts West Chester Pike between Westtown Way and the Township's border with West Goshen
18 Township and on a lot which abuts Route 202.
- 19 (2) The off-premises sign shall be set back from the edge of the existing right-of-way a minimum of 10 feet.
- 20 (3) The maximum sign area for an off-premises sign shall be as follows:
- 21 (a) On a lot which abuts West Chester Pike between Westtown Way and the Township's border with West
22 Goshen Township: 75 square feet.
- 23 (b) On a lot which abuts Route 202: 300 square feet.
- 24 (4) Maximum height.
- 25 (a) The maximum height of an off-premises sign shall be as follows:
- 26 [1] On a lot which abuts West Chester Pike between Westtown Way and the Township's border with West
27 Goshen Township: 25 feet.
- 28 [2] On a lot which abuts Route 202: 25 feet.
- 29 (b) The height of an off-premises sign shall be measured from the average grade based on the area found
30 within a fifty-foot radius of the outer limits of the sign structure.

- 1 (5) The off-premises sign shall be set back a minimum of 20 feet from all lot lines.
- 2 (6) No off-premises sign shall be erected within 200 feet of any other off-premises sign.
- 3 (7) If the off-premises sign is to have exterior lighting, a lighting plan must be submitted with the
4 conditional use application which includes the following information:
- 5 (a) A site plan containing the layout of the proposed fixture locations and type.
- 6 (b) Catalog cuts and photometrics for each light fixture, the method of energizing each light fixture, a
7 listing of the hours of operation and a plan showing the photometrics for the entire site based upon the
8 proposed placement of the light fixtures. A description of glare-reduction devices, lamps, wattage,
9 control devices, mounting heights, pole and mounting methods, as appropriate for each fixture, should
10 also be included.
- 11 (8) Off-premises signs shall be screened from any abutting property used or zoned for residential uses with
12 a buffer planting screen. Such screen shall consist of evergreen trees of at least 15 feet in height at the
13 time of planting that form a continuous visual buffer along or near the property line abutting the
14 residential use or lot.
- 15 W. LED signs. LED signs may be used on the following types of signs subject to the regulations in this
16 § 240-22W: i) an off-premises sign along West Chester Pike between Westtown Way and the
17 Township's border with West Goshen Township; ii) an off-premises sign along Route 202; and iii) on a
18 wall sign or freestanding sign in the C-1 District. **[Added 9-4-2012 by Ord. No. 129-F-2012]**
- 19 (1) The message displayed on the digital off-premises sign shall be static and nonanimated and shall remain
20 fixed for a minimum of 10 seconds;
- 21 (2) The sign shall not display any message that moves, appears to move, scrolls, or changes in intensity
22 during the fixed display period;
- 23 (3) The transition time between changes in the sign face or message shall be less than one second;
- 24 (4) The sign must be equipped with brightness controls which shall be used to reduce the intensity of the
25 light based on outside light levels; and
- 26 (5) The digital LED display shall not have lighting that would compete with or distract from traffic signal
27 lighting.



THE COUNTY OF CHESTER



COMMISSIONERS
Michelle Kichline
Kathi Cozzone
Terence Farrell

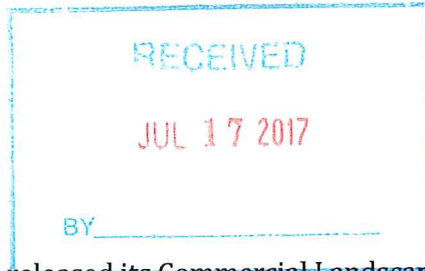
Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION
Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

FYI

July 14, 2017

Louis Smith, Jr.
Manager, East Goshen Township
1580 Paoli Pike
West Chester, PA 19380



Dear Mr. Smith,

Last month, the county planning commission released its ~~its~~ Commercial Landscapes reports, which highlight the importance of the county's commercial areas and how these places might change and redevelop over time. These four reports focus on the county's office parks, retail areas, brownfield sites, and train station areas. The executive summary is enclosed for your information.

Each report provides background information on market trends affecting these areas followed by realistic strategies and best practices for encouraging compatible development. Each online report also includes active links to market data, government programs, and policy guides. To view the reports and additional information about this project, visit: <http://www.chescoplanning.org/MuniCorner/ComLand/Overview.cfm>

Reinvestment in the county's existing commercial areas is vitally important. Repurposing properties allows owners to improve value and return on their investments; increases the tax base for both local municipalities and school districts; uses existing infrastructure for new development; addresses market changes and lifestyle preferences of new employees; and protects the county's high quality of place.

If you'd like to hear more about the county's commercial landscapes in relation to your municipality, we'd be happy to give a presentation to your elected officials, planning commission, or business organization. Or, if you have any questions about this project, please feel free to contact me at boleary@chesco.org or 610-344-6285.

Sincerely,

Brian N. O'Leary, AICP
Executive Director

BNO/slw