

**EAST GOSHEN TOWNSHIP
PLANNING COMMISSION
Meeting Agenda
Wednesday, May 2, 2018
7:00 PM**

- A. Call to Order / Pledge of Allegiance and Moment of Silence
- B. Chairman will ask if anyone is going to record the meeting
- C. **Review of Tracking Log / Determine need for Workshop Meeting**
 - 1. **Workshop meeting – May 23, 2018 Kick off Meeting for Paoli Pike Corridor Overlay Project**
- D. Public Comment on Non-Agenda Items
- E. **Approval of Minutes**
 - 1. **April 4, 2018**
- F. Subdivision and Land Development Applications
 - 1. **1506 Meadowbrook Dr. (SD/LD)**
- G. Conditional Uses and Variances
- H. **Ordinance Amendments**
 - 1. **Keeping of Fowl**
- I. Old Business
- J. 2018 Goals
- K. **Any Other Matter**
 - 1. **E. Strasburg Rd. Adopt a Highway Clean-up Status**
- L. Liaison Reports
- M. **Correspondence**

Bold Items indicate new information to review or discuss.

**East Goshen Township
Planning Commission Tracking Log**

Application Name	Application (CU,LD,O, SD,V, SE, CA)	Type (Sk, P, F)	Date Filed	Start Date	Date to Township Engineer	Date to CCPC	Date to Abutting Prop. / ABC's	Extension	PC NLT Action Date	BOS NLT Action Date	Hearing Date	Drop Dead date	Comments
1506 Meadowbrook Drive	SD/LD	P/F	2/26/2018	4/4/2018	2/27/2018	3/1/2018	3/1/2018		5/16/2018	6/5/2018	NA	6/5/2018	

Bold = New Application or PC action required

Completed in 2018

Malvern Institute, 940 King Rd.	V, SE	P	3/27/17	3/27/17	NA	NA	3/30/17	4	1/17/18	2/6/18	2/13/18	2/28/18	
WCASD / EG Elem.	LD	P	11/28/17	12/6/17	11/30/17	11/30/17	11/30/17		2/7/18	3/6/18	NA	3/6/18	APPD
1665 E. Boot Rd	V	P	12/1/17	12/1/17	NA	NA	12/7/18		1/3/17	1/16/18	1/25/18	1/30/18	APPD

Draft
EAST GOSHEN TOWNSHIP
PLANNING COMMISSION MEETING
April 4, 2018

The East Goshen Township Planning Commission held a workshop meeting on Wednesday, April 4, 2018 at 7:00 p.m. at the East Goshen Township building. Members present were: Vice-Chairman Jim McRee, Adam Knox, Dan Daley, Ernest Harkness, Monica Close and Silvia Shin. Also present was Mark Gordon, (Township Zoning Officer) and Janet Emanuel, (Township Supervisor).

COMMON ACRONYMS:

<i>BOS – Board of Supervisors</i>	<i>CPTF – Comprehensive Plan Task Force</i>
<i>BC – Brandywine Conservancy</i>	<i>CVS – Community Visioning Session</i>
<i>CB – Conservancy Board</i>	<i>SWM – Storm Water Management</i>
<i>CCPC – Chester Co Planning Commission</i>	<i>ZHB – Zoning Hearing Board</i>

A. FORMAL MEETING – 7:00 pm

1. Jim called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and a moment of silence to remember our first responders and military.
2. Jim asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
3. It was noted that the Planning Commission did not meet in March due to inclement weather.

B. SUBDIVISION & LAND DEVELOPMENT APPLIATIONS

1. 1506 Meadowbrook Dr. (SD/LD) - Mark commented that the applicant will not be at this meeting. They received reviews of the plan and will meet next week to discuss items in the reviews. This is a 3 lot S/D with 1 new single family home on a private driveway. He advised the applicant that the Township may need an extension based on the initial date of submission. Residents Anthony and Linda Pantalone, 701 Hemlock Lane and Rachel & Edward Grossman of 707 Hemlock Lane were present. Mark explained the driveway with a pull off area and storm water management to them.

C. OLD BUSINESS

1. Paoli Pike Corridor Zoning Overlay – Tom Comitta explained that he met with Mark and Rick Smith, Township Manager, to talk about his proposal. Tom discussed some previous overlay districts he has worked on. He will suggest that the Board of Supervisors adopt a TND-1(Traditional Neighborhood Development-1) Goshenville Overlay District. The initial boundaries will be Boot Road to Rt. 352. He did note the Perakis property and a property west of Boot Road on the south side of Paoli Pike. Mark suggested that the Goshen Friends property be included. The Timeframe will be 4 to 5 months with 2 Special Public Meetings and 1 Public hearing. They would invite other builders to the first public meeting. The cost for zoning and SALDO will be \$35,000. Tom named a few organizations that have been promoting this type of development. Hankin did Eagleview in 1991. Things to consider are height of buildings, how many on a lot, and what mixture of uses. Tom suggested inviting the landowners to the first meeting and show how property values may increase. Ernest moved that the Planning Commission recommend that the Board of Supervisors accept the Thomas Comitta Associates Proposal for Planning Services to assist the Township Planning Commission in the development of an overlay zoning district for Goshenville as outlined in the TCA proposal dated April 4, 2018, omitting item 2.1 and 4.1, for a cost not to exceed \$35,000. Adam seconded the motion. The motion passed unanimously.

2. RFP for residential development changes to the Zoning Ordinance. The RFP is for hiring a consultant to assist with residential development changes to the Zoning Ordinance. Mark will send the RFP out to builders.

1
2 **D. LIAISON REPORTS**

3 1. Board of Supervisors – Janet reported that the BOS is pushing on the pond study. They have
4 a subcommittee. Marydell will be the first to upgrade. Also, last night Jon Altshul was appointed
5 Assistant Township Manager.
6

7 **E. ANY OTHER MATTER**

8 1. 1405 Wexford Circle – on lot sewage application – Mark explained the type of system they
9 are planning to install. Monica moved that the Planning Commission authorize staff to complete
10 Component 4A of the Sewage Planning Module, with the assistance of the Municipal Authority engineer,
11 and return it to the applicant for submission to the DEP. Dan seconded the motion. The motion passed
12 unanimously.

13 2. Request for letters of support for grant applications – Mark explained the 4 grant applications.
14 Ernest moved the authorize the Planning Commission Chairman to forward letters of support for the
15 following grant requests:

- 16 a. PennDOT MTF Fund Application – Segment B of the Paoli Pike Trail
17 b. Commonwealth Funding Authority MTF Fund Application – Segment B of the Paoli Pike
18 Trail.
19 c. DCNR – C2P2 Application – Hershey’s Mill Dam
20 d. DCED – GTRP Application – Hershey’s Mill Dam

21 Monica seconded the motion. The motion passed unanimously.
22

23 3. Mark is getting appraisals for easements along the trail.

24 4. Malvern Institute had one Zoning Hearing Board meeting. The next is April 27, 2018.
25

26 **F. APPROVAL OF MINUTES**

27 The minutes of the February 7, 2018 meeting were approved.
28

29 **ADJOURNMENT**


30 There being no further business, Ernest moved to adjourn the meeting. Dan seconded the motion.
31 The meeting adjourned at 9:40 pm. The next meeting will be held on Wednesday, May 2, 2018 at
32 7:00 pm.
33

34 Respectfully submitted, _____
35 *Ruth Kiefer, Recording Secretary*

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Voice: 610-692-7171
Fax: 610-692-8950
E-mail: mgordon@eastgoshen.org

Date: 4/27/2018
To: Planning Commission
From: Mark Gordon, Township Zoning Officer 
Re: 1506 Meadowbrook Ln.

Planning Commission Members:

The Township has received revised plans addressing the review comments from the Township Engineer's review letter and the CCPC review letter. The township Conservancy Board has reviewed the plan and forwarded their recommendation to the Planning Commission, which is included herein.

At this time the Township has not received any comments from the latest pan revision.

Recommendation:

Due to the number of comments on the initial Pennoni review letter, staff does not recommend approval of the plan at this time. Due to the timing of the application reviews, staff has requested a 60-day extension to the review period for the application.

EAST GOSHEN CONSERVANCY

April 13, 2018

East Goshen Township
Planning Commission
1580 Paoli Pike
West Chester, Pa. 19380

Re: 1506 Meadowbrook Ln. / SD&LD Recommendation
Landscaping

Dear Commission Members:

At their meeting on April 11, 2018 the Conservancy Board voted unanimously in favor of the following motion:

Mr. Chairman, I move that the Conservancy Board recommend that the Planning Commission support the requested waiver from §205-36 (Landscape Plan) and approve the Preliminary / Final Subdivision Plan for 1506 Meadowbrook Lane dated 8/1/2017, last revised 2/20/2018 with the following conditions:

- 1. The evergreen buffer planting shall be extended the entire length of the property along the rear property line to create a "Complete evergreen landscape buffer" as required by the ZHB decision.*
- 2. The evergreen buffer plantings shall be a minimum of 8' at time of planting.*
- 3. A mix of at least three deer resistant species shall be used.*
- 4. Tree Protection fencing shall be installed at the drip line to protect all trees that are proposed to be saved including the row of mature Hemlock trees along the easterly property line.*
- 5. The applicant shall submit a detailed foundation planting plan when building permits are applied for.*
- 6. All notes and plans shall be revised to address these conditions prior to approval of the plan.*
- 7. The applicant shall address all outstanding engineering comments to the satisfaction of the Planning Commission, Staff and the Township Engineer.*

Sincerely,



Mark A. Gordon
Zoning Officer



THE COUNTY OF CHESTER



COMMISSIONERS

Michelle Kichline
Kathi Cozzone
Terence Farrell

Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION

Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

March 27, 2018

Louis F. Smith, Jr., Manager
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Re: Final Subdivision - 1506 Meadowbrook Lane
SD-03-18-15306 - East Goshen Township

Dear Mr. Smith:

A Final Subdivision Plan entitled "1506 Meadowbrook Lane", prepared by Guy Engineering Associates Inc., and dated August 1, 2017, and last revised on February 20, 2018, was received by this office on March 1, 2018. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed subdivision for your consideration.

PROJECT SUMMARY:

Location:	east side of Boot Road, north of Generals Way
Site Acreage:	3.96
Lots/Units:	3 Lots
Proposed Land Use:	Single Family Residential
Municipal Land Use Plan Designation:	Low Density Residential
UPI#:	53-4-23, 53-4-7

PROPOSAL:

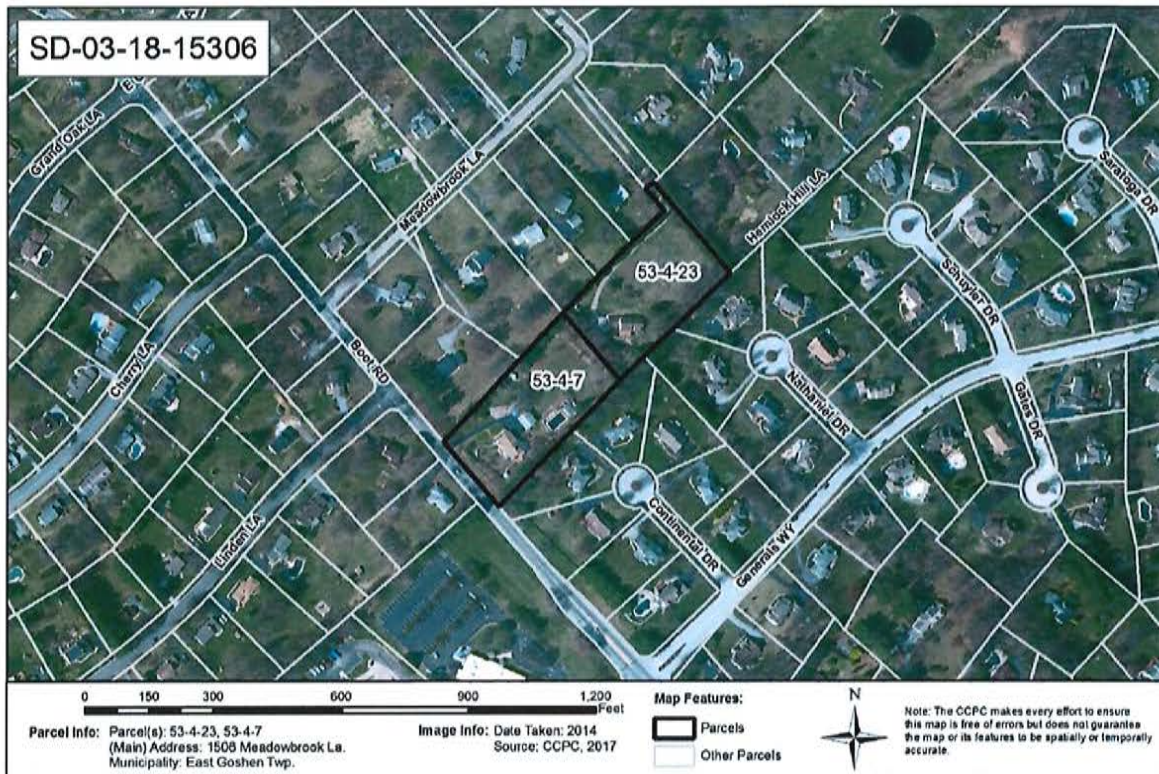
The applicant proposes to subdivide UPI# 53-4-23 into two parcels, along with the conveyance of a 400 square foot portion of UPI# 53-4-7 to proposed Lot #2. The existing residence will remain on proposed Lot #2, and a new single family residence will be constructed on proposed Lot #1. The project site, which will be served by onsite water and public sewer, is located in the R-2 Low Density Residential zoning district.

RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed and all East Goshen Township issues should be resolved before action is taken on this subdivision plan.

COUNTY POLICY:

LANDSCAPES:

1. The project site is located within the **Suburban Landscape** designation of *Landscapes2*, the 2009 County Comprehensive Plan. The proposed subdivision is consistent with the objectives of the **Suburban Landscape**.

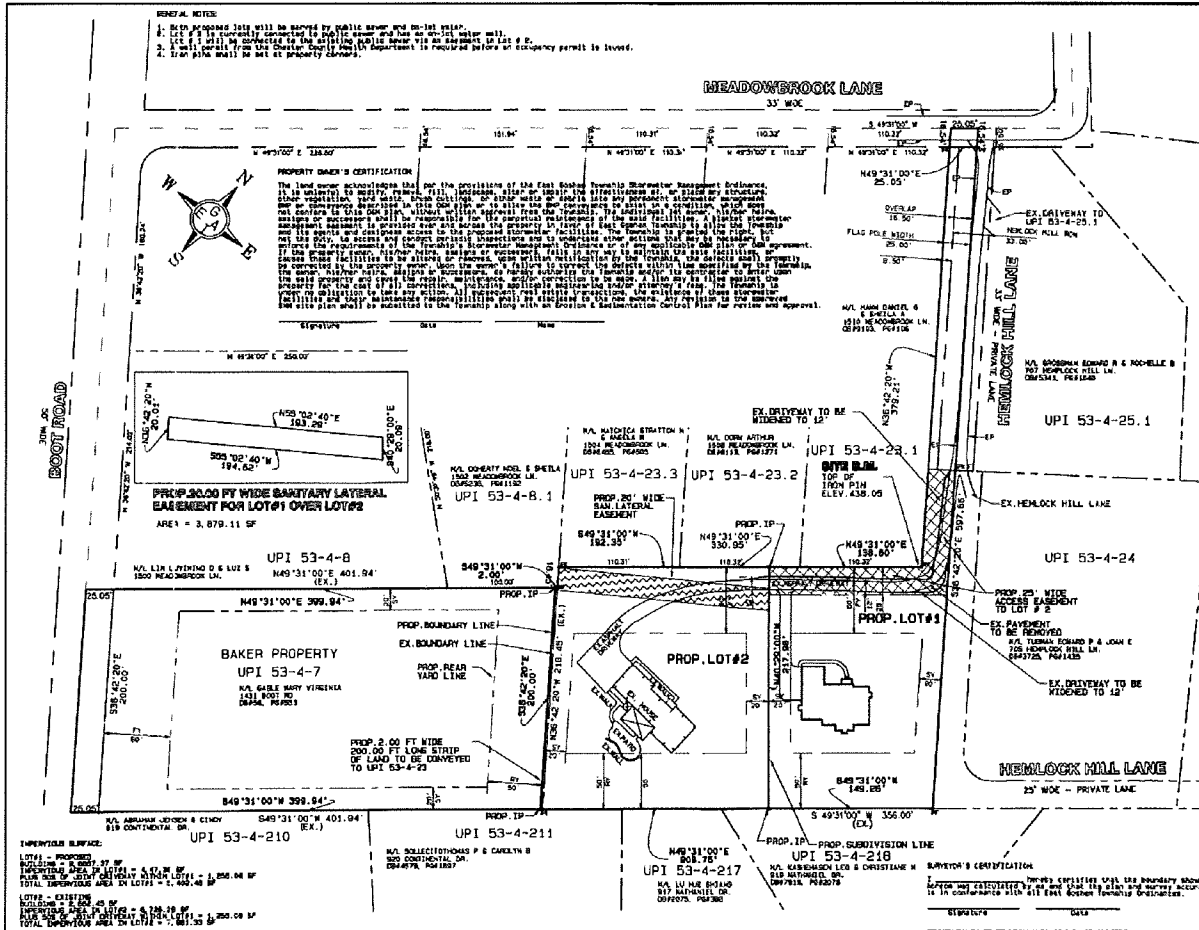


WATERSHEDS:

2. **Watersheds**, the water resources component of *Landscapes2*, indicates the proposed development is located within the Ridley Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are: reduce stormwater runoff, protect vegetated riparian corridors, and protect/enhance water-based recreation, cultural, historic resources and public access. **Watersheds** can be accessed at www.chesco.org/water.

PRIMARY ISSUES:

3. The site plan indicates that, on October 3, 2017, the Township Zoning Hearing Board granted variances from the minimum lot width, minimum street frontage, and minimum flag lot pole width requirements, with six conditions of approval. We note the conditions of approval include providing a pull-off area along Hemlock Hill Lane (a private lane), and providing a landscaped buffer to the adjacent parcels along Nathaniel Drive. Prior to granting final plan approval, the Township should verify that the plan conforms to the decision issued by the Township Zoning Hearing Board.



Site Plan Detail, Sheet 1: Final Subdivision - 1506 Meadowbrook Lane, East Goshen Township

ADMINISTRATIVE ISSUES:

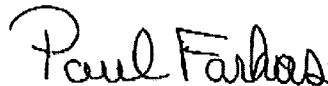
4. Land disturbance and land development activities that occur within Chester County must comply with the **County-wide Act 167 Stormwater Management Plan for Chester County, PA** (July 2013) and the associated Act 167 stormwater management ordinance standards adopted by each municipality.
5. The site plan depicts the location of a 20 foot wide sanitary lateral easement for Lot #1 over Lot #2. The details of this easement should be incorporated into the deeds of both lots.
6. The site plan depicts a 25 foot wide access easement for Lot #2 over Lot #1. The details of this easement should be incorporated into the deeds of both parcels. We acknowledge Zoning Note #2 on Sheet 1 states that Hemlock Hill Lane currently provides access to UPI# 53-4-23 and four additional parcels, and we also note that condition D of the Zoning Board's October 3, 2017 decision states that the shared driveway easement maintenance agreement will be revised to include proposed Lot #1.

Page: 4
Re: Final Subdivision - 1506 Meadowbrook Lane
SD-03-18-15306 - East Goshen Township

7. The applicant is requesting two waivers from the Preliminary and Final Plan Regulation Requirements of the Township Subdivision and Land Development Ordinance, in order to combine the preliminary and final plan review and approval process. Waiver requests should only be granted following the determination that the proposed project either meets the purpose of these requirements or does not create the impacts that these provisions are intended to manage.
8. A minimum of five (5) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, the Assessment Office, and the Health Department.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of East Goshen Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Paul Farkas
Senior Review Planner

cc: Stephen W. & Denise A. Legenstein
Guy Engineering Associates, Inc.
Chester County Health Department
Chester County Conservation District

March 26, 2018

EGOST 00126

Mark Gordon, Zoning Officer
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

**RE: Preliminary/Final Subdivision and Land Development
1506 Meadowbrook Lane, Legenstein**

Dear Mark:

As requested, we have reviewed the following information, prepared by Guy Engineering Associates, Inc. in connection with the referenced project:

- *"Preliminary/Final Land Development Plans"* (six sheets), dated August 1, 2017 Revised February 20, 2018; and
- *"Stormwater Management Report Prepared for Mr. & Mrs. Legenstein"* dated February 20, 2018.

The applicants/owners, Stephen & Denise Legenstein propose to subdivide an existing 2-acre flag lot into two one-acre lots. There is an existing single-family residence on the property that will remain on Lot 2. They propose a single-family house, driveway, and stormwater management on the newly created Lot 1. Lot 2 will be accessed by an access easement through Lot 1. Three (3) zoning variances were granted on October 10, 2017 and notes are on the plan.

The applicants propose to purchase a two (2) foot wide by two hundred (200) foot long strip of land from the adjacent property, UPI #53-4-7, and add it to proposed Lot 2 in order to comply with the zoning area regulations.

The property is within the R-2 Low Density Residential District. Both lots will be served by on-site water and public sanitary sewer.

We offer the following comments:

SUBDIVISION AND LAND DEVELOPMENT

1. Please provide a 3-inch square space for the Recorder of Deeds on Sheet 1. (§205-33.A(4))
2. The applicant shall confirm that no steep slopes are affected as a result of this project. (§205-33.B(9))
3. No alterations of grading shall be done within a distance of five feet from an adjoining tract. (§205-35.G)
4. Please specify a combination of evergreen and deciduous trees, minimum eight (8) foot height, for the proposed evergreen buffer. (§205-60.B(3))

STORMWATER MANAGEMENT

5. Weighted averaging of runoff coefficients shall not be used for manual computations or input data for water quality or runoff volume calculations. Please provide revised calculations using separate runoff coefficients (CN). (§195-19.I)
6. Provide calculations demonstrating that a minimum of one (1) inch from the impervious surfaces is being infiltrated. (§195-20.B)
7. Please provide orange construction fence around the proposed infiltration facilities and revise the sequence of construction to construct the infiltration bed last, after the site is stabilized. (§195-20.M)
8. Please provide appropriate measures to prevent clogging of the downspouts and transportation of leaves, etc. to the infiltration bed (leaf traps, gutter guards, etc.). (§195-20.O)
9. Please provide calculations to ensure the system will dewater in 72 hours. (§195-20-J(3))
10. The proposed stormwater management facilities do not meet the peak rate control requirements for the 1-year and 2-years storms, nor do they meet the requirement to reduce the 2-year post-developed peak rate to below the predeveloped 1-year rate. (§195-22.A)
11. The applicant is reminded that a *Stormwater Management Operation and Maintenance Agreement* shall be completed. (§195-36) This document is available on the Township website. Please sign two copies and return to the Township for authorization by the Board of Supervisors. The Township will then return to the applicant for recording with the plan, at the County. A copy of the time stamped document and proof of recording should then be returned to the Township.
12. Per §195-39, the Township requests a note be added to the plans stating the following:

"A blanket stormwater management easement is provided over and across the property in favor of East Goshen Township to allow the Township and its agent and designees access to the proposed stormwater management facilities. The Township is granted the right, but not the duty, to access and conduct periodic inspections and to undertake other actions that may be necessary to enforce the requirements of the Township's Stormwater Management Ordinance or of any applicable O&M plan or O&M agreement."
13. Please provide the soils testing report by Laurel Wood referenced in the Stormwater Report.
14. It is difficult to discern the drainage areas. Please provide more legible drainage area plans for the pre-development and post-development areas.
15. We recommend that the geotextile filter fabric for the infiltration facility be installed only on the top and sides, per recent direction from various Conservation Districts.
16. We recommend that AASHTO No. 3 stone be specified for infiltration bed.
17. Please indicate the extents of the proposed turf reinforcing mat (TRM).
18. Drainage Area III is unclear. It appears to be the small area downslope of the stormwater management facility, but the area is labeled as DA-II. Please clarify.

19. The calculations for infiltration include the surface runoff from DA-I to the infiltration bed; however, there is no apparent conveyance through the one foot layer of soil at the bottom of the stormwater berm to the infiltration stone. It is unclear how the surface runoff enters the infiltration bed. Please clarify or provide a conveyance channel.
20. The infiltration bed storage model does not appear correct. Per the cross section provided on Sheet 6 the storage should be:

437-438.5	Stone (40% voids)
438.5-439.5	Soil (20% voids)
439.5-440	Berm storage (100% voids)
440-440.5	The volume from the top of berm to top of the clean-outs (not storage)
21. Please specify the type and species of rain garden plantings and seed mix proposed.
22. Please include an observation port in the infiltration bed to provide a way to monitor water levels within the infiltration bed.
23. We do not recommend the use of porous asphalt in residential applications due to the maintenance required. If porous asphalt is to be used, please provide the following on the plans:
 - a. The limits of the proposed porous asphalt.
 - b. Detailed installation instructions.
 - c. Operations and maintenance instructions including the use of de-icing chemicals.
 - d. A note that states that pavement sealer may not be applied to the porous asphalt area.
24. Please provide detailed operations and maintenance procedures on the plan for the proposed stormwater management BMP which include inspection intervals, cleaning, debris removal, monitoring water levels, and procedures to be followed in the event the facility is not draining within the required time.

SANITARY SEWER

25. A pump curve for the proposed grinder pump and a plan of the connection, which depicts the elevation of the building sewer and lateral, should be added to the plans. Also, we recommend the inclusion of additional details or notes regarding the gravity sewer lateral from the building to the grinder pump including, at minimum, pipe material, size, trap, and vent cap in accordance with the attached East Goshen Township typical sewer lateral detail. (§188-33.A.(3))
26. The plans do not indicate the amount of cover over the proposed lateral. The sewer should have minimum 3 feet of cover. (§188-31.B.(4))
27. A *Grinder Pump Station Operation & Maintenance Agreement* needs to be submitted for review and approval. (§188-33.A.(3)(e) & §188-33.F)
28. The discharge pipe from the grinder pump on Lot 1 is indicated as 1.25-inch PE on the plans. The class of pipe should be indicated on the plans. The discharge piping from a grinder pump shall be minimum 1 ¼ (iron pipe size) PVC SDR 21 or HDPE DR 11 (minimum 125 psi rating at 73°F). (§188-33.D.(3))
29. We recommend the inclusion of an additional detail for the proposed sanitary sewer manhole. Additionally, all invert elevations into the proposed manhole should be indicated on the plans. (§188-33.D.(6))

30. A fresh air vent, cleanout and standard building trap shall be placed as close to the building as possible, not more than 10 feet from the face of the building. The grinder pump should be moved further from the proposed building to accommodate the fresh air vent, cleanout, and building trap. (§188-31.C.(3))
31. The plan set should state the material of the existing sanitary sewer pipe. (§188-33.D.(3))
32. We question whether the proposed grinder pump for Lot 1 shall be an Environmental One Model DH152 or DR152.
33. On Sheet 3, Utility Note No. 4 states, *"The end of the public sanitary sewer at the west corner of Lot 2 shall be excavated and the existing cleanout shall be replaced with a sanitary manhole."* Based on the Township sewer map, there is an existing manhole where the new manhole is proposed. We question whether the existing cleanout indicated on the plans is a cleanout or manhole.
34. The existing cleanout for Lot 2 is proposed to be removed; however, there is no replacement cleanout proposed for Lot 2. A cleanout for Lot 2 should be added to the plans.

GENERAL

35. Please provide signature blocks for the owners of UPI 53-4-7 and 53-4-23.
36. Please provide a draft amended Access Agreement referenced in Zoning Hearing Board Condition #D.
37. The Typical Driveway Section detail incorrectly indicates ten (10) foot width.
38. Please provide construction details and hydraulic calculations for the proposed 12 inch wide concrete level spreader.
39. It appears that the proposed stabilized construction entrance on Lot 1 will impede access to the existing residence on Lot 2. We recommend relocating the stabilized construction entrance.
40. Please provide the approximate locations of the existing wells on tax parcels 53-4-218 and 53-4-24 and verify that there is a 50-foot separation between the wells and the proposed infiltration bed. Alternately, please confirm if the referenced lots are connected to public water.
41. The applicant is reminded that all legal descriptions, easements, agreements (i.e., developer's agreement, stormwater management operations and maintenance agreement, sanitary sewer, etc.) or similar are subject to review and approval by the Township.

Should you have any further questions or comments, please contact the undersigned.

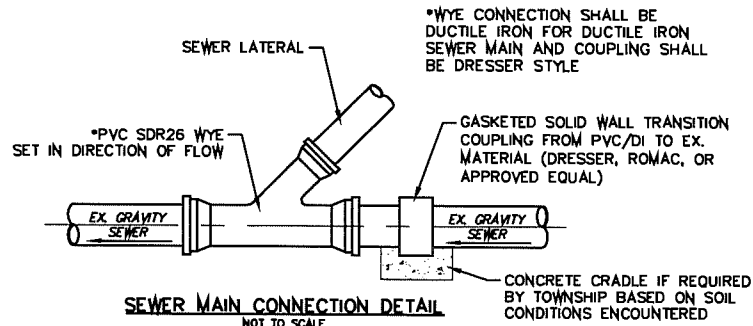
Sincerely,

PENNONI

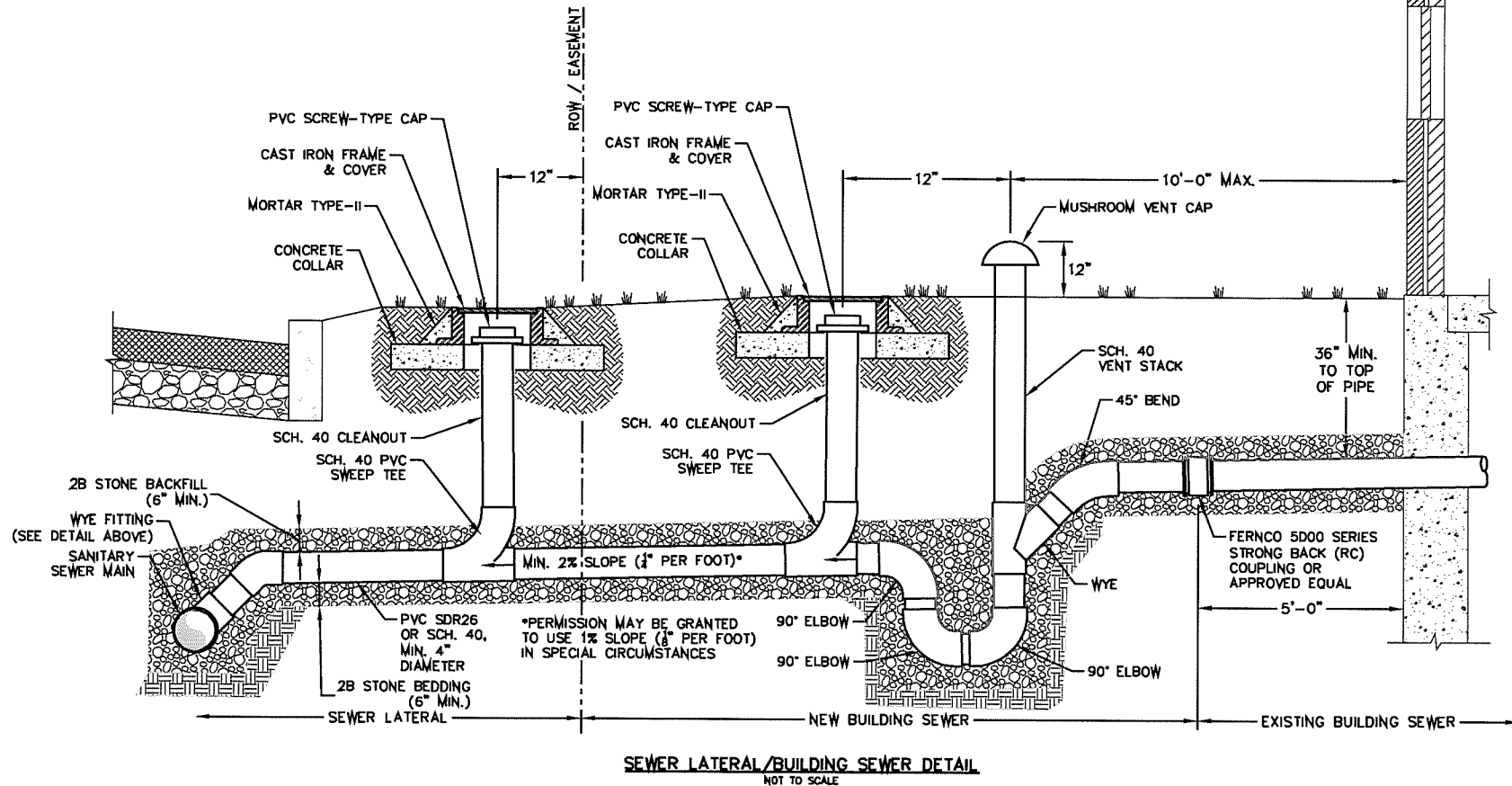


Nathan M. Cline, PE
Township Engineer

cc: Shimon Guy, PE, Guy Engineering Associates (via e-mail)
Stephen & Denise Legenstein (via e-mail)



NOTE: WHENEVER POSSIBLE THE SEWER LATERAL CONNECTION SHOULD BE MADE TO THE EXISTING MAIN USING A WYE FITTING AND ONE PIPE COUPLING.



EAST GOSHEN TOWNSHIP
SEWER LATERAL/BUILDING SEWER DETAIL



PREPARED BY:
PENNONI ASSOCIATES INC.
Newark, DE

DETAIL NO.: SS01
CREATED: 2014-09-30
REVISED: N/A



Guy Engineering Associates, Inc.

Consulting / Civil Engineering

3508 Goshen Road Newtown Square, PA 19073

Tel: (610) 355-0862 Fax: (610) 355-0863 email: sg.guyeng@gmail.com

April 20, 2018

Mr. Mark Gordon, Zoning Officer
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Re: Preliminary/Final Subdivision and Land Development
1506 Meadowbrook Lane
Township Engineer's Review dated 3/26/2018

Dear Mr. Gordon,

This letter is a response to the Township Engineer's review letter of 3/26/2018. The enclosed land development plans have been revised to address the Township Engineer's review comments. We are offering our comments, as follows:

Subdivision and Land Development:

1. Section 205-33.A(4): Recorder of Deeds signature block space. The required space has been provided on the Record Plan.
2. Section 205-33.B(9): Steep Slopes. No steep slopes above 15% are affected as a result of the proposed project.
3. Section 205-35.G: Grading within 5 ft from adjoining tract. No grading will be performed within 5 ft from an adjoining tract. The proposed stormwater level spreader has been moved further away from the property line to meet this requirement.
4. Section 205-60.B(3): Buffer Planting. A landscaping plan has been added, containing the required information. A note has been placed on the Landscaping Plan, stating that the Applicant will submit a Foundation Landscaping Plan when applying for a building permit.

Stormwater Management:

5. Section 195-19.I: Runoff Coefficients. The method of calculating the CN values has been changed not to average them.
6. Section 195-20.B: 1" Infiltration. As indicated in the stormwater management report, the proposed infiltration bed will infiltrate a significantly higher volume than the required volume.

7. Section 195-20.M: Orange Construction Fence. Additional orange construction fences have been added to protect both infiltration facilities, and the construction sequence has been revised as noted.
8. Section 195-20.O: Roof Drain Clogging. A note has been placed on the Post Construction Stormwater Management Plan requiring all roof gutters to be equipped with gutter guards.
9. Section 195-20.J(3): System Dewatering. The stormwater management model indicates that both BMP's will dewater in approximately 12 hours from the peak of the storm.
10. Section 195-22.A: Peak Rate Control. The plans and stormwater management system have been revised. A stormwater infiltration bed has been designed within Lot # 2 upslope from the proposed development. That system has been oversized to serve the homeowners of Lot # 2 when they develop their property. As a result, the stormwater requirements have been met.
11. Section 195-36: Stormwater Management O&M Agreement. The Applicant will complete and process the agreement.
12. Section 195-39: Note. The required note has been added on the PCSM Plan.
13. The soils testing report by Laurel Wood has been included with the Stormwater Report.
14. Drainage Areas. The drainage areas have been clarified on the Post Construction Stormwater Management Plan.
15. Geotextile. The details of the infiltration bed and porous asphalt have been revised to eliminate the geotextile on the bottom of stone.
16. AASHTO#3 Stone. AASHTO#3 crushed stone has been specified in the infiltration bed detail.
17. TRM. The proposed TRM will be placed on top and downslope from the BMP's berm to the east property line, as noted on the plan, and as shown by hatching.
18. DA III. The drainage areas have been revised and clarified on the Post Construction Stormwater Management Plan.
19. DA I. Runoff will enter the BMP via sheet flow. There is no berm on the higher side of the BMP to prevent direct flow. Drainage areas have been renumbered.
20. Void Ratios. The void ratios have been corrected in the model.
21. Rain Garden Planting. The rain garden planting has been specified on the Landscaping Plan.
22. Observation Port. An 8" perforated PVC pipe has been shown on the rain garden detail to enable monitoring the water level in the infiltration bed.
23. Porous Asphalt. The porous asphalt driveway has been eliminated.
24. O&M Procedures. The O&M procedures for the proposed BMP have been added on the Notes and Details Plan.

Sanitary Sewer:

25. Section 188-33.A(3): Pump Curve. The E-One typical pump curve has been added on the plan, as well as East Goshen Township's typical sewer lateral detail.
26. Section 188-31.B(4): A note has been added on the Construction Improvements Plan requiring a minimum cover of 3 feet.
27. Section 188-33.A(3)(e) & 188-33.F: Grinder Pump Station O&M Agreement. The Applicant will submit the agreement to the Township.
28. Section 188-33.D(3): Discharge Pipe. A note has been added on the Construction Improvements Plan requiring the discharge pipe to be 1.25" PVC SDR 21.
29. Section 188-33.D(6): Manhole Detail. A typical manhole detail has been added on the plan. The invert elevations of the existing sewer and of the incoming existing lateral are not yet known, and will be determined when excavated during the construction process.
30. Section 188-31.C(3): Fresh Air Vent, Cleanout & Trap. The plan has been revised to show the proposed fresh air inlet, cleanout and trap. The pump chamber has been moved further away from the building.
31. Section 188-33.D(3): Existing Sewer. As there is no existing manhole at the end of the existing sanitary sewer, the type of pipe and its exact invert elevation are not known at this time. They will be determined when excavated during the construction process.
32. Pump Model. The pump model will be E-One DH152 (wired). The detail has been marked.
33. End of Existing Sewer. There is no existing manhole at the end of the existing sanitary sewer. A new manhole will be installed, and the laterals from both houses will tie into it.
34. Cleanout for Lot 2. The existing cleanout of Lot # 2 will remain and not be removed.

General:

35. Signature blocks for the owners of UPI 53-5-7 and 53-4-23 have been added on the Record Plan.
36. Access Agreement. Will be provided by the Applicant.
37. Driveway Section Detail. The driveway widening detail has been revised. The written width was crossed off and the revised width was written above it, as it is a scanned detail.
38. Level Spreader. The level spreader has been eliminated.
39. Construction Entrance. The construction entrance will be installed in the location of the future driveway to the new house.
Also, as requested, orange construction fences will be installed along the limit of disturbance along the NE boundary tree line, the NW boundary tree line, and the SE property line.

40. Adjacent Well Locations. The existing wells on tax parcels 53-4-23.1 and 53-4-23.2 have been located and their approximate locations have been marked on the Construction Improvements Plan. These wells appear to be located approximately 100 feet from the Lot # 1 and Lot # 2 NW property lines. The well of tax parcel 53-4-24 was not found, and appears to be located more than 100 ft from the Lot # 1 NE property line. Tax parcels 53-4-218 and 53-4-217 are connected to public water supply.
41. Township Review. All documents will be submitted to the Township for review.

Please contact us if you have any questions or comments.

Sincerely,

A handwritten signature in cursive script that reads "Shimon Guy".

Shimon Guy, P.E.
President

c: Joseph Willis

GENERAL NOTES:

- Both proposed lots will be served by public sewer and on-lot water.
- Lot # 2 is currently connected to public sewer and has an on-lot water well.
- Lot # 1 will be connected to the existing public sewer via an easement in Lot # 2.
- A well permit from the Chester County Health Department is required before an occupancy permit is issued.
- Iron pins shall be set at property corners.

REVIEWED BY THE OWNER OF UPI 53-4-7

THIS _____ DAY OF _____

PROPERTY OWNER _____

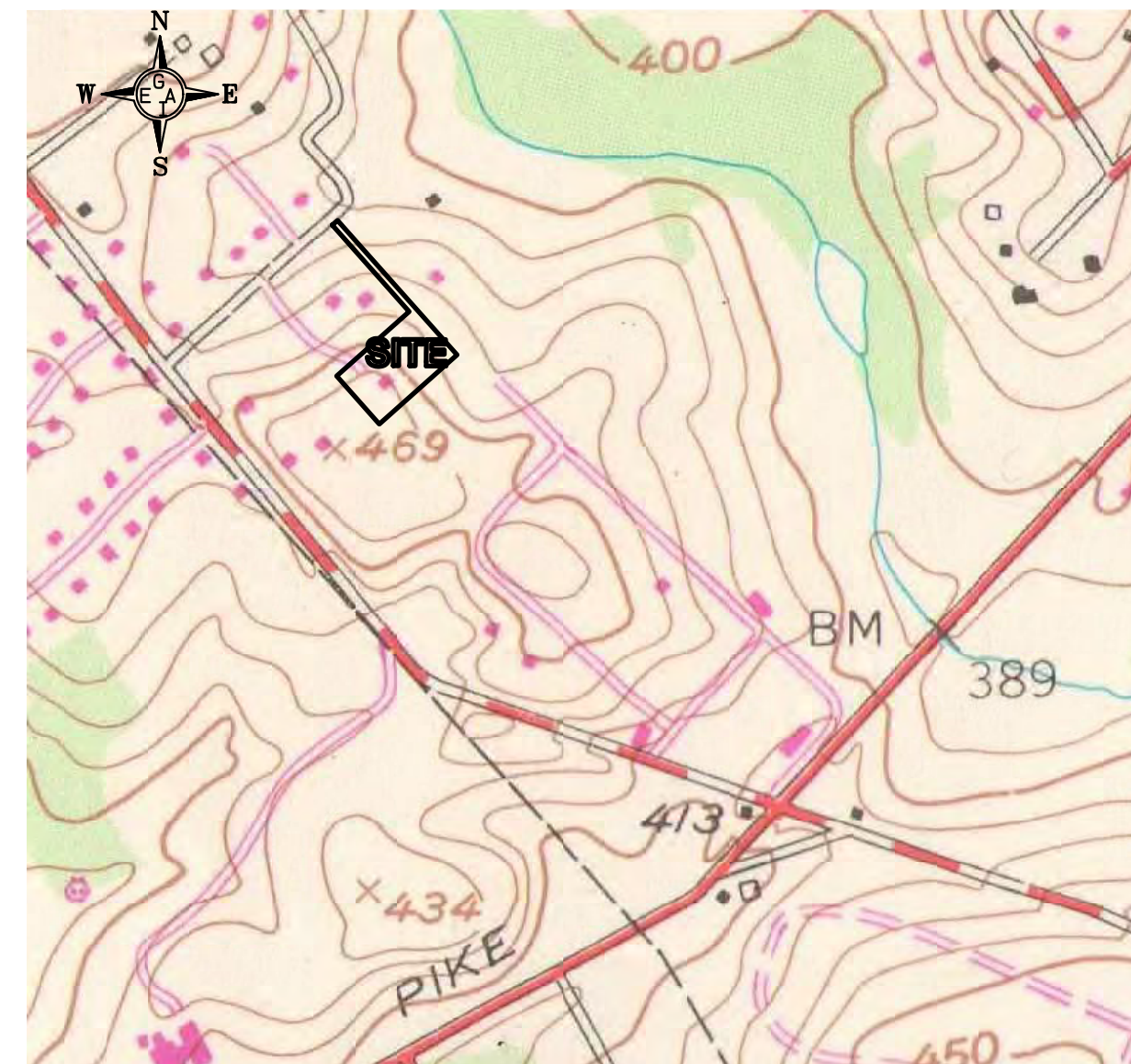
REVIEWED BY THE OWNER OF UPI 53-4-23

THIS _____ DAY OF _____

PROPERTY OWNER _____

PROP. 2.00 FT WIDE
200.00 FT LONG STRIP
OF LAND TO BE
CONVEYED FROM
UPI 53-4-7
TO UPI 53-4-23

AREA = 400.00 SF



USGS LOCATION MAP

WEST CHESTER, PA QUAD
SCALE: 1" = 600'

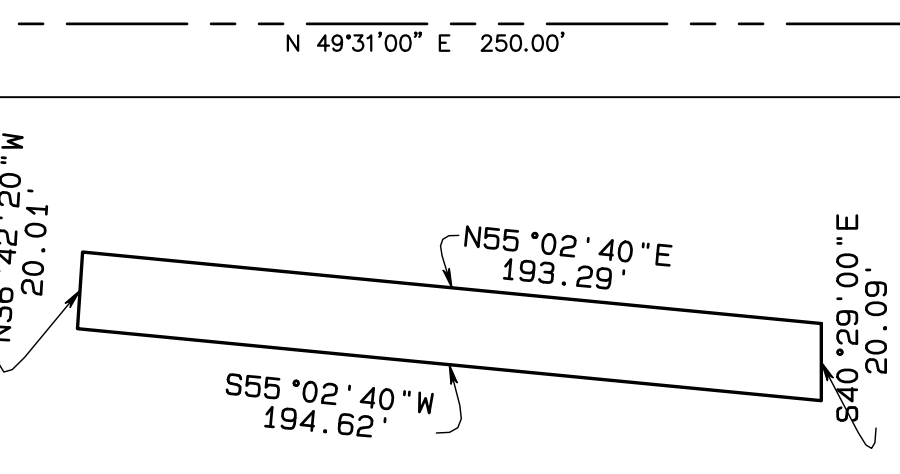
PROPERTY OWNER'S CERTIFICATION:

The land owner acknowledges that per the provisions of the East Goshen Township Stormwater Management Ordinance, it is unlawful to modify, remove, fill, landscape, alter or impair the effectiveness of, or place any structure, other vegetation, yard waste, brush cuttings, or other waste or debris into any permanent stormwater management BMP or conveyance described in this O&M plan or to allow the BMP conveyance to exist in a condition, which does not conform to this O&M plan, without written approval from the Township. The individual lot owner, his/her heirs, assigns or successors shall be responsible for the perpetual maintenance of the said facilities. A blanket stormwater management easement is provided over and across the property in favor of East Goshen Township to allow the Township and its agents and designees access to the proposed stormwater facilities. The Township is granted the right, but not the duty, to access and conduct periodic inspections and to undertake other actions that may be necessary to enforce the requirements of the Township's Stormwater Management Ordinance or of any applicable O&M plan or O&M agreement. If the property owner, his/her heirs, assigns or successors, fails in any way to maintain the said facilities, or causes these facilities to be altered or removed, upon written notification by the Township, the defects shall promptly be corrected by the property owner. Upon the owner's failure to correct the defects within time specified by the Township, the owner, his/her heirs, assigns or successors, do hereby authorize the Township and/or its contractor to enter upon the said property and cause the repair, maintenance, and/or correction to be made. A lien may be filed against the property for the cost of all corrections, including applicable engineering and/or attorney's fees. The Township is under no obligation to take any action. All subsequent real estate transactions, the existence of these stormwater facilities and their maintenance responsibilities shall be disclosed to the new owners. Any revision to the approved SWM site plan shall be submitted to the Township along with an Erosion & Sedimentation Control Plan for review and approval.

Signature _____

Date _____

Name _____



PROP. 20.00 FT WIDE SANITARY LATERAL
EASEMENT FOR LOT#1 OVER LOT#2

AREA = 3, 879.11 SF

UPI 53-4-8

N/L LIM LUVIMINO D & LUZ S
1500 MEADOWBROOK LN.

N49°31'00"E 401.94'
(EX.)

BAKER PROPERTY

UPI 53-4-7

N/L GABLE MARY VIRGINIA
1431 BOOT RD
DB#58, PG#553

PROP. 2.00 FT WIDE
200.00 FT LONG STRIP
OF LAND TO BE CONVEYED
TO UPI 53-4-23

IMPERVIOUS SURFACE:

LOT#1 - PROPOSED
BUILDING = 2, 668.37 SF
IMPERVIOUS AREA IN LOT#1 = 4, 47.39 SF
PLUS 50% OF JOINT DRIVEWAY WITHIN LOT#1 = 1, 255.08 SF
TOTAL IMPERVIOUS AREA IN LOT#1 = 5, 402.46 SF

LOT#2 - EXISTING
BUILDING = 2, 662.46 SF
IMPERVIOUS AREA IN LOT#2 = 6, 726.28 SF
PLUS 50% OF JOINT DRIVEWAY WITHIN LOT#1 = 1, 255.08 SF
TOTAL IMPERVIOUS AREA IN LOT#2 = 7, 981.33 SF

LOT AREAS

LOT	AREA [SF]	AREA [AC]
EXISTING	87, 491.21	2.0085 (GROSS)
UPI 53-4-23	87, 077.99	1.9990 (NET)
PROP. LOT.1	43, 995.00	1.0100 (GROSS)
	43, 581.67	1.0005 (NET)
PROP. LOT.2	43, 896.21	1.0077
EXISTING	85, 213.70	1.9562 (GROSS)
UPI 53-4-7	80, 213.70	1.8415 (NET)
PROPOSED	84, 813.70	1.9471 (GROSS)
UPI 53-4-7	78, 813.70	1.8323 (NET)

EXISTING PROPERTY DATA

UPI	ADDRESS	OWNERS	DEED BK	PAGE	AREA [SF] (PER DEED)
53-4-23	1506 MEADOWBROOK LA	LEGENSTEIN STEPH & DENISE	5051	2296	87, 120
53-4-7	1431 BOOT RD	GABLE MARY VIRGINIA	P58	553	82, 764

THIS PLAN HAS BEEN PREPARED BASED ON THE FOLLOWING INFORMATION SOURCES:

BOUNDARY & TOPOGRAPHIC SURVEY PLAN, PREPARED BY R.H. SMITH SURVEYORS,

WEST CHESTER, PA, DATED 7/25/2017.

A PLAN ENTITLED "PLAN OF SUBDIVISION FOR ANTHONY D'AMBROSIO" PREPARED

BY HENRY S. CONREY INC., DATED 8/14/1977.

A PLAN ENTITLED "FINAL TITLE PLAN" PREPARED BY D.L. HOWELL & ASSOCIATES,

INC. DATED 10/30/2001, LAST REVISED 3/11/2002.

A PLAN ENTITLED "FINAL SUBDIVISION PLAN FOR BRUCE & ANDREY A. ATKINS"

PREPARED BY JOHN D. STAPLETON III DATED 11/3/1992.

CHESTER COUNTY CHESSO VIEWS WEBSITE FOR DEEDS AND OWNERSHIP INFORMATION;

CHESTER COUNTY RECORDER OF DEEDS.

GUY ENGINEERING ASSOCIATES, INC. HAS NOT PERFORMED ANY FIELD SURVEY

OF THE PROPERTY AND IS NOT RESPONSIBLE FOR ANY ERRORS, INACCURACIES

OR OMISSIONS OF INFORMATION SHOWN ON THIS PLAN.

REQUESTED WAIVERS FROM THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

- SECTIONS 205.28 & 205.31: COMBINE THE PRELIMINARY AND FINAL REVIEW AND APPROVAL PROCESS.

ZONING ORDINANCE

R-2: LOW-DENSITY RESIDENTIAL DISTRICT

SECTION	DESCRIPTION	REQUIRED	PROVIDED	VARIANCE	COMMENTS	NOTES
EX. PROPERTY AREA = 87, 491.21 SF (GROSS), 87, 077.89 SF (NET)						
240-9.8 (1)	PERMITTED USES:	SINGLE FAMILY DETACHED DWELLING	NO			
240-9.6	MIN. LOT AREA	43, 560 SF	LOT#1: 43, 581.67 SF (NET) LOT#2: 43, 896.21 SF LOT#1: 159.69 FT LOT#2: 198.32 FT	NO	AT BLDG. LINE	1
	MIN. LOT WIDTH	150 FT	LOT#1: 25.05 FT LOT#2: 0 FT	NO	AT BLDG. LINE	
		60 FT	LOT#1: 25.05 FT LOT#2: 0 FT	NO	AT STREET LINE	2
	MAX. LOT COVERAGE	25%	LOT#1: 6.1% PROPOSED LOT#2: 6.1% EXISTING	GRANTED	AT STREET LINE BUILDINGS	3
		35%	LOT#1: 12.4% PROPOSED LOT#2: 18.2% EXISTING	NO	TOTAL IMPERVIOUS COVER	
	MIN. BUILDING HEIGHT	3	3	NO	STORIES	
	MIN. FRONT YARD	30 FT	LOT#1: 60 FT LOT#2: 60 FT	NO	FEET	
	AVE. FRONT YARD	45 FT	LOT#1: 60 FT LOT#2: 60 FT	NO		
	MIN. SIDE YARD	60 FT	60 FT	NO		
	MIN. REAR YARD	20 FT	20 FT	NO		
	STREET FRONTAGE	50 FT	50 FT	NO		
240-23.8 (2) (a)		EACH LOT	LOT#1 YES, LOT#2 NO	GRANTED		
240-23.8 (2) (b) [2] (b)	MAX. POLE LENGTH	400 FT	379.21 FT	NO	TO LOT#1 CORNER	3
240-23.8 (2) (b) [2] (e)	MIN. POLE WIDTH	40 FT	25 FT	GRANTED	EX. CONDITIONS PROP. LOT#1	

SURVEYOR'S CERTIFICATION:

I hereby certify that the boundary shown hereon was calculated by me and that the plan and survey accuracy is in conformance with all East Goshen Township Ordinances.

Signature _____

Date _____

COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER

On this the _____ day of _____, before me, the subscriber, a notary public of the Commonwealth of Pennsylvania, personally appeared _____ who acknowledged himself/herself to be owner and/or equitable owner of the property shown on this plan, and that he/she acknowledges the same to be his/her act and plan and desires the same to be recorded as such according to law.

LEGEND

EX. PROPERTY LINE

ADJACENT PROPERTY LINE

EX. ROAD R.O.W.

EX. TITLE LINE

EX. BUILDING

EX. PAVEMENT

PROP. LOT LINE

PROP. DRIVEWAY EASEMENT

PROP. SANITARY LATERAL EASEMENT

PROP. BUILDING

PROP. DRIVEWAY

N90°00'00"W 61.87'

N90°00'00"W 61.87'

N90°00'00"E 61.87'

N90°00'00"E 61.87'

N90°00'00"E 61.87'

N90°00'00"E 61.87'

N90°00'00"E 61.87'

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N90°00'00"E 61.87'

EAST GOSHEN TOWNSHIP ZONING HEARING BOARD DECISION OF 10/3/2017 GRANTING THE FOLLOWING VARIANCES:

- A variance from the minimum lot width at the street line requirements of Section 240-96 for Proposed Lots#1 and #2;
- A variance in the street frontage requirement of Section 240-23.8(2) (a) for Proposed Lots#1 and #2; and
- A variance from the minimum pole width requirement of Section 240-23.8(2) (b) [2] (e) for Proposed Lot#2.

Conditions:

- Applicants shall create the greatest possible sight triangle at the top of the driveway near the existing home, which is at the northeast corner of Proposed Lot#1 where the driveway takes a 45-degree turn toward Hemlock Hill Lane;
- Applicants shall provide a complete evergreen landscape buffer for properties adjacent to the property that are located along Nathaniel Drive;
- Applicants shall provide a large pull-off area along Hemlock Hill Lane to ensure safety for pedestrians and motorists using the lane; such pull-off area shall equal or exceed the area shown on Exhibit A-5;
- Applicants shall pave the pull-off area with porous pavers an widen the shared driveway serving Lots#1 and #2 to be 12 feet, and add Proposed Lot#1 into the existing Shared Driveway Easement Maintenance Agreement;
- Applicants shall finalize the subdivision with Mrs. Baker, so that both Proposed Lot#1 and Lot#2 will comply with the one-acre lot area requirement;
- Applicants shall comply with all representations made during the hearing and as set forth in the exhibits.

PROPERTY OWNER:

STEPHEN & DENISE LEGENSTEIN

DEED RECORDED: DB. 5051, PG. 2296

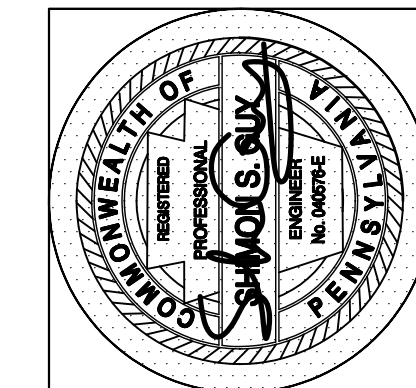
TMP # 53-4-23

GRAPHIC SCALE

1"=50'

0 50 100 150

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Shilmon Gray, P.E.

REV	BY	DATE	DESCRIPTION
1	SG	01/26/18	PROP. ENG. DESIGN
2	SG	02/20/18	PROP. PCSM
3	SG	04/20/18	ENG REVIEW 3-26-18

Project: PROPOSED RESIDENTIAL SUBDIVISION

1506 MEADOWBROOK LANE

WEST CHESTER, PA 19380

EAST GOSHEN TOWNSHIP, COUNTY OF CHESTER, PA

Applicant:

STEPHEN & DENISE LEGENSTEIN

1506 MEADOWBROOK LANE

WEST CHESTER, PA 19380



Guy Engineering Associates, Inc.

Consulting Engineers

3508 Goshen Road

Newtown Square, PA 19073

(610) 355-0862

Plan Title

PRELIMINARY / FINAL

SUBDIVISION PLAN

Project File:

SUBDIV 9-17-PRO

Scale: 1"=50'

Checked: S.G.

S.G.

Drawn: S.G.

Date: 8/01/2017

SHEET

OF: 1

CALL BEFORE YOU DIG

PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN PHASE - STOP CALL
Pennsylvania One Call System, Inc
1-800-242-1776 SERIAL No. 20170472360
DATE: 02/16/2017

LOT AREAS

LOT	AREA [SF]	AREA [AC]
EXISTING	87,491.21	2.0085 (GROSS)
	87,077.89	1.9990
PROP. 1	43,995.00	1.0100 (GROSS)
	43,581.67	1.0005 (NET)
PROP. 2	43,896.21	1.0077

SURVEY DATUM: NAVD 1988

THIS PLAN HAS BEEN PREPARED BASED ON THE FOLLOWING INFORMATION SOURCES:
BOUNDARY & TOPOGRAPHIC SURVEY PLAN, PREPARED BY R.H. SMITH SURVEYORS,
WEST CHESTER, PA DATED 7/29/2017;
EAST GOSHEN TOWNSHIP ZONING MAP;
A PLAN ENTITLED "PLAN OF SUBDIVISION FOR ANTHONY D'AMBROSIO" PREPARED
BY HENRY S. CONREY, INC., DATED 8/14/1977;
A PLAN ENTITLED "FINAL TITLE PLAN" PREPARED BY D.L. HOWELL & ASSOCIATES,
INC., DATED 10/30/2001, LAST REVISED 3/11/2002;
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PREPARED BY JOHN D. STAPLETON III, DATED 11/3/1992;
CHESTER COUNTY CHESCO VIEWS WEBSITE FOR DEEDS AND OWNERSHIP INFORMATION;
GUY ENGINEERING ASSOCIATES, INC. HAS NOT PERFORMED ANY FIELD SURVEY
OF THE PROPERTY AND IS NOT RESPONSIBLE FOR ANY ERRORS, INACCURACIES
OR OMISSIONS OF INFORMATION SHOWN ON THIS PLAN.

SANITARY SEWER NOTES:

- THE SANITARY SEWER LATERAL AND FORCE MAIN SHALL HAVE A MINIMUM COVER OF 3 FEET.
- THE DISCHARGE PIPE FROM THE GRINDER PUMP SHALL BE 1.25" DIA. PVC SDR 21.

TRM NOTE:

SUCH AS NORTH AMERICAN GREEN P300 OR EQUAL SHALL BE PLACED ON
THE GROUND COVERING THE BERM OF THE BMP. EXTENDING FROM ELEVATION
439.50 ON THE INSIDE OF THE BERM AND DOWNSLOPE ON THE OUTSIDE OF
THE BERM TO THE EAST PROPERTY LINE.

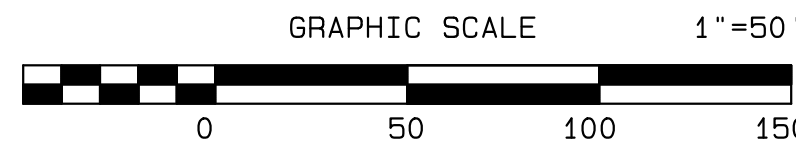
LEGEND

EX. PROPERTY LINE	N90°00'00"W 61.87'
ADJACENT PROPERTY LINE	N90°00'00"W 61.87'
EX. ROAD R.O.W.	
EX. TITLE LINE	
EX. PAVEMENT	
EX. BUILDING	
EX. TREE	
EX. DEAD TREE TO BE REMOVED	
EX. SANITARY SEWER	S—S
EX. GAS LINE	G—G
EX. CONTOUR	

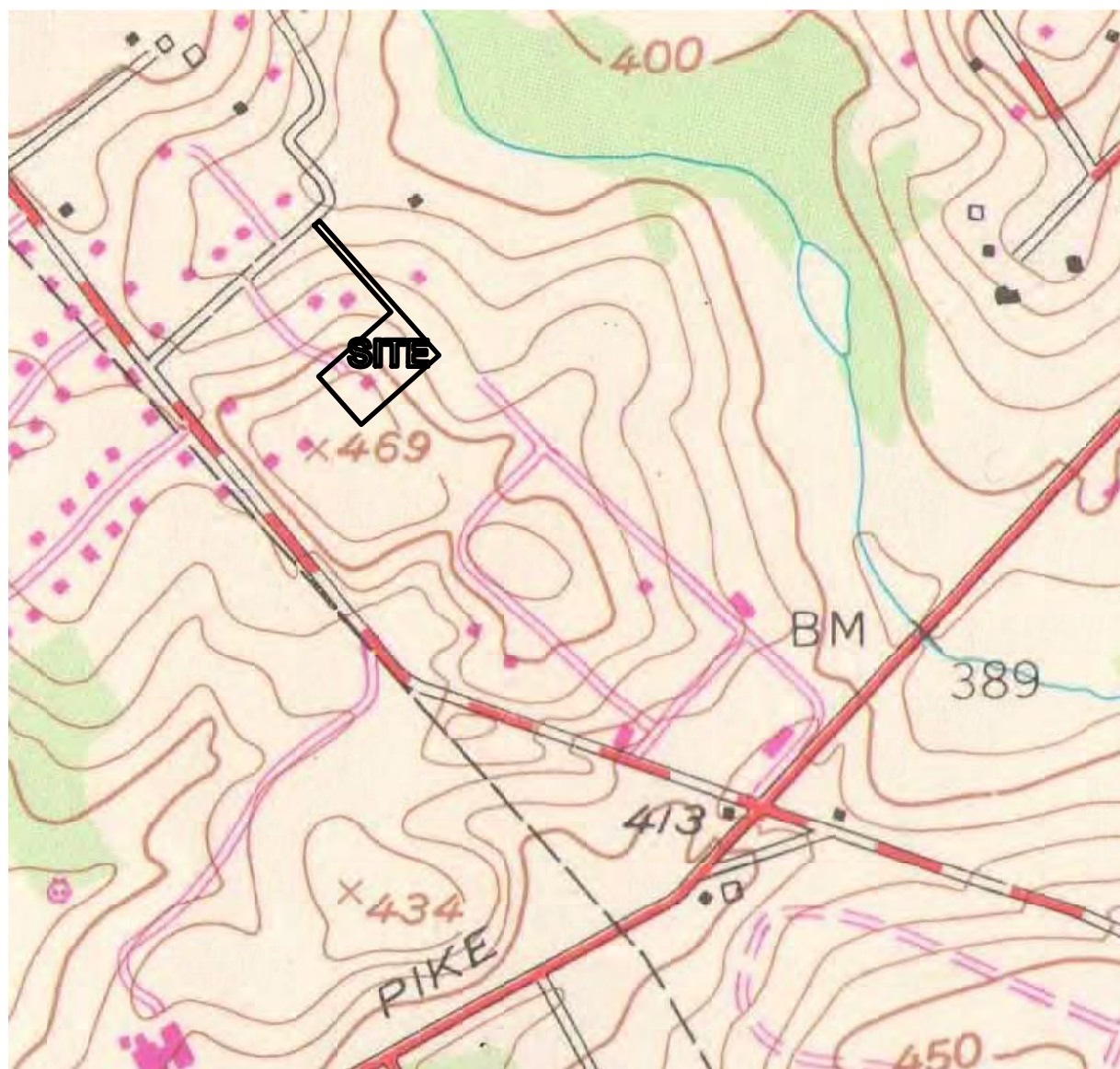
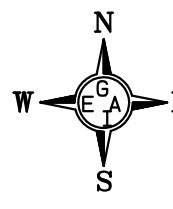
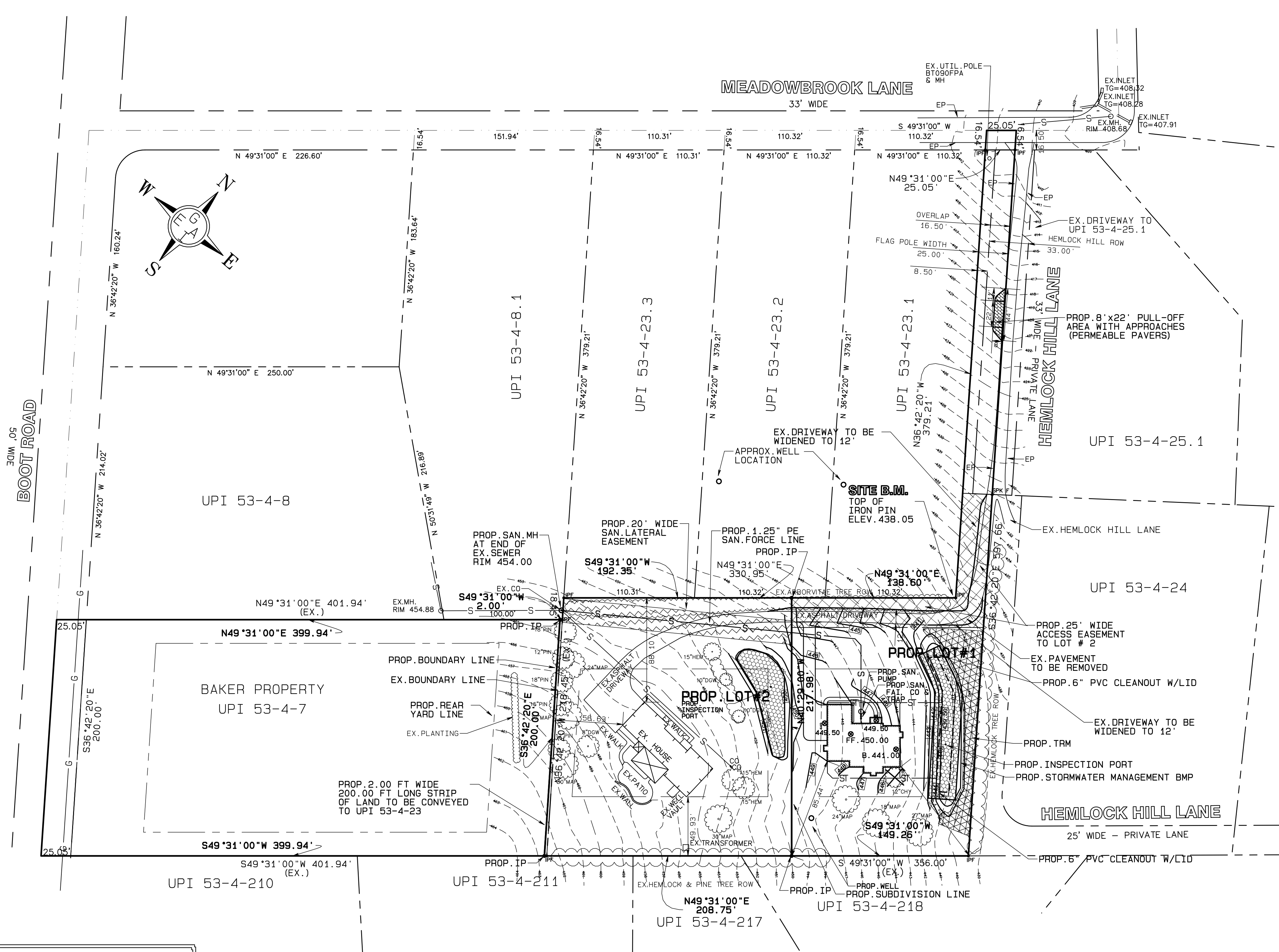
PROP. LOT LINE	
PROP. DRIVEWAY	
PROP. DRIVEWAY EASEMENT	
PROP. PULL-OFF AREA PERMEABLE PAVERS	
PROP. SANITARY LATERAL EASEMENT	
PROP. TRIMMED VEGETATION	
PROP. BUILDING	
PROP. CONTOUR	
PROP. SANITARY LATERAL	

PROPERTY OWNER:

STEPHEN & DENISE LEGENSTEIN
DEED RECORDED: DB.5051, PG.2296
TMP # 53-4-23



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OF ANY PARTS OF ITS CONTENTS MAY BE MADE WITHOUT THE
EXPRESSED WRITTEN PERMISSION BY THE AUTHOR.



USGS LOCATION MAP
WEST CHESTER, PA QUAD
SCALE: 1" = 600'

UTILITY NOTES:

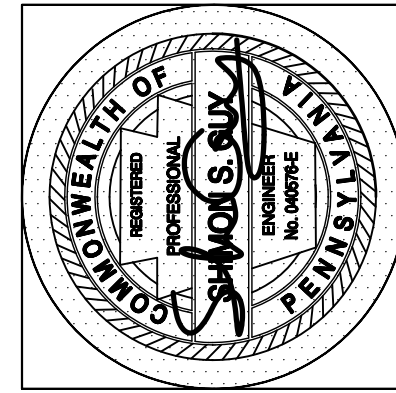
- PROPOSED LOTS TO BE SERVED BY PUBLIC SEWER.
- EACH LOT WILL HAVE AN ON-LOT WATER SUPPLY WELL.
- LOT#1 WILL ACCESS PUBLIC SEWER THROUGH AN EASEMENT IN LOT#2.
- THE END OF THE PUBLIC SANITARY SEWER AT THE WEST CORNER OF LOT # 2 SHALL BE EXCAVATED AND THE EXISTING CLEANOUT SHALL BE REPLACED WITH A SANITARY MANHOLE. THE INVERT ELEVATION OF THE MANHOLE WILL BE DETERMINED AT THE TIME OF CONSTRUCTION TO MATCH THE INVERT ELEVATION OF THE EXISTING PIPE. THE EXISTING LATERAL SERVING LOT # 2 WILL BE CONNECTED TO THE MANHOLE. THE NEW FORCE LINE FROM LOT # 1 WILL BE CONNECTED TO THE MANHOLE AS WELL. ALL WORK SHALL BE PERFORMED WITHIN THE EXISTING PUBLIC SANITARY SEWER EASEMENT.

ZONING NOTES:

- THE TOTAL AREA OF THE LOT TO BE SUBDIVIDED WILL INCREASE THROUGH THE PURCHASE OF A STRIP OF LAND FROM THE ADJACENT PROPERTY UPT 53-4-7 AND ADDED TO THE SUBJECT PROPERTY. THE AREA OF THE LAND TO BE PURCHASED IS 400.00 SF.
- THE EXISTING UPT 53-4-23 PROPERTY HAS A FRONTAGE OF 25.05 FT. AT THE STREET LINE. THE DRIVEWAY TO THE PROPERTY IS KNOWN ALSO AS HEMLOCK HILL LANE. A PRIVATE ROAD THAT PROVIDES ACCESS TO THIS PROPERTY, AS WELL AS 4 ADDITIONAL PROPERTIES.
- THE DRIVEWAY OF PROPOSED LOT # 2 WILL ACCESS FROM THE EXISTING HEMLOCK HILL LANE AND AN ACCESS EASEMENT THROUGH PROPOSED LOT # 1 AND WILL NOT HAVE A SEPARATE FRONTAGE ON A PUBLIC ROAD.
- THE SUBJECT PROPERTY AND ALL ADJACENT PROPERTIES ARE ZONED R-2, LOW DENSITY RESIDENTIAL DISTRICT.

FLOOD HAZARD NOTE:

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD. PER FEMA FIRM NUMBER 42029C02156 EFFECTIVE 09/29/2017, FOR EAST GOSHEN, PA, PANEL NUMBER 420277.



Shilmon Gray, P.E.

REV	BY	DATE	DESCRIPTION
1	SG	01/26/18	PROP. ENG. DESIGN
2	SG	02/20/18	PROP. PCSM
3	SG	04/20/18	ENG REVIEW 3-26-18

Project: PROPOSED RESIDENTIAL SUBDIVISION
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380

Applicant: EAST GOSHEN TOWNSHIP, COUNTY OF CHESTER, PA

STEPHEN & DENISE LEGENSTEIN

1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380

Plan Title: PRELIMINARY / FINAL
CONSTRUCTION
IMPROVEMENTS PLAN
LOT #1

Guy Engineering Associates, Inc.
Consulting Engineers
3508 Goshen Road
Newtown Square, PA 19073
(610) 355-0862

Project File: SUBDIV 8-17.PRO

Scale: 1"=50'

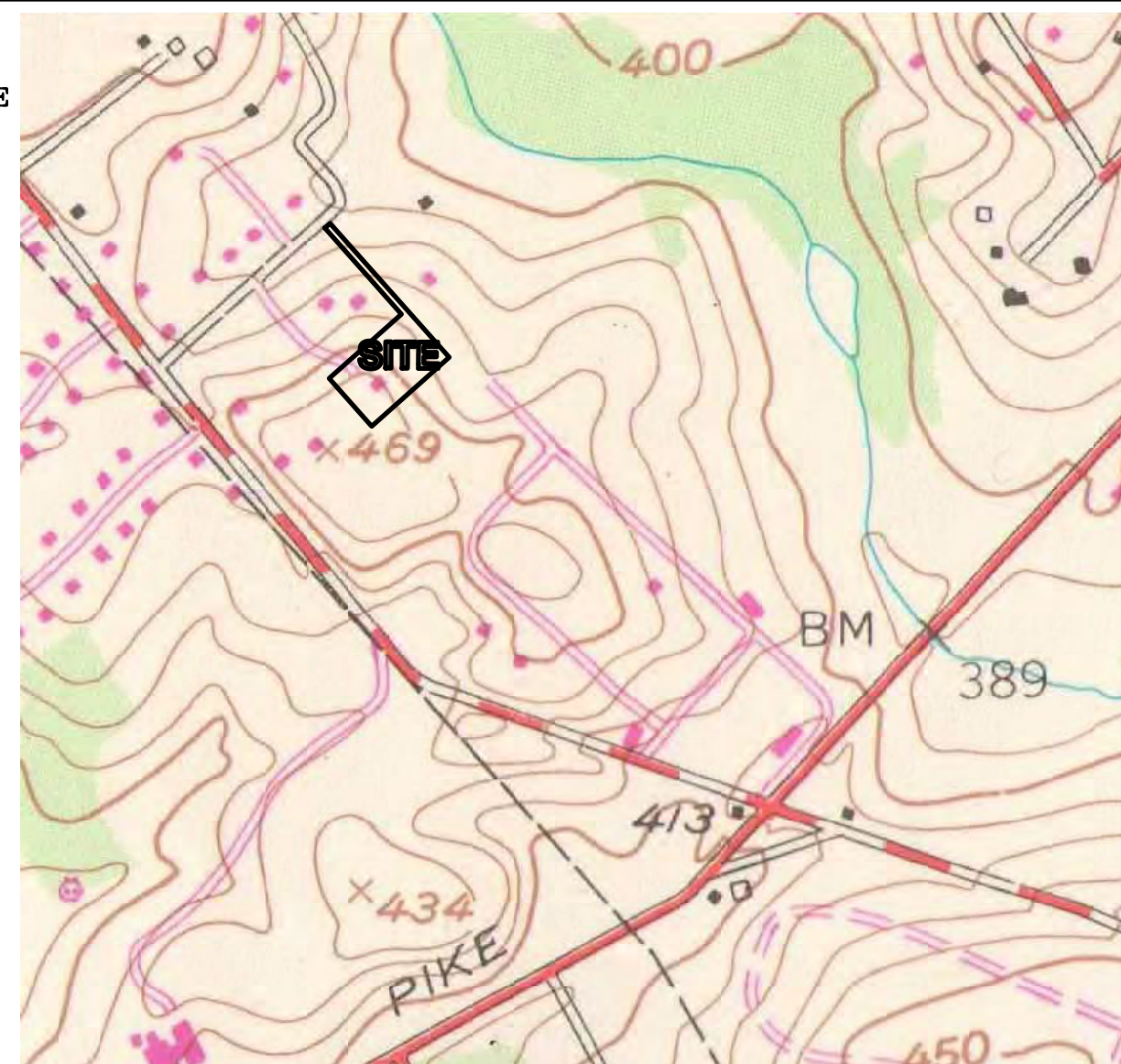
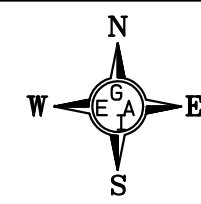
Checked: S.G.

Drawn: S.G.

Date: 8/01/2017

SHEET

OF: 8



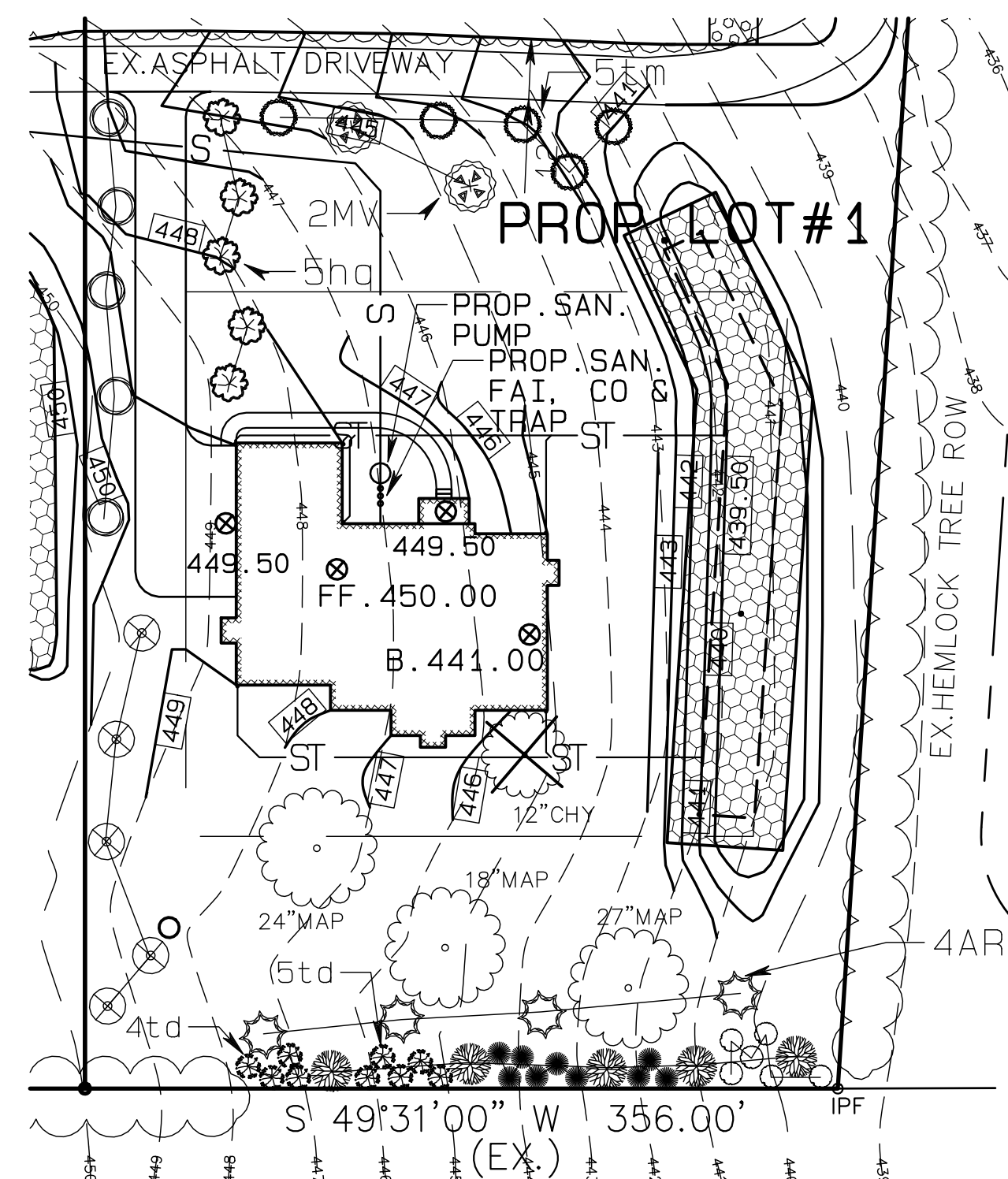
1. BUFFER TREES SHALL BE PLANTED IN STAGGERED ROWS CENTERED NO MORE THAN 18 FEET APART.

2. BUFFER SHRUBS SHALL BE PLANTED IN STAGGERED ROWS CENTERED NO MORE THAN 18 FEET APART.

3. PLANTINGS SHALL NOT BE DISEASE PRONE, INSECT PRONE, SHORT LIVED.

4. THE EXTERIOR WIDTH BEYOND THE PLANTING SCREEN SHALL BE PLANTED WITH GRASS SEED, SOIL OR GROUND COVER AND SHALL BE MAINTAINED AND KEPT CLEAR OF ALL DRIFT, RUBBERSTAMPS, WEEDS AND TALL GRASS (NO MORE THAN 12").

5. PLANTED AREAS SHALL BE IRRIGATED.








PROP. LANDSCAPING
SCALE: 1"=30'

PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN PHASE - STOP CALL
Pennsylvania One Call System, Inc
1-800-242-1776 SERIAL No. 2017047236
DATE: 02/16/2017

LOT	AREA [SF]	AREA [AC]	
EXISTING	87,491.21	2.0085	(GROSS)
	87,077.89	1.9990	
PROP. 1	43,995.00	1.0100	(GROSS)
	43,581.67	1.0005	(NET)
PROP. 2	43,896.21	1.0077	

TYPE	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY	SYMBOL
ORNAMENTAL TREE	MV	MAGNOLIA VIRGINIANA	SWEET BAY MAGNOLIA	1.5" CAL.	B&B	2	
DECIDUOUS SHRUB	hq	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	24" HT	B&B	5	
DECIDUOUS SHRUB	cs	CORNUS SERICEA 'FLAVIREMEA'	YELLOW TWIG DOGWOOD	24" HT	B&B	5	
EVERGREEN SHRUB	rm	RHODODENDRON MICKELI	MICKELI RHODODENDRON	24" HT	B&B	5	
EVERGREEN SHRUB	tm	TAXUS X MEDIA 'HICKSII'	HICKS YEW	24" HT	B&B	5	

TYPE	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY	SYMBOL
EVERGREEN TREE	CL	CUPRESSUS LEYLANDII	LEYLAND CYPRESS	8' HT	B&B	5	
DECIDUOUS TREE	AR	ACER RUBRUM	RED MAPLE	2.5" CAL.	B&B	4	
EVERGREEN SHRUB	td	TAXUS DENSIFORMIS	DENSE SPREADING YEW	3' HT	B&B	9	
EVERGREEN SHRUB	im	ILEX X MESEREAEEA	CHINA GIRL HOLLY	3' HT	B&B	8	
EVERGREEN SHRUB	vd	VIBURNUM DAVIDII	DAVID VIBURNUM	3' HT	B&B	6	

LEGEND

EX. PROPERTY LINE N90°00'00"W
61.87'

ADJACENT PROPERTY LINE N90°00'00"W
61.87'

EX. ROAD R.O.W.

EX. TITLE LINE

EX. PAVEMENT

EX. BUILDING

EX. TREE

EX. DEAD TREE TO BE REMOVED

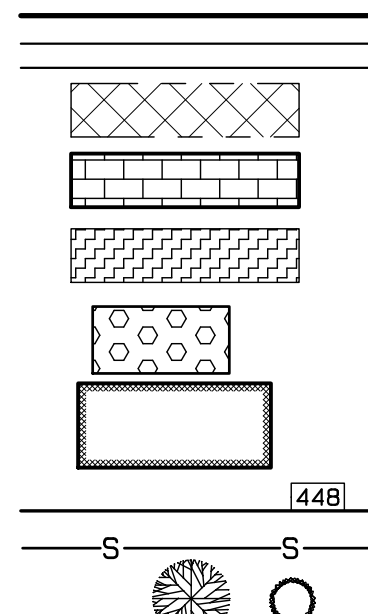
EX. SANITARY SEWER

EX. GAS LINE


EX. CONTOUR

PROP. LOT LINE
PROP. DRIVEWAY
PROP. DRIVEWAY EASEMENT
PROP. PULL-OFF AREA
PERMEABLE PAVERS
PROP. SANITARY
LATERAL EASEMENT
PROP. TRIMMED VEGETATION
PROP. BUILDING
PROP. CONTOUR
PROP. SANITARY LATERAL
PROP. TREE/SHRUB

STEPHEN & DENISE LEGENSTEIN
DEED RECORDED: DB.5051, PG.2296
TMP # 53-4-23



GRAPHIC SCALE 1"=50'



A horizontal graphic scale bar with alternating black and white segments. Below the bar are numerical markers at 0, 50, 100, and 150.

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THIS PLAN HAS BEEN PREPARED BASED ON THE FOLLOWING INFORMATION SOURCES:
BOUNDARY & TOPOGRAPHIC SURVEY PLAN, PREPARED BY R.H. SMITH SURVEYORS,
WEST CHESTER, PA, DATED 7/29/2017;
EAST GOSHEN TOWNSHIP ZONING MAP;
A PLAN ENTITLED "PLAN OF SUBDIVISION FOR ANTHONY D'AMBROSIO" PREPARED
BY HENRY S.CONREY INC., DATED 8/140/1977;
A PLAN ENTITLED "FINAL TITLE PLAN" PREPARED BY D.L.HOWELL & ASSOCIATES,
INC., DATED 10/30/2001. LAST REVISED 3/11/2002;
A PLAN ENTITLED "SUBDIVISION OF LAND OF JAMES C. & AUDREY A. ATKINS"
PREPARED BY JOHN D. STAPLETON III, DATED 11/23/1992;
CHESTER COUNTY CHESCO VIEWS WEBSITE FOR DEEDS AND OWNERSHIP INFORMATION;
CHESTER COUNTY RECORDER OF DEEDS;
BUY ENGINEERING ASSOCIATES, INC. HAS NOT PERFORMED ANY FIELD SURVEY
OR TOPOGRAPHIC SURVEY AND IS NOT RESPONSIBLE FOR ANY ERRORS, INACCURACIES
OR OMISSIONS OF INFORMATION SHOWN ON THIS PLAN.

REV	BY	DATE	DESCRIPTION
1	SG	01/26/18	PROP. ENG. DESIGN
2	SG	02/20/18	PROP. PCSM
3	SG	04/20/18	ENG REVIEW 3-26-18

Project:
PROPOSED RESIDENTIAL SUBDIVISION

1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380
EAST GOSHEN TOWNSHIP, COUNTY OF CHESTER, PA

Applicant:

STEPHEN & DENISE LEGENSTEIN
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380

Plan Title
PRELIMINARY / FINAL
LANDSCAPING PLAN
LOT ## 1

Guy Engineering Associates, Inc.
Consulting Engineers
3508 Goshen Road
Newtown Square, PA 19073

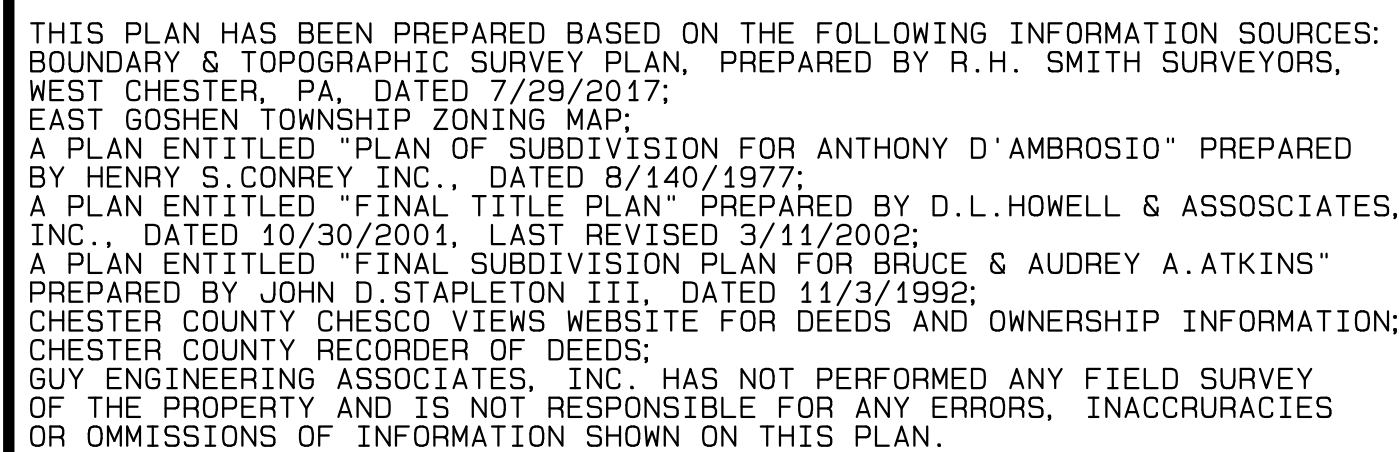
Project File: SUBDIV 8-17.PR

Scale: 1"=50'

Checked: S.G.

Date: 8/01/2017

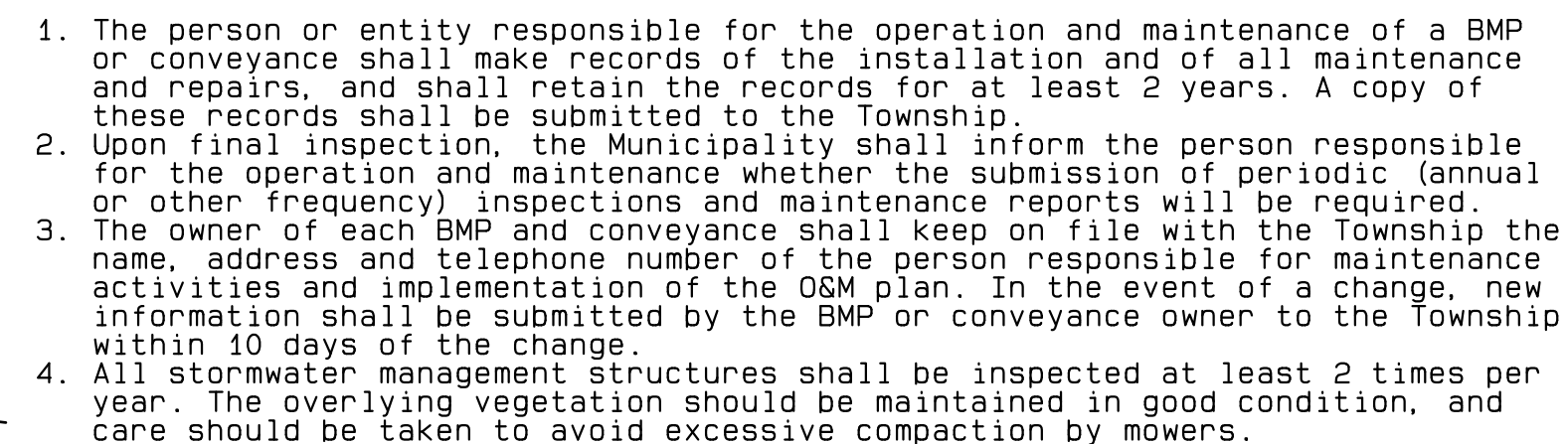
$$\frac{\infty}{\therefore}$$



1. ALL ROOF DRAINS SHALL BE PIPED TO THE PROPOSED STORMWATER MANAGEMENT BMP AND TIE INTO THE PERFORATED PVC PIPE INSIDE THE CRUSHED STONE BED.
2. DRAIN PIPES SHALL BE 6" DIA.PVC AT 0.02 FT/FT MIN.
3. ALL ROOF GUTTERS SHALL BE EQUIPPED WITH GUTTER GUARDS TO PREVENT LEAVES FROM ENTERING THE ROOF DRAINS.

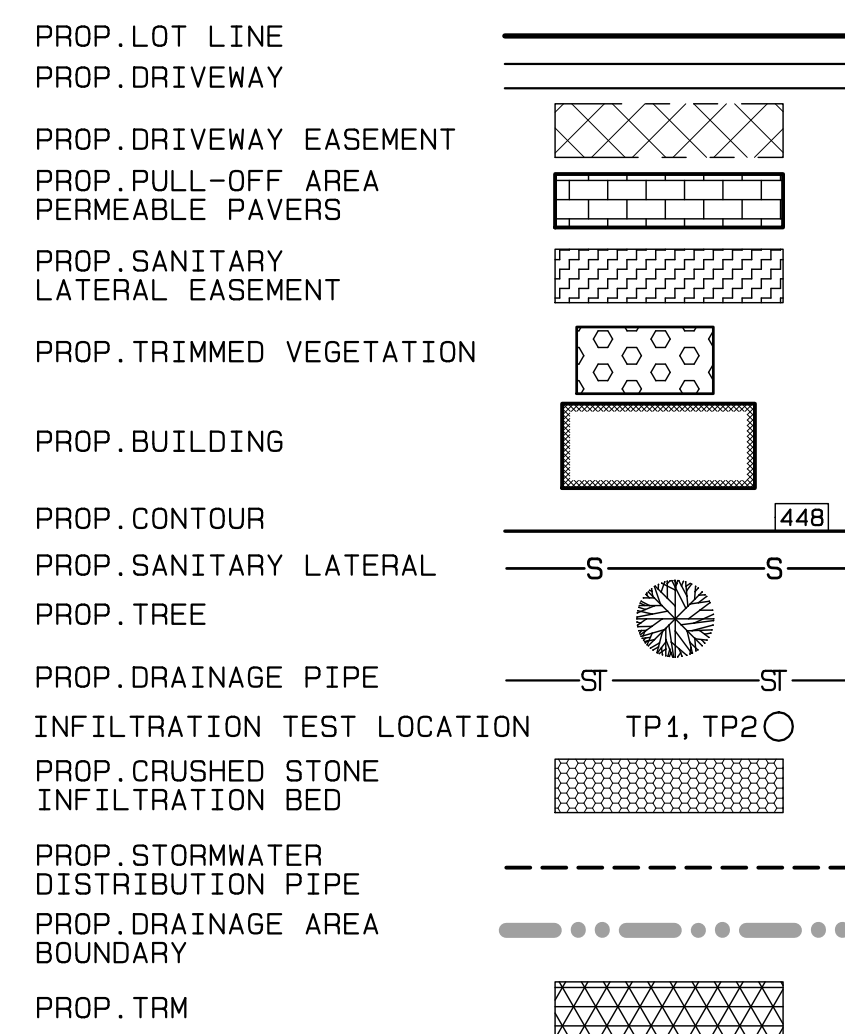
```
INFILTRATION TESTING WAS PERFORMED BY KATHERINE HEED AND
PROVIDED TO GUY ENGINEERING.
TEST PIT TP-1:
  SURFACE ELEVATION = 441.00
  DEPTH = 48"
  TEST ELEVATION = 437.00
  INFILTRATION RATE = 2.50 IN/HR
TEST PIT TP-2:
  SURFACE ELEVATION = 441.00
  DEPTH = 48"
  TEST ELEVATION = 437.00
  INFILTRATION RATE = 2.98 IN/HR
MEASURED AVERAGE INFILTRATION RATE = 4.74 IN/HR
DESIGN INFILTRATION RATE = 2.37 IN/HR
```

GdB: Gladstone Gravelly Loam, 3 - 8% slopes, HSG "B"
GdC: Gladstone Gravelly Loam, 8 - 15% slopes, HSG "B"
UrcB: Urban Land - Califon Complex, 0 - 8% slopes, HSG "B" (assumed)
Urb1B: Urban Land - Gladstone Complex, 0 - 8% slopes, HSG "B" (assumed)

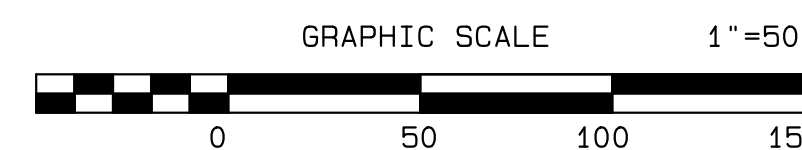


1. Excavation shall be performed with equipment that will not compact the bottom of the bed. Equipment shall not be allowed on excavated area of the infiltration bed at any time during its construction.
2. The bottom of the bed shall be scarified immediately prior to the placement of the geotextile fabric on the bottom of the bed.
3. The bottom of the bed shall be protected during construction. Sediment shall not be allowed to be washed back into the bed, both during the time when the bottom of the bed is open, and once the stone is placed.
4. Only uniformly graded, clean aggregate, free of fines, slate, shale, clay, silt, and vegetative material shall be used. The surface of the stone shall be free of any material that could reduce the ability of the stone delivered to the site.
5. Construction on the infiltration bed shall be avoided to the fullest extent possible. Heavy equipment and traffic shall be restricted from traveling over the proposed location of the infiltration bed to minimize compaction of the soil. Excavation of the bed shall be completed with relatively light equipment.
6. Construction equipment shall only be allowed on the top of the stone after it has been placed to its depth.
7. A drainage filter fabric shall be placed in accordance with manufacturer's directions, including pipe penetrations and should overlap a minimum of 16 inches.
8. The infiltration bed shall be protected from sedimentation using storm water management practices and inlet protection in accordance with the PADEP Chapter 402 regulations, as amended, and the Erosion and Sediment Pollution Control Manual, as amended. Inlet protection shall remain until the construction is complete.

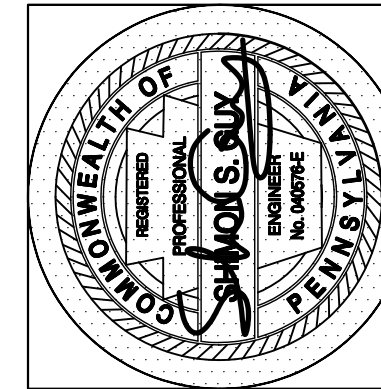
A blanket stormwater management easement is provided over and across the property in favor of East Goshen Township to allow the Township and its agents and designees access to the proposed stormwater management facilities. The Township is granted the right, but not the duty, to access and conduct periodic inspections and to undertake other actions that may be necessary to enforce the requirements of the Township's Stormwater Management Ordinance or of any applicable QSM plan or QSM agreement.



STEPHEN & DENISE LEGENSTEIN
DEED RECORDED: DB.5051, PG.2296
TMP # 53-4-23



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REV	BY	DATE	DESCRIPTION
1	SG	01/26/18	PROP. ENG. DESIGN
2	SG	02/20/18	PROP. PCSM
3	SG	04/20/18	ENG REVIEW 3-26-18

1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380
EAST GOSHEN TOWNSHIP, COUNTY OF CHESTER, PA

STEPHEN & DENISE LEGENSTEIN

**1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380**

POST CONSTRUCTION
STORMWATER MANAGEMENT
PLAN - LOT #1



Consulting Engineers
3508 Goshen Road
Newtown Square, PA 19073

Scale: 1"=50'

Checked: S.G.

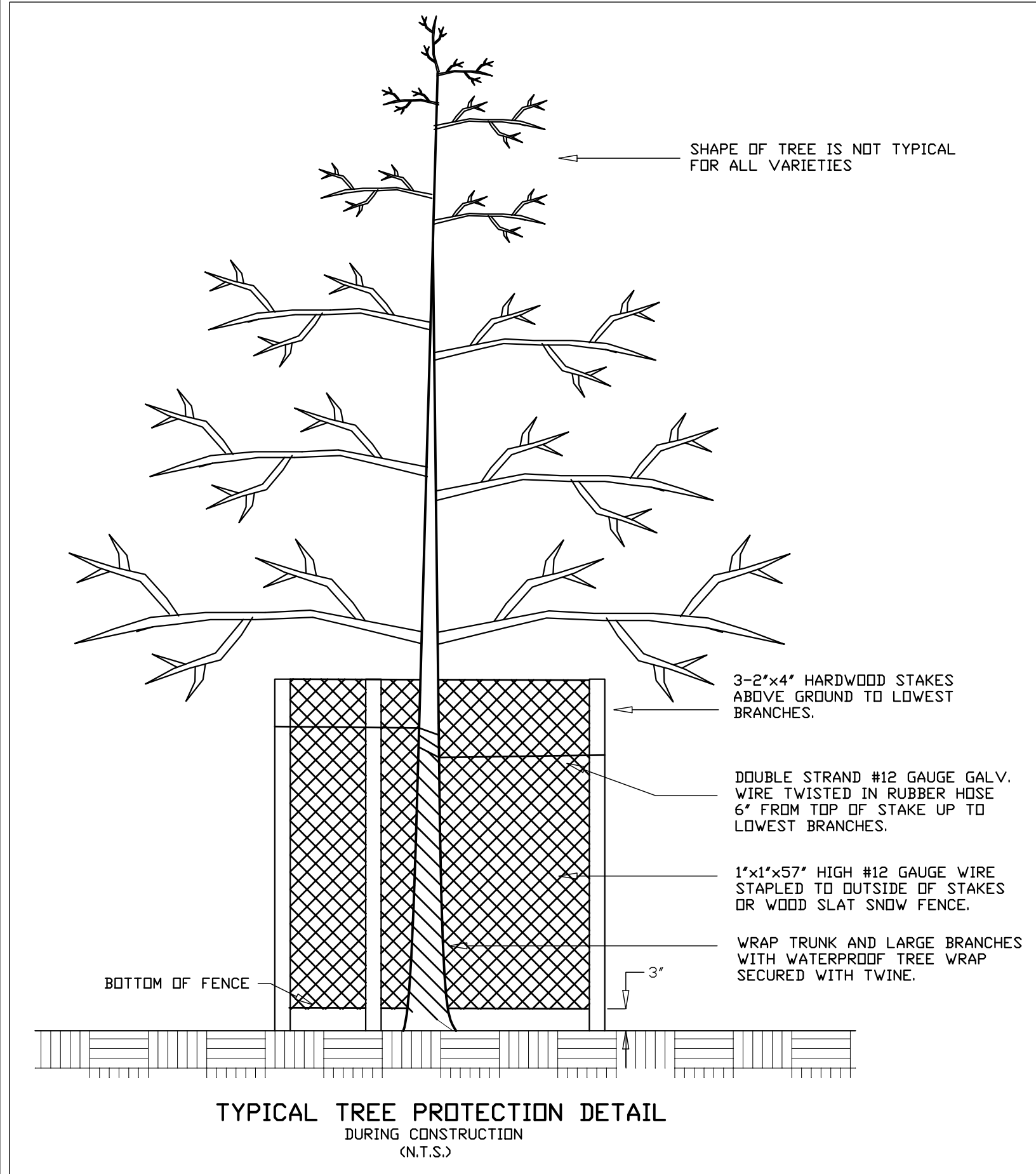
Drawn: S.G.

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TESTS

© 2000





TEMPORARY SEEDING:

LIME: 190 lbs/1000 sf
Ground limestone incorporated 4 inches into soil.

FERTILIZER: 25 lbs/1000 sf
10-20-20 incorporated 4 inches into soil.

SEED: 1.0 lbs/1000 sf
Annual ryegrass

MULCH: 140 lbs/1000 sf
Straw mulch

Minimum Standard for Limestone and Fertilizer:

Limestone shall be applied at a rate of 1 ton per acre.
Fertilizer shall be applied at a rate of:
Nitrate nitrogen 30 lbs/acre average
Phosphorous 100 lbs/acre average
Potassium 120 lbs/acre average

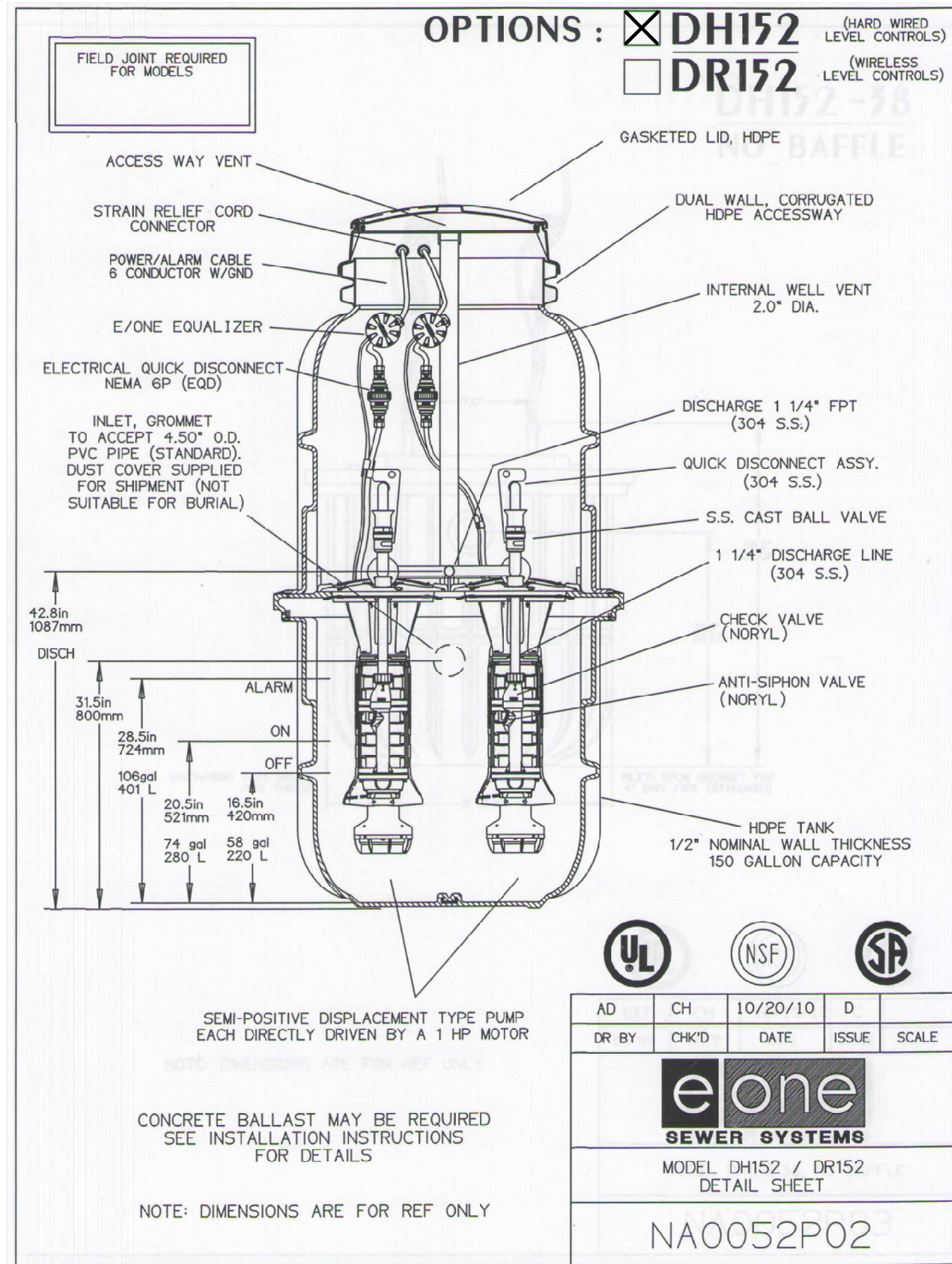
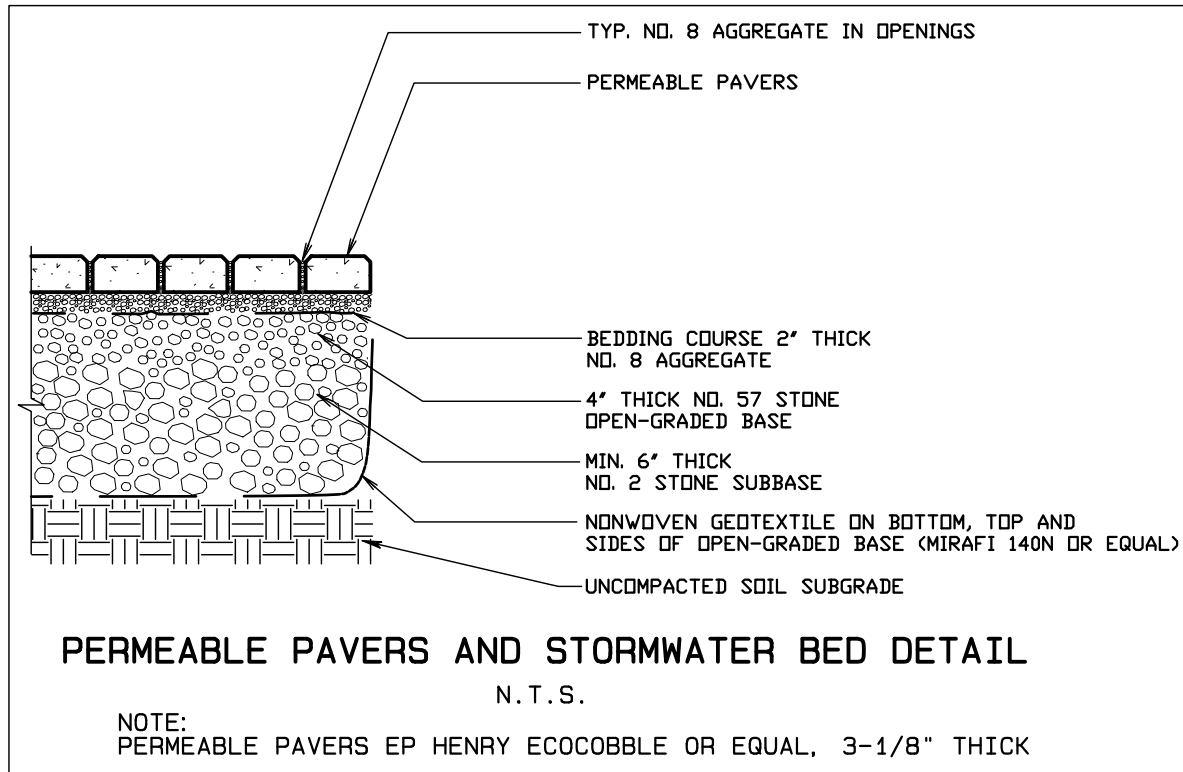
PERMANENT SEEDING:

LIME: 190 lbs/1000 sf
Ground limestone incorporated 4 inches into soil.

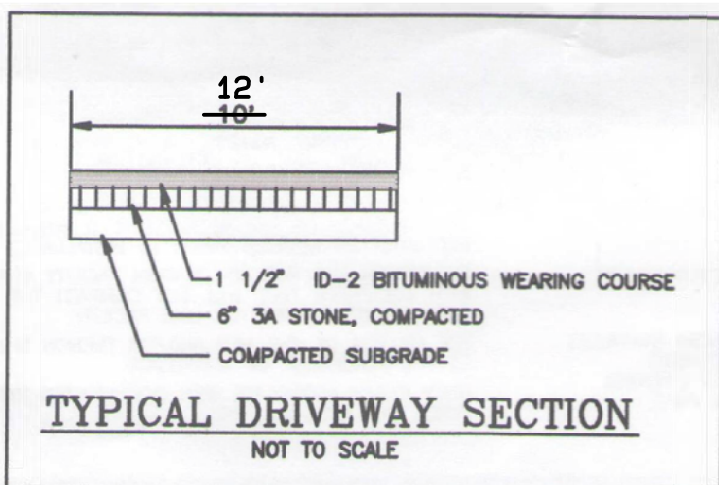
FERTILIZER: 25 lbs/1000 sf
10-20-20 incorporated 4 inches into soil.

SEEDING: Lawn and mowed areas - Kentucky Bluegrass - 30 lbs/ac
Redtop - 3 lbs/ac
Perennial Ryegrass - 20 lbs/ac
Total Seeding = 53 lbs/ac
OR
PennLawn-Fine Fescue - 40 lbs/ac
Redtop - 3 lbs/ac
Perennial Ryegrass - 20 lbs/ac
Total Seeding = 63 lbs/ac
Slopes or unmowed areas - Crown Vetch - 25 lbs/ac
Perennial Ryegrass - 25 lbs/ac
Total Seeding = 50 lbs/ac

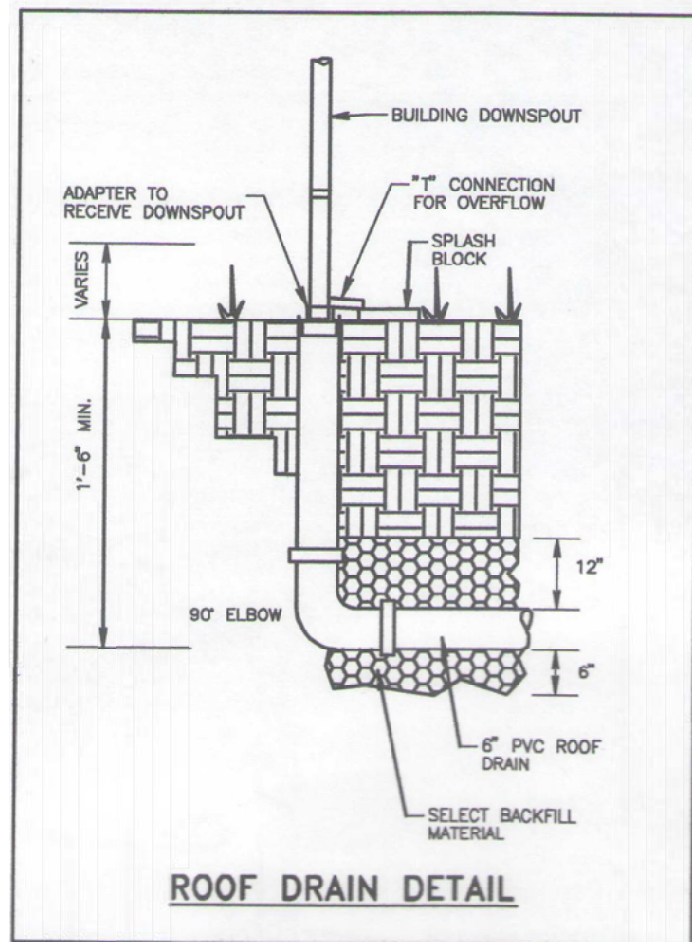
Planting date: March 1st to May 15th, and August 15th to October 1st.
Mulch: Straw at a rate of 140 lbs/1000 sf. Mulch shall be secured by approved methods.



NOTE: PRIVATE DRIVEWAY WIDTH - 10 FT

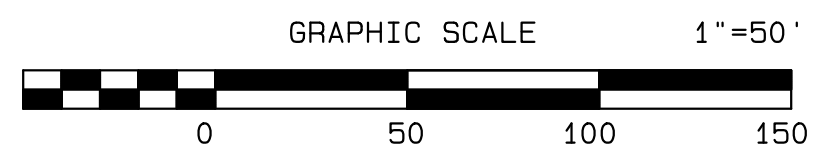


DRIVEWAY WIDENING DETAIL

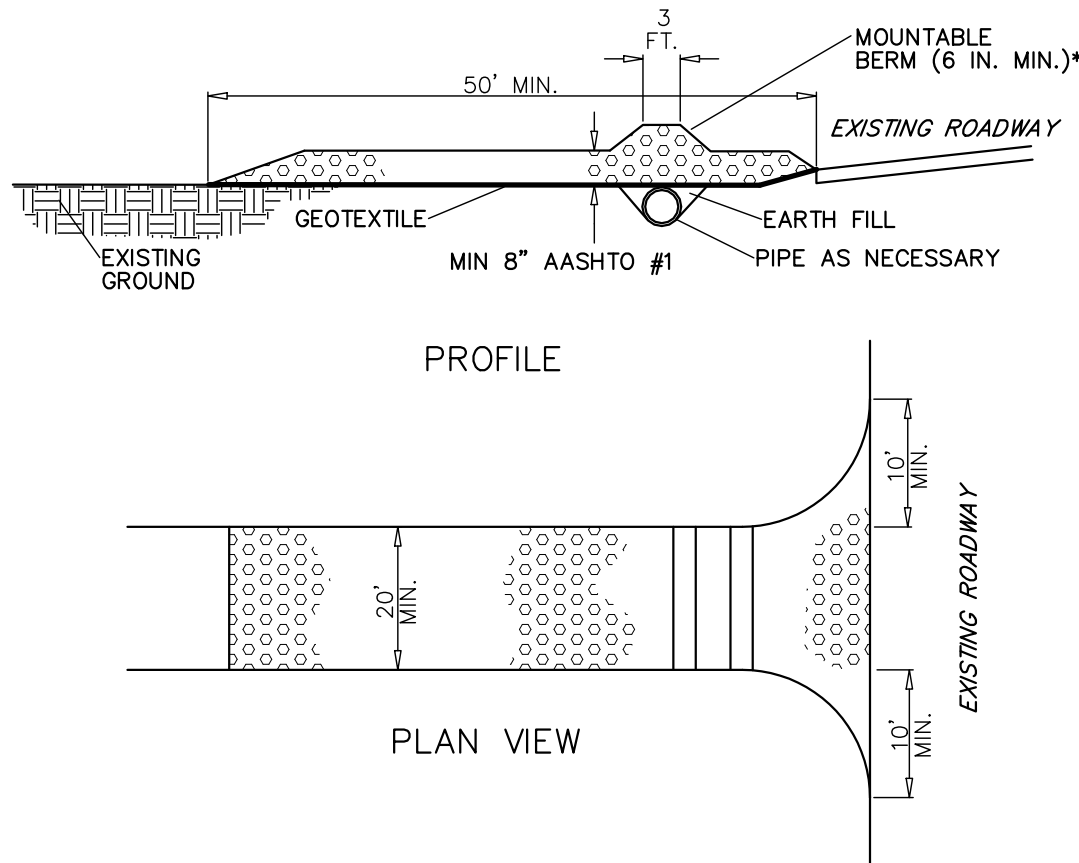


PROPERTY OWNER:

STEPHEN & DENISE LEGENSTEIN
DEED RECORDED: DB.5051, PG.2296
TMP # 53-4-23



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NOTES:

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

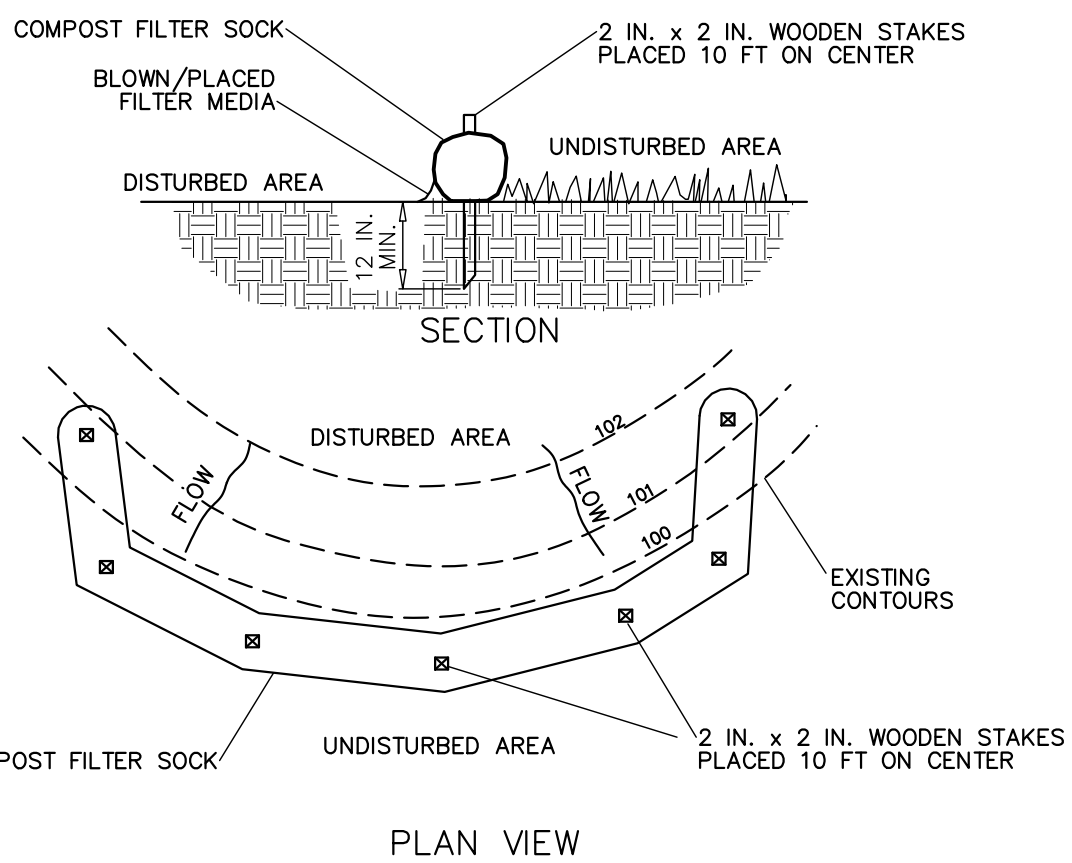
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE**

NOT TO SCALE



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

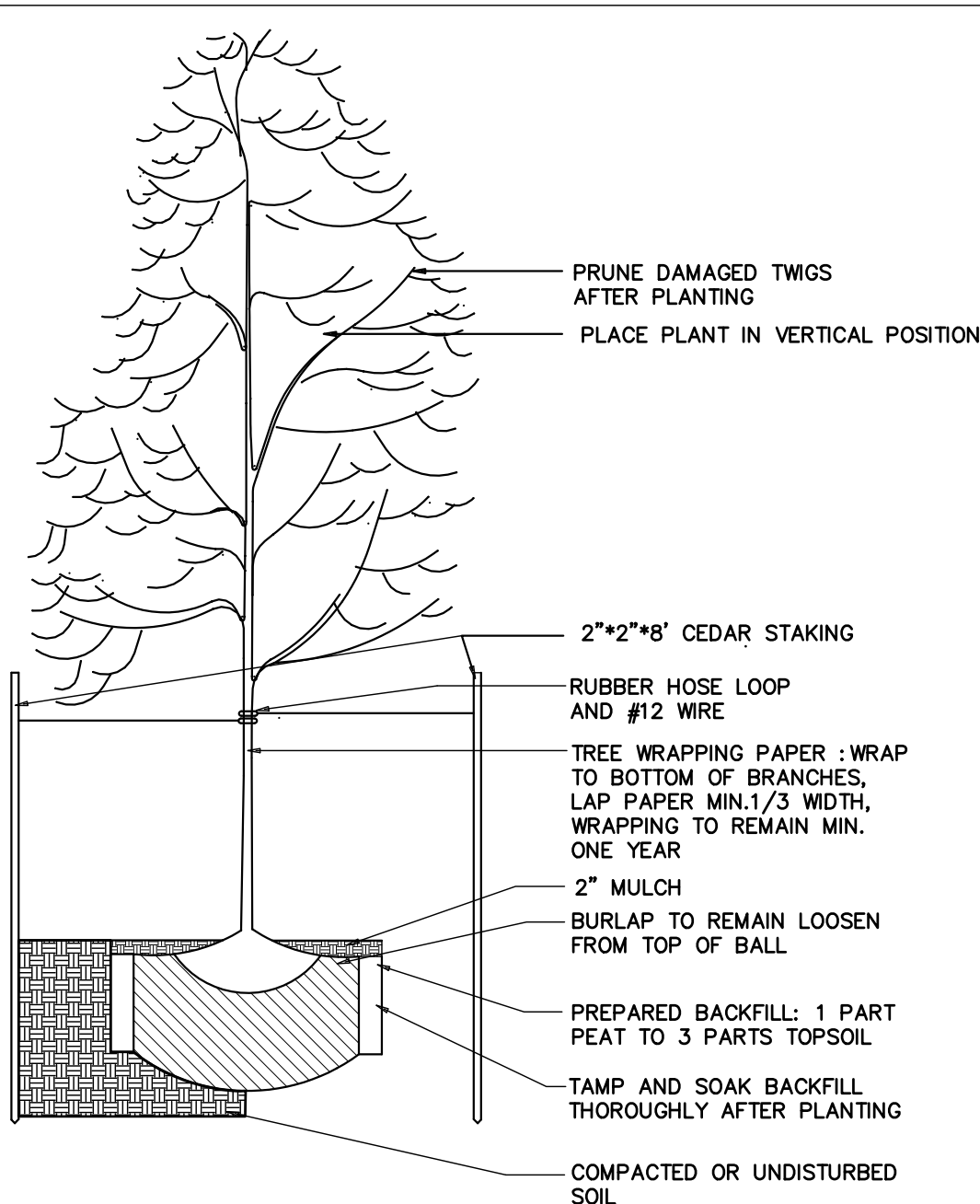
COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

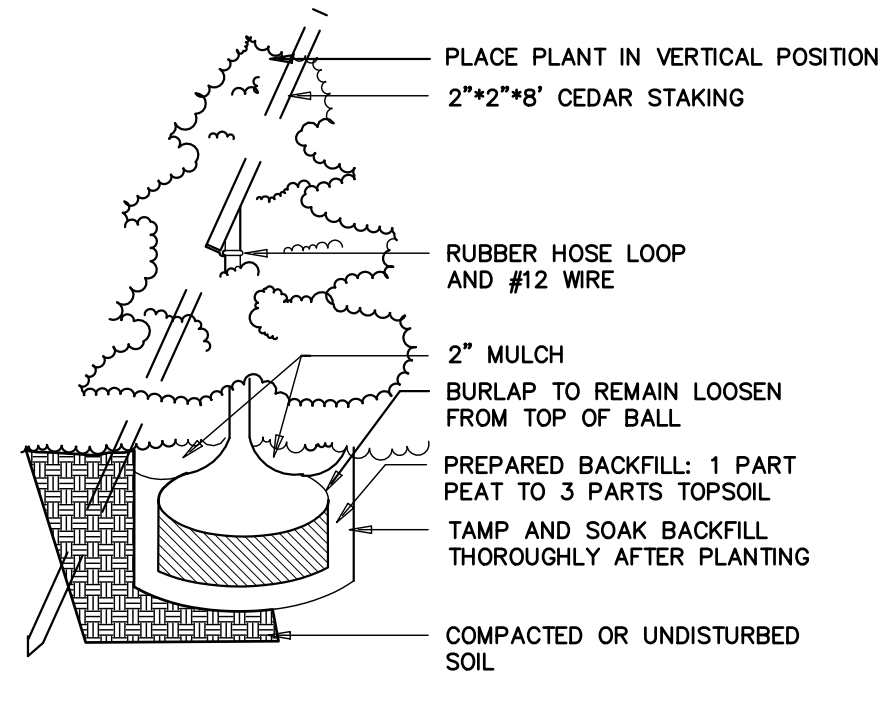
UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK**

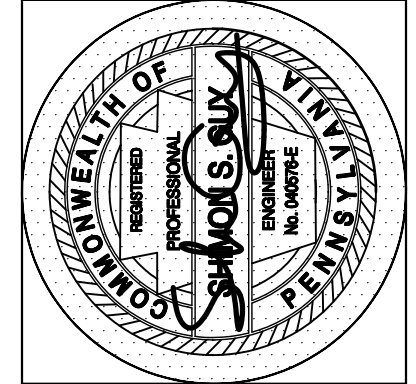
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL



CONIFEROUS TREE PLANTING DETAIL



Shilmon Guy, P.E.

REV	BY	DATE	DESCRIPTION
1	SG	01/26/18	PROP. ENG. DESIGN
2	SG	02/20/18	PROP. PCSM
3	SG	04/20/18	ENG REVIEW 3-26-18

Project: **PROPOSED RESIDENTIAL SUBDIVISION**

**1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380**

EAST COSHEN TOWNSHIP, COUNTY OF CHESTER, PA

Applicant:

STEPHEN & DENISE LEGENSTEIN

**1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380**

Plan Title: **PRELIMINARY / FINAL
CONSTRUCTION NOTES
AND DETAILS PLAN
LOT #1**

Project File: SUBV B-47.PRO

Scale: 1"=50'

Checked: S.G.

Drawn: S.G.

Date: 8/01/2017

Guy Engineering Associates, Inc.

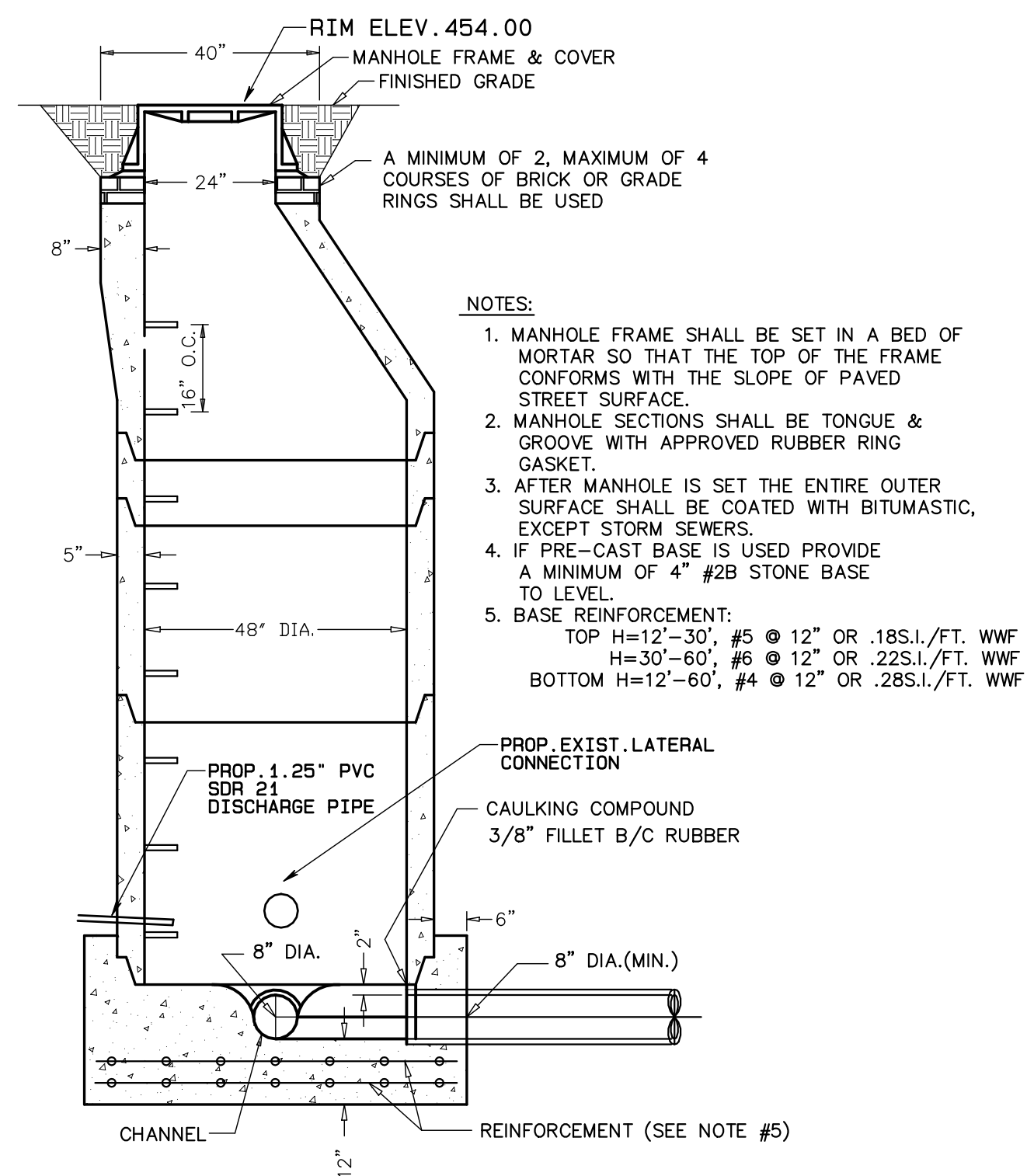
Consulting Engineers
3508 Goshen Road
Newtown Square, PA 19073
(610) 355-0862

SHEET

OF: 10

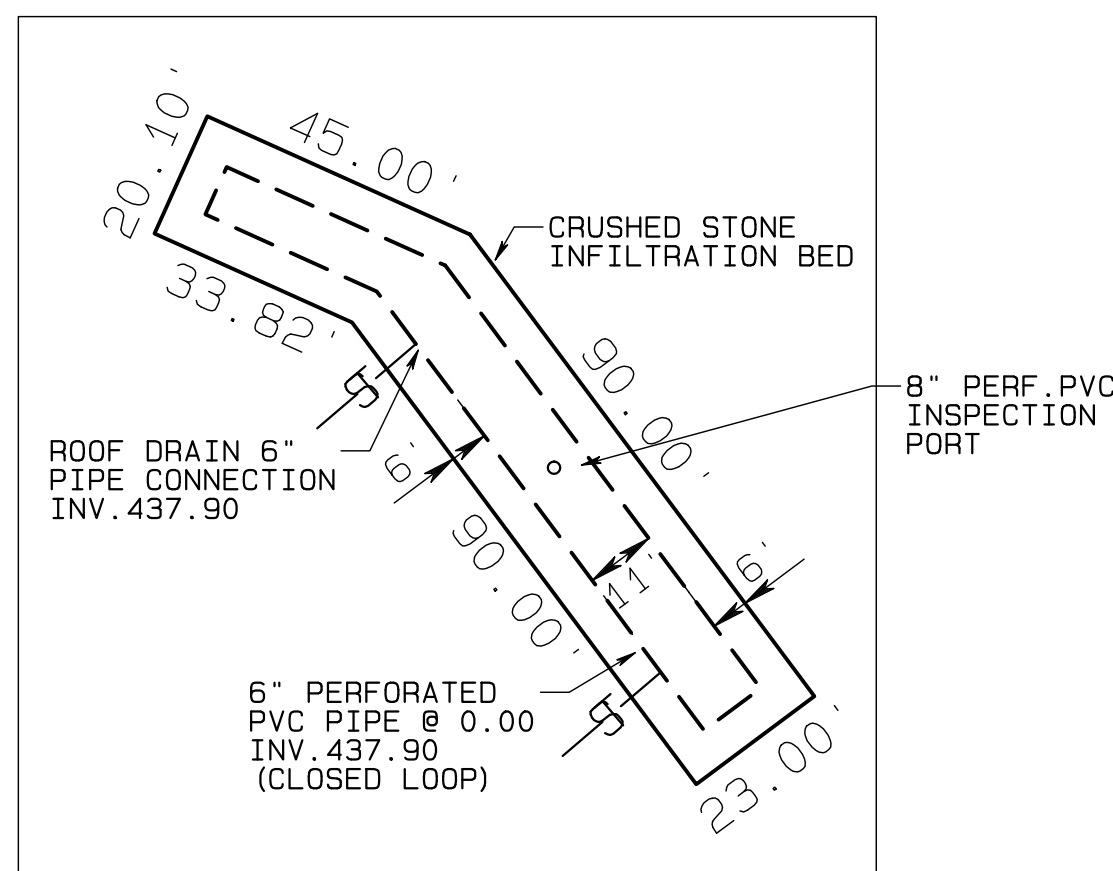
A. EARLY MAINTENANCE ACTIVITY	FREQUENCY
Water vegetation at the end of each day for 2 weeks after planting is completed	Daily for 2 weeks after installation
Water vegetation regularly to ensure successful establishment	Every 4 days during periods of 4 or more days without rain. June through August for the first year after installation
Inspect vegetation for signs of disease or distress	Biweekly for the first year after installation
Inspect BMP and inlet systems for trash and sediment accumulation	Monthly for the first year after installation to determine ongoing maintenance frequency

B. ONGOING MAINTENANCE ACTIVITY	FREQUENCY
Remulch void areas	As needed
Treat diseased plants	As needed
Keep incoming pipes and rain garden free and clear of leaves	As needed
Inspect soil and repair eroded areas	Monthly
Remove leaves, litter and debris	Monthly
Inspect plants to evaluate health, replace if necessary	Quarterly
Inspect cleanouts and water elevation in inspection port	Quarterly
Add additional mulch	Quarterly
Evaluate the draindown time of the BMP after a storm of at least 1 inch in no more than 24 hours to ensure a draindown time of less than 72 hours	Ongoing
Maintain records of all inspections and maintenance activity	Ongoing

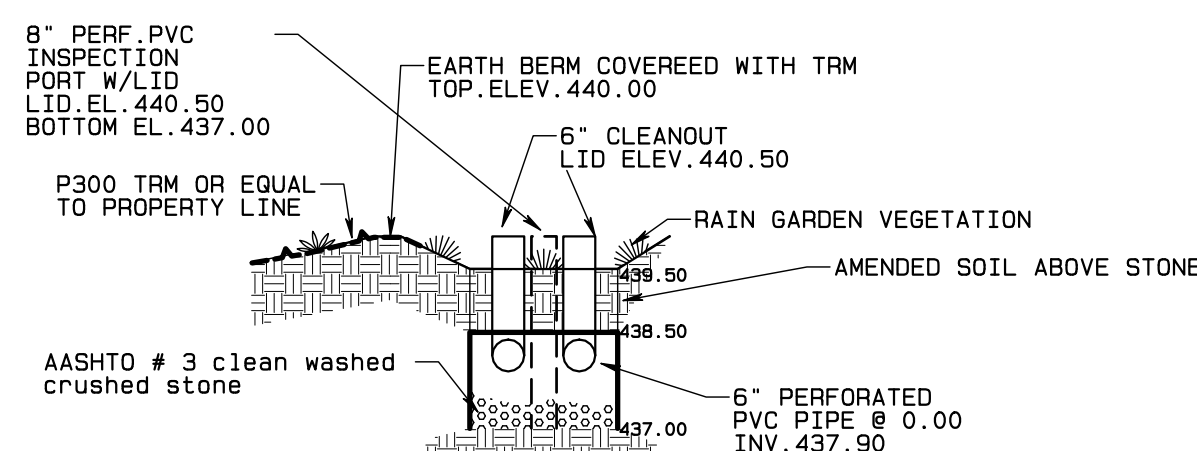


TYP. MANHOLE DETAIL
N.T.S.

- NOTES:
1. THE MANHOLE SHALL BE INSTALLED AT THE END OF THE EXISTING SANITARY SEWER AND WILL REPLACE THE EXISTING CLEANOUT.
 2. THE INVERT ELEVATION OF THE MANHOLE OUTLET SHALL MATCH THE EXISTING INVERT ELEVATION OF THE EXISTING SEWER.
 3. THE SANITARY SEWER LATERAL OF THE EXISTING HOUSE IN LOT # 2 SHALL BE DIRECTED TO ENTER THE MANHOLE ABOVE THE OUTLET INVERT ELEVATION.
 4. THE 25" DISCHARGE PIPE FROM THE GRINDER PUMP IN LOT # 1 WILL BE CONNECTED TO THE MANHOLE 8" ABOVE THE OUTLET INVERT ELEVATION.

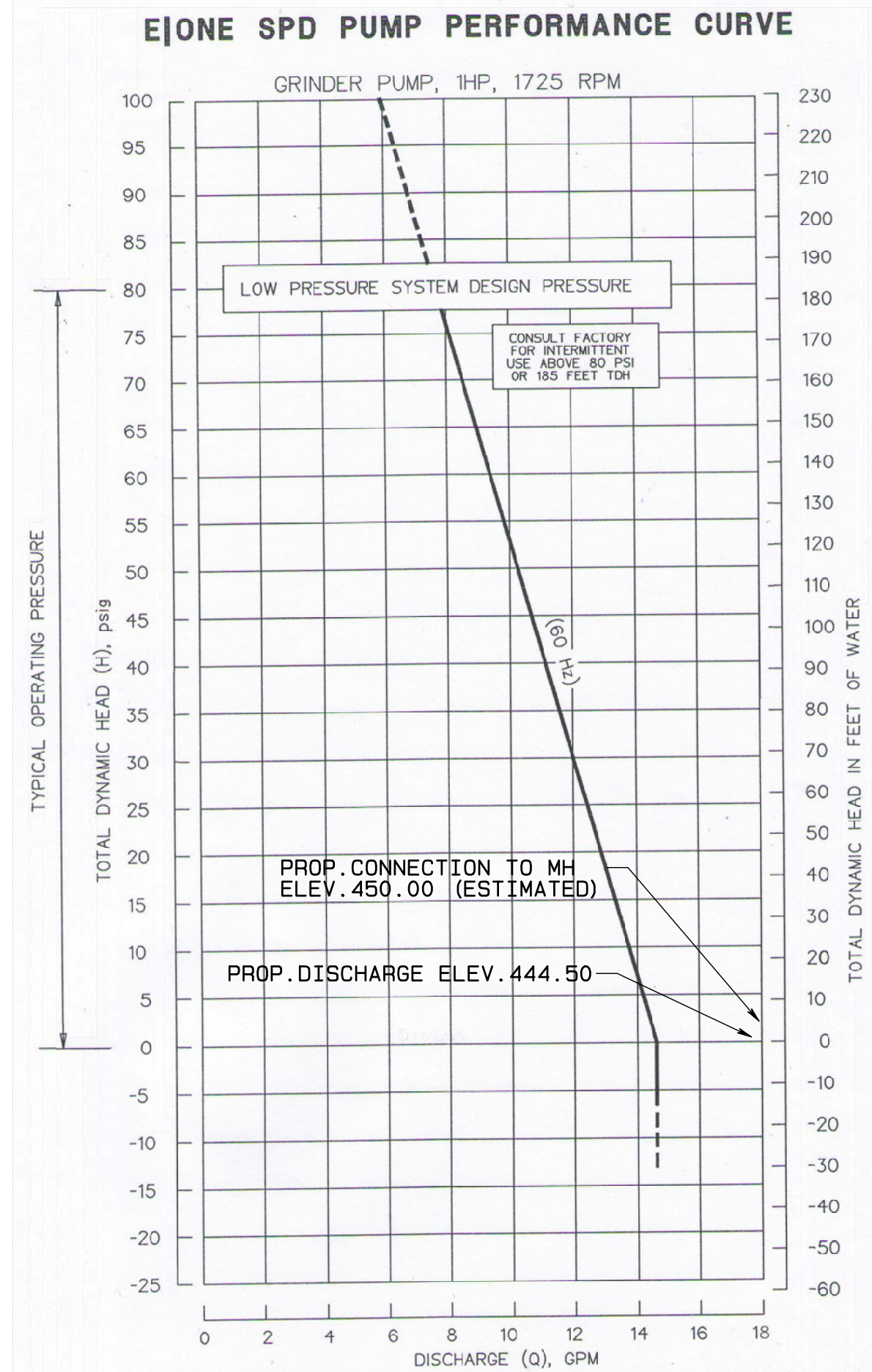
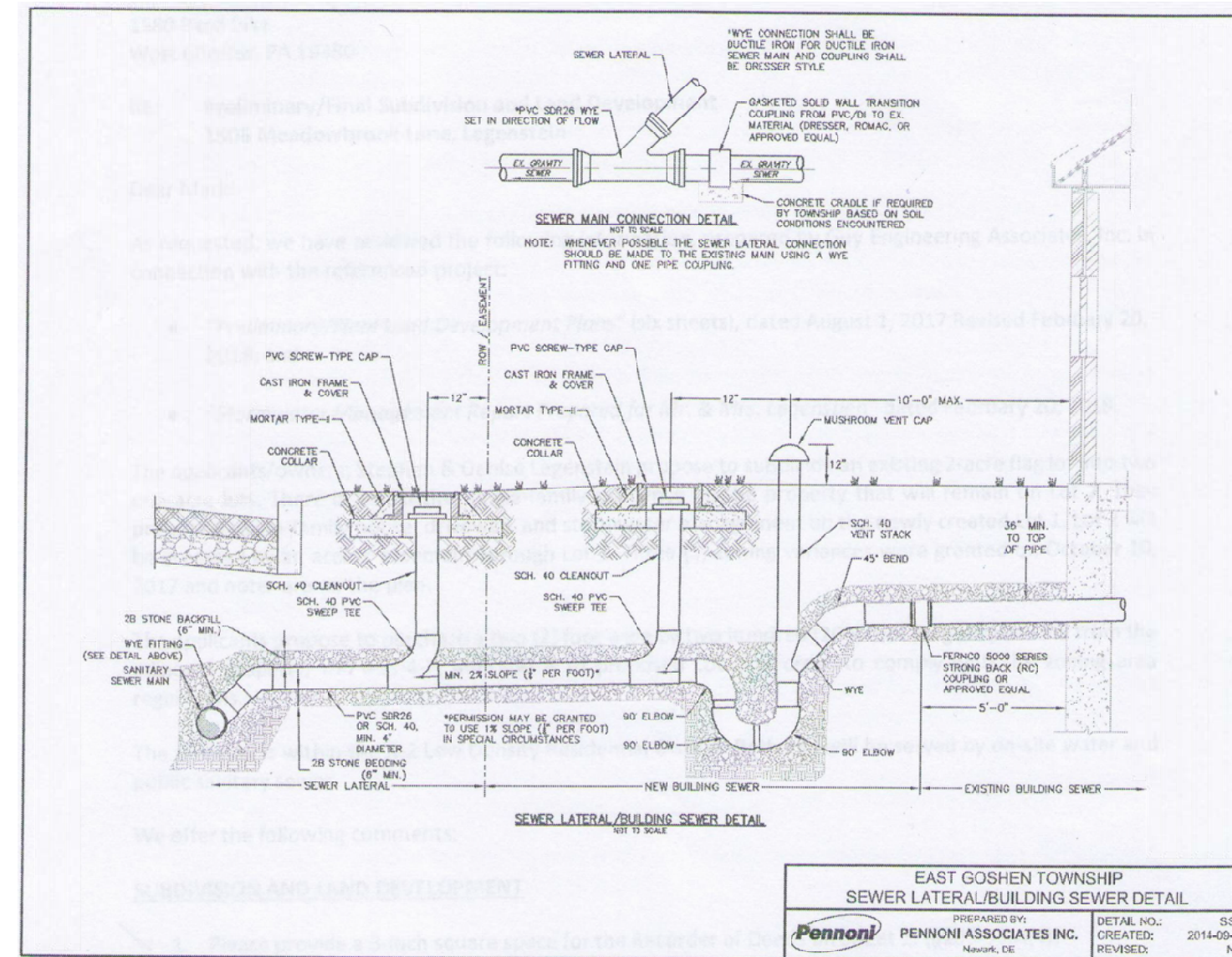


CRUSHED STONE INFILTRATION BED DETAIL
LOT # 1
1"=30'

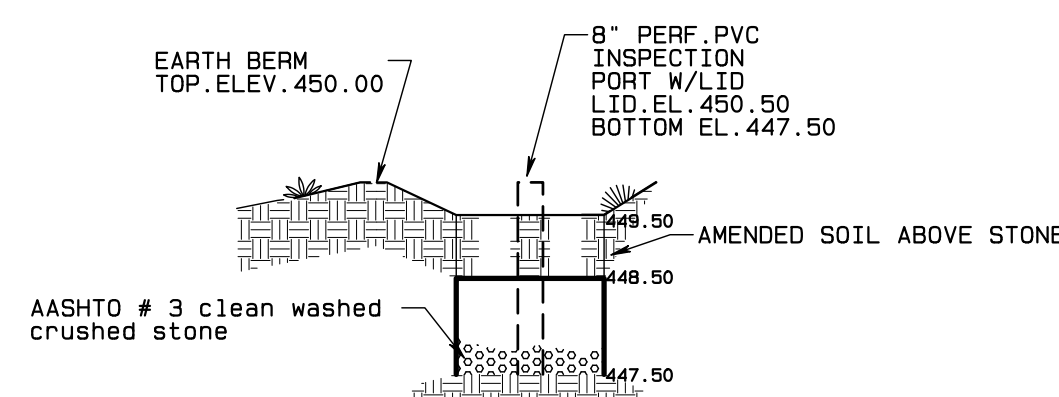


- NOTES:
1. The crushed stone bed shall be wrapped on top and sides with non-woven drainage fabric, such as Mirafi 100N, or approved equal.
 2. Excavation for the infiltration BMP shall be performed with equipment that will not compact the bottom of the facility.
 3. The bottom of the BMP shall be scarified to allow placement of fabric and aggregate.
 4. The aggregate with documented porosity, free of fines, shall be allowed.
 5. The contractor shall contact the Township to have the construction of the infiltration BMP inspected. Inspection of the BMP must start prior to placement of stone.
 6. Amended soil above the crushed stone shall consist of:
 - a. 25% compost and 75% topsoil

CRUSHED STONE INFILTRATION BED SECTION
LOT # 1

$$\begin{aligned} 1'' &= 30' & (H) \\ 1'' &= 3' & (V) \end{aligned}$$


- NOTES
Upon completion of the development of Lot # 2 the rain garden in Lot # 2 shall be planted as specified for Lot # 1. OSM procedures shall be as specified for Lot # 1.

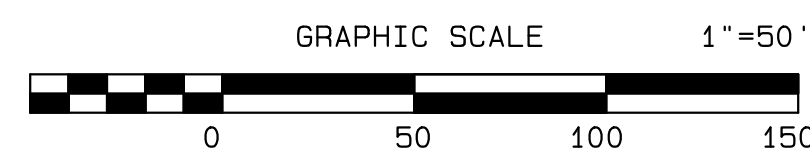


1. NOTES:
2. 1. The crushed stone bed shall be wrapped on top and sides with
3. such as woven drainage fabric, such as Miraflex 140N, or approved equal.
4. 2. Excavation for the infiltration BMP shall be performed with equipment
5. that will not compact the bottom of the facility.
6. 3. The bottom of the BMP will be scarified and placement of fabric
7. and aggregate.
8. 4. The aggregate with documented porosity, free of fines, shall be allowed
9. 5. The contractor shall contact the Township to have the construction
10. of the infiltration BMP inspected. Inspection of the BMP must start prior to
11. placement of stone.
12. 6. Amended soil above the crushed stone shall consist of:
13. a. 25% sand, 25% silt, 25% clay, and 25% topsoil.

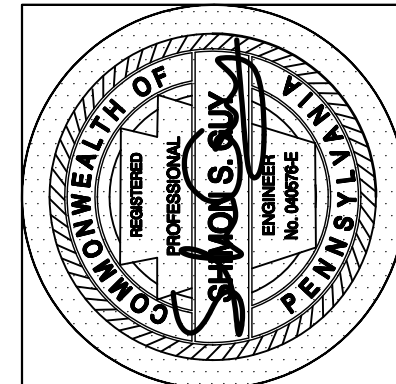
CRUSHED STONE INFILTRATION BED SECTION
LOT # 2

$$\begin{aligned} 1'' &= 30' & (H) \\ 1'' &= 3' & (V) \end{aligned}$$

STEPHEN & DENISE LEGENSTEIN
DEED RECORDED: DB.5051, PG.2296
TMP # 53-4-23



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REV	BY	DATE	DESCRIPTION
1	SG	01/26/18	PROP. ENG. DESIGN
2	SG	02/20/18	PROP. PCSM
3	SG	04/20/18	ENG REVIEW 3-26-18

Project:
PROPOSED RESIDENTIAL SUBDIVISION

1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380
EAST GOSHEN TOWNSHIP, COUNTY OF CHESTER, PA

Applicant:

STEPHEN & DENISE LEGENSTEIN

**1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380**

Plan Title
PRELIMINARY / FINAL
CONSTRUCTION NOTES
AND DETAILS PLAN
LOT # 1

Guy Engineering Associates, Inc.



Engineering Associates, Inc.
Consulting Engineers
3508 Goshen Road
Newtown Square, PA 19073
(610) 355-0862

Project File:

Project File:

Scale: 1"=50'

Checked: S.G.

Date: 8/01/2017

THESE

80

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Voice: 610-692-7171

Fax: 610-692-8950

E-mail: mgordon@eastgoshe.org

Date: 4/27/2016

To: Planning Commission

From: Mark Gordon, Township Zoning Officer

Re: Keeping of Fowl Ordinance



Dear Commissioners,

The Board of Supervisors has requested the Planning Commission review the zoning ordinance section that regulates the accessory use of keeping of fowl for recreational purposes on residential properties in the township, and determine whether an amendment to the ordinance is appropriate.

The zoning ordinance allows the keeping of fowl on residential properties in the township that are 2 acres or larger.

I have included the sections of the ordinance as well as ordinances from West Goshen Township, West Chester Borough, and East Bradford Township for your review and consideration. I have also included an information sheet from the CCPC on "Backyard Chicken Keeping" for your review.

Staff has some reservations to amending the ordinance. If the Planning Commission believes this use should be available for residential properties smaller than 2 acres; specific standards should be included to address the following:

1. limit the number of fowl to be kept based on the lot size
2. prohibit the keeping of male chickens (roosters)
3. specify the size and location of structures
4. specify standards to ensure sanitary conditions are maintained

Township of East Goshen, PA
Friday, April 27, 2018

Chapter 240. Zoning

Article V. Supplemental Regulations

§ 240-32. Accessory uses.

In general. The following accessory uses, buildings or structures shall be permitted by right, unless otherwise stated, provided that they are customarily incidental to the principal building, structure or use (on the same lot) and comply with other applicable provisions of this chapter.

A. Keeping of animals or fowl.

[Amended 7-16-2002 by Ord. No. 129-O-02]

- (1) Number of household pets. Household pets, as defined in § 240-6, may be kept as an accessory use to a residential dwelling, provided that their keeping is clearly incidental and subordinate to the principal use of the residential dwelling, and subject to the restrictions set forth in the chart below for dogs:

Dwelling Type	Maximum Number of Dogs 3 Months or Older
Apartment, townhouse, semidetached or single-family detached	4
Single-family detached on 3 or more acres	4 plus 1 additional dog for each acre of lot area in excess of 2 acres

- (2) Commercial use. Commercial breeding or use of pets and animal husbandry shall not be permitted as an accessory use under this section.
- (3) Large animals and fowl. For purposes of this section, a "large animal" shall be defined as an animal standing over 30 inches at the shoulder or weighing over 200 pounds. Large animals (such as cattle, horses and pigs, but excluding dogs) and fowl shall be stabled or housed in buildings which are a minimum of 100 feet from any lot line. In order to keep horses for private, noncommercial recreational Use of the residents of the property where the horses are kept, there must be a minimum of two acres for the first horse and one acre for each additional horse. In order to keep goats or pigs for private, noncommercial recreational use of the residents of the property where the goats or pigs are kept, there must be a minimum of two acres to keep four goats or pigs and one additional acre for each additional pair of goats or pigs. All grazing and pasture areas for horses, goats and pigs must be fenced. In order to keep fowl for private, noncommercial recreational use of the residents of the property where the fowl are kept, there must be a minimum of two acres to keep 20 fowl and one additional acre to keep an additional 10 fowl.
- (4) The person with the responsibility for the care of the animals shall keep the animals off private property which he/she does not have permission to use, and shall regularly collect and properly dispose of fecal matter from the animals in a sanitary manner that avoids nuisances for neighbors. Waste matter shall not be allowed to be carried by stormwater into waterways or onto other lots.

FOWL

Any of the larger domestic birds used as food, such as chickens, turkey, geese and duck.

[Added 7-16-2002 by Ord. No. 129-O-02]



Municipal Corner Planning Toolbox



Backyard Chicken Keeping

Many Chester County residents are interested in raising chickens in their backyard areas for a variety of reasons including the desire for fresh eggs and a natural food source. This etool provides guidance to municipalities interested in allowing for and regulating backyard chickens in traditionally residential zoning districts.

Advantages

Adopting sound ordinance provisions can address the following issues encountered with backyard chickens:

- **Noise:** Chickens, and especially roosters, are vocal and can disturb neighbors.
- **Roaming:** Chickens will be destructive if allowed to roam. They will scratch and destroy flower beds and can cause traffic hazards if they enter roadways.
- **Odors:** Improper manure management can result in objectionable odors.
- **Unsanitary conditions:** Chicken manure can attract vermin and create vectors for disease transmission.
- **Visual appearance:** Chicken runs, coops and henhouses can be unsightly if not properly designed and maintained.
- **Predation:** Wild animals can attack and kill chickens, which have limited means of defense.

Limitations

This eTool will not address all of the potential conditions that may arise in the course of keeping animals. Chickens may still cause disturbances to neighbors despite the use of the reasonable precautions that are included here.

How to Use this eTool

A backyard chicken ordinance should be adopted as an element of the residential accessory use provisions in the municipal zoning ordinance. See the model ordinance available on this webpage.

The characteristics of a good backyard chicken ordinance include the following elements.

- It recognizes the interest and popularity of chicken keeping in Chester County.
- The ordinance satisfies the needs of most groups, including those who have no interest in keeping chickens and may object to chickens in the neighborhood.
- It allows flexibility in unique situations.
- It allows input from the community during the creation of the ordinance.
- It takes into account the needs of the owner as well as the health of the flock.
- It is simple to understand and enforce.

Municipalities should consider the following additional issues:

- Most municipalities prohibit roosters, although hens can also be quite noisy.
- Some municipalities require owners to band the chickens' legs, but this may not be practical.
- Slaughtering – should on-site slaughtering of chickens be regulated? If so, should it be permitted outdoors or should it only be conducted indoors?
- Chickens are not typically regulated as household pets and have different characteristics, so municipalities may need to review their definitions of household pets to exclude domesticated chickens.
- Municipalities distinguish henhouses and coops from chicken pens. Henhouses and coops are usually structures with solid walls and a roof, in which chickens typically remain during nighttime. Chicken pens are typically constructed of wire or mesh that provide access to the ground and provide chickens more freedom of movement. Chicken pens can improve the health of the flock.

Examples

How have Chester County municipalities responded to “backyard chicken keeping”?

- Approximately eight municipalities have zoning ordinance regulations relating to the keeping of backyard chickens. Most require permits.
- Minimum lot sizes are required, and municipalities limit the number of chickens per lot area. Many require between 1 to 5 acres, but others allow chickens on lots of less than 1 acre.
- Most municipalities have maximum limits on the number of chickens per lot, such as one chicken for each 1/4 acre, up to a maximum of 20 chickens.
- Setbacks from lot lines and adjacent residences are regulated, such as 100 feet to the nearest neighboring residence, and not less than 10 feet from all lot lines. Rear yard locations are generally required.
- Manure controls, such as routine removal schedules, are required.
- Most municipalities require a special exception approval for backyard chickens as an accessory use to a residence; few allow them “by-right”.
- Municipalities specify that the keeping of backyard chickens is not a commercial agricultural activity and is not a Concentrated Animal Operation, Concentrated Animal Feeding Operation, or normal farm activity as regulated under the Pennsylvania Act 38 “The Agriculture, Communities and Rural Environment Act of 2005” or ACRE (also known as the “Nutrient and Odor Management

Act”).

The following are examples of Chester County township regulations relating to backyard chickens:

- *Caln Township* ►
- *East Coventry Township* ►
- *West Brandywine Township* ►
- *West Bradford Township* ►
- *West Goshen Township* ►

Related References

- *Backyard Poultry Info Sheet* ► learn more about backyard chicken keeping in Chester County.
- *BackyardChickens.com* ► covers a full array of topics related to raising backyard chickens.
- Penn State Extension's *Raising Fowl in Urban Areas* ► discusses raising chickens in non-agricultural areas.
- Rodale's Organic's *How to Raise Chickens in a Tiny Yard* ► discusses the consideration that go into deciding to raise backyard chickens and how to do it organically.
- *The Humane Society of the United States* ► includes cautions that should be considered before backyard chickens are kept.

Related eTools

- *Community Gardens* ►
- *Community Supported Agriculture* ►
- *Farmers' Markets* ►

Landscapes2 Relevance

This eTool primarily applies to residential areas in the Suburban Landscape and to higher density residential areas (non-agricultural) in the Rural Landscape. Each municipality needs to decide which zoning districts should allow backyard chicken keeping.

Chester County Planning Commission
601 Westtown Road, Suite 270 • P.O. Box 2747
West Chester, PA 19380-0990
610-344-6285
ccplanning@chesco.org

Township of West Goshen, PA

Wednesday, April 18, 2018

Chapter 84. Zoning

Article XIV. Supplemental Regulations

§ 84-57.24. Domesticated chickens.

[Added 9-23-2015 by Ord. No. 6-2015]

- A. Purpose. The purpose of this section is to provide standards for the keeping of domesticated chickens. It is intended to enable residents of single-family dwellings to keep a small number of female chickens on a noncommercial basis while limiting the potential adverse impacts on the surrounding properties.
- B. Standards for keeping domesticated chickens.
 - (1) Domesticated female chickens shall be allowed on lots with single-family dwellings in the following zoning districts:
 - (a) R-2 Residential District;
 - (b) R-3 Residential District; and
 - (c) R-4 Residential District.
 - (2) The maximum number of chickens permitted on a lot with a single-family dwelling shall be determined based on the zoning district and lot size as set forth below:

Zoning District	Minimum Lot Size	Maximum Number of Chickens
R-2 Residential District	1 acre	10
R-3 Residential District	30,000 square feet	8
	22,000 square feet	6
	18,000 square feet	4
R-4 Residential District	30,000 square feet	8
	22,000 square feet	6
	18,000 square feet	4

- (3) Roosters are prohibited.
- (4) The slaughtering of chickens is prohibited.
- (5) For identification purposes, all chickens age six months and older must wear leg bands which identify the permit number issued by the Township.

[Amended 12-9-2015 by Ord. No. 9-2015]

- (6) All chickens must be maintained in a fully enclosed shelter which has a roof or overhead covering and which may only be located in the rear yard or in a fenced-in area. The enclosure must provide four square feet per chicken with an exterior run and six square feet per chicken without an exterior run. The shelter must be a minimum of 20 feet from any rear property line and a minimum of 15 feet from any side property line. The fence must be a minimum of four feet and a maximum of six feet in height.
 - (7) It shall be unlawful for the owner of chickens to allow the same to run at large upon any public land, including, but not limited to, sidewalks, streets, roads, alleys, parks, or upon another person's private property.
 - (8) All enclosures and structures must meet all applicable zoning requirements. A zoning permit shall be required for the construction of any enclosure that is less than 500 square feet. A building permit shall be required for the construction of any enclosure that is 500 square feet or greater.
 - (9) All owners of chickens must maintain sanitary living conditions for the chickens so that the keeping of chickens does not become a public or private nuisance. Owners shall not allow feces from the chickens to accumulate on the owner's land such that it becomes a nuisance caused by odors. The feces must be regularly removed by double-bagging and placing the bagged feces in the trash for collection.
 - (10) All chicken feed must be stored in rodentproof closed containers.
- C. Permits. An owner wishing to keep chickens on his/her property must first obtain a permit from the Zoning Officer. An applicant seeking to obtain a permit to maintain chickens must submit an application on forms provided by the Township and pay the applicable permit fee as determined by resolution of the Board of Supervisors. If the applicant resides within a homeowners' association, a letter from the homeowners' association approving the keeping of chickens must accompany the application.
- D. Denial, suspension or revocation of permit. The Township shall deny a permit if the applicant has not demonstrated compliance with all of the provisions of this section. A permit to keep domesticated chickens may be suspended or revoked by the Township where the Township finds that the keeping of the chickens creates a public nuisance or for any violation of, or failure to comply with, any of the provisions of this section or with the provisions of any other applicable ordinance or law.

EAST BRADFORD TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA

ORDINANCE NO.

AN ORDINANCE OF EAST BRADFORD TOWNSHIP,
CHESTER COUNTY, PENNSYLVANIA, AMENDING THE
EAST BRADFORD CODE AT CHAPTER 115, "ZONING", TO
AMEND §115-6 BY THE ADDITION OF DEFINITIONS; §115-
38 TO PROVIDE FOR KENNELS; §115-75 TO PROVIDE FOR
THE KEEPING OF ANIMALS; AT CHAPTER 74, "NOISE
DISTURBANCE", TO AMEND §74-3 TO PROVIDE FOR
ANIMAL REGULATION AND §74-4 TO UPDATE
ENFORCEMENT PROVISIONS; AND OTHER
MISCELLANEOUS PROVISIONS CONTAINED HEREIN

BE IT ENACTED AND ORDAINED by the Board of Supervisors of East Bradford Township as follows:

SECTION 1. Chapter 115, Zoning, Article II, Definitions, §115-6, "Definitions and word usage" shall be amended by the addition of the following terms:

ADULT ANIMAL – an animal having reached physical maturity.

EXOTIC WILDLIFE - Wild, dangerous and/or exotic nondomesticated animals, including but not limited to bears, coyotes, foxes, raccoons, lions, tigers, wolves, and similar animals, as defined in the Game and Wildlife Code, Act 93 of 1986, or amendments thereof, as "exotic wildlife" or "wildlife".

FOWL - Chickens, guinea hens, peacocks, ducks, geese, turkeys or other like domestic animal.

LIVESTOCK – Cattle, sheep, swine, goats, buffalo, camel, emu, ostrich, llama, alpaca, horses, ponies, donkeys, mules, burros, fowl or other like domestic animal.

NORMAL FARMING OPERATIONS -- The activities, practices, equipment and procedures that farmers adopt, use or engage in the production and preparation for market of fowl, livestock and their products and in the production, harvesting and preparation for market or use of agricultural, agronomic, horticultural, silvicultural and aquacultural crops and commodities and is: (1) not less than ten contiguous acres in area; or (2) less than ten contiguous acres in area but has an anticipated yearly gross income of at least \$10,000; or as may otherwise be defined pursuant to the Pennsylvania Right to Farm Act, 3 P.S. § 951, et seq.

PET ANIMAL - Dogs, cats, rabbits, guinea pigs, rodents, birds, reptiles, and other like domestic animal that may be restrained by a leash, by holding the animal in the hands, or by having direct supervision and control of the animal.

SECTION 2. Chapter 115, Zoning, Article X, Industrial District, §115-38.C(1), shall be amended to read as follows:

(1) Kennels

SECTION 3. Chapter 115, Zoning, Article XV, General Regulations and Requirements, §115-75, "Keeping of animals" shall be deleted in its entirety and replaced with new §115-75 to read as follows:

§ 115-75. Keeping of animals.

- A. Purpose. The intent of this section is to establish reasonable regulations governing the keeping of animals in order to protect human and animal health, prevent unsightly and erosion-prone land use conditions, prevent the contamination of groundwater and surface water and reduce the safety hazards of straying animals. Nothing in this section shall be construed or enforced in such a way as to conflict with Pennsylvania's Right to Farm Act (RTFA), 3 P.S. §§ 951, et seq, the Agricultural Area Security Law (AASL), 3 P. S. §§ 901, et seq., the Agriculture Communities and Rural Environment (ACRE) Law, 3 P.S. §§ 311, et seq., or other state law or statute which prohibits inconsistent regulation by a local municipality.
- B. Use regulations. In any district, animals shall be kept only according to the following standards:
 - 1. General standards for keeping of all animals.
 - a. Exotic wildlife shall not be permitted in any zoning district unless authorized by the Exotic Wildlife Possession Permits section of the Game and Wildlife Code, Act 93 of 1986, or amendments thereto. In the event of such authorization, the permit holder shall comply with all requirements of the Pennsylvania Game Commission. The permit holder shall produce the permit upon request of the Township.
 - b. In the event a homeowners' association document, real property covenant or restriction, or other similar document is in place and applicable to a property, whichever contains the most restrictive standard, be it this ordinance or the document, shall prevail.
 - c. Owners shall comply with Chapter 74, Noise Disturbance.
 - 2. Standards for keeping of animals in the course of normal farming operations.

- a. Buildings for livestock shall be designed for ease of manure removal and handling. Manure storage shall be designed, constructed, maintained and operated in accordance with the applicable laws and regulations. Permits shall be secured from all governmental agencies having jurisdiction over this activity.
 - b. Setback requirements for the zoning district shall be complied with for all structures.
 - c. A fenced or otherwise enclosed outside area shall be provided which is capable of containing the livestock and is of sufficient size and properly located for good sanitation practices. Materials used for fencing shall be of sufficient sturdiness and properly designed, installed and maintained so as to prevent straying.
 - d. The owner shall provide proof of a written manure management plan or certified nutrient management plan, as applicable, that identifies any animal concentration areas and best management practices as required by the Department of Environmental Protection ("DEP") and DEP's Manure Management Manual, or successor publication.
 - e. The owner shall provide proof of a written agricultural erosion and sediment control plan to the Township, if such a plan is required by DEP.
 - f. The owner shall provide proof of a written odor management plan to the Township, if such a plan is required by DEP.
 - g. The owner shall comply with applicable federal, state and county laws and regulations regarding animal density.
3. Standards for keeping of pet animals and other animals, including livestock, which are not part of normal farming operations.
- a. Buildings for shelter shall be provided for all animals housed outside. Livestock shall have loafing sheds, covered feeding areas or other appropriate facilities.
 - b. All buildings on the property for animals shall be designed to serve only the number of animals permitted on the property.
 - c. All buildings shall be designed for ease of manure removal and handling.
 - d. No more than one dog may be left outside the home or a soundproof canine building at night.

- e. Unless otherwise specified in this section, setbacks requirements for the zoning district shall be complied with for all structures.
 - i. In zoning districts where the setback requirement is less than 100 feet from the property line, buildings for more than two or more livestock animals, excluding fowl, shall be located at least 100 feet from any property line.
 - ii. Buildings for fowl shall be located at least 25 feet from any property line.
- f. A fenced or otherwise enclosed outside area shall be provided which is capable of containing the animals and is of sufficient size and properly located for good sanitation practices. Materials used for fencing shall be of sufficient sturdiness and properly designed, installed and maintained so as to prevent straying.
- g. Manure storage shall be set back a minimum of 100 feet from the property line. No uncovered manure storage shall be permitted 100 feet uphill of any stream. No manure may be stored within a swale, drainageway or stormwater management feature. Manure storage shall be designed, constructed, maintained and operated in accordance with the applicable laws and regulations. Permits shall be secured from all governmental agencies having jurisdiction over this activity.
- h. Muddy or dusty ungrassed pasturage areas shall be stabilized to prevent erosion.
- i. The following are limitations on adult animals:
 - i. Fenced acreage shall exclude slopes in excess of 20% as calculated per the requirements of the subdivision and land development chapter, unless the fenced area is intended solely for use by fowl.
 - ii. Adult animals already living on a property as of [insert date adopted] that are in excess of the number permitted by this section may be kept by the owner for the adult animal's lifetime, provided that the general standards of this chapter are met. After the animal's death, the owner shall not replace the animal and shall come into compliance with this section. If the general standards are violated, the property owner will have a maximum of one year from the time of citation in which to eliminate the violation(s) or dispose of the animals.

iii. Animal Density Table:

Type of Animal	Minimum Acreage Required	Ratio (Animal Unit : Acre)	Maximum Number of Animals
Fowl	1 Acre	1 Animal : 1/6 Fenced Acre	30
Small livestock, such as goat and sheep	2 Acres	1 Animal : 1/2 Fenced Acre	N/A
Large livestock, such as horses, cows and pigs	5 Acres	1 Animal : 1 Fenced Acre	N/A
Pet animals	N/A	N/A	5

SECTION 4. Chapter 74, Noise Disturbance, §73-3, “Noise prohibitions” shall be amended by the addition of a new subsection C to read as follows:

§74-3.C

It shall be unlawful for any person to own, possess, control or harbor any animal which makes noise continuously or repeatedly for a period of at least 15 minutes or makes noise intermittently for 1/2 hour or more to the disturbance of any person any time of the day or night, regardless of whether the animal is physically situated in or upon private property. Notwithstanding the foregoing, animal noise shall not be considered a violation of this Chapter if one of the following exceptions apply:

1. Noise made by animals kept as part of a normal farming operation as defined pursuant to the Pennsylvania Right to Farm Act, 3 P.S. § 951, et seq or any similar legislation to protect normal farming operations from legal actions, including nuisance actions, which may the effect of restricting lawful agricultural operations.

SECTION 5. Chapter 74, Noise Disturbance, §73-4, “Violations and penalties” shall be amended to read as follows:

§74-4

Any person violating or permitting the violation of this chapter shall, upon being found liable therefor in a criminal enforcement proceeding in the form of a summary offense under the Pennsylvania Rules of Criminal Procedure, pay a fine of not more than \$1,000 nor less than \$25, together with court costs and reasonable attorneys fees, and may be incarcerated for a period not exceeding 90 days. Such fine, costs, attorneys fees and incarceration, after being reduced to a final, unappealed judgment, shall be enforced by the township pursuant to the applicable rules of criminal procedure. Each day or portion of a day of violation and each section of the ordinance violated shall constitute a separate violation.

SECTION 6. SEVERABILITY. If any sentence, clause, section or part of this Ordinance is for any reason found to be unconstitutional, illegal or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses, sections or parts hereof. It is hereby declared as the intent of the Board of Supervisors of East Bradford Township that this Ordinance would have been adopted had such unconstitutional, illegal or invalid sentence, clause, section or part thereof not been included therein.

SECTION 7. REPEALER. All Ordinances or parts of Ordinances conflicting with any provision of this Ordinance are hereby repealed insofar as the same affects this Ordinance.

SECTION 8. GENERAL CODE. General Code is hereby authorized to make non-substantive formatting and numbering changes necessary to clarify references to other sections of the East Bradford Township ordinances and/or codification and to bring the Ordinance into conformity with the East Bradford Township ordinances/codification.

SECTION 9. EFFECTIVE DATE. This Ordinance shall become effective in five days.

ENACTED AND ORDAINED THIS _____ DAY OF _____, 2018.

ATTEST:

**EAST BRADFORD TOWNSHIP
BOARD OF SUPERVISORS**

Vincent M. Pompo, Esq., Chairman

John D. Snook, Vice-Chairman

J. Patrick Davis, Member

*Borough of West Chester, PA
Wednesday, April 18, 2018*

Chapter 37. Animals

Article I. Keeping of Poultry and Hogs

§ 37-1. Purpose.

The purpose of this article is to prevent nuisances arising from malodors, noises and health hazards caused by the presence of poultry or hogs or by the slaughter of poultry or hogs within the Borough of West Chester.

§ 37-2. Keeping and slaughtering prohibited; exception.

- A. On and after the effective date hereof, no poultry or hogs shall be kept or slaughtered on any property located in the Borough of West Chester.
- B. Licensed operators for commercial purposes shall be exempted.

§ 37-3. Notice of removal; time limit; continued violation.

- A. If any police officer or housing official of the Borough of West Chester learns of a violation of this article, he shall forthwith give notice of the violation to the person or persons, including partnerships, corporations or other similar entities, keeping the poultry or hogs to remove the poultry or hogs within 72 hours or face prosecution hereunder.
- B. Each day or part thereof that poultry or hogs remain on the concerned property after the seventh day subsequent to the giving of notice shall constitute a separate violation of this chapter.

§ 37-3.1. Exception.

[Added 6-17-2014 by Ord. No. 6-2014; amended 5-21-2015 by Ord. No. 7-2015]

Notwithstanding the prohibitions of this section, hens may be kept as an accessory use to single-family dwellings subject to the following regulations:

- A. A maximum of six hens may be kept on each parcel where there is a single-family dwelling, provided that a permit is first obtained from the Department of Building and Housing. An applicant seeking to obtain a permit to maintain hens must submit an application on forms provided by the Borough and pay the applicable permit fee as determined by resolution of Borough Council.
- B. Roosters are prohibited.
- C. Slaughtering of hens outdoors is prohibited.

- D. All hens must be maintained in a fully enclosed shelter with a covered fenced enclosure which may only be located in the rear yard. The shelter must provide a minimum of two square feet per hen and meet all applicable setback requirements in the Zoning Ordinance,^[1] be a minimum of 25 feet from all dwellings and 10 feet from all property lines. The fenced enclosure must have a minimum of four square feet per hen.
- [1] *Editor's Note: See Ch. 112, Zoning.*
- E. It shall be unlawful for the owner of hens to allow the same to run at large upon any public land, including, but not limited to, sidewalks, streets, roads, alleys, parks, or upon another person's private property.
- F. All owners of hens must maintain sanitary living conditions for the hens so that the keeping of hens does not become a public or private nuisance. The owners shall not allow feces from the hens to accumulate on the owner's land such that it becomes a nuisance caused by odors. The feces must be regularly removed by double bagging and placing the bagged feces in trash for collection.
- G. All feed which is stored on the property must be kept in rodentproof closed containers.
- H. If the hens are permitted to roam in an area on the owner's private property, such area shall be limited to the rear yard and must be enclosed by a fence and screened from view from the public streets and adjacent properties.