

AGENDA
EAST GOSHEN TOWNSHIP
BOARD OF SUPERVISORS

Tuesday, August 7, 2018

7:00 PM

6:00 PM Executive Session – Police Labor Matter

1. Call to Order (7:00 PM)
2. Pledge of Allegiance
3. Moment of Silence – Supervisor Carmen Battavio
4. Announce that the meeting is being livestreamed
5. Chairman’s Report
 - a. The Board met in executive session for a police labor matter.
 - b. The Board is looking for residents to serve on the Pipeline Task Force; applications need to be submitted by August 31, 2018.
 - c. **The following are the Minimum Municipal Obligations for the Township’s Pension Plans**

Goshen Fire Pension Plan	\$92,980
Township Non-Uniformed Defined Benefit Pension Plan	\$0
Township Non-Uniformed Defined Contribution Pension Plan	\$87,154
Police Admin Non-Uniformed Defined Contribution Pension Plan	\$10,695
6. Public Comment on non-agenda items (7:05 PM to 7:35 PM)
7. Emergency Services Reports (7:35 PM to 7:40 PM)
 - a. WEGO – none
 - b. Goshen Fire Co – none
 - c. Malvern Fire Co – none
 - d. Good Fellowship – none
 - e. Fire Marshal - none
8. **Financial Report – Annual Financial Report for 2017** (7:40 PM to 7:45 PM)
9. Approval of Minutes and Treasurer’s Report (7:45 PM to 7:50 PM)
 - a. **Minutes – July 17, 2018**
 - b. **Treasurers Report – August 2, 2018**
10. Public Hearing – none
11. Old Business
 - a. **Consider Noise Ordinance Amendment** (7:50 PM to 8:00 PM)
 - b. **Consider Working Without a Permit, Saturday Inspection results** (8:00 PM to 8:05 PM)
12. New Business
 - a. **Consider approval of preliminary and final approval for the subdivision and land development at 1506 Meadowbrook Lane.** (8:05 PM to 8:15 PM)
 - b. **Consider Stormwater O&M Agreement and In-law Suite Agreement for 1221 Upton Circle** (8:15 PM to 8:20 PM)
 - c. **Consider recommendation overhead door replacement** (8:20 PM to 8:25 PM)
 - d. **Consider recommendation Explorer replacement** (8:25 PM to 8:30 PM)
 - e. **Consider recommendation for copier replacement** (8:30 PM to 8:35 PM)
 - f. **Consider recommendation for truck replacement** (8:35 PM to 8:40 PM)
13. Any Other Matter

- 14. Liaison Reports - none
- 15. Correspondence, Reports of Interest (8:40 PM to 8:45 PM)
 - a. [July 24, 2018 – Conditional Use Notice for home occupation at 1339 E. Strasburg Road.](#)
- 16. Adjournment (8:45 PM)

Meetings & Dates of Importance

Aug 07, 2018	Board of Supervisors	07:00pm
Aug 09, 2018	Farmers Market	03:00pm
Aug 13, 2018	Municipal Authority	07:00pm
Aug 15, 2018	Planning Commission	07:00pm
Aug 16, 2018	Farmers Market	03:00pm
Aug 20, 2018	Futurist Committee	07:00pm
Aug 21, 2018	Board of Supervisors	07:00pm
Aug 23, 2018	Farmers Market	03:00pm
Aug 25, 2018	Food Truck and Music Fest	02:00pm
Aug 30, 2018	Farmers Market	03:00pm

Note: The August Conservancy Board and Historical Commission meetings have been canceled.

Newsletter Deadlines for Winter of 2019: Nov 1st

The Chairperson, in his or her sole discretion, shall have the authority to rearrange the agenda accommodate the needs of other board members, the public or an applicant.

Public Comment – Pursuant to Section 710.1 of the Sunshine Act the Township is required to include an opportunity for public comment agenda which is intended to allow residents and/or taxpayers to comment on matters of concern, official action or deliberation which are or may be before the Board of Supervisors. Matters of concern which merit additional research will be placed on the agenda for the next meeting.

Constant Contact - Want more information about the latest news in the Township and surrounding area? East Goshen Township and Chester County offer two valuable resources to stay informed about important local issues. East Goshen communicates information by email about all Township news through Constant Contact. To sign up, go to www.eastgoshen.org, and click the “E-notification & Emergency Alert” button on the left side of the homepage. Chester County offers an emergency notification system called ReadyChesco, which notifies residents about public safety emergencies in the area via text, email and cell phone call. Signing up is a great way to keep you and your loved ones safe when disaster strikes. Visit www.readychesco.org to sign up today!

Smart 911 - Smart911 is a new service in Chester County that allows you to create a Safety Profile at www.smart911.com that includes details you want the 9-1-1 center and public safety response teams to know about your household in an emergency. When you dial 9-1-1, from a phone associated with your Safety Profile that information automatically displays to the 9-1-1

call taker allowing them to send responders based on up-to-date location and emergency information. With your Safety Profile, responders can arrive aware of many details they would not otherwise know. Fire crews can arrive knowing exactly how many people live in your home and where the bedrooms are located. EMS personnel can know family members' allergies or specific medical conditions. And police can access a photo of a missing family member in seconds rather than minutes or hours, helping the search start faster.

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**FINANCIAL REQUIREMENT AND MINIMUM MUNICIPAL
OBLIGATION BUDGET FOR 2019**

NAME OF MUNICIPALITY:
COUNTY:

EAST GOSHEN TOWNSHIP
CHESTER

FIRE
PENSION PLAN

1	TOTAL ANNUAL PAYROLL Estimated Payroll	\$961,494
2	NORMAL COST AS A PERCENTAGE OF PAYROLL (Derived from latest actuarial valuation)	10.8%
		1/1/17
3	TOTAL NORMAL COST (Item 1 x Item 2)	\$104,034
4	AMORTIZATION REQUIREMENT (Derived from latest actuarial valuation)	\$0
5	TOTAL ADMINISTRATIVE EXPENSES (Based on Estimate)	\$5,900
6	FINANCIAL REQUIREMENT (+ Item 3 + Item 4 + Item 5)	\$109,934
7	TOTAL MEMBERS CONTRIBUTIONS	\$16,454
8	FUNDING ADJUSTMENT (Derived from latest actuarial valuation)	\$500
9	MINIMUM MUNICIPAL OBLIGATION (+ Item 6 - Item 7 - Item 8)	\$92,980

Signature of Chief Administrative Officer

Date Certified to Governing Body

**FINANCIAL REQUIREMENT AND MINIMUM MUNICIPAL
OBLIGATION BUDGET FOR 2019**

NAME OF MUNICIPALITY:
COUNTY:

EAST GOSHEN TOWNSHIP
CHESTER

NON-UNIFORMED
PENSION PLAN

1	TOTAL ANNUAL PAYROLL	\$0
	Estimated Payroll	
2	NORMAL COST AS A PERCENTAGE OF PAYROLL	0.0%
	(Derived from latest actuarial valuation)	
	1/1/17	
3	TOTAL NORMAL COST	\$0
	(Item 1 x Item 2)	
4	AMORTIZATION REQUIREMENT	\$0
	(Derived from latest actuarial valuation)	
5	TOTAL ADMINISTRATIVE EXPENSES	\$6,850
	(Based on Estimate)	
6	FINANCIAL REQUIREMENT	\$6,850
	(+ Item 3 + Item 4 + Item 5)	
7	TOTAL MEMBERS CONTRIBUTIONS	\$0
8	FUNDING ADJUSTMENT	\$33,277
	(Derived from latest actuarial valuation)	
9	MINIMUM MUNICIPAL OBLIGATION	\$0
	(+ Item 6 - Item 7 - Item 8)	

NOTE: Since the actuarial value of assets exceeds the actuarial present value of future benefits,
there is no financial requirement or municipal obligation required for the year 2019

Signature of Chief Administrative Officer

Date Certified to Governing Body

**FINANCIAL REQUIREMENT AND MINIMUM MUNICIPAL
OBLIGATION BUDGET FOR 2019**

NAME OF MUNICIPALITY:
COUNTY:

EAST GOSHEN TOWNSHIP
CHESTER

NON-UNIFORMED
DEF. CONT.

1. TOTAL ANNUAL PAYROLL (Estimated payroll)	1,649,078
2. RATE OF CONTRIBUTION AS A % OF PAYROLL (Derived from latest actuarial valuation) 1/1/17	5.00%
3. TOTAL CONTRIBUTION COST (Item 1 times Item 2)	82,454
4. TOTAL ADMINISTRATIVE EXPENSES	4,700
5. TOTAL FINANCIAL REQUIREMENT (+Item 3 +Item 4)	87,154
6. MINIMUM MUNICIPAL OBLIGATION	87,154

Signature of Chief Administrative Officer

Date Certified to Governing Body

**FINANCIAL REQUIREMENT AND MINIMUM MUNICIPAL
OBLIGATION BUDGET FOR 2019**

NAME OF MUNICIPALITY:
COUNTY:

EAST GOSHEN TOWNSHIP
CHESTER

NON-UNIFORMED(COMM)
DEF. CONT.

1. TOTAL ANNUAL PAYROLL (Estimated payroll)	213,890
2. RATE OF CONTRIBUTION AS A % OF PAYROLL (Derived from latest actuarial valuation) 1/1/17	5.00%
3. TOTAL CONTRIBUTION COST (Item 1 times Item 2)	10,695
4. TOTAL ADMINISTRATIVE EXPENSES	0
5. TOTAL FINANCIAL REQUIREMENT (+Item 3 +Item 4)	10,695
6. MINIMUM MUNICIPAL OBLIGATION	10,695

Signature of Chief Administrative Officer

Date Certified to Governing Body

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**EAST GOSHEN TOWNSHIP
BOARD OF SUPERVISORS MEETING
1580 PAOLI PIKE
TUESDAY, JULY 17, 2018
DRAFT MINUTES**

Present: Chairman Marty Shane; Vice-Chair Carmen Battavio; Members David Shuey, Janet Emanuel and Mike Lynch; Township Manager Rick Smith; Assistant Township Manager and Finance Director Jon Altshul; and Erich Meyer (Conservancy Board).

Call to Order & Pledge of Allegiance

Marty called the meeting to order at 7:00 p.m. and led the pledge of allegiance.

Moment of Silence

Carmen called for a moment of silence to honor our troops.

Recording

The meeting was livestreamed on the Township's [YouTube](#) page.

Chairman's Report

Marty made the following announcements:

- The Board met in Executive Session prior to tonight's meeting to discuss a personnel matter and a police labor matter.
- Chester County has certified the results of the referendum on the issuance of liquor licenses. The referendum passed by a 4-1 margin.
- Jean Hendrix has resigned from the Marydell Pond Committee.

Public Comment

None.

Malvern Fire Company

Carmen reported that Malvern Fire Company responded to 38 calls in East Goshen in June.

June Financial Report

Jon reported that the General Fund has a positive budget variance of \$304,066, but that he is currently projecting the general fund to finish the year with a deficit of \$308,050. He also made the following observations:

- The Township will be working with its financial advisory on calculating any arbitrage rebate liability from the proceeds of the 2017 bonds.
- The 2004 street sweeper sold on Municibid for \$40,150
- Accounts receivables are at or near recent lows for both real estate and utilities. He added that the Township has received payments in full from two delinquent utility accounts over the past two weeks.

- 1 • The average yield on Township funds is now 1.81%.

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Mike thanked Jon for providing financial planning assistance to East Bradford Township earlier in the day and the Public Works Department for its professionalism and accessibility while milling and paving his road in Goshen Downs over the past few days.

Approval of Minutes, July 3, 2018 & Treasurer’s Report, July 12, 2018

Carmen made a motion to approve the minutes of July 3, 2018 as corrected and the Treasurer’s Report of July 12, 2018. David seconded the motion. The motion passed 4-0 (Janet had not yet arrived).

Consider Pond Recommendation

David and Mike recommended that the Bow Tree I Pond be the second Township pond to be dredged and rehabilitated, using the same criteria of Water Quality, Complexity, Visibility and Self-performance that was used to select Marydell Pond earlier in the year. Mike made a motion to direct staff to begin the permitting process for the Bow Tree I Pond. David seconded. The motion passed 5-0.

Consider Resolution Allowing Alcohol Sales at the Farmers Market

David suggested that the resolution be amended so that the maximum volume for tasting samples be ¼ oz for distilled alcohol, ½ oz for wine and 2 oz for beer.

Janet asked whether there would be any problems monitoring how much vendors were serving in sample cups. Rick stated that Jason manages the farmer’s market and is able to keep tabs on the alcohol vendors. Mike asked whether granting Jason “sole discretion” over selecting alcohol vendors was too strong, to which Rick responded that decisions about Farmer’s Market vendors need to be made quickly and can’t wait until the next BOS meeting.

Carmen made a motion to adopt Resolution 2018-180 permitting the sale, possession and consumption of alcohol at the Farmers Market, with the amendment about permitting tasting samples of ¼ oz for distilled alcohol, ½ oz for wine and 2 oz for beer, as recommended by David. David seconded the motion.

Judy DiFonzo, 462 Gateswood Drive, asked what would happen if Jason leaves. Jon suggested the language be changed to “The Township Manager or his or her designee shall have sole discretion...”. Carmen and David agreed to modify their motion to reflect this suggestion.

Lex Pavlo, 611 S. Speakman Lane, suggested that alcohol vendors be given a standard placard to display indicating the maximum volume of alcohol in tasting samples.

The motion passed, as amended, 5-0.

1 **Consider recommendation for a fireworks ordinance**

2 Rick outlined Act 43, which allows for the sale and use of fireworks in Pennsylvania.
3 He suggested that the Township adopt an ordinance reinforcing the state
4 requirements. David suggested that our ordinance restrict the hours for fireworks
5 and restrict the days that they can be used to coincide with the days that the sale of
6 fireworks is permitted in Pennsylvania.

7
8 Carmen made a motion to direct staff to draft a fireworks ordinance with the
9 restrictions recommended by David. David seconded. The motion passed 5-0.

10
11 **Consider Pipeline Commission**

12 David and Mike provided an overview of the Township's proposed Pipeline
13 Commission, consisting of seven volunteer members, just like any other ABC group.
14 Janet asked if the position of Chair would be limited to two years, to which Rick
15 responded that the proposed resolution was modeled on the Historical
16 Commission's authorizing resolution, which does not set term limits for the Chair.

17
18 Carmen suggested that the Commission was really a "Task Force", which implies
19 something more important than "Commission". Marty agreed that the term "Task
20 Force" has more strength than "Commission" and that calling it a "Commission" may
21 cause the group to lapse into passivity over time. Janet indicated that "Task Force"
22 implies that the group will meet more frequently than a Commission and use
23 professional consultants to support their work.

24
25 Bernie Greenberg, 894 Jefferson Way, asked why three members would only have
26 one-year terms. Marty explained that the terms need to be staggered to ensure
27 continuity in membership over time.

28
29 Bill Wegeman, 629 N. Speakman Lane, asked about the composition of the group.
30 Marty explained that it would consist of seven members, plus a staff and Board of
31 Supervisors liaison and that interested residents would need to formally apply and
32 be interviewed by the Board.

33
34 David made a motion to approve Resolution 2018-78 establishing the East Goshen
35 Township Pipeline Task Force. Mike seconded. The motion passed 5-0.

36
37 Mr. Greenberg asked about the status of Mariner East in East Goshen. Rick
38 responded that Mariner East 1 is operational again; that probably only about 10% of
39 the Mariner East 2 and 2X pipes are in the ground, although there are many more
40 bore holes with no pipe in them; that Sunoco is proceeding with the open cut in
41 front of Giant, but that further horizontal directional drilling is on hold; and that
42 Sunoco has submitted notice to PHMSA that it intends convey NGLs west-to-east
43 through the existing 12" east-to-west petroleum pipeline.

1 Mr. Greenberg also asked whether Sunoco needs permission for additional open
2 cutting, to which Rick replied that they will need a NPDES permit from DEP and a
3 soil & erosion permit from the Township.

4
5 **Consider Milling Machine Bid Results**

6 One bid was received for milling machine rental, as follows:

7

8 <u>Company</u>	9 <u>Daily Rental (8 hours)</u>	10 <u>Weekly Rental</u>	11 <u>10-Day Cost</u>
12 CC&T Inc/ 13 Groff Tractor	14 \$2,500	15 \$7,000	16 \$14,000

17 Carmen made a motion to accept CC&T Inc/Groff Tractor's bid in the amount of
18 \$14,000 for a 10-day milling machine rental. Mike seconded. The motion passed 5-0.

19
20 **Consider land development and escrow agreement for 1664 and 1666 East
21 Boot Road**

22 Carmen made a motion to approve the land development agreement and the
23 financial security agreement for 1664 East Boot Road (lot 3, Subdivision and Land
24 Development Plan for Renehan Building Group) and 1666 East Boot Road (lot 2,
25 Subdivision and Land Development Plan for Renehan Building Group). Janet
26 seconded. The motion passed 5-0.

27
28 **Consider recommendation to terminate Other Post Employment Benefit Trust**

29 Jon provided background about East Goshen and Westtown's intention to
30 consolidate the East Goshen OPEB Trust and Westtown's reserved fund balance into
31 the Police Commission's OPEB Trust. He observed that Westtown approved the
32 transfer at its meeting last night. Mike added that in total the two Townships will
33 transfer \$2.73 million into the trust, compared to a total OPEB liability of \$5.1
34 million.

35 Janet made a motion to approve Resolution 2018-182 authorizing the transfer of
36 funds from the East Goshen Other Post Employment Benefit Trust Agreement to the
37 Westtown East Goshen Police Commission OPEB Trust Agreement and to authorize
38 the termination of the East Goshen Township Other Employment Benefits Trust
39 Agreement, and to approve the East Goshen Township Other Post Employment
40 Benefit Trust Termination of Trust Agreement. Carmen seconded. The motion
41 passed 5-0.

42
43 **Consider recommendation for Sewer Planning Module for 1405 Wexford
44 Circle**

45 Carmen made a motion to approve the Sewage Facility Planning Module for the on-
46 lot stream discharge sanitary sewer system at 1405 Wexford Circle with the
following conditions: 1) upon approval by the DEP, the applicant will execute and
record the O&M agreement; 2) upon approval by the DEP, the applicant will
reimburse the Township for all review expenses incurred by the Township; and 3)
upon approval by the DEP, the applicant will post the required escrow fees for

1 Township inspections during construction of the system. Mike seconded. The
2 motion passed 5-0.

3
4 **Consider chicken ordinance**

5 Mike raised concerns that 5 chickens would yield 30 eggs per week and 20 would
6 yield 120 eggs, both of which are more than most families consume in a given week.
7 Carmen stated that Mike's figures were high as chickens do not consistently lay eggs.
8 David asked whether we should allow chickens on lots of under 1 acre. Rick
9 indicated that relatively few residences in the Township have over an acre of land.
10 Jon reminded the Board that the Planning Commission had originally proposed
11 allowing chickens on half acre lots, but that the Board had not wanted to allow this.
12 Marty and Carmen both indicated that it's preferable to start with one acre and, if
13 that doesn't create problems, to later amend the ordinance to allow chickens on
14 smaller lots. Carmen made a motion to forward the draft ordinance to the solicitor
15 for formatting and then send to the Chester County Planning Commission for its
16 review and then to advertise for a public hearing in September. Mike seconded. Mike
17 asked if it's sanitary to dispose of chicken feces in the garbage, and Rick indicated
18 that that's how dog waste is disposed of. The motion passed 5-0.

19
20 **Consider response from PUC regarding Senator Dinniman's petition and**
21 **complaint**

22 Marty stated that he was offended by Secretary Chiavetta's response to his letter
23 and suggested that Rick resend the letter and add that the Township is not seeking
24 legal advice, but merely clarification on the PUC's ruling. Rick likened resending the
25 letter to asking the Clerk of the Court about what a judge's ruling meant. He
26 suggested that the same question be posed to John Snyder for clarification. The
27 Board agreed with Rick's recommendation.

28
29 **Any Other Matter**

30 Janet made a motion to authorize the Chairman to execute the storm water
31 management operation and maintenance agreement for the Applebrook Golf Club
32 Mixed Grill patio area. Mike seconded. The motion passed 5-0.

33
34 Mike made a motion to appoint Ted Roberts to the Historical Commission. Carmen
35 seconded. The motion passed 5-0.

36
37 **Correspondance, Reports of Interest**

38 The Board acknowledged notice from the Westtown Township Zoning Hearing
39 Board about a variance application for a new fence at 193 Pheasant Run, which is
40 adjacent to East Goshen Township. The Board also acknowledged the Remedial
41 Action Completion Report for the Sunoco Gas Station at 1425 Paoli Pike.

42
43 **Adjournment**

44 Mike made a motion to adjourn at 8:40. David seconded the motion. The motion
45 passed 5-0.

1 Respectfully submitted,
2 *Jon Altshul*
3 *Recording Secretary*
4
5 Attachments: July 12, 2018 Treasurer's Report
6

GENERAL FUND

Real Estate Tax	\$11,489.19	Accounts Payable	\$371,909.41
Earned Income Tax	\$71,654.80	<u>Electronic Pmts:</u>	
Local Service Tax	\$634.77	Credit Card	\$0.00
Transfer Tax	\$0.00	Postage	\$1,000.00
<i>General Fund Interest Earned</i>	\$7,356.15	Debt Service	\$9,391.49
Total Other Revenue	\$442,040.32	Payroll	\$129,586.11
Total Receipts:	<u>\$533,175.23</u>	Total Expenditures:	<u>\$511,887.01</u>

STATE LIQUID FUELS FUND

Receipts	\$0.00		
<i>Interest Earned</i>	\$0.00		
Total State Liquid Fuels:	<u>\$0.00</u>	Expenditures:	<u>\$0.00</u>

CAPITAL RESERVE FUND

Receipts	\$40,150.00	Accounts Payable	\$9,356.20
<i>Interest Earned</i>	\$2,109.38	Credit Card	\$0.00
Total Sinking Fund:	<u>\$42,259.38</u>	Total Expenditures:	<u>\$9,356.20</u>

TRANSPORTATION FUND

Receipts	\$0.00		
<i>Interest Earned</i>	\$822.82		
Total Sinking Fund:	<u>\$822.82</u>	Expenditures:	<u>\$0.00</u>

SEWER OPERATING FUND

Receipts	\$17,130.82	Accounts Payable	\$7,761.74
<i>Interest Earned</i>	\$1,129.18	Debt Service	\$27,098.79
Total Sewer:	<u>\$18,260.00</u>	Credit Card	\$0.00
		Total Expenditures:	<u>\$34,860.53</u>

REFUSE FUND

Receipts	\$5,297.33		
<i>Interest Earned</i>	\$517.06		
Total Refuse:	<u>\$5,814.39</u>	Expenditures:	<u>\$63,501.27</u>

BOND FUND

Receipts	\$0.00	Accounts Payable	\$33,079.96
<i>Interest Earned</i>	\$9,991.86	Credit Card	\$0.00
Total Sewer Sinking Fund:	<u>\$9,991.86</u>	Total Expenditures:	<u>\$33,079.96</u>

SEWER CAPITAL RESERVE FUND

Receipts	\$0.00		
<i>Interest Earned</i>	\$3,166.36		
Total Sewer Sinking Fund:	<u>\$3,166.36</u>	Expenditures:	<u>\$0.00</u>

OPERATING RESERVE FUND

Receipts	\$0.00		
<i>Interest Earned</i>	\$17,934.97		
Total Operating Reserve Fund:	<u>\$17,934.97</u>	Expenditures:	<u>\$0.00</u>

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August 2, 2018

**TREASURER'S REPORT
2018 RECEIPTS AND BILLS**

GENERAL FUND

Real Estate Tax	\$3,515.58
Earned Income Tax	\$82,000.00
Local Service Tax	\$5,000.00
Transfer Tax	103,863.83
General Fund Interest Earned	179.88
Total Other Revenue	\$112,097.05
Total Receipts:	<u>\$306,656.34</u>

Accounts Payable	\$417,460.20
Electronic Pmts:	
Credit Card	\$2,649.82
Postage	\$0.00
Debt Service	\$0.00
Payroll	\$245,643.76
Total Expenditures:	<u>\$665,753.78</u>

STATE LIQUID FUELS FUND

Receipts	\$0.00
Interest Earned	\$0.00
Total State Liquid Fuels:	<u>\$0.00</u>

Expenditures:	<u>\$0.00</u>
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CAPITAL RESERVE FUND

Receipts	\$225,000.00
Interest Earned	\$16,094.41
Total Sinking Fund:	<u>\$241,094.41</u>

Accounts Payable	\$28,168.65
Credit Card	\$0.00
Total Expenditures:	<u>\$28,168.65</u>

TRANSPORTATION FUND

Receipts	\$0.00
Interest Earned	\$1,020.25
Total Sinking Fund:	<u>\$1,020.25</u>

Expenditures:	<u>\$0.00</u>
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SEWER OPERATING FUND

Receipts	\$236,728.02
Interest Earned	\$1,095.50
Total Sewer:	<u>\$237,823.52</u>

Accounts Payable	\$60,486.96
Debt Service	\$0.00
Credit Card	\$0.00
Total Expenditures:	<u>\$60,486.96</u>

REFUSE FUND

Receipts	\$114,458.90
Interest Earned	\$562.97
Total Refuse:	<u>\$115,021.87</u>

Expenditures:	<u>\$12,334.09</u>
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BOND FUND

Receipts	\$0.00
Interest Earned	\$6,651.98
Total Sewer Sinking Fund:	<u>\$6,651.98</u>

Accounts Payable	\$3,351.22
Credit Card	\$0.00
Total Expenditures:	<u>\$3,351.22</u>

SEWER CAPITAL RESERVE FUND

Receipts	\$0.00
Interest Earned	\$11,966.31
Total Sewer Sinking Fund:	<u>\$11,966.31</u>

Expenditures:	<u>\$0.00</u>
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OPERATING RESERVE FUND

Receipts	\$0.00
Interest Earned	\$921.78
Total Operating Reserve Fund:	<u>\$921.78</u>

Expenditures:	<u>\$0.00</u>
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**EAST GOSHEN TOWNSHIP
MEMORANDUM**

TO: BOARD OF SUPERVISORS
FROM: CHRIS BOYLAN
SUBJECT: PROPOSED PAYMENTS OF BILLS
DATE: AUGUST 2, 2018

Please accept the attached Treasurer's Report and Expenditure Register Report for consideration by the Board of Supervisors.

Some notable items that are included in this report are:

- \$103,864 in Transfer Tax Revenue
- \$225,000 DCED grant for the playground to the Capital Reserve Fund (we are still awaiting a final \$25,000 grant payment for the playground and then will close out the project)
- \$13,700 in Capital Reserve expenses for new carpeting in the District Court as part of the lease renewal.
- \$256,196 in General Fund expenses for the monthly payment to WEGO, plus \$8,350 for the annual building capital contribution.

Recommended motion: Mr. Chairman, I move that we approve the expenditures as presented in the Expenditure Register and as summarized in the Treasurer's Report.

Report Date 07/16/18

Expenditures Register
GL-1807-64003

PAGE 1

MARP05 run by BARBARA 4 : 10 PM

Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
05				SEWER OPERATING						
1393	55626	1 05429	3250	US POSTMASTER ADMIN.- POSTAGE 3RD QTR. 2018 UTILITY BILLS	071618	07/16/18		07/16/18		944.75
										944.75
06				REFUSE						
1393	55626	2 06427	3250	US POSTMASTER POSTAGE 3RD QTR. 2018 UTILITY BILLS	071618	07/16/18		07/16/18		944.74
										944.74
										1,889.49
0 Printed, totaling										1,889.49

FUND SUMMARY

Fund	Bank Account	Amount	Description
05	05	944.75	SEWER OPERATING
06	06	944.74	REFUSE
		1,889.49	

PERIOD SUMMARY

Period	Amount
1807	1,889.49
	1,889.49

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
01	GENERAL FUND									
6	ABC PAPER & CHEMICAL INC									
55631	1	01409	3740	TWP. BLDG. - MAINT & REPAIRS	091292	07/19/18		07/19/18		132.71
				C-FOLD TOWELS, ROLL TOWELS, HAND SOAP & FACIAL TISSUE						
55631	2	01409	3840	DISTRICT COURT EXPENSES	091292	07/19/18		07/19/18		132.71
				C-FOLD TOWELS, ROLL TOWELS, HAND SOAP & FACIAL TISSUE						
55632	1	01454	2000	MAINTENANCE SUPPLIES	091222	07/19/18		07/19/18		821.70
				TOILET TISSUE & TRASH CAN LINERS						
										1,087.12
3140	ACE PORTABLES INC.									
55633	1	01438	2450	MATERIALS & SUPPLIES-HIGHWAYS	136122	07/19/18		07/19/18		142.00
				PORTABLE TOILETS - JULY 2018						
55634	1	01454	2000	MAINTENANCE SUPPLIES	136121	07/19/18		07/19/18		300.00
				PORT. TOILET - HANDICAP -JULY 2018						
										442.00
1657	AQUA PA									
55635	1	01411	3630	HYDRANT & WATER SERVICE	070218 279	07/19/18		07/19/18		4,696.50
				000310033 0310033 5/31-6/29/18 186						
55635	2	01411	3631	HYDRANTS - RECHARGE EXPENSE	070218 279	07/19/18		07/19/18		2,348.25
				000310033 0310033 5/31-6/29/18 93						
55636	1	01411	3630	HYDRANT & WATER SERVICE	070218 HY6	07/19/18		07/19/18		137.52
				000309987 0309987 5/31-6/29/18 HY6						
										7,182.27
3518	BANCTEC INC.									
55637	1	01401	3740	MAINTENANCE & REPAIRS	91985481	07/19/18		07/19/18		318.00
				REPAIR FOLDER/SEALER - BASE PAD & FEED ROLLER						
										318.00
2973	BORTEK INDUSTRIES INC.									
55639	1	01430	2330	VEHICLE MAINT AND REPAIR	NY015700	07/19/18		07/19/18		1,152.04
				REPAIR FLOOR SCRUBBER						
										1,152.04

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2695	55641	1 01454	3100	BRICKHOUSE ENVIRONMENTAL PROFESSIONAL SERVICES PROF.SERVICE - JUNE 2018 WATER FOUNTAIN WATER TESTING	1466	07/19/18		07/19/18		351.50
										351.50
4030	55642	1 01409	3840	CERTA PRO PAINTERS OF GREAT VALLEY DISTRICT COURT EXPENSES PAINTING - DIST.COURT & POLICE SUB STATION	BBD4F50004122	07/19/18		07/19/18		4,579.37
	55642	2 01409	3740	TWP. BLDG. - MAINT & REPAIRS PAINTING - TWP. STAIRWELLS	BBD4F50004122	07/19/18		07/19/18		1,218.42
										5,797.79
2531	55643	1 01401	3000	CHESTER COUNTY CHAMBER GENERAL EXPENSE ANN.MEMBERSHIP FEE 6/1/18 - 5/31/19	31344	07/19/18		07/19/18		324.50
										324.50
2996	55644	1 01409	3740	CNS CLEANING COMPANY TWP. BLDG. - MAINT & REPAIRS JANITORIAL SERVICE - JULY 2018	52925	07/19/18		07/19/18		870.00
	55644	2 01409	3840	DISTRICT COURT EXPENSES JANITORIAL SERVICE - JULY 2018	52925	07/19/18		07/19/18		255.00
										1,125.00
2491	55647	1 01401	3210	COMCAST 8499-10-109-0107472 COMMUNICATION EXPENSE 0107472 7/17 - 8/16/18 PW TV	071018	07/19/18		07/19/18		10.52
										10.52
3249	55645	1 01401	3210	COMCAST 8499-10-109-0107712 COMMUNICATION EXPENSE 0107712 7/5-8/4/18 EG PARK LED	070418	07/19/18		07/19/18		105.75
										105.75
3490	55646	1 01401	3210	COMCAST 8499-10-109-0111284 COMMUNICATION EXPENSE 0111284 7/9-8/8/18 SPEC. VIDEO PW	070418	07/19/18		07/19/18		16.88
										16.88

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317	55648	1	01430 2330	CONTRACTOR'S CHOICE VEHICLE MAINT AND REPAIR BAR, COVER & FREIGHT	00224554	07/19/18		07/19/18		65.48
										65.48
1990	55649	1	01401 2100	CRYSTAL SPRINGS MATERIALS & SUPPLIES COFFEE, CREAMER & SUGAR	3154612 070618	07/19/18		07/19/18		101.81
										101.81
3872	55650	1	01409 3740	EAGLE TERMITE & PEST CONTROL TWP. BLDG. - MAINT & REPAIRS	196617	07/19/18		07/19/18		105.00
	55651	1	01409 3840	EXTERM. SERVICE - JULY 2018 TWP. DISTRICT COURT EXPENSES	196620	07/19/18		07/19/18		50.00
	55653	1	01409 3745	EXTERM. SERV. - JULY 2018 DIST.CT PW BUILDING - MAINT REPAIRS	196619	07/19/18		07/19/18		45.00
										200.00
2836	55657	1	01452 2030	FAMILY STAGES PRESCHOOLERS ENTERTAINMENT JACK AND THE BEANSTALK SHOW	011618	07/19/18		07/19/18		450.00
										450.00
594	55659	1	01409 3745	HAMMOND & MCCLOSKEY INC. PW BUILDING - MAINT REPAIRS BACKFLOW TESTING - PW BLDG.	8727	07/19/18		07/19/18		110.00
										110.00
598	55662	1	01436 2450	HANSON AGGREGATES PENNSYLVANIA LLC STORMWATER MATERIALS & SUPPLIES 9.49 TONS 1/4 " - WARRIOR RD	3331473	07/19/18		07/19/18		173.19
										173.19
719	55660	1	01437 2460	KEEN COMPRESSED GAS COMPANY GENERAL EXPENSE - SHOP VARIOUS CYLINDERS OF GASES	83187783	07/19/18		07/19/18		69.60
										69.60

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1529	55661	1	01452 2010	KRAPF JR. & SONS INC., GEORGE SUMMER PROGRAM FIELD TRIPS FIELD TRIP TO FRENCH CRK. 6/27/18	SB0718014790	07/19/18		07/19/18		287.99
										287.99
765	55663	1	01409 3840	LENNI ELECTRIC CORPORATION DISTRICT COURT EXPENSES REPLACE BOLLARD LIGHTS - DIST.CT.	180651	07/19/18		07/19/18		460.36
	55664	1	01454 3740	EQUIPMENT MAINT. & REPAIR WIRING AND GFCI BOX INSTALLATION AT EG PARK	180652	07/19/18		07/19/18		2,618.00
										3,078.36
3679	55668	1	01401 3210	NETCARRIER TELECOM INC. 67846 COMMUNICATION EXPENSE 7/1/18 - 7/31/18	526834	07/19/18		07/19/18		359.44
										359.44
3680	55673	1	01401 3210	NETCARRIER TELECOM INC. 67891 COMMUNICATION EXPENSE 7/1/18 - 7/31/18	526841	07/19/18		07/19/18		134.13
										134.13
955	55675	1	01452 3204	NORRIS SALES COMPANY INC COMMUNITY DAY CAUTION TAPE	250542	07/19/18		07/19/18		73.76
										73.76
1554	55677	1	01401 2100	OFFICE DEPOT MATERIALS & SUPPLIES SDHC CARDS, TONER, DIVIDERS & INDEX MAKERS	157925920001	07/19/18		07/19/18		245.59
										245.59
1029	55678	1	01409 3740	PDM SERVICE COMPANY INC TWP. BLDG. - MAINT & REPAIRS REPAIR AUDIO SYSTEM - BOARD ROOM	2018-11962	07/19/18		07/19/18		172.50
										172.50

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2593				PECO - 18510-39089						
	55679	1	01454 3600	UTILITIES 18510-39089 6/1-7/3/18 BOW TREE PMP	070518	07/19/18		07/19/18		74.78
										74.78
1032				PECO - 99193-01302						
	55682	1	01409 3600	TWP. BLDG. - FUEL, LIGHT, WATER 99193-01302 5/24-6/28/18	070618	07/19/18		07/19/18		1,416.16
	55682	2	01454 3600	UTILITIES 99193-01302 5/24-6/28/18	070618	07/19/18		07/19/18		90.81
										1,506.97
1052				PENNONI ASSOCIATES INC.						
	55683	1	01408 3130	ENGINEERING SERVICES SERVICE THRU: 5/27/18 MALVERN INST.	808339	07/19/18		07/19/18		399.75
	55684	1	01454 3711	POND TREATMENT SERV. THRU: 5/27/18 MARY DELL BASIN	808338	07/19/18		07/19/18		7,181.50
	55685	1	01408 3130	ENGINEERING SERVICES SERV. THRU: 5/27/18 GIS ASSIST.	808335	07/19/18		07/19/18		1,465.75
	55686	1	01413 3130	ENGINEERING SERVICES SERV.THRU: 5/27/18 SUNOCO NOISE - PIPELINE	808564	07/19/18		07/19/18		984.00
	55687	1	01408 3130	ENGINEERING SERVICES SERV. THRU 5/27/18 GENERAL CONSULT	808333	07/19/18		07/19/18		428.00
	55688	1	01408 3131	ENGINEER.& MISC.RECHARGES SERV.THRU 5/27/18 BURNS	808344	07/19/18		07/19/18		1,623.75
	55689	1	01408 3131	ENGINEER.& MISC.RECHARGES SERV.THRU 5/27/18 1666 E.BOOT RD.#2	808343	07/19/18		07/19/18		152.50
	55690	1	01408 3131	ENGINEER.& MISC.RECHARGES SERV.THRU 5/27/18 1664 E.BOOT RD.#3	808342	07/19/18		07/19/18		423.75
	55691	1	01408 3131	ENGINEER.& MISC.RECHARGES SERV.THRU 5/27/18 LEGENSTEIN	808341	07/19/18		07/19/18		1,385.75
	55692	1	01408 3131	ENGINEER.& MISC.RECHARGES SERV.THRU 5/27/18 E.G.ELEMENTARY	808340	07/19/18		07/19/18		363.00
	55693	1	01408 3131	ENGINEER.& MISC.RECHARGES SERV.THRU 5/27/18 KAAS	808337	07/19/18		07/19/18		349.50
	55694	1	01408 3131	ENGINEER.& MISC.RECHARGES SERV.THRU 5/27/18 MOSER - 943 CORN.	808336	07/19/18		07/19/18		183.25
										14,940.50
1005				PENNSYLVANIA ONE CALL SYSTEM						
	55696	1	01438 3840	EQUIPMENT RENTAL MONTHLY ACTIVITY FEE - JUNE 2018	0000775966	07/19/18		07/19/18		42.68
										42.68

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2342	55697	1 01436	2450	POWERPRO EQUIPMENT STORMWATER MATERIALS & SUPPLIES 60 CASES SAND & 9 CASES SUPERSAND	2C109766	07/19/18		07/19/18		113.25
										113.25
2539	55698	1 01409	3740	PRECISION MECHANICAL SERVICES TWP. BLDG. - MAINT & REPAIRS TROUBLESHOOT HUMIDITY ISSUE AND SET FANS TO RUN CONTINUOUSLY.	SC-16764	07/19/18		07/19/18		426.72
										426.72
1161	55699	1 01430	2320	REILLY & SONS INC VEHICLE OPERATION - FUEL 410.1 GALLONS DIESEL	145392	07/19/18		07/19/18		967.84
	55700	1 01430	2320	VEHICLE OPERATION - FUEL 365.8 GALLONS GASOLINE	145391	07/19/18		07/19/18		854.87
										1,822.71
2257	55702	1 01414	3050	THOMAS COMMITTA ASSOCIATES INC. ZONING CONSULTANTS PROF.SERVICE 5/24-7/2/18 PAOLI PK CORRIDOR AMENDMENTS	070218	07/19/18		07/19/18		6,216.05
										6,216.05
1340	55704	1 01436	2450	TINARI & SON, PHILIP STORMWATER MATERIALS & SUPPLIES 180 ROLL CURB - INLET CURBING	11879	07/19/18		07/19/18		3,600.00
										3,600.00
1389	55706	1 01414	3141	UNRUH TURNER BURKE FREES LEGAL - ZONING HEARING BOARD LEGAL SERV. 4/24-6/21/18 MALVERN IN	156084	07/19/18		07/19/18		2,753.66
										2,753.66
2050	55709	1 01487	1550	VILLAGE MEDICAL DRUG & ALCOHOL TESTING DRUG SCREENING - C.BOYLAN	00151321-00	07/19/18		07/19/18		73.00
										73.00

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2909				WEST CHESTER AREA SCHOOL DISTRICT						
	55711	1	01409 4300	WIRELESS TOWER TAX PAYMENTS 2018 SCHOOL TAX - CELL TOWER	070118	07/19/18		07/19/18		4,516.68
										4,516.68
1470				WESTTOWN TOWNSHIP						
	55712	1	01410 5310	REGIONAL POLICE BLDG INTEREST JULY 2018 - INTEREST	071918	07/19/18		07/19/18		1,105.63
	55712	2	01410 5320	REGIONAL POLICE BLDG PRINCIPAL JULY 2018 - PRINCIPAL	071918	07/19/18		07/19/18		9,583.33
										10,688.96
1471				WESTTOWN-EAST GOSHEN POLICE						
	55713	1	01452 3204	COMMUNITY DAY SPECIAL DETAIL - COMMUNITY DAY	1137	07/19/18		07/19/18		2,620.00
										2,620.00
1983				YALE ELECTRIC SUPPLY CO						
	55714	1	01454 3740	EQUIPMENT MAINT. & REPAIR MILBANK 6624-GSC3R, LOCKNUTS & ADAPTERS	S110861982.001	07/19/18		07/19/18		80.87
	55715	1	01454 3740	EQUIPMENT MAINT. & REPAIR FLOOD LIGHT - 26W LED	S110870087.001	07/19/18		07/19/18		325.03
										405.90
4031				ZHAO, LIMIAN						
	55716	1	01367 3509	ROBOTICS PROGRAM REFUND ROBOTICS - VACATION CONFLICT	822461	07/19/18		07/19/18		155.00
										155.00

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05				SEWER OPERATING						
2695	55640	1 05422	3701	BRICKHOUSE ENVIRONMENTAL R.C. COLLEC.-MAINT.& REPR PROF.SERVICE JUNE 2018 -APPLBRK CC/ WWQM PERMIT	1460	07/19/18		07/19/18		935.73
										935.73
3872	55652	1 05422	3700	EAGLE TERMITE & PEST CONTROL R.C. STP-MAINT.& REPAIRS EXTERM. SERV. - JULY 2018 RCSTP	196618	07/19/18		07/19/18		45.00
	55654	1 05420	3701	C.C. INTERCEPT.-MAINT.&REP EXTERM. SERV. - JULY 2018 ASHBRIDGE	196621	07/19/18		07/19/18		25.00
	55655	1 05422	3701	R.C. COLLEC.-MAINT.& REPR EXTERM. SERV. - JULY 2018 THRNCRFT	196622	07/19/18		07/19/18		25.00
										95.00
3691	55656	1 05422	3700	EVOQUA WATER TECHNOLOGIES LLC R.C. STP-MAINT.& REPAIRS DIFFSR,AIR;ASSEM-SNAP	903600620	07/19/18		07/19/18		169.00
										169.00
594	55659	2 05420	3701	HAMMOND & MCCLOSKEY INC. C.C. INTERCEPT.-MAINT.&REP BACKFLOW TESTING - BARKWAY	8727	07/19/18		07/19/18		110.00
	55659	3 05422	3701	R.C. COLLEC.-MAINT.& REPR BACKFLOW TESTING, REPAIR & PARTS - THORNCROFT	8727	07/19/18		07/19/18		644.94
										754.94
765	55665	1 05422	3700	LENNI ELECTRIC CORPORATION R.C. STP-MAINT.& REPAIRS REPAIR BLOWER RCSTP	180654	07/19/18		07/19/18		307.50
	55666	1 05422	3700	R.C. STP-MAINT.& REPAIRS RCSTP MAINTENANCE & REPAIRS	180655	07/19/18		07/19/18		1,228.50
										1,536.00
3675	55671	1 05420	3602	NETCARRIER TELECOM INC. 67889 C.C. COLLECTION -UTILITIES 7/1/18 - 7/31/18	526839	07/19/18		07/19/18		48.62
										48.62

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3676	55672	1 05422	3600	NETCARRIER TELECOM INC. 67890 R.C STP -UTILITIES 7/1/18 - 7/31/18	526840	07/19/18		07/19/18		48.62
										48.62
3677	55669	1 05420	3602	NETCARRIER TELECOM INC. 67887 C.C. COLLECTION -UTILITIES 7/1/18 - 7/31/18	526837	07/19/18		07/19/18		48.79
										48.79
3678	55670	1 05420	3602	NETCARRIER TELECOM INC. 67888 C.C. COLLECTION -UTILITIES 7/1/18 - 7/31/18	526838	07/19/18		07/19/18		48.99
										48.99
3725	55674	1 05420	3702	NETCARRIER TELECOM INC. 68255 C.C. COLLEC.-MAINT.& REPR. 7/1/18 - 7/31/18	527029	07/19/18		07/19/18		49.81
										49.81
2827	55680	1 05420	3602	PECO - 04725-43025 C.C. COLLECTION -UTILITIES 04725-43025 6/6-7/6/18 WYLPEN PUMP	070918	07/19/18		07/19/18		500.51
										500.51
1031	55681	1 05420	3602	PECO - 99193-01204 C.C. COLLECTION -UTILITIES 99193-01204 5/24-6/28/18	070618	07/19/18		07/19/18		378.78
	55681	2 05420	3600	C.C. METERS - UTILITIES 99193-01204 5/24-6/28/18	070618	07/19/18		07/19/18		9.14
	55681	3 05422	3601	R.C. COLLEC.-UTILITIES 99193-01204 5/24-6/28/18	070618	07/19/18		07/19/18		89.82
	55681	4 05422	3600	R.C STP -UTILITIES 99193-01204 5/24-6/28/18	070618	07/19/18		07/19/18		7,533.75
										8,011.49
1005	55696	2 05422	3701	PENNSYLVANIA ONE CALL SYSTEM R.C. COLLEC.-MAINT.& REPR MONTHLY ACTIVITY FEE - JUNE 2018	0000775966	07/19/18		07/19/18		42.68
	55696	3 05420	3702	C.C. COLLEC.-MAINT.& REPR. MONTHLY ACTIVITY FEE - JUNE 2018	0000775966	07/19/18		07/19/18		42.69
										85.37

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05				SEWER OPERATING						
2914				TOWLER, SCOTT A.						
	55705	1	05422 4500	R.C. STP-CONTRACTED SERV. SERVICE RE: RCSTP - JUNE 2018	18-060130-1	07/19/18		07/19/18		14,500.09
										14,500.09
1395				USA BLUE BOOK						
	55707	1	05422 3700	R.C. STP-MAINT.& REPAIRS COMPLETE SET - SLUDGE JUDGE II	606570	07/19/18		07/19/18		179.05
										179.05
2439				VERIZON -7041						
	55708	1	05422 3601	R.C. COLLEC.-UTILITIES JULY 7 - AUGUST 6, 2018	070718-7041	07/19/18		07/19/18		203.26
										203.26

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06				REFUSE						
138				BFI-KING OF PRUSSIA RECYCLERY						
	55638	1	06427 4504	RECYCLING FEES	4586-000057610	07/19/18		07/19/18		1,387.02
				RECYLCING FEES - JUNE 2018						
										1,387.02

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08				BOND FUNDS (CAPITAL PROJECTS)						
1876				FOLEY INC.						
55658	1	08454	6020	MILLTOWN DAM CONSTRUCTION EXCAVATOR, COUPLER RENTAL 6/25-6/26 FOR MILLTOWN DAM REMOVAL	W2689301	07/19/18		07/19/18		1,927.00
										1,927.00
955				NORRIS SALES COMPANY INC						
55676	1	08454	6020	MILLTOWN DAM CONSTRUCTION HYDRAULIC CIRCULAR SAW, POWER PACK & HOSE FITTINGS	249485	07/19/18		07/19/18		424.22
										424.22
										131,146.24
0 Printed, totaling										131,146.24

FUND SUMMARY

Fund	Bank Account	Amount	Description
01	01	73,392.08	GENERAL FUND
03	03	26,800.65	SINKING FUND
05	05	27,215.27	SEWER OPERATING
06	06	1,387.02	REFUSE
08	08	2,351.22	BOND FUNDS (CAPITAL PROJECTS)
		131,146.24	

PERIOD SUMMARY

Period	Amount
1807	131,146.24
	131,146.24

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
01		GENERAL FUND								
4032				SID'AHMED, LINDA						
	55722	1	01367 3100	SUMMER PROGRAM	822484	07/30/18		07/30/18		600.00
				REFUND SUMMER CAMP - H.SID'AHMED						
										600.00
										600.00
										0 Printed, totaling 600.00

FUND SUMMARY

Fund	Bank Account	Amount	Description
01	01	600.00	GENERAL FUND
		600.00	

PERIOD SUMMARY

Period	Amount
1807	600.00
	600.00

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
01		GENERAL FUND								
1471				WESTTOWN-EAST GOSHEN POLICE						
	55723	1	01410 5300	POLICE GEN.EXPENSE	080118	08/01/18	08/01/18	08/01/18	15834 p	256,195.61
				AUGUST 2018 CONTRIBUTION						
										256,195.61
										256,195.61
										1 Prepays, totaling 256,195.61
										0 Printed, totaling 0.00

FUND SUMMARY

Fund	Bank Account	Amount	Description
01	01	256,195.61	GENERAL FUND
		256,195.61	

PERIOD SUMMARY

Period	Amount
1808	256,195.61
	256,195.61

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
01		GENERAL FUND								
3360				AC SUPPLY						
	55724	1	01452 3719	ROCKERTRY SUMMER CAMP ROCKET CAMP SUPPLIES	420739	08/01/18		08/01/18		638.90
										638.90
1903				ALTHOUSE, GARY						
	55725	1	01487 4600	TRAINING & SEMINARS-EMPLY REIMBURSEMENT - PCCA COURSE	073018	08/01/18		08/01/18		125.00
										125.00
1657				AQUA PA						
	55726	1	01409 3600	TWP. BLDG. - FUEL, LIGHT, WATER 000309820 0309820 6/21-7/20/18 FR	072418 FR	08/01/18		08/01/18		206.40
	55727	1	01409 3600	TWP. BLDG. - FUEL, LIGHT, WATER 000309828 0309828 6/21-7/20/18 TB	072418 TB	08/01/18		08/01/18		192.32
	55728	1	01409 3605	PW BLDG - FUEL,LIGHT,SEWER & WATER 000496917 0309798 6/21-7/20/18 PW	072418 PW	08/01/18		08/01/18		213.59
	55729	1	01411 3630	HYDRANT & WATER SERVICE 000348603 0348603 3/30-6/29/18 HM34	070218 HM34	08/01/18		08/01/18		2,575.50
	55730	1	01411 3630	HYDRANT & WATER SERVICE 000310033 0706109 3/30-6/29/18 HY13	070218 HY13	08/01/18		08/01/18		858.00
										4,045.81
119				BEE.NET INTERNET SERVICES						
	55735	1	01401 3210	COMMUNICATION EXPENSE AUGUST 2018 - BEE MAIL ACCOUNTS	201808007	08/01/18		08/01/18		315.00
										315.00
4034				BENDER, AFTAN						
	55736	1	01367 3100	SUMMER PROGRAM REFUND FOR MISSED SUMMER CAMP DAYS	821210	08/01/18		08/01/18		57.00
										57.00
1198				BRANDYWINE VALLEY SPCA						
	55739	1	01410 5400	S.P.C.A. CONTRACT STRAY PICK-UP JUNE 2018	2209	08/01/18		08/01/18		318.26
										318.26

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
197				BUCKLEY BRION MCGUIRE & MORRIS						
	55740	1	01404 3140	LEGAL - ADMIN LEGAL SERVICE 6/1 - 6/28/18	16637	08/01/18		08/01/18		1,776.90
	55740	2	01413 3140	LEGAL - TWP CODE LEGAL SERVICE 6/1 - 6/28/18	16637	08/01/18		08/01/18		1,012.80
	55740	3	01414 3110	LEGAL - CODES LEGAL SERVICE 6/1 - 6/28/18	16637	08/01/18		08/01/18		1,619.10
	55740	4	01414 3141	LEGAL - ZONING HEARING BOARD LEGAL SERVICE 6/1 - 6/28/18	16637	08/01/18		08/01/18		805.35
-----										5,214.15
3488				CINTAS CORPORATION #287						
	55746	1	01409 3740	TWP. BLDG. - MAINT & REPAIRS WEEK END 7/25/18 CLEAN MATS	287213336	08/01/18		08/01/18		131.24
	55746	2	01487 1910	UNIFORMS WEEK END 7/25/18 CLEAN UNIFORMS	287213336	08/01/18		08/01/18		389.29
-----										520.53
497				COLLIFLOWER INC.						
	55747	1	01430 2330	VEHICLE MAINT AND REPAIR 6K NON-MARKING	L82408-001	08/01/18		08/01/18		92.00
-----										92.00
296				COMCAST 8499-10-109-0028306						
	55748	1	01401 3210	COMMUNICATION EXPENSE 0028306 - AUGUST 2018	072218	08/01/18		08/01/18		104.90
-----										104.90
3250				COMCAST 8499-10-109-0107704						
	55749	1	01401 3210	COMMUNICATION EXPENSE 0107704 7/23-8/22/18 P&BOOT LED	071518	08/01/18		08/01/18		105.75
-----										105.75
317				CONTRACTOR'S CHOICE						
	55750	1	01430 2330	VEHICLE MAINT AND REPAIR AIR FILTERS, CHAINS & CHAIN LOOPS	00225254	08/01/18		08/01/18		248.58
-----										248.58
3220				DIMARTINI, VINCENT						
	55751	1	01487 4600	TRAINING & SEMINARS-EMPLY REIMBURSMENT- 2015 RESIDENTIAL CODE UPDATE COURSE	073018	08/01/18		08/01/18		125.00
-----										125.00

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
01	GENERAL FUND									
4033				EAST GOSHEN TWP. - ESCROW ACCOUNT						
	55752	1	01413 3000	GENERAL EXPENSE	072318	08/01/18		08/01/18		97.94
				REIMBURSE ESCROW FUND - CHECK ORDER						
										97.94
1876				FOLEY INC.						
	55754	1	01438 3840	EQUIPMENT RENTAL	W26884011	08/01/18		08/01/18		2,019.00
				SKID STEER RENTAL 6/25-7/10/18						
	55755	1	01436 3840	STORMWATER EQUIPMENT RENTAL	W2688402	08/01/18		08/01/18		1,624.00
				HAMMER & BUCKET RENTAL 6/25-7/23/18						
	55756	1	01438 3840	EQUIPMENT RENTAL	F3623701	08/01/18		08/01/18		1,633.00
				TELEHANDLER RENTAL 5/25-5/30/18						
	55757	1	01452 3204	COMMUNITY DAY	W2692202	08/01/18		08/01/18		1,453.08
				LIGHT TOWER RENTAL (9) COMM.DAY						
	55757	2	01452 3204	COMMUNITY DAY	W2692202	08/01/18		08/01/18		-78.48
				TAX EXEMPT						
	55758	1	01452 3204	COMMUNITY DAY	W26922011	08/01/18		08/01/18		118.72
				LIGHT TOWER RENTAL (1) COMM.DAY						
	55758	2	01452 3204	COMMUNITY DAY	W26922011	08/01/18		08/01/18		-6.72
				TAX EXEMPT						
										6,762.60
525				GARDEN STATE HWY. PRODUCT						
	55759	1	01433 2450	MATERIALS & SUPPLIES - SIGNS	PSIN000385	08/01/18		08/01/18		260.00
				"NO IDLING" SIGN						
										260.00
3370				GROFF TRACTOR - CC&T						
	55760	1	01438 3845	EQUIP. RENTAL -RESURFAC.	RSA024419-1	08/01/18		08/01/18		7,000.00
				MILLING MACHINE RENTAL 7/9-7/15/18						
										7,000.00
638				HOME DEPOT CREDIT SERVICES						
	55761	1	01409 3740	TWP. BLDG. - MAINT & REPAIRS	071318	08/01/18		08/01/18		232.80
				SHELVING -SUE'S OFFICE, LILLIES, CALADIUM, BEGONIAS & OTHER BEDDING PLANTS						
	55761	2	01430 2600	MINOR EQUIP. PURCHASE	071318	08/01/18		08/01/18		663.50
				TWO TORO MOWERS						
	55761	3	01437 2460	GENERAL EXPENSE - SHOP	071318	08/01/18		08/01/18		19.97
				ROUTER BIT SET						
	55761	4	01454 3740	EQUIPMENT MAINT. & REPAIR	071318	08/01/18		08/01/18		558.04
				LUMBER & SUPPLIES - HANDICAP PICNIC TABLES(TOT LOT), SPRINKLER & TOILET SEATS - PARK BATHROOMS						

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827				NEW ENTERPRISE STONE & LIME INC.						
	55775	1	01438 2450	MATERIALS & SUPPLIES-HIGHWAYS 24.16 TONS 2A STONE	6864728	08/01/18		08/01/18		409.51
	55776	1	01438 2450	MATERIALS & SUPPLIES-HIGHWAYS 69.74 TONS 2A STONE	6861379	08/01/18		08/01/18		1,182.10
	55776	2	01438 2450	MATERIALS & SUPPLIES-HIGHWAYS 72.36 TONS AASHTO #5 STONE	6861379	08/01/18		08/01/18		1,570.22
										3,161.83
967				O'MALLEY TOPSOIL LLC						
	55781	1	01436 2450	STORMWATER MATERIALS & SUPPLIES 20 YDS SCREENED TOPSOIL 6/29	3986	08/01/18		08/01/18		450.00
	55781	2	01436 2450	STORMWATER MATERIALS & SUPPLIES 20 YDS SCREENED TOPSOIL 7/2	3988	08/01/18		08/01/18		450.00
										900.00
3548				OFFICE BASICS						
	55777	1	01401 2100	MATERIALS & SUPPLIES PRINTER CARTRIDGES & FILE FOLDERS	I-954358	08/01/18		08/01/18		309.28
	55778	1	01401 2100	MATERIALS & SUPPLIES PRINTER CARTRIDGES & BALL PT.PENS	I-959797	08/01/18		08/01/18		390.30
										699.58
1554				OFFICE DEPOT						
	55779	1	01401 2100	MATERIALS & SUPPLIES BINDER CLIPS & HANGER FOLDER TABS	159974482001	08/01/18		08/01/18		19.40
	55780	1	01401 2100	MATERIALS & SUPPLIES TAB INSERTS	159974482002	08/01/18		08/01/18		3.18
										22.58
4037				PATTON, ETHAN						
	55782	1	01438 3845	EQUIP. RENTAL -RESURFAC. TRUCK RENTAL 7/16/18 GOSHEN DOWNS	18.19	08/01/18		08/01/18		1,000.00
	55782	2	01438 3845	EQUIP. RENTAL -RESURFAC. TRUCK RENTAL 7/17-7/18 HADLEIGH RD.	18.19	08/01/18		08/01/18		1,600.00
										2,600.00
1555				PECO - 45168-01609						
	55783	1	01409 3840	DISTRICT COURT EXPENSES 45168-01609 6/21-7/24/18 GAS	072518	08/01/18		08/01/18		29.14
	55783	2	01409 3605	PW BLDG - FUEL,LIGHT,SEWER & WATER 45168-01609 6/21-7/24/18 ELECTRIC	072518	08/01/18		08/01/18		705.68
										734.82

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3731				RINEHART'S SANITATION SERVICES INC.						
	55818	1	01452 3204	COMMUNITY DAY	114-7033068	08/01/18		08/01/18		1,451.26
				BALANCE DUE - COMFORT STATIONS INCLUDING WHEELCHAIR ACCESSIBLE FOR COMMUNITY DAY						
										1,451.26
3522				ROLLE, AUDREY						
	55793	1	01367 3100	SUMMER PROGRAM	1604694	08/01/18		08/01/18		450.00
				REFUND FOR SUMMER CAMP (2)						
	55794	1	01367 3509	ROBOTICS PROGRAM	822491	08/01/18		08/01/18		232.00
				REFUND - ROBOTICS						
										682.00
3682				RUSSELL STANDARD CORP.						
	55796	1	01438 3845	EQUIP. RENTAL -RESURFAC.	57628	08/01/18		08/01/18		185.69
				ASPHALT SEALER - GOSHEN DOWNS & HADLEIGH						
										185.69
3258				SENN REPAIRS						
	55799	1	01430 2330	VEHICLE MAINT AND REPAIR	3800	08/01/18		08/01/18		5,231.32
				REPAIR PETERBILT 2012 #43 REBUILD REAR						
										5,231.32
3233				SENN TRUCKING, RICHARD L.						
	55797	1	01438 3845	EQUIP. RENTAL -RESURFAC.	2158	08/01/18		08/01/18		540.00
				TRANSPORT MILLING MACHINE 7/12						
	55798	1	01438 3845	EQUIP. RENTAL -RESURFAC.	2152	08/01/18		08/01/18		420.00
				TRANSPORT MILLING MACHINE 7/05						
										960.00
3834				STANDARD INSURANCE CO., THE						
	55800	1	01486 1560	HEALTH, ACCID. & LIFE	071818	08/01/18		08/01/18		3,274.44
				AUGUST 2018 PREMIUM						
	55800	2	01213 1010	VOL. LIFE INSURANCE W/H	071818	08/01/18		08/01/18		180.53
				AUGUST 2018 PREMIUM						
										3,454.97

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
1340				TINARI & SON, PHILIP						
	55802	1	01438 2450	MATERIALS & SUPPLIES-HIGHWAYS 60 ROLL CURB - HADLEY DRIVE	11881	08/01/18		08/01/18		1,200.00
	55803	1	01438 2450	MATERIALS & SUPPLIES-HIGHWAYS 280 ROLL CURB - GOSHEN DOWNS	11880	08/01/18		08/01/18		5,600.00
	55803	2	01436 2450	STORMWATER MATERIALS & SUPPLIES 280 ROLL CURB - GOSHEN DOWNS	11880	08/01/18		08/01/18		5,600.00
										12,400.00
2933				TRANS-FLEET CONCRETE						
	55804	1	01436 2450	STORMWATER MATERIALS & SUPPLIES 10 CYDS 4000 AIR - YARMOUTH INLET CURBING	152688	08/01/18		08/01/18		1,200.00
	55805	1	01436 2450	STORMWATER MATERIALS & SUPPLIES 4 CYDS 4000 AIR - YARMOUTH INLET CURBING	152689	08/01/18		08/01/18		618.00
	55806	1	01436 2450	STORMWATER MATERIALS & SUPPLIES 8 CYDS 4000 AIR - UPTON CIRCLE	152782	08/01/18		08/01/18		1,022.00
	55807	1	01436 2450	STORMWATER MATERIALS & SUPPLIES 10 CYDS 4000 AIR - UPTON CIRCLE	152860	08/01/18		08/01/18		1,220.00
	55808	1	01438 2455	MATER. & SUPPLY-RESURFAC. 7 CYDS 4000 AIR - UPTON CIRCLE	152902	08/01/18		08/01/18		923.00
	55809	1	01438 2455	MATER. & SUPPLY-RESURFAC. 9.5 CYDS 4000 AIR - UPTON CIRCLE	153002	08/01/18		08/01/18		1,151.50
	55810	1	01438 2455	MATER. & SUPPLY-RESURFAC. 9 CYDS 4000 AIR - UPTON CIRCLE	153045	08/01/18		08/01/18		1,103.00
										7,237.50
910				US MUNICIPAL SUPPLY INC.						
	55811	1	01438 3840	EQUIPMENT RENTAL LEEBOY PAVER RENTAL 5/4-5/10/18	6133485	08/01/18		08/01/18		2,850.00
										2,850.00
2273				VERIZON - 0527						
	55813	1	01409 3605	PW BLDG - FUEL,LIGHT,SEWER & WATER JULY 15 - AUGUST 14, 2018	071518-0527	08/01/18		08/01/18		205.12
										205.12
3791				VERIZON WIRELESS 16809-00002						
	55814	1	01401 3210	COMMUNICATION EXPENSE JUNE 21 - JULY 20, 2018	9811271763	08/01/18		08/01/18		137.60
										137.60

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
2868				VERIZON-1420						
	55812	1	01409 3840	DISTRICT COURT EXPENSES JULY 16 - AUGUST 15, 2018	071618-1420	08/01/18		08/01/18		84.75
										84.75
1471				WESTTOWN-EAST GOSHEN POLICE						
	55815	1	01410 5330	CAPITAL CONTRIBUTION - POLICE BLDG 2018 CAPITAL CONTRIBUTION	073118	08/01/18		08/01/18		8,350.00
										8,350.00
2940				WIRELESS ZONE						
	55816	1	01407 2130	COMPUTER EXPENSE APPLE IPAD - RECORD PUBLIC MEETINGS	W1285IN7991	08/01/18		08/01/18		619.99
										619.99
550				XYLEM DEWATERING SOLUTIONS INC.						
	55819	1	01430 2330	VEHICLE MAINT AND REPAIR GTP 100 IMPELLER, MECHANICAL SEAL, CLEANER ELEMENT, O-RINGS, SPARK PLUGS & LABOR TO REPAIR PUMP	400823742	08/01/18		08/01/18		1,325.62
										1,325.62

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
03				SINKING FUND						
4011				REMINGTON & VERNICK ENGINEERS INC.						
	55792	1	03409 7450	CAPITAL PURCHASE - TWP BLDG	PCEGT001-3	08/01/18		08/01/18		1,368.00
				PROF.SERVICE - EGT WASH BAY						
										1,368.00

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Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
05				SEWER OPERATING						
1658				AQUA PA						
	55731	1	05420 3602	C.C. COLLECTION -UTILITIES 000300141 0300141 6/2-7/20/18 GH	072418 GH	08/01/18		08/01/18		17.20
	55732	1	05420 3602	C.C. COLLECTION -UTILITIES 000363541 0357724 6/21-7/20/18 BK	072418 BK	08/01/18		08/01/18		17.20
										34.40
151				BLOSENSKI DISPOSAL CO, CHARLES						
	55737	1	05422 4502	R.C. SLUDGE-LAND CHESTER SWITCH 20 YDS WITH LINER 7/2/18	16841/161614	08/01/18		08/01/18		181.00
	55738	1	05422 4502	R.C. SLUDGE-LAND CHESTER SWITCH 20 YDS WITH LINER 7/9/18	16840/161635	08/01/18		08/01/18		181.00
										362.00
197				BUCKLEY BRION MCGUIRE & MORRIS						
	55741	1	05429 3140	ADMIN - LEGAL LEGAL SERVICE 4/3/18 - 4/26/18	16015	08/01/18		08/01/18		515.10
	55741	2	05429 3140	ADMIN - LEGAL SHERIFF REFUNDS - APRIL 2018	16015	08/01/18		08/01/18		-1,083.58
	55742	1	05429 3140	ADMIN - LEGAL LEGAL SERVICE 5/4-5/23/18	16410	08/01/18		08/01/18		510.15
	55742	3	05429 3140	ADMIN - LEGAL SHERIFF REFUNDS - MAY 2018	16410	08/01/18		08/01/18		-81.28
	55743	1	05429 3140	ADMIN - LEGAL LEGAL SERVICE 6/12/18	16638	08/01/18		08/01/18		244.26
	55743	3	05429 3140	ADMIN - LEGAL SHERIFF REFUNDS	16638	08/01/18		08/01/18		-68.55
										36.10
241				C.C. SOLID WASTE AUTHORITY						
	55744	2	05422 4502	R.C. SLUDGE-LAND CHESTER WEEK 7/9/18 - 7/14/18	51191	08/01/18		08/01/18		523.27
	55745	2	05422 4502	R.C. SLUDGE-LAND CHESTER WEEK 7/2/18 - 7/6/18	51124	08/01/18		08/01/18		531.98
										1,055.25
431				EJ USA INC. (EAST JORDAN)						
	55753	1	05420 3702	C.C. COLLEC.-MAINT.& REPR. SEWER CASTINGS & COVERS	110180051836	08/01/18		08/01/18		4,173.65
	55753	2	05422 3701	R.C. COLLEC.-MAINT.& REPR. SEWER CASTINGS & COVERS	110180051836	08/01/18		08/01/18		4,173.65
										8,347.30

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05				SEWER OPERATING						
797				M&S SERVICE COMPANY						
55767	1	05422	3700	R.C. STP-MAINT.& REPAIRS FILTER FEED CONTROL PANEL, FLYGT INFLUENT CONT.PANEL & ALARM DIALER SERVICE	2470-18	08/01/18		08/01/18		1,545.00
55768	1	05420	3702	C.C. COLLEC.-MAINT.& REPR. REPLACE CHART RECORDER	2412-18	08/01/18		08/01/18		4,396.00
55769	1	05422	3700	R.C. STP-MAINT.& REPAIRS SERVICE INTERMEDIATE FLOW METER	2489-18	08/01/18		08/01/18		280.00
										6,221.00
3043				MAIN POOL & CHEMICAL COMP. INC.						
55770	1	05422	2440	R.C. STP- CHEMICALS 1900 GALS. ALUM. SULFATE SOLUTION	1869219	08/01/18		08/01/18		2,774.00
55770	2	05422	2440	R.C. STP- CHEMICALS 196 50LB BAGS SODIUM CARBONATE LITE	1869219	08/01/18		08/01/18		3,214.40
										5,988.40
2255				MCGOVERN ENVIRONMENTAL LLC						
55773	1	05422	3700	R.C. STP-MAINT.& REPAIRS CLEAN TANK AFTER DRAINING	E-2123156	08/01/18		08/01/18		5,878.75
										5,878.75
1082				PIPE DATA VIEW						
55786	1	05420	3702	C.C. COLLEC.-MAINT.& REPR. CLEAN & TELEWISE SANITARY LINES - MARY DELL	17197	08/01/18		08/01/18		4,403.74
										4,403.74

Report Date 08/01/18

Expenditures Register
GL-1808-64231

MARP05 run by BARBARA 1 : 56 PM

Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
06				REFUSE						
197				BUCKLEY BRION MCGUIRE & MORRIS						
	55741	3	06427 3140	LEGAL SERVICES	16015	08/01/18		08/01/18		515.09
				LEGAL SERVICE 4/3-4/26/18						
	55741	4	06427 3140	LEGAL SERVICES	16015	08/01/18		08/01/18		-1,083.57
				SHERIFF REFUNDS - APRIL 2018						
	55742	2	06427 3140	LEGAL SERVICES	16410	08/01/18		08/01/18		510.14
				LEGAL SERVICE 5/4-5/23/18						
	55742	4	06427 3140	LEGAL SERVICES	16410	08/01/18		08/01/18		-81.27
				SHERIFF REFUNDS - MAY 2018						
	55743	2	06427 3140	LEGAL SERVICES	16638	08/01/18		08/01/18		244.26
				LEGAL SERVICE 6/12/18						
	55743	4	06427 3140	LEGAL SERVICES	16638	08/01/18		08/01/18		-68.55
				SHERIFF REFUNDS						
										36.10
241				C.C. SOLID WASTE AUTHORITY						
	55744	1	06427 4502	LANDFILL FEES	51191	08/01/18		08/01/18		5,987.58
				WEEK 7/9/18 - 7/14/18						
	55745	1	06427 4502	LANDFILL FEES	51124	08/01/18		08/01/18		3,978.65
				WEEK 7/2/18 - 7/6/18						
										9,966.23

Report Date 08/01/18

Expenditures Register
GL-1808-64231

PAGE 14

MARP05 run by BARBARA 1 : 56 PM

Vendor	Req #	Budget#	Sub#	Description	Invoice Number	Req Date	Check Dte	Recpt Dte	Check#	Amount
08		BOND FUNDS (CAPITAL PROJECTS)								
1496				WILLIAM WOOD CO.						
	55817	1	08454 6060	HERSHEY'S MILL CONSTRUCTION	071218	08/01/18		08/01/18		1,000.00
				TEMP. CONSTRUCT. EASEMENTS- HERSHEY						
				MILL ROAD & GREENHILL RD.						
										1,000.00
										131,969.78
0 Printed, totaling										131,969.78

FUND SUMMARY

Fund	Bank Account	Amount	Description
01	01	87,272.51	GENERAL FUND
03	03	1,368.00	SINKING FUND
05	05	32,326.94	SEWER OPERATING
06	06	10,002.33	REFUSE
08	08	1,000.00	BOND FUNDS (CAPITAL PROJECTS)
		131,969.78	

PERIOD SUMMARY

Period	Amount
1808	131,969.78
	131,969.78

PLGIT 1107.1010

DATE	DESCRIPTION	TOTAL	1401.2100	1401.3000	1407.2130	1409.3740	1411.3000	1437.2460	1452.2025	1452.3000	1452.3210	1452.5150
	RICK SMITH											

5/27/2018	WP Engine - June 2018	29.00			29.00							
6/7/2018	21CM PA2 - Daily Local News	130.00		130.00								
6/11/2018	B&H Photo - Microphone stand	26.25	26.25									
6/18/2018	LOGMEIN - GOTOMYPC	1,124.47			1,124.47							
6/23/2018	APL ITUNES - FIRE MARSHALL	5.29					5.29					
		\$1,315.01										
	MARK MILLER											

5/30/2018	Hardware Center -Hoses, sprinkler & connectors	514.28						514.28				
6/12/2018	APL itunes - apps for new ipad	12.71			12.71							
6/21/2018	Brandywine Flags -Brackets & rope for all flag poles	568.16				568.16						
6/22/2018	AT&T Data - Ipad - S.Walker	30.00			30.00							
		\$1,125.15										
	JASON LANG											

5/29/2018	Identogo - E. Mylonas	23.60							23.60			
5/31/2018	Facebook - Farmer's Market	94.96									94.96	
5/31/2018	Identogo - Aimee Moore	23.60							23.60			
6/11/2018	Vistaprint - Car Magnets	25.15										25.15
6/11/2018	Amazon - Camera Lens	42.35								42.35		
		\$209.66										
	GRAND TOTAL	2,649.82	26.25	130.00	1,196.18	568.16	5.29	514.28	47.20	42.35	94.96	25.15

2,649.82

J/E's made

Add to Master Cred.Card List

Memo

East Goshen Township

Date: August 2, 2018

To: Board of Supervisors

From: Rick Smith, Township Manager

Re: Noise Ordinance Amendment

I have done some additional research on the amendment to the noise ordinance. After consultation with the Township Solicitor and Township Engineer, I am recommending that the ordinance be amended to increase the LEQ to 65 dBA between the hours of 7:00 am and 10:00 pm and reduce the LEQ to 55 dBA between (10:00 am to 7:00 am). It is currently 60 dBA.

In addition, in order to address those location at which the ambient noise level exceeds they are limited to 5 dBA over the background noise.

This amendment will allow us to establish a quantifiable decibel level for construction and demolition activities that can be measured.

I would recommend that the Board authorize advertising the amendment for adoption.

EAST GOSHEN TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 156 OF THE EAST GOSHEN TOWNSHIP CODE, TITLED, "NOISE", SECTION 156-3 TO ADD DEFINITIONS FOR "EXTRANEOUS SOUND" AND "BACKGROUND SOUND LEVEL" AND SECTION 156-5.A(6) TO REVISE THE MAXIMUM SOUND LEVELS FOR CONSTRUCTION/DEMOLITION ACTIVITIES THROUGHOUT THE TOWNSHIP.

BE IT ENACTED AND ORDAINED by the Board of Supervisors of East Goshen Township, that Chapter 156 of the East Goshen Township Code, titled, "Noise", shall be amended as follows:

SECTION 1. Section 156-3, "Definitions," shall be amended to ADD the following definitions:

BACKGROUND SOUND LEVEL

The measured sound level in an area, exclusive of extraneous sounds and the sound contribution of the specific source in question.

EXTRANEOUS SOUND

A sound which is neither part of the background sound level nor comes from the source under investigation.

SECTION 2. Section 156-5.A(6), "Noise disturbances prohibited – Construction/demolition" shall be DELETED and REPLACED with the following:

(6) Construction/demolition. Operating or permitting the operation of any tools or equipment used in construction, drilling or demolition work:

(a) At any time such that the sound level at or across a real property boundary exceeds the noise levels specified in Table A, below, except for emergency work of public service utilities or by special permit issued pursuant to § 156-7:

Daytime: 7:00 a.m. – 10:00 p.m.	An LEQ of 65 dBA for the Daytime period or 5 dBA above background sound level, whichever is greater
------------------------------------	---

Nighttime: 10:00 p.m. – 7:00 a.m.	An LEQ of 55 dBA for the Nighttime period or 5 dBA above background sound level, whichever is greater
--------------------------------------	---

(b) This section shall not apply to the use of domestic power tools subject to Subsection A(15).”

SECTION 3. Severability. If any sentence, clause, section or part of this Ordinance is for any reason found to be unconstitutional, illegal or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses, sections, or parts hereof. It is hereby declared as the intent of the Board of Supervisors that this Ordinance would have been adopted had such unconstitutional, illegal or invalid sentence, clause, section or part thereof not been included herein.

SECTION 4. Repealer. All ordinances or parts of ordinances conflicting with any provision of this Ordinance are hereby repealed insofar as the same affects this Ordinance.

SECTION 5. Effective Date. This Ordinance shall become effective in five (5) days from the date of adoption.

ENACTED AND ORDAINED this _____ day of _____, 2018.

ATTEST:

**EAST GOSHEN TOWNSHIP
BOARD OF SUPERVISORS**

Louis F. Smith, Secretary

E. Martin Shane, Chairman

Carmen Battavio, Vice-Chairman

Janet L. Emanuel, Member

Michael P. Lynch, Member

David E. Shuey, Member



515 Grove Street
 Suite 1B
 Haddon Heights, NJ 08035
 T: 856-547-0505
 F: 856-547-9174

www.pennoni.com

July 26, 2018

EGOS0013

Buckley Brion McGuire & Morris LLP
 Attn: Kristin S. Camp, Esquire
 118 W. Market Street, Suite 300
 West Chester, PA 19382-2928

**RE: EAST GOSHEN TOWNSHIP
 NOISE CODE AMENDMENTS**

Dear Ms. Camp:

It is our understanding that the Board of Supervisors of East Goshen Township is considering an ordinance amending Chapter 156 of the East Goshen Township Code, titled, "Noise", Section 156-3 to add definitions for "extraneous sound" and "background sound level" and Section 156-5.A(6) to account for background sound levels throughout the township.

The proposed change to 156-5.A(6) is to allow for sound levels (as measured by LEQ) to be up to 5 dBA above background as follows:

(a) At any time such that the sound level at or across a real property boundary exceeds the noise levels specified in Table A, below, except for emergency work of public service utilities or by special permit issued pursuant to § 156-7:

Daytime: 7:00 a.m. – 10:00 p.m.	An LEQ of 65 dBA for the Daytime period or 5 dBA above background sound level, whichever is greater
Nighttime: 10:00 p.m. – 7:00 a.m.	An LEQ of 55 dBA for the Nighttime period or 5 dBA above background sound level, whichever is greater

Pennoni has reviewed the proposed amendments and agrees with the proposed changes. It is our opinion that an increase of sound above the stated levels would constitute a burden on adjoining properties/neighbors. Our opinion is based on our review and knowledge of noise ordinances in similar Pennsylvania municipalities in Chester County, as well as those in neighboring states such as New Jersey and Delaware as follows:

Newtown Township, Delaware County, PA addresses noise in their municipal code using a sliding scale of time and noise intensity. The higher the noise level the less time it can be present. For example, a construction project in a residential area emanating a noise level greater than 65 dBA would only be allowed to operate for 1 hour and 30 minutes (see table below).

Residential , Apartment, Public Space, Institutional			Commercial, Business, Shopping Center
Sound Level Limit (dBA)	Day (7:00 a.m. to 11:00 p.m.)	Night (11:00 p.m. to 7:00 a.m.)	Day and Night
Less than or equal to 50	16 hrs.	8 hrs.	24 hrs.
55	16 hrs.	4 hrs. 30 min.	24 hrs.
60	7 hrs. 30 min.	1 hr. 0 min.	24 hrs.
65	1 hr. 30 min.	30 min.	12 hrs.
70	45 min.	5 min.	2 hrs. 30 min.
75	9 min.	3 min.	1 hr. 0 min.
80	5 min.	1 min.	15 min.
85	1 min.	0 min.	7 min.
Greater than or equal to 90	0 min.	0 min.	1 min.

West Chester, Chester County, PA Noise Ordinance does not state specific decibel levels but addresses construction noise as follows:

“No person shall operate or permit the operation of any tools or equipment used on construction operations, drilling or demolition or other work or in the sweeping of parking lots in areas adjacent to residential districts between the hours of 9:00 p.m. of one day and 7:00 a.m. of the following day on weekdays and Saturdays or at any time on Sundays or legal holidays such that the sound therefrom causes a noise disturbance.”

East Bradford Township, Chester County, PA Noise Ordinance does not state specific decibel levels but addresses construction noise as follows:

“Within all residentially zoned areas and commercial and industrial uses adjacent to residentially zoned districts the following standards shall apply between the hours of 10:00 p.m. and 6:00 a.m. There shall be no nonresidential off-street loading operation. There shall be neither operation or idling of a vehicle in excess of 8,600 pounds gross vehicle weight (GVW) on the property.

There shall be no outside operation for nonresidential purposes of any power equipment, mobile refrigeration unit, powered hand tool, forklift, tractor or other similar vehicle except for snow removal, emergency services or emergency repairs.

Between the hours of 10:00 p.m. and 6:00 a.m., noise emanating from any use in the township shall not exceed the level of ordinary conversation at the lot boundaries. Short intermittent noise peaks may be permitted if they do not exceed normal traffic noise peaks at any point on the lot boundary.”

Willistown, Chester County, PA Noise Ordinance does not state specific decibel levels but addresses construction noise as follows:

“It shall be unlawful within the Township of Willistown for any person or persons to operate construction vehicles or equipment or demolition equipment or to commence construction activity which results in noise before 7:00 a.m. Monday through Saturday and before 9:00 a.m. on Sunday. All such activity shall cease

at 8:00 p.m. each day, provided that the construction equipment is not being used in conjunction with agricultural activities, an emergency or a repair of a public utility, e.g., gas main, water main, electrical power line, etc., in which case this section shall not apply.”

The New Jersey Model Noise Code uses the following for guidance:

Daytime: 7:00 a.m. – 10:00 p.m.	An LEQ of 65 dBA for the Daytime period
Nighttime: 10:00 p.m. – 7:00 a.m.	An LEQ of 50 dBA for the Nighttime period

The Delaware Noise Ordinance is as follows:

Daytime: 7:00 a.m. – 10:00 p.m.	An LEQ of 65 dBA for the Daytime period or 10 dBA above background sound level, whichever is greater
Nighttime: 10:00 p.m. – 7:00 a.m.	An LEQ of 55 dBA for the Nighttime period or 10 dBA above background sound level, whichever is greater

Additionally, the noise levels in the regulation proposed by East Goshen Township are in line with recommendations set forth in the publication, “The Occupational Environment – Its Evaluation and Control” by the American Industrial Hygiene Association which states the following:

“For situations in which speech communication is important, the background sound level should be limited to 55dBA. When exposed to sound levels above about 45-50dBA, a talker will raise his or her voice by 3-6 dB for each 10 dB increase of noise.” Further, annoyance is defined as “in general, when sound level of an intermittent broad-band noise is about 10dBA above the background sound levels, it is likely to annoy listeners.”

Based on our review of noise ordinances of similar municipalities and our understanding of the impacts of noise exposure, Pennoni opines that East Goshen Township is presenting a reasonable regulation for the control of noise within the township.

If you have any questions concerning this letter or if you require additional information, please contact us.

Sincerely,

PENNONI ASSOCIATES INC.



Nancy Wilson, REHS, CMC
Senior Industrial Hygienist



Alan Lloyd, CIH, CSP, ENV SP
Associate Vice President

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380
Voice: 610-692-7171
Fax: 610-692-8950
E-mail: mgordon@eastgoshen.org

Date: 8/1/2017
To: Board of Supervisors
From: Mark Gordon, Township Zoning Officer
Re: Working Without Permits / Saturday Inspection Results

Dear Board Members,

Back in May the Board directed me to employ the Township Building Inspectors to conduct weekend patrols around the township in an effort to identify construction work being done without permits.

Every Saturday in June and July one building inspector worked overtime for 2 to 3.5 hours driving around the township looking for construction work being conducted without permits. During this timeframe the Inspectors were able to cover about one quarter of the township each day. We kept track of the information for each Saturday and this is what we found:

<u>Date</u>	<u># Hours</u>	<u>Miles Driven</u>	<u># of Stops Made</u>	<u># of WWP Found</u>
06/02/18	2	32.5	2	0
06/09/18	3	34.7	6	0
06/16/18	2	30.5	2	0
06/23/18	3.5	41	3	0
06/30/18	3.5	38	1	0
07/07/18	2	39	2	1
07/14/18	2	23	0	0
07/21/18	2	37.5	2	1
07/28/18	2	33.5	0	0
Total	22	309.7	18	2

Two violations we found, both of which have since applied for the appropriate building permits and have been assessed the Working Without a Permit Fee. The other stops we made were determined to be permitted projects, minor home repairs, or work that

didn't require a building permit. We believe that both violations would have been discovered during the normal course of our work in the neighborhoods.

During the same period of time the Building Inspectors discovered 7 additional violations of working without permits during their normal work week.

Each of the 9 total violations found were professional contractors.

Staff Recommendation:

Staff believes that the Code department is adequately covering the Township during the normal work week and regular weekend patrols are not necessary. The Staff recommendation is to increase targeted patrols throughout the Township during the work week in order to increase our visibility and to identify contractors working without permits and to conduct occasional weekend patrols as needed.

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380
Voice: 610-692-7171
Fax: 610-692-8950
E-mail: mgordon@eastgoshen.org

Date: 8/2/2018
To: Board of Supervisors
From: Mark Gordon, Township Zoning Officer *MG*
Re: 1506 Meadowbrook Ln. / Subdivision and Land Development Application

Board Members:

The Township has received the final revised plans addressing the review comments from the Township Engineer's review letter and the CCPC review letter. The Township Conservancy Board has reviewed the plan and forwarded their recommendation. All comments and recommendations have been incorporated into the plans, and the PC has forwarded their recommendation.

Recommendation:

Staff is supportive of the Board taking action on this application at this time. The applicant has provided justification for the waiver requested from the SALDO, to the satisfaction of the PC.

Waiver request:

§205-31 – Combine Preliminary and Final Plan review process.
The applicant has provided a written justification for the requested waiver from the Subdivision and Land Development Ordinance.

Draft Motion:

Mr. Chairman, I move that we grant the requested waiver and approve the preliminary / final subdivision plan for 1506 Meadowbrook Ln. dated August 1, 2017, last revised 6/25/2018 with the following conditions:

1. All comments outlined in the July 10, 2018 Pennoni review letter be addressed to the satisfaction of the Township staff prior to the issuance of Building Permits.
2. The applicant shall post the appropriate financial security and submit the land development agreement for review and approval by the Board of Supervisors prior to the execution of the plans and releasing them for recording.
3. The applicant shall provide a copy of the fully executed driveway access and easement agreement to the Township in order to satisfy condition D of the Zoning Hearing Board decision prior to the execution of the plans and releasing them for recording.
4. The applicant shall follow all federal, state and local laws.

BOARD OF SUPERVISORS
EAST GOSHEN TOWNSHIP
CHESTER COUNTY
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

August 2, 2018

East Goshen Township
Board of Supervisors
1580 Paoli Pike
West Chester, Pa. 19380

Re: SD and LD Application/ 1506 Meadowbrook Ln.

Dear Board Members:

At their meeting on August 1, 2018 the Planning Commission voted unanimously in favor of the following motion:

Mr. Chairman, I move that we recommend that the Board of Supervisors grant the requested waiver and approve the preliminary / final subdivision and land development plan for 1506 Meadowbrook Ln. dated August 1, 2017, last revised 6/25/2018 with the following conditions:

- 1. All comments outlined in the July 10, 2018 Pennoni review letter be addressed to the satisfaction of the Township staff prior to the issuance of Building Permits.*
- 2. The applicant shall post the appropriate financial security and submit the land development agreement for review and approval by the Board prior to the execution of the final land development plans.*
- 3. The applicant shall provide a copy of the fully executed driveway access and easement agreement to the Township in order to satisfy condition D of the Zoning Hearing Board decision prior to execution of the final plans by the Board of supervisors.*
- 4. The applicant shall follow all federal, state and local laws.*

Sincerely,



Mark A. Gordon
Township Zoning Officer



Guy Engineering Associates, Inc.

Consulting / Civil Engineering

3508 Goshen Road Newtown Square, PA 19073

Tel: (610) 355-0862 Fax: (610) 355-0863 email: sg.guyeng@gmail.com

July 30, 2018

Mr. Mark Gordon, Zoning Officer
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Re: Preliminary/Final Subdivision and Land Development
1506 Meadowbrook Lane
Requested Waiver from the SALDO

Dear Mr. Gordon,

The Applicant for the above project is requesting a waiver from sections 205.28-30 Submission of Preliminary Plan, Review of Preliminary Plan and Preliminary Plan Requirements, and from sections 205.31-33 Submission of Final Plan, Review of Final Plan and Final Plan Requirements, to consider this application for a Preliminary/Final Plan approval.

The referenced project consists of a small 3-lot subdivision and development of one of the subdivided lots. It is limited to review and approval by East Goshen Township, and does not involve obtaining additional permits or approvals from government agencies outside of the Township. The Applicant has addressed and satisfied all the review comments of East Goshen Township and its Township Engineer, and there are no outstanding issues requiring additional submission and review in order to obtain a Final Plan Approval from East Goshen Township.

We appreciate your consideration.

Sincerely,

Shimon Guy, P.E.
President

c: Stephen & Denise Legenstein
Joseph Willis
Mark Thompson

July 10, 2018

EGOST 00126

Mark Gordon, Zoning Officer
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

**RE: Preliminary/Final Subdivision and Land Development
1506 Meadowbrook Lane, Legenstein – 4th Submission**

Dear Mark:

As requested, we have reviewed the following information, prepared by Guy Engineering Associates, Inc. in connection with the referenced project:

- *“Preliminary/Final Land Development Plans”* (six sheets), dated August 1, 2017 last revised June 25, 2018;
- *“Stormwater Management Report Prepared for Mr. & Mrs. Legenstein”* dated February 20, 2018, revised June 21, 2018; and
- Engineer’s response letter dated June 25, 2018.

The applicants/owners, Stephen & Denise Legenstein, propose to subdivide an existing 2-acre flag lot into two one-acre lots. There is an existing single-family residence on the property that will remain on Lot 2. They propose a single-family house, driveway, and stormwater management on the newly created Lot 1. Lot 2 will be accessed by an access easement through Lot 1. Three (3) zoning variances were granted on October 10, 2017 and notes are on the plan.

The applicants propose to purchase a two (2) foot wide by two hundred (200) foot long strip of land from the adjacent property, UPI #53-4-7, and add it to proposed Lot 2 in order to comply with the zoning area regulations.

The property is within the R-2 Low Density Residential District. Both lots will be served by on-site water and public sanitary sewer.

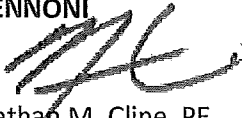
All of our comments from our previous review letters have been addressed.

The applicant is reminded that all legal descriptions, easements, agreements (i.e., developer’s agreement, access agreement, stormwater management operations and maintenance agreement, sanitary sewer, grinder pump station operation & maintenance agreement, etc.) or similar are subject to review and approval by the Township.

Should you have any further questions or comments, please contact the undersigned.

Sincerely,

PENNONI

A handwritten signature in black ink, appearing to be 'N. Cline', written over the printed name.

Nathan M. Cline, PE
Township Engineer

cc: Shimon Guy, PE, Guy Engineering Associates (via e-mail)
Stephen & Denise Legenstein (via e-mail)



THE COUNTY OF CHESTER



COMMISSIONERS

Michelle Kichline
Kathi Cozzone
Terence Farrell

Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION

Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

March 27, 2018

Louis F. Smith, Jr., Manager
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Re: Final Subdivision - 1506 Meadowbrook Lane
SD-03-18-15306 - East Goshen Township

Dear Mr. Smith:

A Final Subdivision Plan entitled "1506 Meadowbrook Lane", prepared by Guy Engineering Associates Inc., and dated August 1, 2017, and last revised on February 20, 2018, was received by this office on March 1, 2018. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed subdivision for your consideration.

PROJECT SUMMARY:

Location:	east side of Boot Road, north of Generals Way
Site Acreage:	3.96
Lots/Units:	3 Lots
Proposed Land Use:	Single Family Residential
Municipal Land Use Plan Designation:	Low Density Residential
UPI#:	53-4-23, 53-4-7

PROPOSAL:

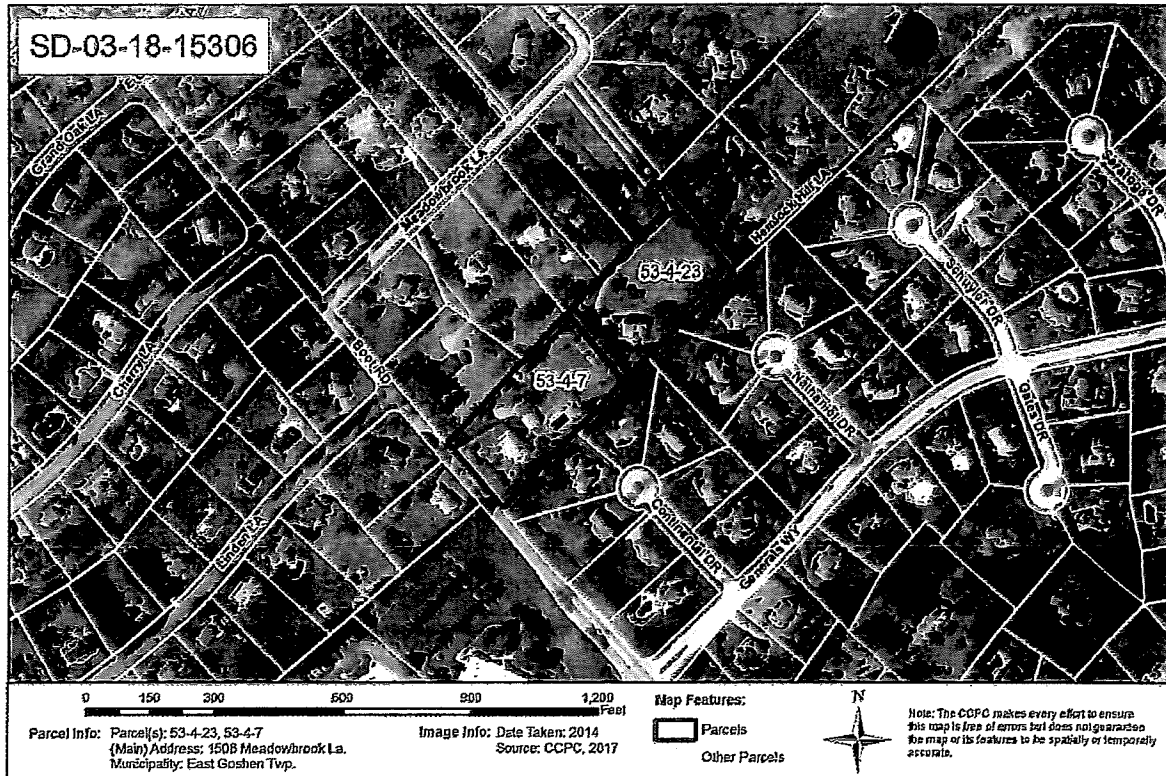
The applicant proposes to subdivide UPI# 53-4-23 into two parcels, along with the conveyance of a 400 square foot portion of UPI# 53-4-7 to proposed Lot #2. The existing residence will remain on proposed Lot #2, and a new single family residence will be constructed on proposed Lot #1. The project site, which will be served by onsite water and public sewer, is located in the R-2 Low Density Residential zoning district.

RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed and all East Goshen Township issues should be resolved before action is taken on this subdivision plan.

COUNTY POLICY:

LANDSCAPES:

1. The project site is located within the **Suburban Landscape** designation of *Landscapes2*, the 2009 County Comprehensive Plan. The proposed subdivision is consistent with the objectives of the **Suburban Landscape**.

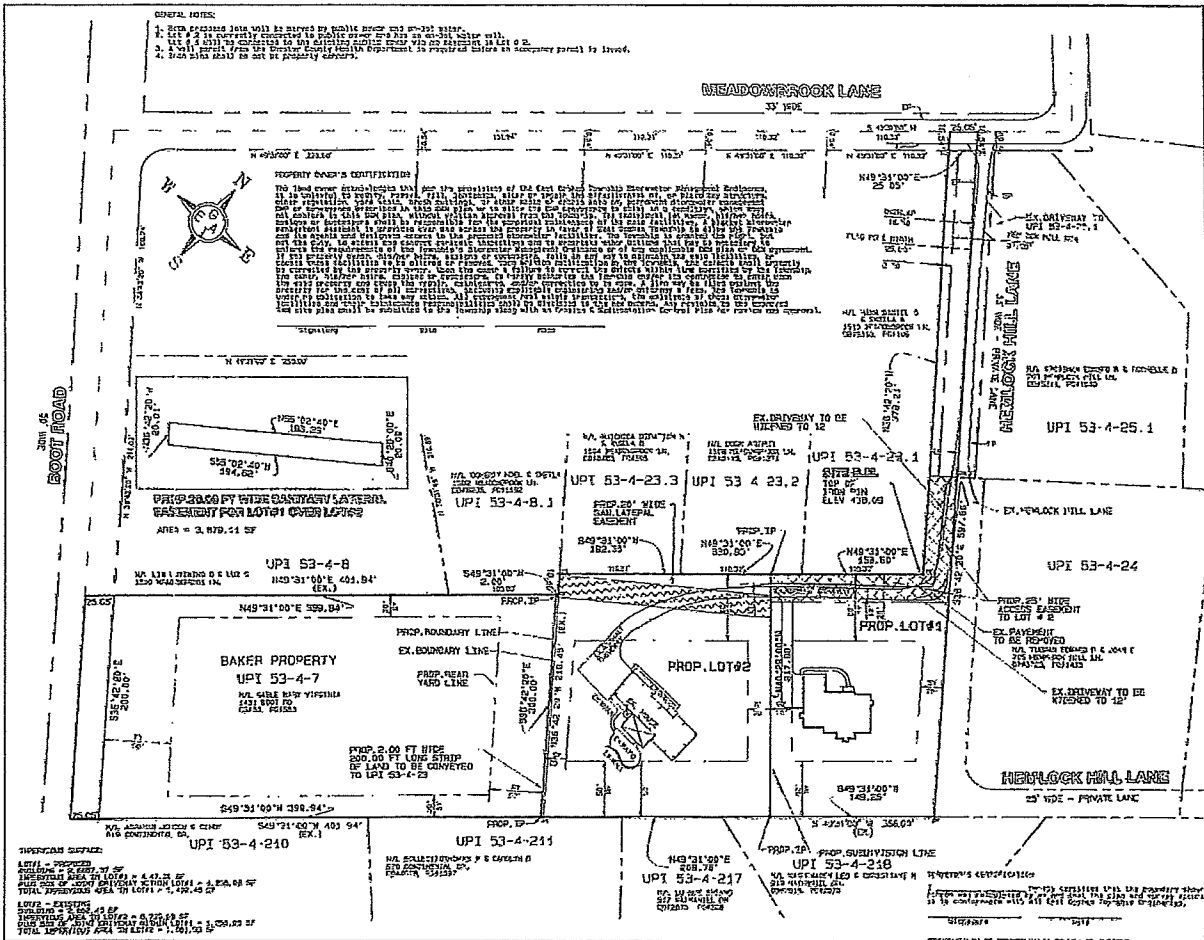


WATERSHEDS:

2. *Watersheds*, the water resources component of *Landscapes2*, indicates the proposed development is located within the Ridley Creek watershed. *Watersheds'* highest priority land use objectives within this watershed are: reduce stormwater runoff, protect vegetated riparian corridors, and protect/enhance water-based recreation, cultural, historic resources and public access. *Watersheds* can be accessed at www.chesco.org/water.

PRIMARY ISSUES:

3. The site plan indicates that, on October 3, 2017, the Township Zoning Hearing Board granted variances from the minimum lot width, minimum street frontage, and minimum flag lot pole width requirements, with six conditions of approval. We note the conditions of approval include providing a pull-off area along Hemlock Hill Lane (a private lane), and providing a landscaped buffer to the adjacent parcels along Nathaniel Drive. Prior to granting final plan approval, the Township should verify that the plan conforms to the decision issued by the Township Zoning Hearing Board.



Site Plan Detail, Sheet 1: Final Subdivision - 1506 Meadowbrook Lane, East Goshen Township

ADMINISTRATIVE ISSUES:

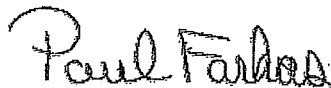
4. Land disturbance and land development activities that occur within Chester County must comply with the *County-wide Act 167 Stormwater Management Plan for Chester County, PA* (July 2013) and the associated Act 167 stormwater management ordinance standards adopted by each municipality.
5. The site plan depicts the location of a 20 foot wide sanitary lateral easement for Lot #1 over Lot #2. The details of this easement should be incorporated into the deeds of both lots.
6. The site plan depicts a 25 foot wide access easement for Lot #2 over Lot #1. The details of this easement should be incorporated into the deeds of both parcels. We acknowledge Zoning Note #2 on Sheet 1 states that Hemlock Hill Lane currently provides access to UPI# 53-4-23 and four additional parcels, and we also note that condition D of the Zoning Board's October 3, 2017 decision states that the shared driveway easement maintenance agreement will be revised to include proposed Lot #1.

Page: 4
Re: Final Subdivision - 1506 Meadowbrook Lane
SD-03-18-15306 - East Goshen Township

7. The applicant is requesting two waivers from the Preliminary and Final Plan Regulation Requirements of the Township Subdivision and Land Development Ordinance, in order to combine the preliminary and final plan review and approval process. Waiver requests should only be granted following the determination that the proposed project either meets the purpose of these requirements or does not create the impacts that these provisions are intended to manage.
8. A minimum of five (5) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, the Assessment Office, and the Health Department.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of East Goshen Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Paul Farkas
Senior Review Planner

cc: Stephen W. & Denise A. Legenstein
Guy Engineering Associates, Inc.
Chester County Health Department
Chester County Conservation District

EAST GOSHEN CONSERVANCY

April 13, 2018

East Goshen Township
Planning Commission
1580 Paoli Pike
West Chester, Pa. 19380

Re: 1506 Meadowbrook Ln. / SD&LD Recommendation
Landscaping

Dear Commission Members:

At their meeting on April 11, 2018 the Conservancy Board voted unanimously in favor of the following motion:

Mr. Chairman, I move that the Conservancy Board recommend that the Planning Commission support the requested waiver from §205-36 (Landscape Plan) and approve the Preliminary / Final Subdivision Plan for 1506 Meadowbrook Lane dated 8/1/2017, last revised 2/20/2018 with the following conditions:

- 1. The evergreen buffer planting shall be extended the entire length of the property along the rear property line to create a "Complete evergreen landscape buffer" as required by the ZHB decision.*
- 2. The evergreen buffer plantings shall be a minimum of 8' at time of planting.*
- 3. A mix of at least three deer resistant species shall be used.*
- 4. Tree Protection fencing shall be installed at the drip line to protect all trees that are proposed to be saved including the row of mature Hemlock trees along the easterly property line.*
- 5. The applicant shall submit a detailed foundation planting plan when building permits are applied for.*
- 6. All notes and plans shall be revised to address these conditions prior to approval of the plan.*
- 7. The applicant shall address all outstanding engineering comments to the satisfaction of the Planning Commission, Staff and the Township Engineer.*

Sincerely,



Mark A. Gordon
Zoning Officer

GENERAL NOTES:

- 1. Both proposed lots will be served by public sewer and on-lot water.
- 2. Lot # 2 is currently connected to public sewer and has an on-lot water well.
- 3. A well permit from the Chester County Health Department is required before an occupancy permit is issued.
- 4. Iron pins shall be set at property corners.

REVIEWED BY THE OWNER OF UPI 53-4-7

REVIEWED BY THE OWNER OF UPI 53-4-23

THIS DAY OF

THIS DAY OF

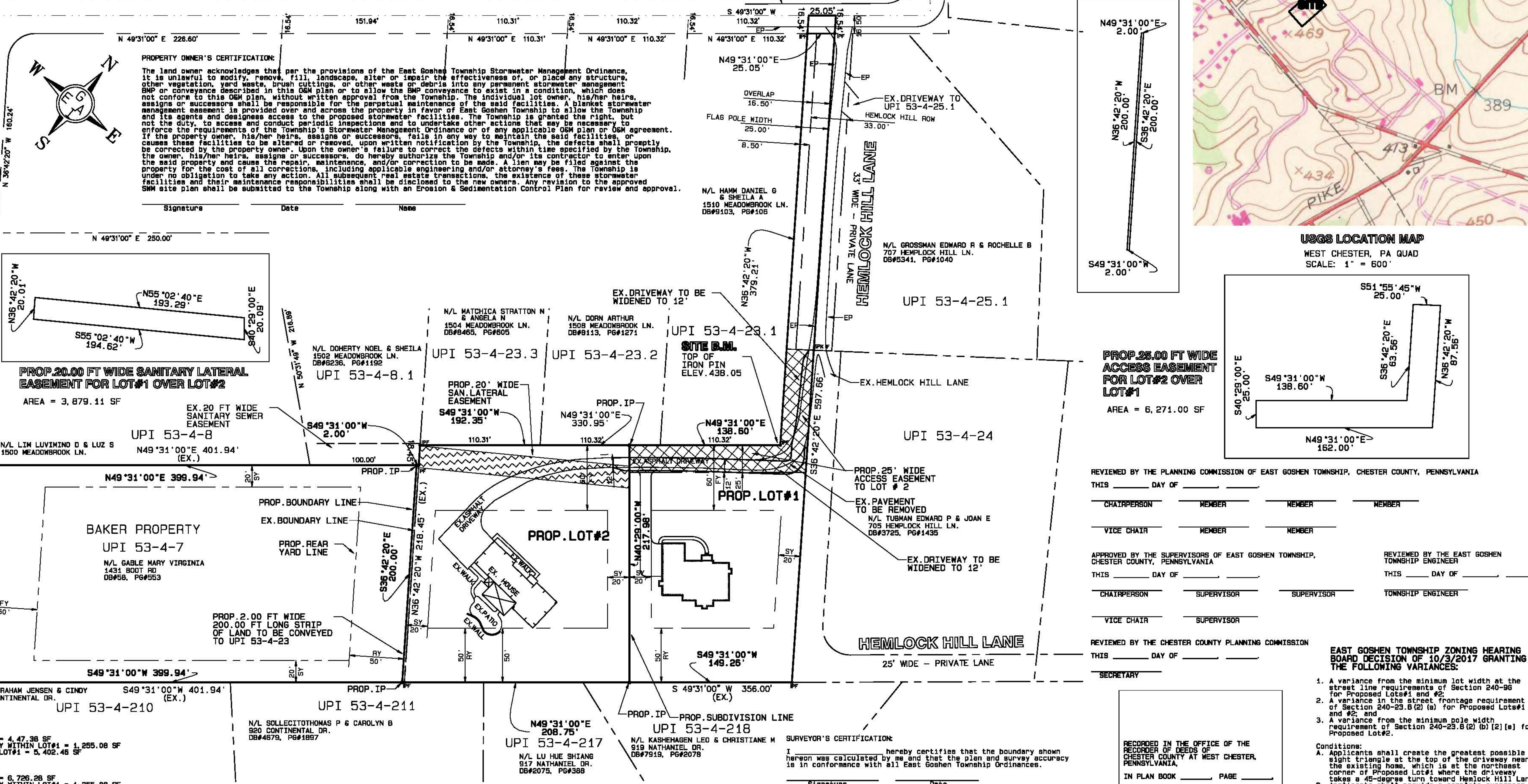
PROPERTY OWNER

PROPERTY OWNER

PROP. 2.00 FT WIDE
200.00 FT LONG STRIP
OF LAND TO BE
CONVEYED FROM
UPI 53-4-7
TO UPI 53-4-23
AREA = 400.00 SF



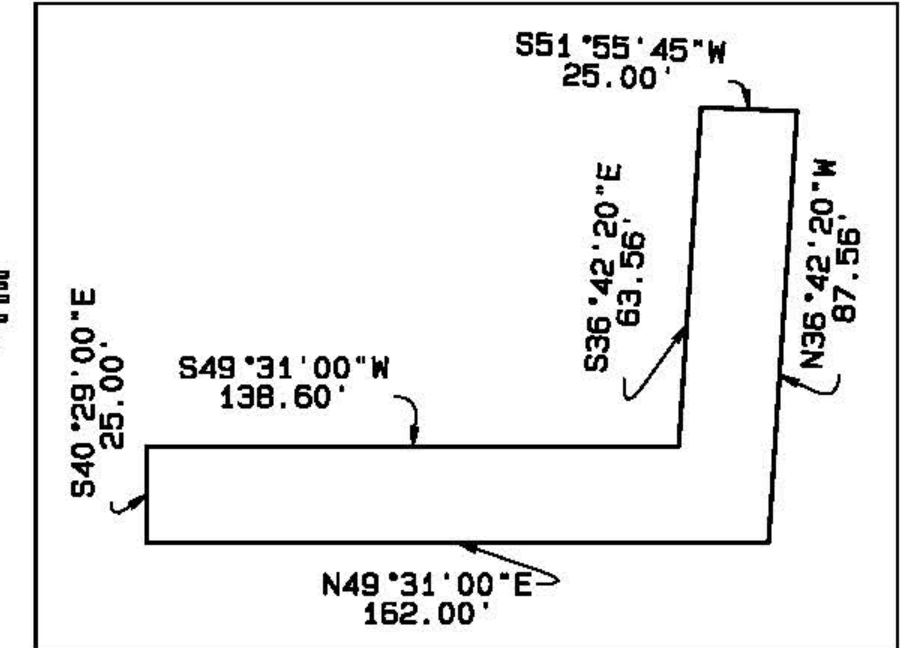
USGS LOCATION MAP
WEST CHESTER, PA QUAD
SCALE: 1" = 600'



PROPERTY OWNER'S CERTIFICATION:
The land owner acknowledges that per the provisions of the East Goshen Township Stormwater Management Ordinance, it is unlawful to modify, remove, fill, landscape, alter or impair the effectiveness of, or place any structure, other vegetation, yard waste, brush cuttings, or other waste or debris into any permanent stormwater management BMP or conveyance described in this O&M plan or to allow the BMP conveyance to exist in a condition which does not conform to this O&M plan, without written approval from the Township. The individual lot owner, his/her heirs, assigns or successors shall be responsible for the perpetual maintenance of the said facilities. A blanket stormwater management easement is provided over and across the property in favor of East Goshen Township to allow the Township and its agents and designees access to the proposed stormwater facilities. The Township is granted the right, but not the duty, to access and conduct periodic inspections and to undertake other actions that may be necessary to enforce the requirements of the Township's Stormwater Management Ordinance or of any applicable O&M plan or O&M agreement. If the property owner, his/her heirs, assigns or successors, fails in any way to maintain the said facilities, or causes these facilities to be altered or removed, upon written notification by the Township, the defects shall promptly be corrected by the property owner. Upon the owner's failure to correct the defects within the time specified by the Township, the owner, his/her heirs, assigns or successors, do hereby authorize the Township and/or its contractor to enter upon the said property and cause the repair, maintenance, and/or correction to be made. A lien may be filed against the property for the cost of all corrections, including applicable engineering and/or attorney's fees. The Township is under no obligation to take any action. All subsequent real estate transactions, the existence of these stormwater facilities and their maintenance responsibilities shall be disclosed to the new owners. Any revision to the approved SMM site plan shall be submitted to the Township along with an Erosion & Sedimentation Control Plan for review and approval.

PROP. 20.00 FT WIDE SANITARY LATERAL EASEMENT FOR LOT#1 OVER LOT#2
AREA = 3,879.11 SF

PROP. 25.00 FT WIDE ACCESS EASEMENT FOR LOT#2 OVER LOT#1
AREA = 6,271.00 SF



REVIEWED BY THE PLANNING COMMISSION OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
THIS DAY OF
CHAIRPERSON MEMBER MEMBER MEMBER
VICE CHAIR MEMBER MEMBER
APPROVED BY THE SUPERVISORS OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
THIS DAY OF
CHAIRPERSON SUPERVISOR SUPERVISOR TOWNSHIP ENGINEER
VICE CHAIR SUPERVISOR
REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION
THIS DAY OF
SECRETARY

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA.
IN PLAN BOOK PAGE
THIS DAY OF
RECORDER OF DEEDS

- EAST GOSHEN TOWNSHIP ZONING HEARING BOARD DECISION OF 10/3/2017 GRANTING THE FOLLOWING VARIANCES:
1. A variance from the minimum lot width at the street line requirements of Section 240-96 for Proposed Lots #1 and #2;
 2. A variance in the street frontage requirement of Section 240-25.8(2) (a) for Proposed Lots #1 and #2; and
 3. A variance from the minimum pole width requirement of Section 240-25.8(2) (b) [2] (e) for Proposed Lot #2.
- Conditions:
1. Applicants shall create the greatest possible right triangle at the top of the driveway near the existing home, which is at the northeast corner of Proposed Lot #1 where the driveway takes a 45-degree turn toward Hemlock Hill Lane;
 2. Applicants shall provide a complete evergreen landscape buffer for properties adjacent to the property they are located along Nathaniel Drive;
 3. Applicants shall provide a large pull-off area along Hemlock Hill Lane to ensure safety for pedestrians and motorists using the lane; such pull-off area shall equal or exceed the area shown on Exhibit A-5;
 4. Applicants shall pave the pull-off area with porous pavers to widen the shared driveway serving Lots #1 and #2 to be 12 feet, and add Proposed Lot #1 into the existing Shared Driveway Easement Maintenance Agreement;
 5. Applicants shall finalize the subdivision with Mrs. Baker, so that both Proposed Lot #1 and Lot #2 will comply with the one-acre lot area requirement;
 6. Applicants shall comply with all representations made during the hearing and as set forth in the exhibits.

REQUESTED MAIVERS FROM THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

1. SECTIONS 205.28 & 205.31: COMBINE THE PRELIMINARY AND FINAL REVIEW AND APPROVAL PROCESS.

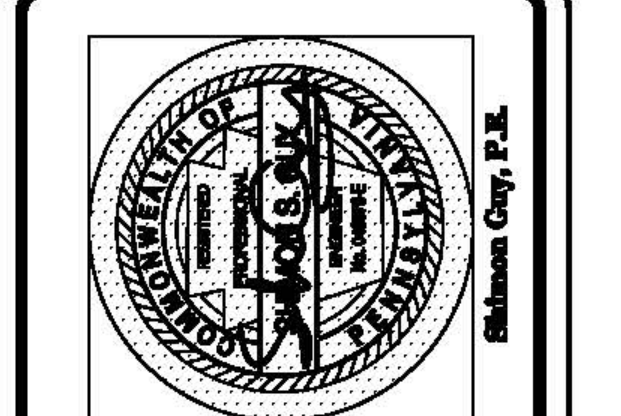
SECTION	DESCRIPTION	REQUIRED	PROVIDED	VARIANCE	COMMENTS	NOTES
240-9.8 (1)	MIN. LOT AREA	43,581.67 SF	43,581.67 SF (NET)	NO		1
240-9.8	MIN. LOT WIDTH	150 FT	LOT#1: 159.69 FT LOT#2: 198.32 FT LOT#1: 25.05 FT LOT#2: 0 FT	NO	AT BLDG. LINE AT BLDG. LINE AT STREET LINE AT STREET LINE	2
	MAX. LOT COVERAGE	25%	LOT#1: 6.1% PROPOSED LOT#2: 6.1% EXISTING	GRANTED		3
	MAX. BUILDING HEIGHT	35%	LOT#1: 12.4% PROPOSED LOT#2: 18.2% EXISTING	NO	TOTAL IMPERVIOUS COVER	
	MIN. FRONT YARD	3	3	NO	STORIES	
	MIN. FRONT YARD	30 FT	30 FT	NO	FEET	
	MIN. SIDE YARD	45 FT	LOT#1: 60 FT LOT#2: 60 FT	NO		
	AVE. FRONT YARD	60 FT	50 FT	NO		
	MIN. REAR YARD	20 FT	20 FT	NO		
	MIN. REAR YARD	50 FT	50 FT	NO		
240-23.8 (2) (a)	STREET FRONTAGE	EACH LOT	LOT#1 YES, LOT#2 NO	GRANTED		3
240-23.8 (2) (b) [2] (b)	MAX. POLE LENGTH	40 FT	379.21 FT	NO	TO LOT#1 CORNER EX. CONDITIONS PROP. LOT#1	
240-23.8 (2) (b) [2] (c)	MIN. POLE WIDTH	40 FT	25 FT	GRANTED		

CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN PHASE - STOP CALL
Pennsylvania One Call System, Inc
1-800-242-1776 SERIAL NO. 20170472360
DATE: 02/16/2017

EXISTING PROPERTY DATA

UPI	ADDRESS	OWNERS	DEED BK	PAGE	AREA (SF) (PER DEED)
53-4-23	1506 MEADOWBROOK LN	LEGENSTEIN STEPHEN & DENISE	5051	2296	87,420
53-4-7	1431 BOOT RD	GABLE MARY VIRGINIA	P88	553	82,764

THIS PLAN HAS BEEN PREPARED BASED ON THE FOLLOWING INFORMATION SOURCES:
BOUNDARY & TOPOGRAPHIC SURVEY PLAN PREPARED BY R.H. SMITH SURVEYORS, WEST CHESTER, PA, DATED 7/25/2017;
EAST GOSHEN TOWNSHIP ZONING MAP;
A PLAN ENTITLED "PLAN OF SUBDIVISION FOR ANTHONY D'AMBROSIO" PREPARED BY HENRY S. CONROY, INC., DATED 8/14/1977;
A PLAN ENTITLED "FINAL TITLE PLAN" PREPARED BY D.L. HOWELL & ASSOCIATES, INC., DATED 10/30/2001, LAST REVISED 3/11/2002;
A PLAN ENTITLED "FINAL SUBDIVISION PLAN FOR BRUCE & ANDREY A. ATKINS" PREPARED BY JOHN D. STAPLETON, INC., DATED 11/2/1992;
CHESTER COUNTY CHESTED VIEW HILLITE FOR DEEDS AND OWNERSHIP INFORMATION; CHESTER COUNTY RECORDER OF DEEDS;
A FIELD SURVEY HAS NOT PERFORMED ANY FIELD SURVEY OF THE PROPERTY AND IS NOT RESPONSIBLE FOR ANY ERRORS, INACCURACIES OR OMISSIONS OF INFORMATION SHOWN ON THIS PLAN.



REV	BY	DATE	DESCRIPTION
1	SG	01/26/18	PROP. ENG. DESIGN
2	SG	02/20/18	PROP. PCSM
3	SG	04/20/18	ENG REVIEW 3-26-18
4	SG	06/01/18	ENG REVIEW 5-16-18
5	SG	06/25/18	ENG REVIEW 6-22-18

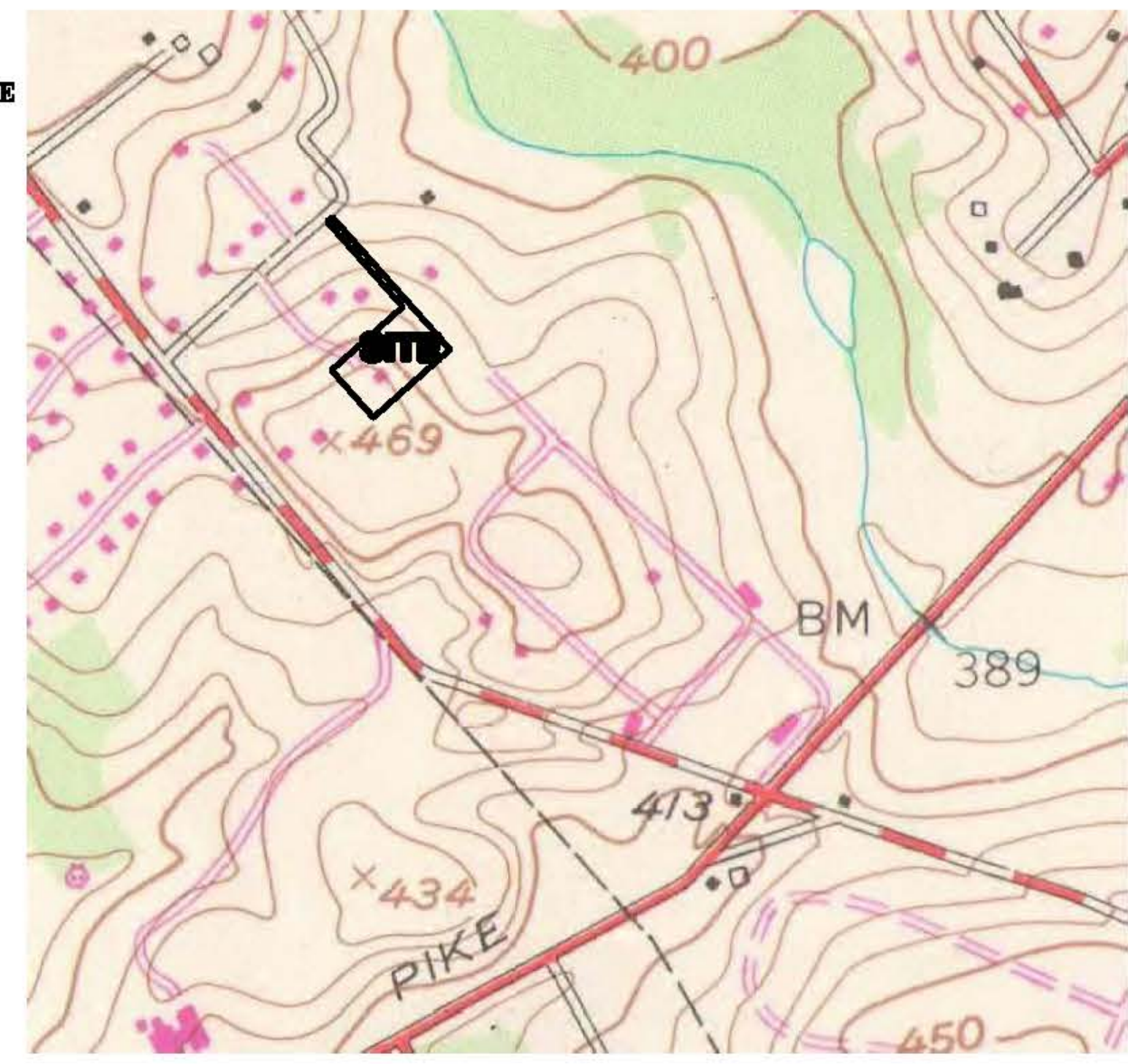
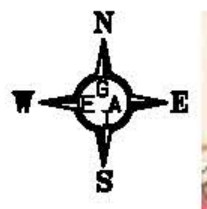
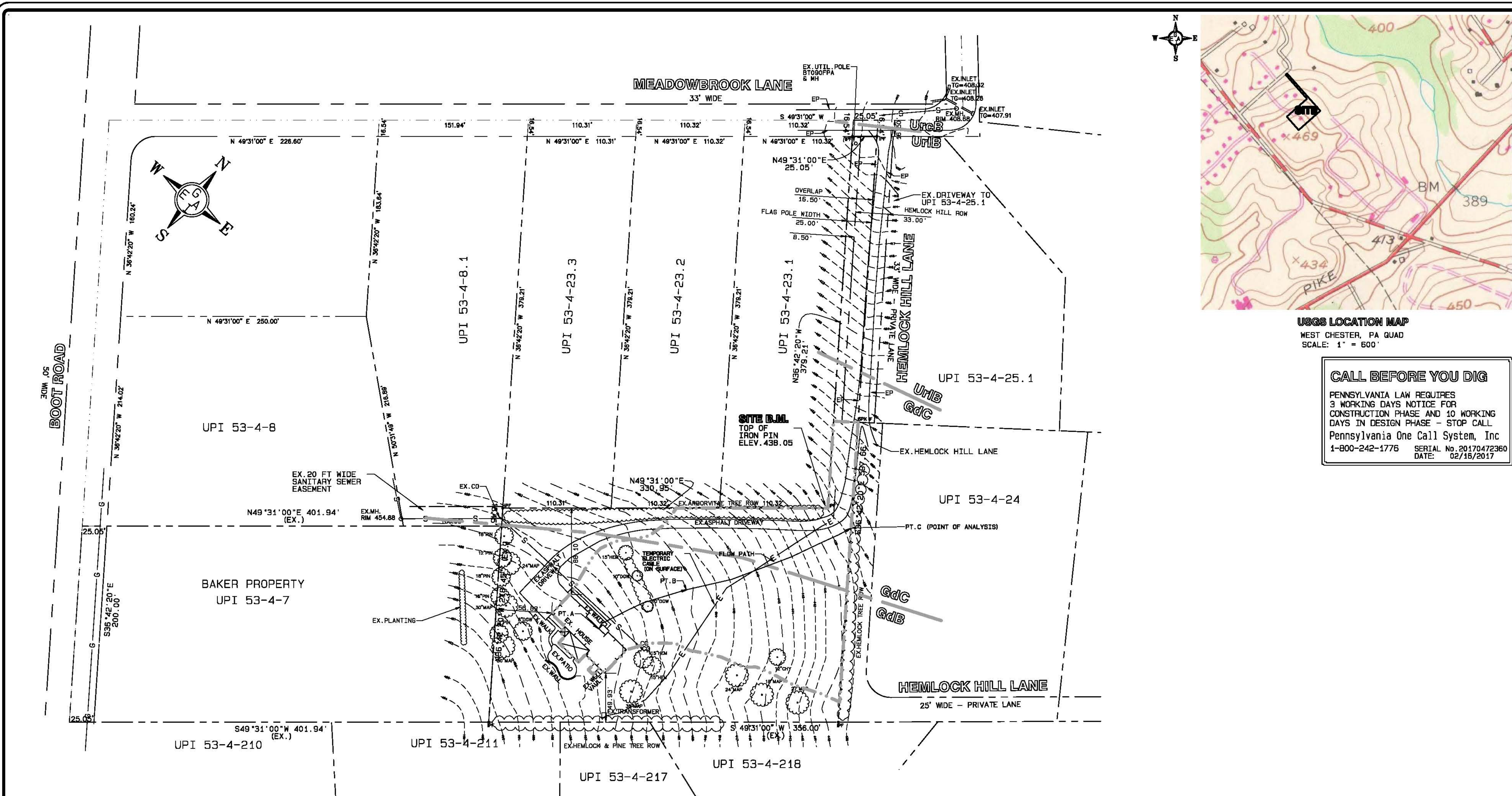
Project: **PROPOSED RESIDENTIAL SUBDIVISION**
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380
EAST GOSHEN TOWNSHIP, COUNTY OF CHESTER, PA
Applicant: **STEPHEN & DENISE LEGENSTEIN**
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380

Plan Title: **PRELIMINARY / FINAL SUBDIVISION PLAN**
Scale: 1" = 50'
Checked: S.G.
Drawn: S.G.
Date: 8/01/2017

Project File: SUBDIV 9-17-PRO
Scale: 1" = 50'
Checked: S.G.
Drawn: S.G.
Date: 8/01/2017

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SHEET



USGS LOCATION MAP
WEST CHESTER, PA QUAD
SCALE: 1" = 600'

CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
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Pennsylvania One Call System, Inc
1-800-242-1776 SERIAL No. 20170472360
DATE: 02/16/2017

SURVEY DATUM: NAVD 1988

EXISTING PROPERTY DATA

UPI	ADDRESS	OWNERS	DEED BK	PAGE	AREA (SF) (PER DEED)
53-4-23	1506 MEADOWBROOK LA	LEGENSTEIN STEPEH & DENISE	5051	2296	87,120
53-4-7	1431 BOOT RD	GABLE MARY VIRGINIA	P58	553	82,764
53-4-25.1	701 HEMLOCK HILL LA	GROSSMAN EDWARD R & ROCHELLE B	5341	1040	49,614
53-4-23.1	1510 MEADOWBROOK LA	HAMM DANIEL G & SHEILA A	9103	106	43,560
53-4-23.2	1508 MEADOWBROOK LA	DORN ARTHUR	8113	1271	43,560
53-4-23.3	1504 MEADOWBROOK LA	MATCHICA STRATTON N & ANGELA N	8465	605	43,560
53-4-8.1	1502 MEADOWBROOK LA	DOHERTY NOEL & SHEILA	6236	1192	56,628
53-4-8	1500 MEADOWBROOK LA	LIM LUVIMING D & LUZ S			60,984
53-4-210	919 CONTINENTAL DR	ABRAHAM JENSEN & CINDY			30,866
53-4-211	920 CONTINENTAL DR	SOLLECITO THOMAS P & CAROLYN B	4679	1897	26,556
53-4-217	917 NATHANIEL DR	LU HUE SHIANG			34,542
53-4-218	919 NATHANIEL DR	KASHEHAGEN LEO & CHRISTIANE M	7919	2078	28,248
53-4-24	705 HEMLOCK HILL LA	TUBMAN EDWARD P & JOAN E	3725	1435	69,696

THIS PLAN HAS BEEN PREPARED BASED ON THE FOLLOWING INFORMATION SOURCES:
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WEST CHESTER, PA DATED 7/29/2017,
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OR OMISSIONS OF INFORMATION SHOWN ON THIS PLAN.

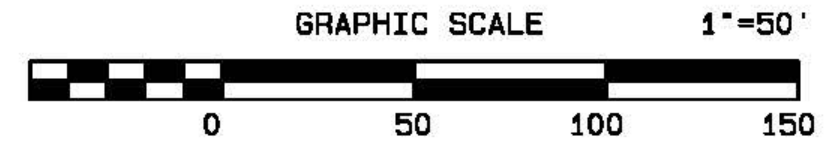
FLOOD HAZARD NOTE:
THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD. PER FEMA FIRM
NUMBER 42029C02156 EFFECTIVE 09/29/2017, FOR EAST GOSHEN, PA, PANEL NUMBER 420277.

EXISTING SOILS ON SITE:
GdB: Gladstone Gravelly Loam, 3 - 8% slopes, HSG "B"
GdC: Gladstone Gravelly Loam, 8 - 15% slopes, HSG "B"
UrCb: Urban Land - Califon Complex, 0 - 8% slopes, HSG "B" (assumed)
UrB: Urban Land - Gladstone Complex, 0 - 8% slopes, HSG "B" (assumed)

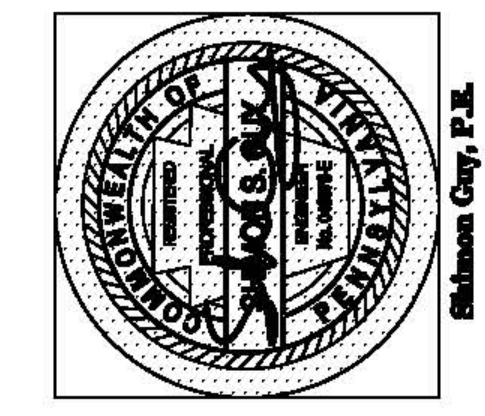
LEGEND

- EX. PROPERTY LINE
- ADJACENT PROPERTY LINE
- EX. ROAD R.O.W.
- EX. TITLE LINE
- EX. PAVEMENT
- EX. BUILDING
- EX. TREE
- EX. SANITARY SEWER
- EX. GAS LINE
- EX. CONTOUR
- SOILS BOUNDARY
- EX. DRAINAGE AREA BOUNDARY

PROPERTY OWNER:
STEPHEN & DENISE LEGENSTEIN
DEED RECORDED: DB.5051, PG.2296
TMP # 53-4-23



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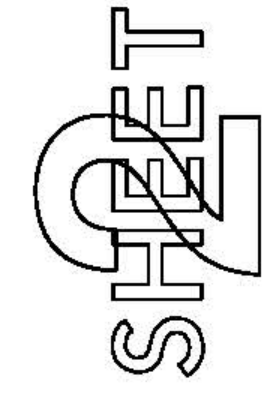


REV	BY	DATE	DESCRIPTION
1	SG	01/26/18	PROP. ENG. DESIGN
2	SG	02/20/18	PROP. PCSM
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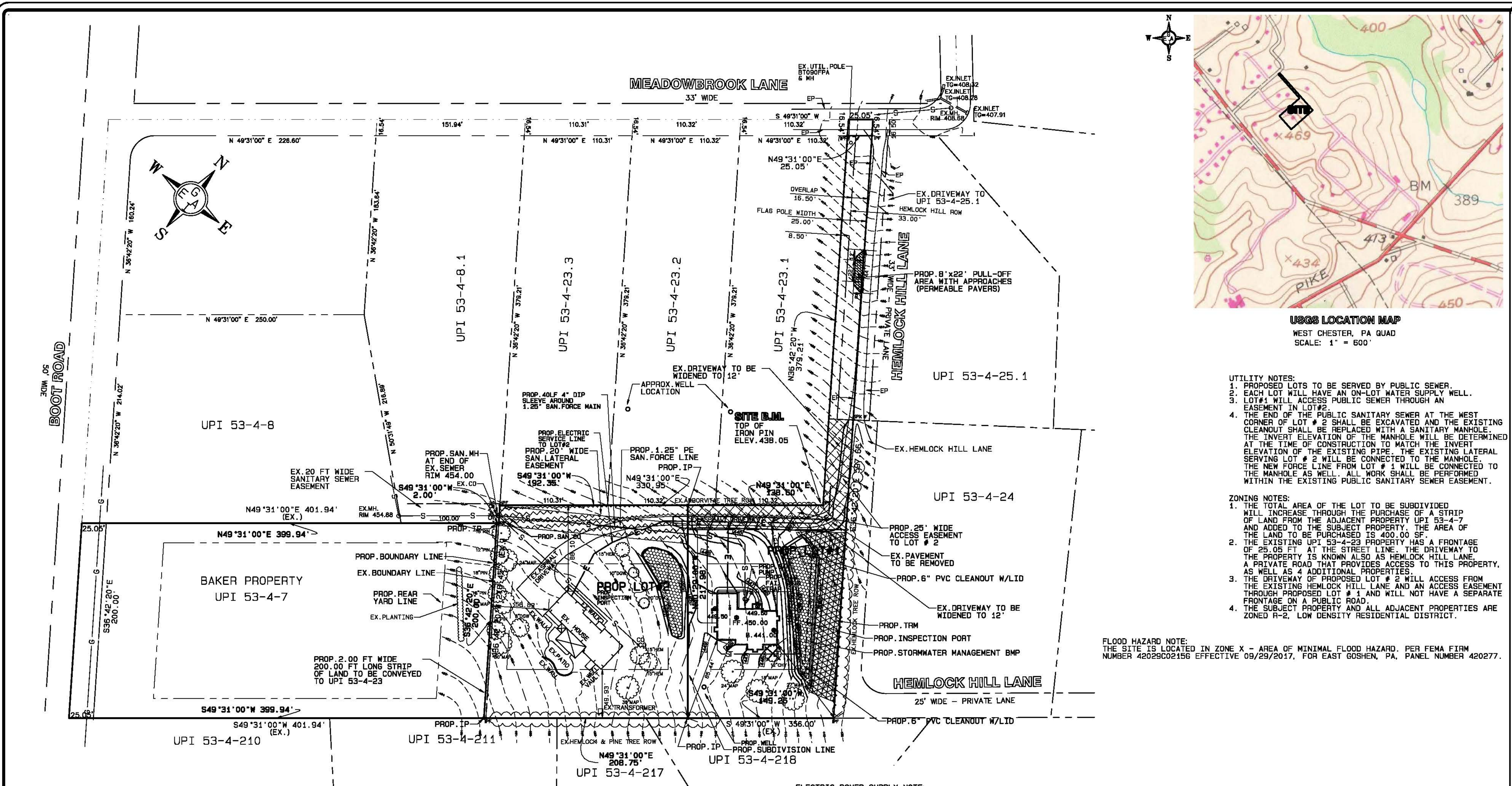
Project:
PROPOSED RESIDENTIAL SUBDIVISION
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380
EAST GOSHEN TOWNSHIP, COUNTY OF CHESTER, PA
Applicant:
STEPHEN & DENISE LEGENSTEIN
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380

Plan Title
PRELIMINARY / FINAL
EXISTING CONDITIONS PLAN
Guy Engineering Associates, Inc.
Consulting Engineers
3508 Goshen Road
Newtown Square, PA 19073
(610) 355-0862

Project File:
SUBDIV B-17.PRO
Scale: 1"=50'
Checked: S.G.
Drawn: S.G.
Date: 8/01/2017



OF: 8



UTILITY NOTES:

1. PROPOSED LOTS TO BE SERVED BY PUBLIC SEWER.
2. EACH LOT WILL HAVE AN ON-LOT WATER SUPPLY WELL.
3. LOT #1 WILL ACCESS PUBLIC SEWER THROUGH AN EASEMENT IN LOT #2.
4. THE END OF THE PUBLIC SANITARY SEWER AT THE WEST CORNER OF LOT # 2 SHALL BE EXCAVATED AND THE EXISTING CLEANOUT SHALL BE REPLACED WITH A SANITARY MANHOLE. THE INVERT ELEVATION OF THE MANHOLE WILL BE DETERMINED AT THE TIME OF CONSTRUCTION TO MATCH THE INVERT ELEVATION OF THE EXISTING PIPE. THE EXISTING LATERAL SERVING LOT # 2 WILL BE CONNECTED TO THE MANHOLE. THE NEW FORCE LINE FROM LOT # 1 WILL BE CONNECTED TO THE MANHOLE AS WELL. ALL WORK SHALL BE PERFORMED WITHIN THE EXISTING PUBLIC SANITARY SEWER EASEMENT.

ZONING NOTES:

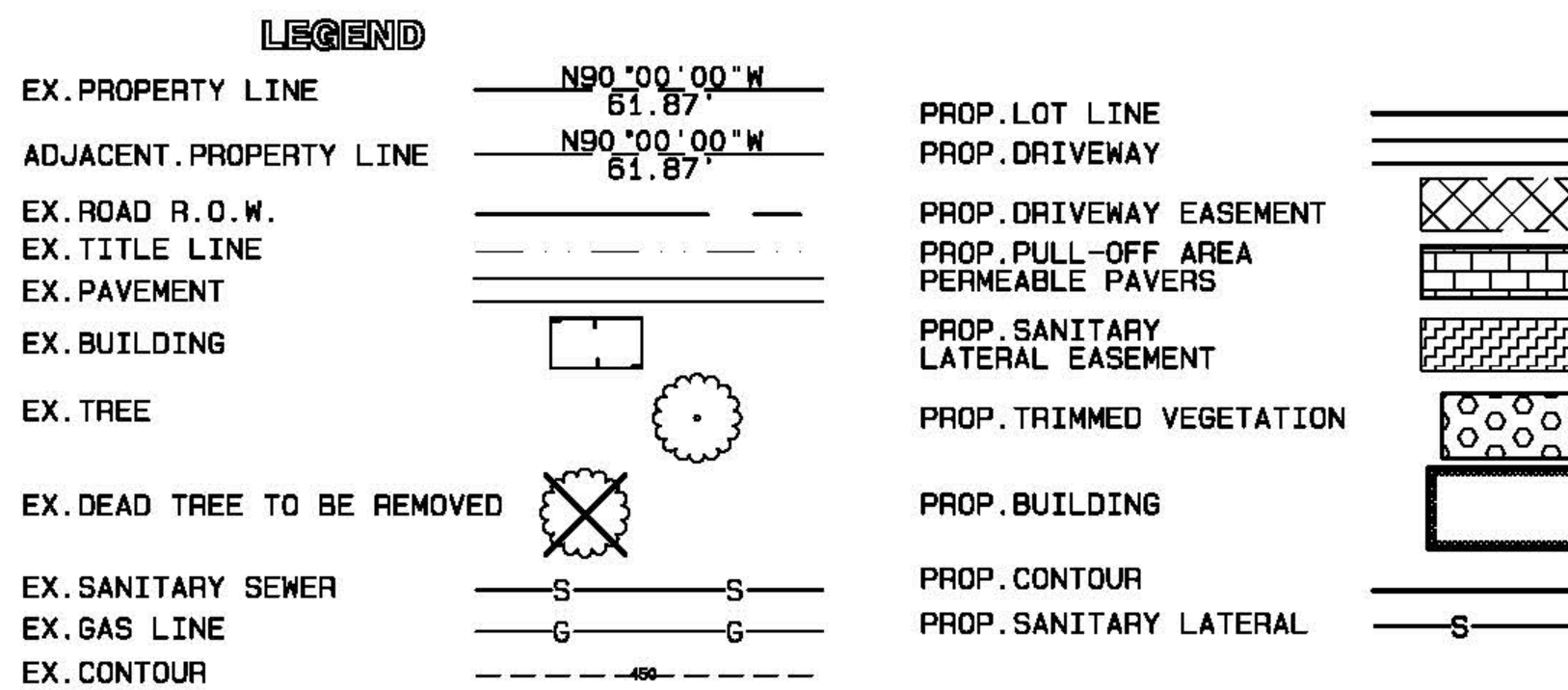
1. THE TOTAL AREA OF THE LOT TO BE SUBDIVIDED WILL INCREASE THROUGH THE PURCHASE OF A STRIP OF LAND FROM THE ADJACENT PROPERTY UPI 53-4-7 AND ADDED TO THE SUBJECT PROPERTY. THE AREA OF THE LAND TO BE PURCHASED IS 400.00 SF.
2. THE EXISTING UPI 53-4-23 PROPERTY HAS A FRONTAGE OF 25.05 FT AT THE STREET LINE. THE DRIVEWAY TO THE PROPERTY IS KNOWN ALSO AS HEMLOCK HILL LANE. A PRIVATE ROAD THAT PROVIDES ACCESS TO THIS PROPERTY, AS WELL AS 4 ADDITIONAL PROPERTIES.
3. THE DRIVEWAY OF PROPOSED LOT # 2 WILL ACCESS FROM THE EXISTING HEMLOCK HILL LANE AND AN ACCESS EASEMENT THROUGH PROPOSED LOT # 1 AND WILL NOT HAVE A SEPARATE FRONTAGE ON A PUBLIC ROAD.
4. THE SUBJECT PROPERTY AND ALL ADJACENT PROPERTIES ARE ZONED R-2, LOW DENSITY RESIDENTIAL DISTRICT.

FLOOD HAZARD NOTE:
THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD. PER FEMA FIRM NUMBER 42029C02156 EFFECTIVE 09/29/2017, FOR EAST GOSHEN, PA, PANEL NUMBER 420277.

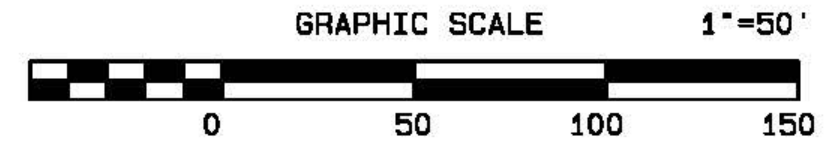
ELECTRIC POWER SUPPLY NOTE:
THE ELECTRIC COMPANY SHALL REMOVE THE TEMPORARY ELECTRIC POWER SUPPLY CABLE TO THE EXISTING HOUSE IN LOT # 2 AND INSTALL A PERMANENT POWER SUPPLY CABLE INSTEAD UNDERGROUND UNDER THE PROPOSED WIDENED DRIVEWAY WITHIN THE ACCESS EASEMENT THROUGH LOT # 1 TO LOT # 2. THE POWER SUPPLY LINE FOR THE PROPOSED HOUSE IN LOT # 1 WILL ALSO BE INSTALLED UNDERNEATH THE DRIVEWAY AND BE CONNECTED TO THE NEW HOUSE. THE REMOVAL OF THE EXISTING TEMPORARY SERVICE AND INSTALLATION OF THE PERMANENT SERVICE SHALL BE PERFORMED AT THE TIME OF CONSTRUCTION OF THE NEW DRIVEWAY THROUGH LOT # 1. THE ELECTRIC COMPANY SHALL DETERMINE THE EXACT LOCATIONS OF THE POWER SUPPLY LINES.

SANITARY SEWER NOTES:

1. THE SANITARY SEWER LATERAL AND FORCE MAIN SHALL HAVE A MINIMUM COVER OF 3 FEET.
2. THE DISCHARGE PIPE FROM THE GRINDER PUMP SHALL BE 1.25" DIA. PVC SDR 24.
3. THE FORCE MAIN SHALL BE INSTALLED INSIDE A 4" DIA. DUCTILE IRON PIPE SLEEVE UNDER THE DRIVEWAY. THE SLEEVE SHALL BE 40 LF MIN. AND SHALL EXTEND AT LEAST 5 FT ON EITHER SIDE OF THE DRIVEWAY. THE FORCE LINE SHALL BE SECURED IN PLACE INSIDE THE SLEEVE TO PREVENT MOVEMENT.
4. THE PROPOSED SANITARY CONNECTION FOR THE PROJECT WILL BE MADE TO AN EXISTING SANITARY SEWER OF EAST GOSHEN MUNICIPAL AUTHORITY LOCATED WITHIN UPI 53-4-8.1 INSIDE AN EXISTING SANITARY SEWER EASEMENT PER RIGHT-OF-WAY AGREEMENT DATED 7/25/1994, RECORDED IN BOOK # 3873, PAGE 462-468.
5. CLEANOUTS SHALL BE INSTALLED ON THE EXISTING LATERAL FROM LOT # 2 AT 10 FT DISTANCE FROM THE NEW SANITARY MANHOLE WITHIN THE SANITARY SEWER EASEMENT, AS WELL AS ON THE NEW FORCE MAIN FROM LOT # 1. AT 10 FT FROM THE MANHOLE THE FORCE MAIN WILL TERMINATE AT THE CLEANOUT, FROM WHICH POINT THE EFFLUENT WILL DISCHARGE INTO THE MANHOLE VIA A 4" PVC SEWER LATERAL.
6. THE BUILDER SHALL PROVIDE A GRINDER PUMP UNIT CONSTRUCTION SUBMITTAL TO EAST GOSHEN TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
7. THE FORCE MAIN SHALL BE INSTALLED FROM THE GRINDER PUMP UNIT TOWARD THE CLEANOUT IN A CONTINUOUS RISING SLOPE TO PREVENT CREATION OF HIGH POINTS ALONG ITS ROUTE.
8. THE BUILDER SHALL PROVIDE A SOLID TRANSITION COUPLING CONSTRUCTION SUBMITTAL TO EAST GOSHEN TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.



PROPERTY OWNER:
STEPHEN & DENISE LEGENSTEIN
DEED RECORDED: DB.5051, PG.2296
TMP # 53-4-23



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CALL BEFORE YOU DIG

PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN PHASE - STOP CALL
Pennsylvania One Call System, Inc
1-800-242-1776 SERIAL No. 20170472360
DATE: 02/16/2017

LOT AREAS

LOT	AREA [SF]	AREA [AC]
EXISTING	87,491.21	2.0085 (GROSS)
	87,077.89	1.9990
PROP. 1	43,995.00	1.0100 (GROSS)
	43,581.67	1.0005 (NET)
PROP. 2	43,896.21	1.0077

SURVEY DATUM: NAVD 1988
THIS PLAN HAS BEEN PREPARED BASED ON THE FOLLOWING INFORMATION SOURCES:
BOUNDARY & TOPOGRAPHIC SURVEY PLAN, PREPARED BY R.H. SMITH SURVEYORS,
WEST CHESTER, PA DATED 7/29/2017,
EAST GOSHEN TOWNSHIP ZONING MAP:
A PLAN ENTITLED "PLAN OF SUBDIVISION FOR ANTHONY D'AMBROSIO" PREPARED
BY HENRY S. CONREY, INC., DATED 8/14/1977;
A PLAN ENTITLED "FINAL TITLE PLAN" PREPARED BY D.L. HOWELL & ASSOCIATES,
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REVISIONS

REV	BY	DATE	DESCRIPTION
1	SG	01/26/18	PROP. ENG. DESIGN
2	SG	02/20/18	PROP. PCSM
3	SG	04/20/18	ENG. REVIEW 3-26-18
4	SG	06/01/18	ENG. REVIEW 5-16-18
5	SG	06/25/18	ENG. REVIEW 6-22-18

Project:
PROPOSED RESIDENTIAL SUBDIVISION
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380
EAST GOSHEN TOWNSHIP, COUNTY OF CHESTER, PA
Applicant: **STEPHEN & DENISE LEGENSTEIN**
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380

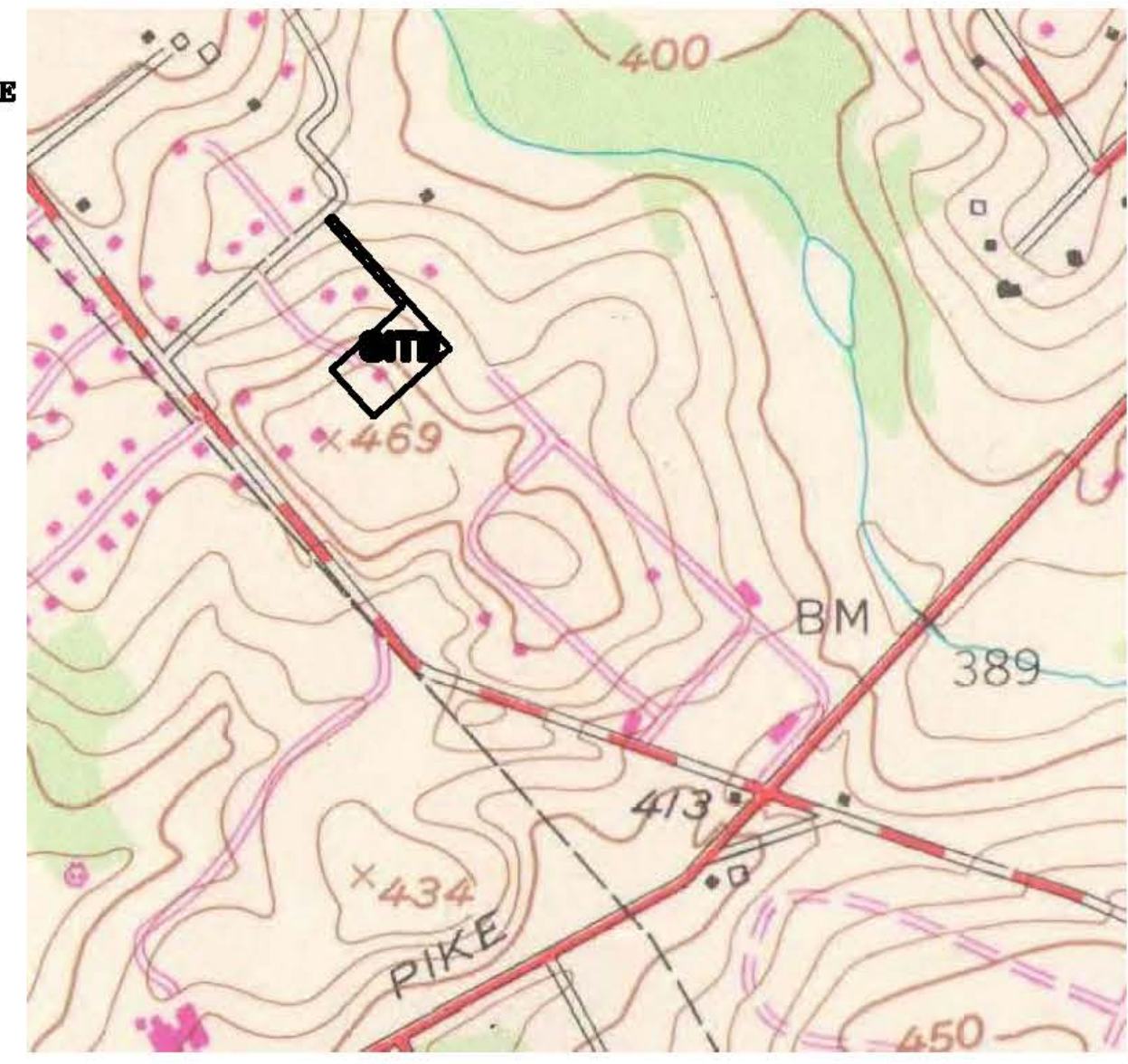
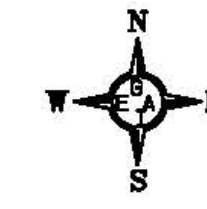
Plan Title:
PRELIMINARY / FINAL
CONSTRUCTION
IMPROVEMENTS PLAN
LOT # 1
Guy Engineering Associates, Inc.
Consulting Engineers
3508 Goshen Road
Newtown Square, PA 19073
(610) 355-0862

Project File:
SUBDIV 8-17-PRO
Scale: 1"=50'
Checked: S.G.
Drawn: S.G.
Date: 8/01/2017

SHEET

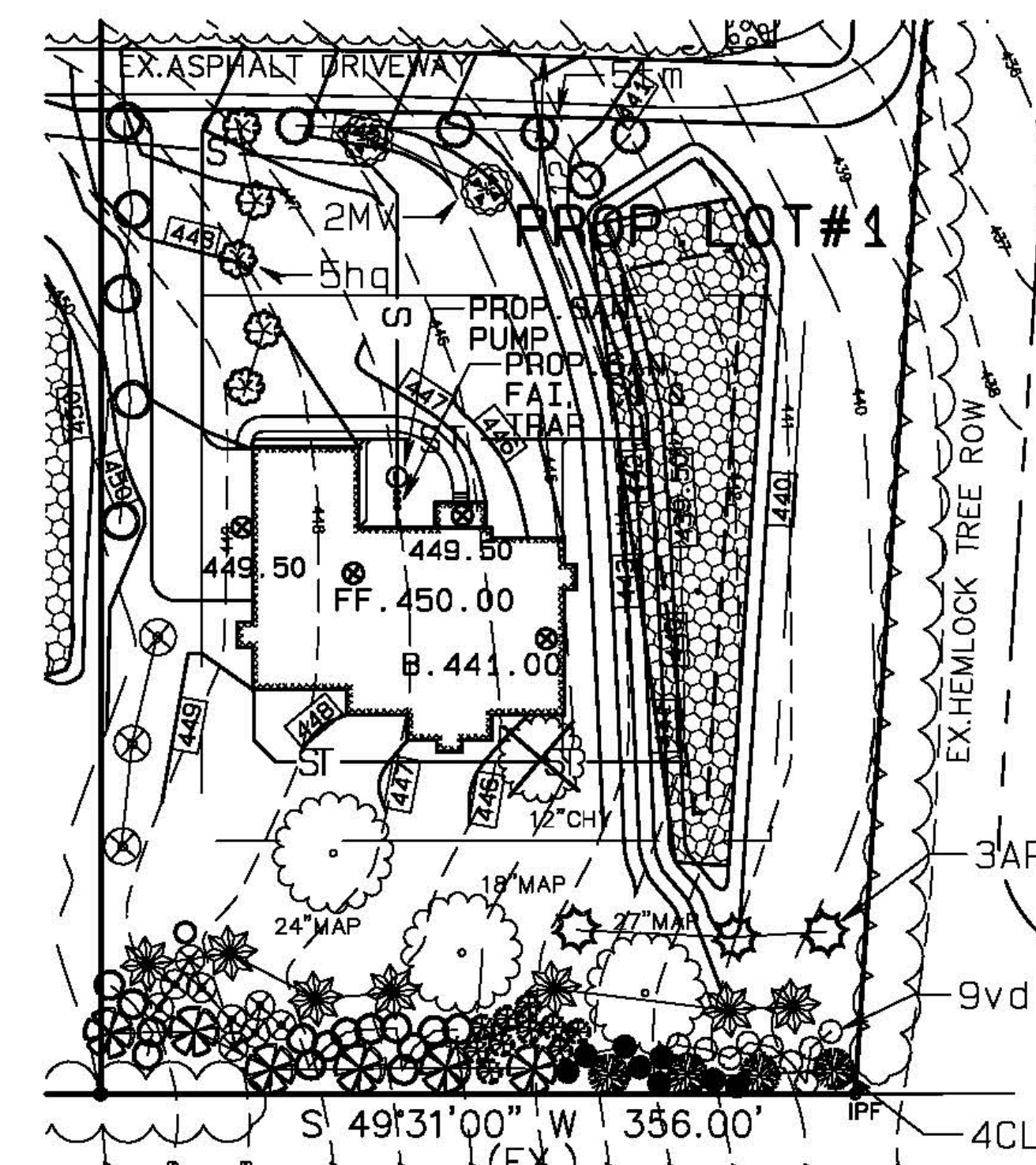
OF 1

FLOOD HAZARD NOTE:
THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD. PER FEMA FIRM NUMBER 42029C02156 EFFECTIVE 09/29/2017, FOR EAST GOSHEN, PA, PANEL NUMBER 420277.



USGS LOCATION MAP
WEST CHESTER, PA QUAD
SCALE: 1" = 600'

- BUFFER PLANTING NOTES:
1. BUFFER TREES SHALL BE PLANTED IN STAGGERED ROWS CENTERED NO MORE THAN 18 FEET APART.
 2. BUFFER SHRUBS SHALL BE PLANTED IN STAGGERED ROWS CENTERED NO MORE THAN 5 FEET APART.
 3. PLANTINGS SHALL NOT BE DISEASE PRONE, INSECT PRONE, SHORT LIVED.
 4. THE EXTERIOR WIDTH BEYOND THE PLANTING SCREEN SHALL BE PLANTED WITH GRASS, SOIL OR GROUND COVER AND SHALL BE MAINTAINED AND KEPT CLEAN OF ALL DEBRIS, RUBBISH, WEEDS AND TALL GRASS (NO MORE THAN 12").
 5. PLANTED AREAS SHALL BE IRRIGATED.



PROPOSED LANDSCAPING
SCALE: 1" = 30'

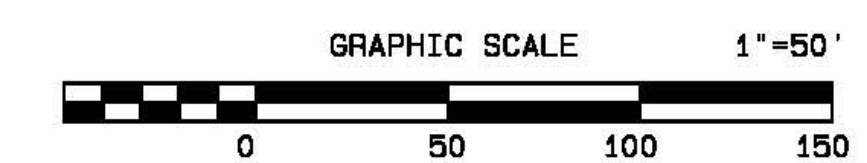
PROPOSED RAIN GARDEN PLANTINGS:
BOTTOM (WILDFLOWERS AND FERNS) - PLANTED AT 2' O.C.:
BONASET (EUPATORIUM PERFOLIATUM), SWAMP MILKWEED (ASCLEPIAS INCARNATA), BLUEFLAG IRIS (IRIS VERSICOLOR), TURTLEHEAD (CHELONE GLABRA)
SIDES AND TOP (WILDFLOWERS AND FERNS) - PLANTED AT 2' O.C.:
CINNAMOMEA FERN (OSMUNDA CINNAMOMEA), WHITE WOOD ASTER (ASTER DIVARICATA), COLUMBINE (AGUILEGIA), MAYAPPLE (PODOPHYLLUM PELTATUM)
REMAINING RAIN GARDEN AREA TO BE SEEDED WITH LOCAL RAIN GARDEN SEED MIXTURE BY ERNST SEED OR EQUAL.

LEGEND

- EX. PROPERTY LINE N90°00'00" W 51.87'
- ADJACENT PROPERTY LINE N90°00'00" W 51.87'
- EX. ROAD R.O.W.
- EX. TITLE LINE
- EX. PAVEMENT
- EX. BUILDING
- EX. TREE
- EX. DEAD TREE TO BE REMOVED
- EX. SANITARY SEWER
- EX. GAS LINE
- EX. CONTOUR
- PROP. LOT LINE
- PROP. DRIVEWAY
- PROP. DRIVEWAY EASEMENT
- PROP. PULL-OFF AREA PERMEABLE PAVERS
- EX. PAVEMENT
- PROP. SANITARY LATERAL EASEMENT
- PROP. TRIMMED VEGETATION
- PROP. BUILDING
- PROP. CONTOUR
- PROP. SANITARY LATERAL
- PROP. TREE/SHRUB

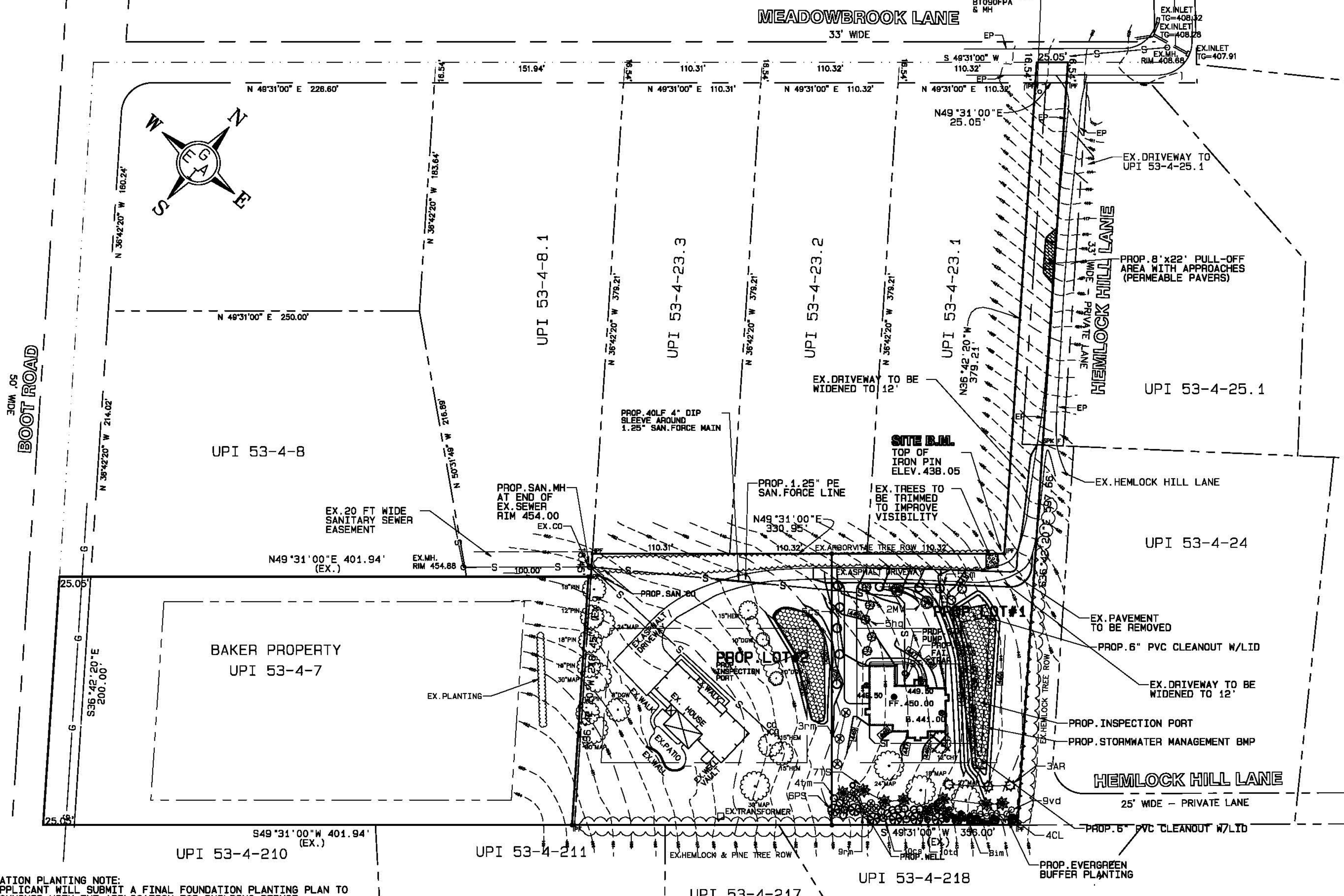
PROPERTY OWNER:

STEPHEN & DENISE LEGENSTEIN
DEED RECORDED: DB.5051, PG.2296
TMP # 53-4-23



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BOOT ROAD
33' WIDE



BAKER PROPERTY
UPI 53-4-7

UPI 53-4-210

UPI 53-4-211

UPI 53-4-217

UPI 53-4-218

UPI 53-4-24

UPI 53-4-25.1

UPI 53-4-23.2

UPI 53-4-23.3

UPI 53-4-8.1

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LOT AREAS

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PROP. 1	43,995.00	1.0100 (GROSS)
	43,581.67	1.0005 (NET)
PROP. 2	43,896.21	1.0077

PROPOSED ORNAMENTAL LANDSCAPING

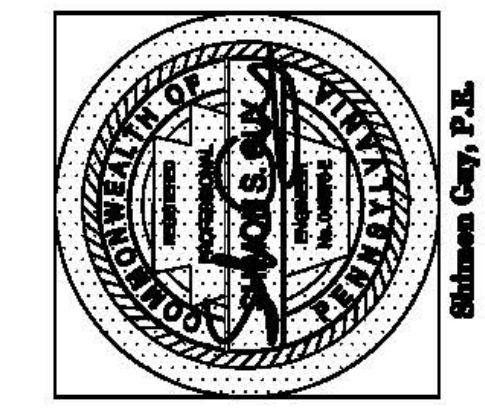
TYPE	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY	SYMBOL
ORNAMENTAL TREE	mv	MAGNOLIA VIRGINIANA	SWEET BAY MAGNOLIA	1.5" CAL.	B68	2	
DECIDUOUS SHRUB	hq	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	24" HT	B68	5	
DECIDUOUS SHRUB	cs	CORNUS SERICEA 'FLAVIRAMEA'	YELLOW TWIG DOGWOOD	24" HT	B68	5	
EVERGREEN SHRUB	rm	RHOODENDRON MIKKELI	MIKKELI RHOODENDRON	24" HT	B68	3	
EVERGREEN SHRUB	tm	TAXUS X MEDIA HICKSII	HICKS YEW	24" HT	B68	5	

PROPOSED BUFFER PLANTING

TYPE	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY	SYMBOL
EVERGREEN TREE	cl	CUPRESSUS LEYLANDII	LEYLAND CYPRESS	8' HT	B68	4	
EVERGREEN TREE	ps	PINUS STROBUS	WHITE PINE	8' HT	B68	6	
EVERGREEN TREE	ts	THUJA STANDISI X PLICATA	THUJA GREEN GIANT	8' HT	B68	4	
DECIDUOUS TREE	ar	ACER RUBRUM	RED MAPLE	2.5" CAL.	B68	3	
EVERGREEN SHRUB	td	TAXUS DENSIFORMIS	DENSE SPREADING YEW	3' HT	B68	10	
EVERGREEN SHRUB	im	ILEX X MESERVEAE	CHINA GIRL HOLLY	3' HT	B68	8	
EVERGREEN SHRUB	vd	VIBURNUM DAVIDII	DAVID'S VIBURNUM	3' HT	B68	9	
EVERGREEN SHRUB	tm	TAXUS X MEDIA HICKSII	HICKS YEW	3' HT	B68	4	
DECIDUOUS SHRUB	cs	CORNUS SERICEA 'FLAVIRAMEA'	YELLOW TWIG DOGWOOD	3' HT	B68	10	
EVERGREEN SHRUB	rm	RHOODENDRON MIKKELI	MIKKELI RHOODENDRON	3' HT	B68	9	

SURVEY DATUM: NAVD 1988

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5	SG	05/26/18	ENG REVIEW 5-22-18

Project: PROPOSED RESIDENTIAL SUBDIVISION
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380

Applicant: EAST GOSHEN TOWNSHIP, COUNTY OF CHESTER, PA

Applicant: STEPHEN & DENISE LEGENSTEIN
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380

Plan Title: PRELIMINARY/FINAL
LANDSCAPING PLAN
LOT #1

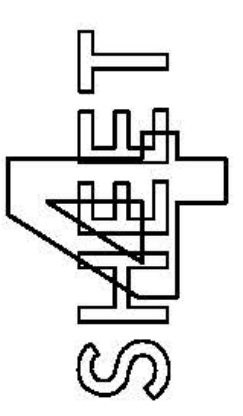
Project File: SUBDIV 8-17-PRO

Scale: 1" = 50'

Checked: S.G.

Drawn: S.G.

Date: 8/01/2017



OF: 8

NOTE:
TRM, SUCH AS NORTH AMERICAN GREEN P300 OR EQUAL SHALL BE PLACED ON THE GROUND COVERING THE BERM OF THE BMP, EXTENDING FROM ELEVATION 439.50 ON THE INSIDE OF THE BERM AND DOWNSLOPE ON THE OUTSIDE OF THE BERM TO THE EAST PROPERTY LINE.

MEADOWBROOK LANE
33' WIDE

EAST GOSHEN O&M NOTES

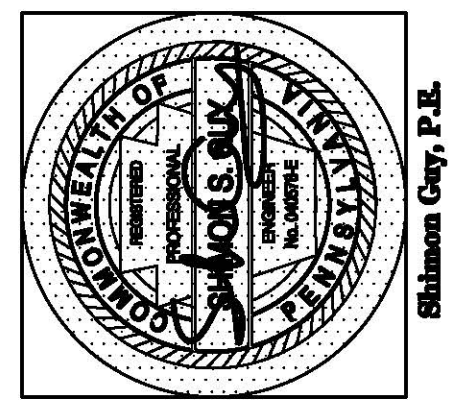
- The person or entity responsible for the operation and maintenance of a BMP or conveyance shall make records of the installation and of all maintenance and repairs, and shall retain the records for at least 2 years. A copy of these records shall be submitted to the Township.
- Upon final inspection, the Municipality shall inform the person responsible for the operation and maintenance whether the submission of periodic (annual or other frequency) inspections and maintenance reports will be required.
- The owner of each BMP and conveyance shall keep on file with the Township the name, address and telephone number of the person responsible for maintenance activities and implementation of the O&M plan. In the event of a change, new information shall be submitted by the BMP or conveyance owner to the Township within 10 days of the change.
- All stormwater management structures shall be inspected at least 2 times per year. The overlying vegetation should be maintained in good condition, and care should be taken to avoid excessive compaction by mowers.

INFILTRATION BED CONSTRUCTION NOTES

- Excavation shall be performed with equipment that will not compact the bottom of the bed. Equipment shall not be allowed on excavated area of the infiltration bed at any time during its construction.
- The bottom of the bed shall be scarified immediately prior to the placement of the geotextile fabric on the bottom of the bed.
- The bed shall be protected during construction. Sediment shall not be allowed to be washed back into the bed, both during the time when the bottom of the bed is open, and once the stone is placed.
- Only uniformly graded, clean aggregate, free of fines, shale, silt, and vegetative material shall be used. The supplier of the stone shall provide certification of the porosity of the stone delivered to the site.
- Compaction of the infiltration bed shall be avoided to the fullest extent possible. Heavy equipment and traffic shall be restricted from traveling over the proposed location of the infiltration bed to minimize compaction of the soil. Excavation of the bed shall be completed with relatively light tracked equipment on from outside the bed to avoid compaction of the bed floor.
- Construction equipment shall only be allowed on the top of the stone after it has been placed to its full depth and to allow completion of the placement of the stone and backfill.
- Drainage filter fabric shall be placed in accordance with manufacturer's directions, including pipe penetrations and should overlap a minimum of 16 inches.
- During site construction all facility components shall be protected from sedimentation using storm inlet protection in accordance with the PADEP Chapter 102 regulations, and the Erosion and Sediment Pollution Control Manual, as amended. Inlet protection shall remain until the contributory drainage area has achieved full stabilization.

STORMWATER MANAGEMENT EASEMENT NOTE:

A blanket stormwater management easement is provided over and across the property in favor of East Goshen Township to allow the Township and its agents and designees access to the proposed stormwater management facilities. The Township is granted the right, but not the duty, to access and conduct periodic inspections and to undertake other actions that may be necessary to enforce the requirements of the Township's Stormwater Management Ordinance or any applicable O&M plan or O&M agreement.



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5	SG	06/25/18	ENG REVIEW 6-22-18

Project: **PROPOSED RESIDENTIAL SUBDIVISION**
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380

Applicant: **EAST GOSHEN TOWNSHIP, COUNTY OF CHESTER, PA**

Applicant: **STEPHEN & DENISE LEGENSTEIN**
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380

Plan Title: **PRELIMINARY / FINAL POST CONSTRUCTION STORMWATER MANAGEMENT PLAN - LOT # 1**

Project File: **SUBDIV B-17-PRO**

Scale: **1"=50'**

Checked: **S.G.**

Drawn: **S.G.**

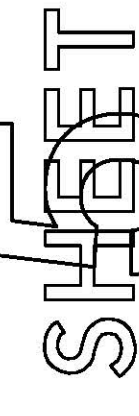
Date: **8/01/2017**

Scale: **1"=50'**

Checked: **S.G.**

Drawn: **S.G.**

Date: **8/01/2017**



OF: **8**

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DAYS IN DESIGN PHASE - STOP CALL
Pennsylvania One Call System, Inc
1-800-242-1776 SERIAL No. 20170472360
DATE: 02/16/2017

PROPOSED ROOF DRAIN PIPES:

- ALL ROOF DRAINS SHALL BE PIPED TO THE PROPOSED STORMWATER MANAGEMENT BMP AND TIE INTO THE PERFORATED PVC PIPE INSIDE THE CRUSHED STONE BED.
- DRAIN PIPES SHALL BE 6" DIA. PVC AT 0.02 FT/FT MIN.
- ALL ROOF GUTTERS SHALL BE EQUIPPED WITH GUTTER GUARDS TO PREVENT LEAVES FROM ENTERING THE ROOF DRAINS.

PROPOSED IMPERVIOUS AREAS DRAINING TO STORMWATER BMP'S:

- DA-II (Lot # 2) = 0.1020 ac (150% of existing impervious area within DA-II)
- DA-III (Lot # 1) = 0.1285 ac

DOUBLE-RING INFILTRATION TEST RESULTS:

INFILTRATION TESTING WAS PERFORMED BY KATHERINE HEED AND PROVIDED TO GUY ENGINEERING.
TEST PIT TP-1:
SURFACE ELEVATION = 441.00
DEPTH = 48"
TEST ELEVATION = 437.00
INFILTRATION RATE = 2.50 IN/HR
TEST PIT TP-2:
SURFACE ELEVATION = 441.00
DEPTH = 48"
TEST ELEVATION = 437.00
INFILTRATION RATE = 6.99 IN/HR
MEASURED AVERAGE INFILTRATION RATE = 4.74 IN/HR
DESIGN INFILTRATION RATE = 2.37 IN/HR

EXISTING SOILS ON SITE:

- GdB: Gladstone Gravelly Loam, 3 - 8% slopes, HSG "B"
- GdC: Gladstone Gravelly Loam, 8 - 15% slopes, HSG "B"
- UrCB: Urban Land - Callion Complex, 0 - 8% slopes, HSG "B" (assumed)
- Ur1B: Urban Land - Gladstone Complex, 0 - 8% slopes, HSG "B" (assumed)

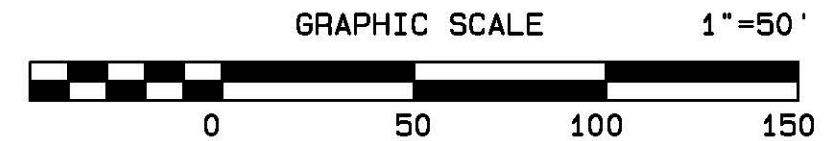
LEGEND

- EX. PROPERTY LINE
- ADJACENT PROPERTY LINE
- EX. ROAD R.O.W.
- EX. TITLE LINE
- EX. PAVEMENT
- EX. BUILDING
- EX. TREE
- EX. DEAD TREE TO BE REMOVED
- EX. SANITARY SEWER
- EX. GAS LINE
- EX. CONTOUR

- PROP. LOT LINE
- PROP. DRIVEWAY
- PROP. DRIVEWAY EASEMENT
- PROP. PULL-OFF AREA
- PERMEABLE PAVERS
- PROP. SANITARY LATERAL EASEMENT
- PROP. TRIMMED VEGETATION
- PROP. BUILDING
- PROP. CONTOUR
- PROP. SANITARY LATERAL
- PROP. TREE
- PROP. DRAINAGE PIPE
- INFILTRATION TEST LOCATION
- PROP. CRUSHED STONE
- INFILTRATION BED
- PROP. STORMWATER DISTRIBUTION PIPE
- PROP. DRAINAGE AREA BOUNDARY
- PROP. TRM

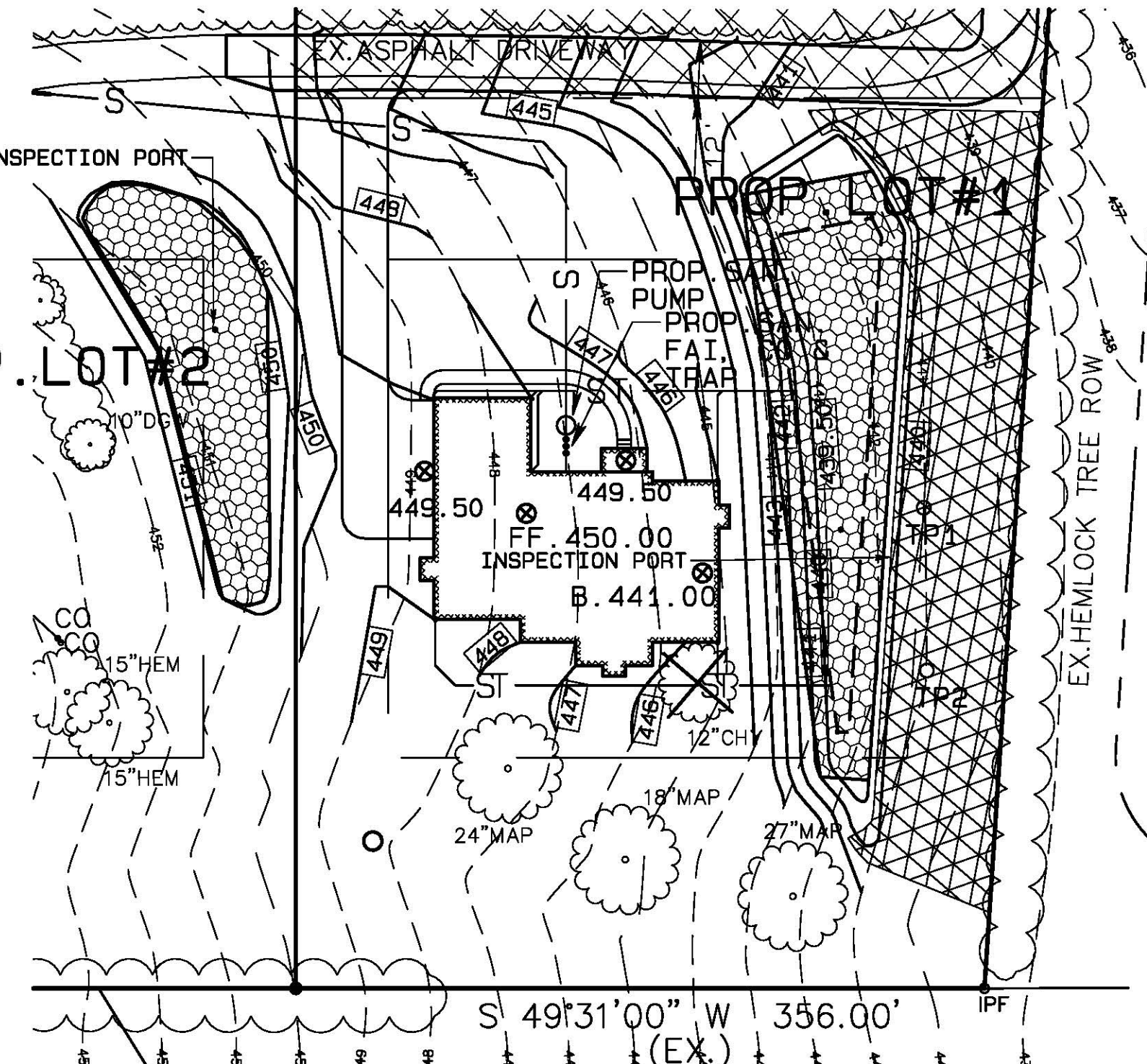
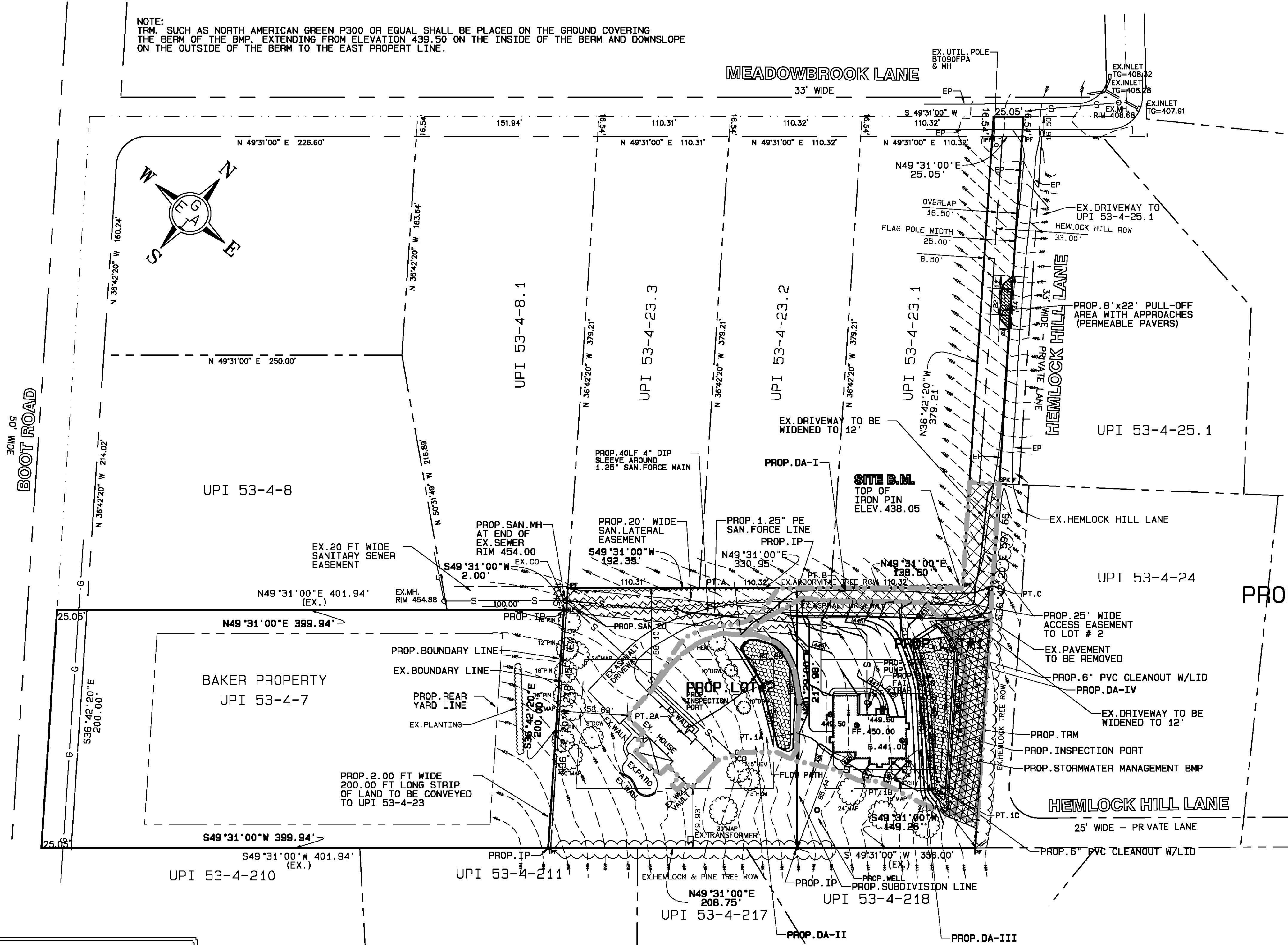
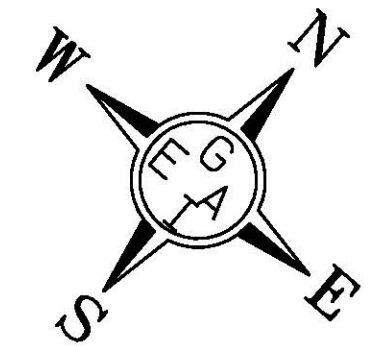
PROPERTY OWNER:

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DEED RECORDED: DB.5051, PG.2296
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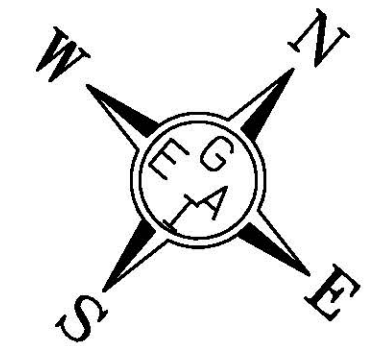
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BOOT ROAD
50' WIDE

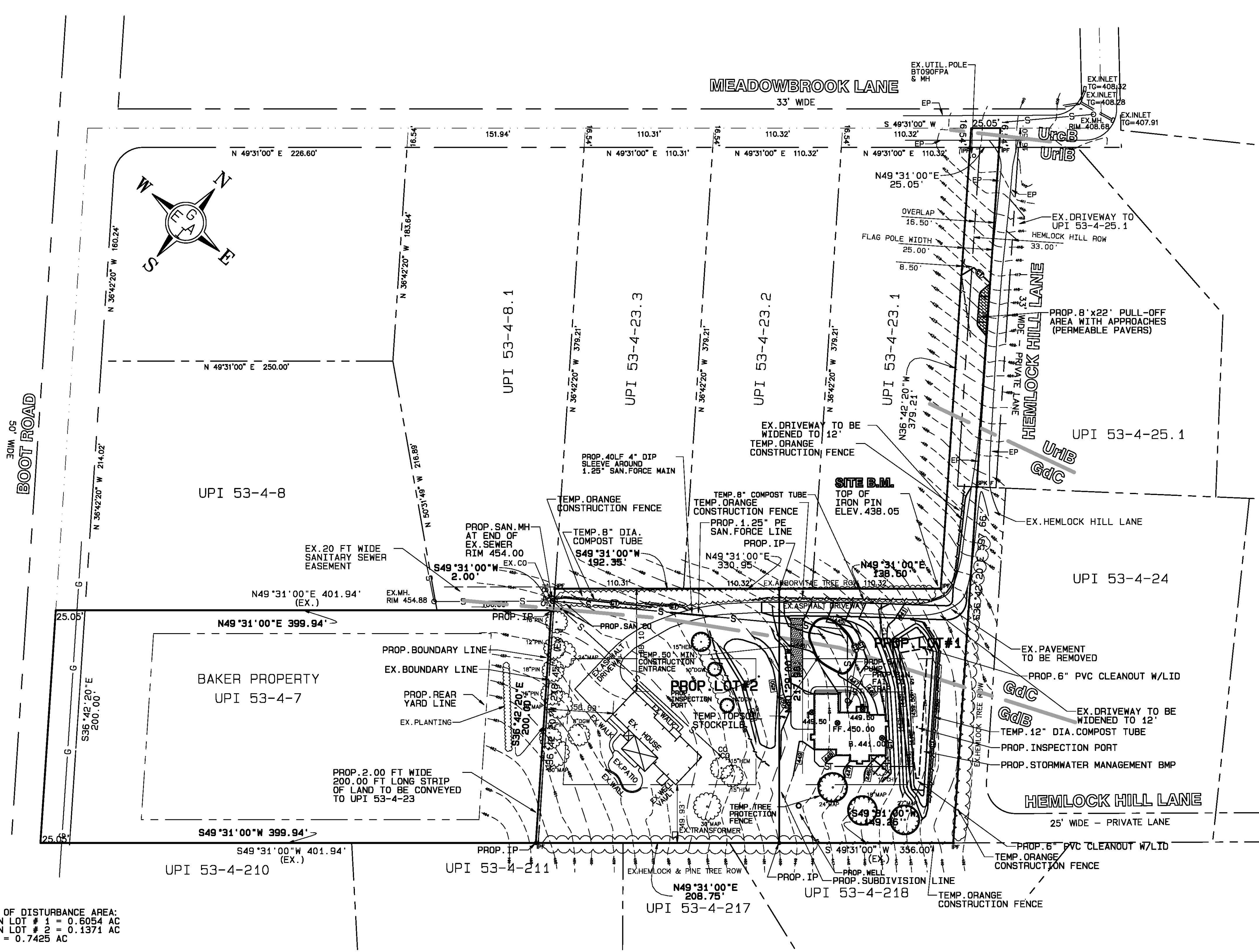


PROP. SITE IMPROVEMENTS
SCALE: 1"=30'

MEADOWBROOK LANE
33' WIDE



BOOT ROAD
50' WIDE



LIMIT OF DISTURBANCE AREA:
WITHIN LOT # 1 = 0.6054 AC
WITHIN LOT # 2 = 0.1371 AC
TOTAL = 0.7425 AC

COMPOST TUBE NOTE:
COMPOST TUBES TO BE PLACED DOWNSLOPE OF CONSTRUCTION ACTIVITIES ON SITE SHALL BE 8" DIA., EXCEPT ALONG THE EAST PROPERTY LINE OF LOT 1, WHERE THE COMPOST TUBE SHALL BE 12" DIA.

EXISTING SOILS ON SITE:
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GdC: Gladstone Gravelly Loam, 8 - 15% slopes, HSG "B"
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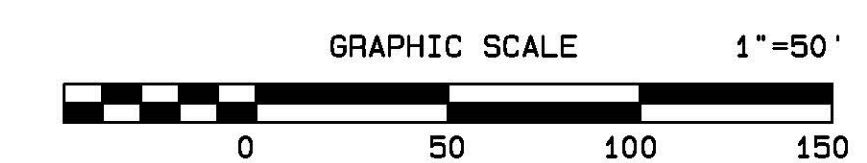
LOD NOTE:
FOR LIMIT OF DISTURBANCE DELINEATION SEE SHEET 8.

LEGEND

- EX. PROPERTY LINE
- ADJACENT PROPERTY LINE
- EX. ROAD R.O.W.
- EX. TITLE LINE
- EX. PAVEMENT
- EX. BUILDING
- EX. TREE
- EX. DEAD TREE TO BE REMOVED
- EX. SANITARY SEWER
- EX. GAS LINE
- EX. CONTOUR
- SOILS BOUNDARY

- PROP. LOT LINE
- PROP. DRIVEWAY
- PROP. PULL-OFF AREA
- PERMEABLE PAVERS
- PROP. BUILDING
- PROP. TRIMMED VEGETATION
- PROP. CONTOUR
- PROP. SANITARY LATERAL
- PROP. TREE
- PROP. DRAINAGE PIPE
- TEMP. CONSTRUCTION ENTRANCE
- TEMP. TREE PROTECTION FENCE
- TEMP. CONSTRUCTION ORANGE FENCE
- TEMP. COMPOST TUBE
- TEMP. LIMIT OF DISTURBANCE

PROPERTY OWNER:
STEPHEN & DENISE LEGENSTEIN
DEED RECORDED: DB.5051, PG.2296
TMP # 53-4-23



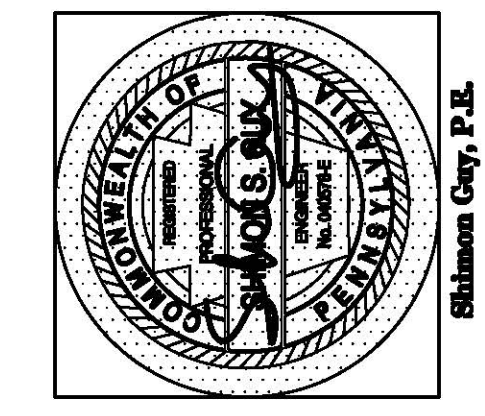
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CONSTRUCTION SEQUENCE:

1. INSTALL ORANGE CONSTRUCTION FENCE AND COMPOST TUBES WHERE INDICATED ON THE PLAN, INCLUDING AROUND AREAS OF FUTURE STORMWATER BMP'S.
2. DELINEATE AND MARK THE LIMIT OF DISTURBANCE IN THE FIELD.
3. INSTALL CRUSHED STONE CONSTRUCTION ENTRANCE.
4. STRIP TOPSOIL AND STOCKPILE WHERE INDICATED ON THE PLAN. SURROUND STOCKPILE WITH COMPOST TUBES.
5. CONSTRUCT HOUSE AND DRIVEWAY BASE COURSE. INSTALL ROOF DRAIN PIPES TOWARD FUTURE STORMWATER BMP.
6. INSTALL SANITARY MANHOLE AT THE END OF THE EXISTING SANITARY SEWER AT CORNER OF UPI 53-4-7 AND UPI 53-4-8.1 ANY AND ALL DISTURBANCE IN ADJACENT PROPERTIES SHALL BE RESTRICTED TO WITHIN THE SANITARY SEWER EASEMENT OF EAST GOSHEN TOWNSHIP. CONNECT LOT # 2'S LATERAL TO THE NEW MANHOLE.
7. INSTALL SANITARY SEWER FORCE LINE AND CONNECT TO MANHOLE.
8. DIG AND INSTALL WATER WELL.
9. FINE GRADE SITE.
10. PLANT BUFFER TREES AND SHRUBS. PLANT OTHER TREES AND SHRUBS PER PLAN.
11. REMOVE EXISTING JOINT DRIVEWAY WHERE SHOWN ON THE PLAN, GRADE AND INSTALL NEW DRIVEWAY.
12. INSTALL PERMEABLE PAVERS PULL-OFF AREA ALONG DRIVEWAY.
13. SPREAD TOPSOIL IN AREAS TO BE VEGETATED. PLANT, SEED AND MULCH WHERE NECESSARY.
14. REMOVE CRUSHED STONE ENTRANCE FROM PROPOSED DRIVEWAY AREA.
15. INSTALL NEW DRIVEWAY. REPAIR EXISTING DRIVEWAY. REPAVE WHERE NECESSARY.
16. EXCAVATE AND INSTALL STORMWATER BMP IN LOT#2. FINE GRADE AND SEED TO STABILIZE DISTURBED AREA.
17. AFTER THE CONTRIBUTING UPSLOPE AREA HAS STABILIZED, EXCAVATE AND INSTALL STORMWATER MANAGEMENT BMP IN LOT#1. CONNECT ROOF DRAIN PIPES TO PERFORATED PIPES IN BMP.
18. INSTALL TOPSOIL IN AREAS TO BE VEGETATED. PLANT, SEED AND MULCH WHERE NECESSARY.
19. AFTER THE ENTIRE DISTURBED AREA HAS BEEN STABILIZED, REMOVE ALL TEMPORARY EGS MEASURES. ANY AREA THAT IS DISTURBED DURING SUCH OPERATIONS SHALL BE REPAIRED AND STABILIZED IMMEDIATELY.

EROSION & SEDIMENTATION CONTROL NOTES:

1. Erosion and sedimentation controls must be constructed, stabilized and functional before site disturbance within the tributary areas of these controls.
2. After the final site stabilization has been achieved, temporary erosion and sedimentation controls must be removed. Areas disturbed during removal of the controls must be stabilized immediately.
3. Sediment traps must be protected from unauthorized acts of third parties.
4. Filter compost tubes must be installed at level grade. Both ends of each tube section must extend at least ten feet upslope at 45 degrees to the main tube alignment.
5. Sediment must be removed when accumulations reach half the above ground height of the tube.
6. Any tube section which has been undermined or topped must be immediately replaced or strengthened with additional tubes.
7. Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2:1 or flatter.
8. Any disturbed area, on which activity has ceased, and which will remain exposed must be stabilized immediately. During non-germinating periods, mulch must be applied at the recommended rates. Disturbed areas which are not at finished grade and which will be redisturbed within one year, may be stabilized in accordance with temporary seeding specifications. Disturbed areas which are either at finished grade or will not be disturbed in one year, must be stabilized in accordance with permanent seeding specifications.
9. Diversions, channels, sedimentation basins, sedimentation traps and stockpiles must be stabilized immediately.
10. Hay or straw mulch must be applied at rates of at least 3.0 tons per acre.
11. Until the site is stabilized, all erosion and sedimentation controls must be maintained properly. Maintenance must include inspections of all erosion and sedimentation controls after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, mulching, and renetting, must be performed immediately.
12. The stormwater management BMP in Lot#2 shall be protected from disturbance and pollution during the construction of Lot#1. When, in the future, Lot#2 is developed, EGS control measures shall be installed upslope of this BMP to protect it from erosion and sedimentation due to construction activities.
13. The contractor shall ensure no compaction of the bottom of the infiltration BMP's by excavating from outside of the BMP and by running light machinery only with the area of the BMP.



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3	SG	04/20/18	ENG REVIEW 3-16-18
4	SG	06/01/18	ENG REVIEW 5-16-18
5	SG	06/25/18	ENG REVIEW 6-22-18

Project: **PROPOSED RESIDENTIAL SUBDIVISION**
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380

Applicant: **EAST GOSHEN TOWNSHIP, COUNTY OF CHESTER, PA**

Applicant: **STEPHEN & DENISE LEGENSTEIN**
1506 MEADOWBROOK LANE
WEST CHESTER, PA 19380

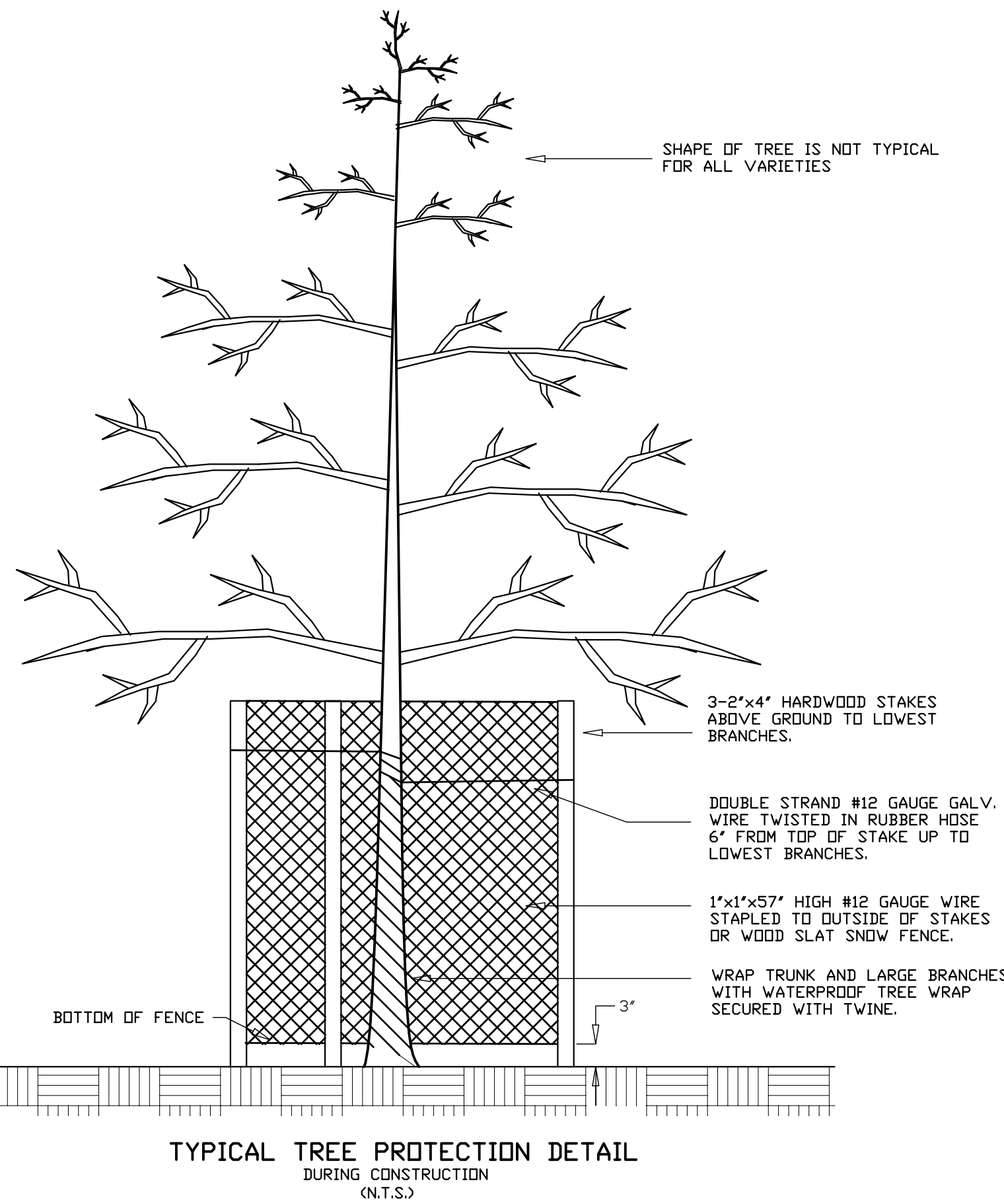
Plan Title: **PRELIMINARY / FINAL**
EROSION & SEDIMENTATION
POLLUTION CONTROL PLAN
LOT # 1

Guy Engineering Associates, Inc.
Consulting Engineers
3508 Goshen Road
Newtown Square, PA 19073
(610) 355-0862

Project File: SUBDIV 8-17-PRO
Scale: 1"=50'
Checked: S.G.
Drawn: S.G.
Date: 8/01/2017

SHEET

OF: 8

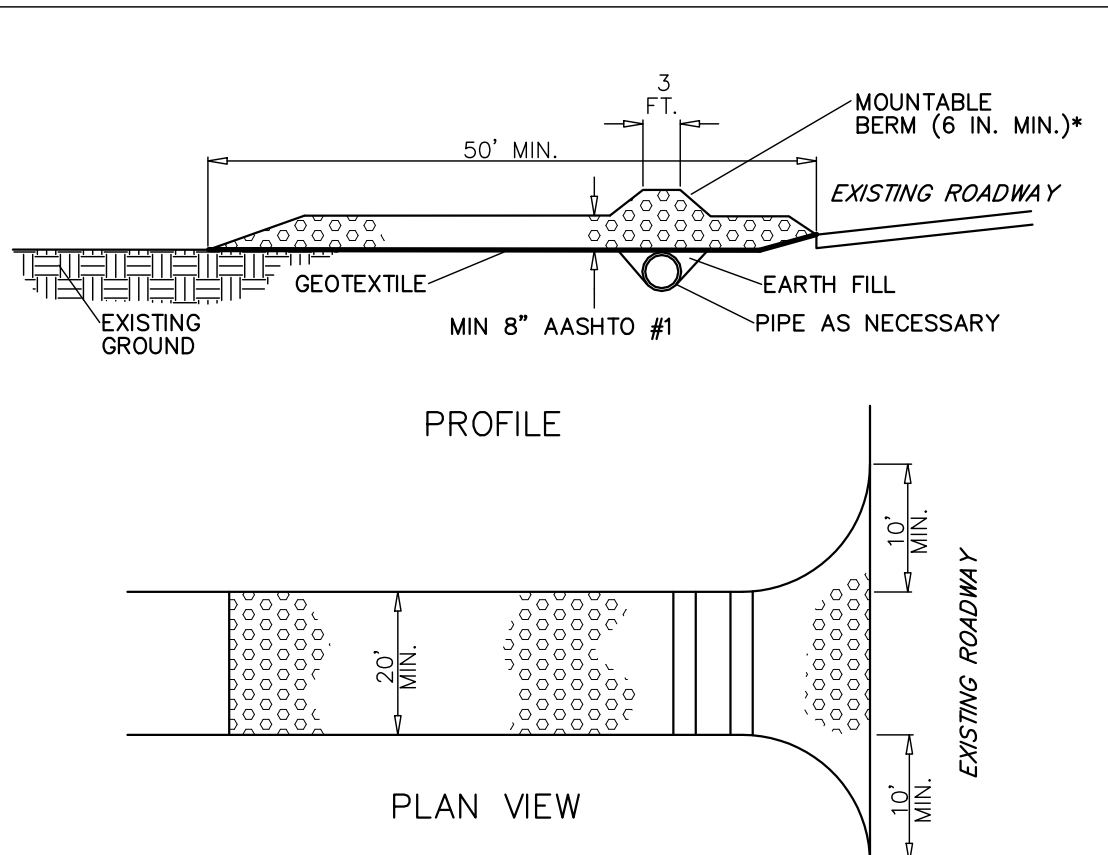
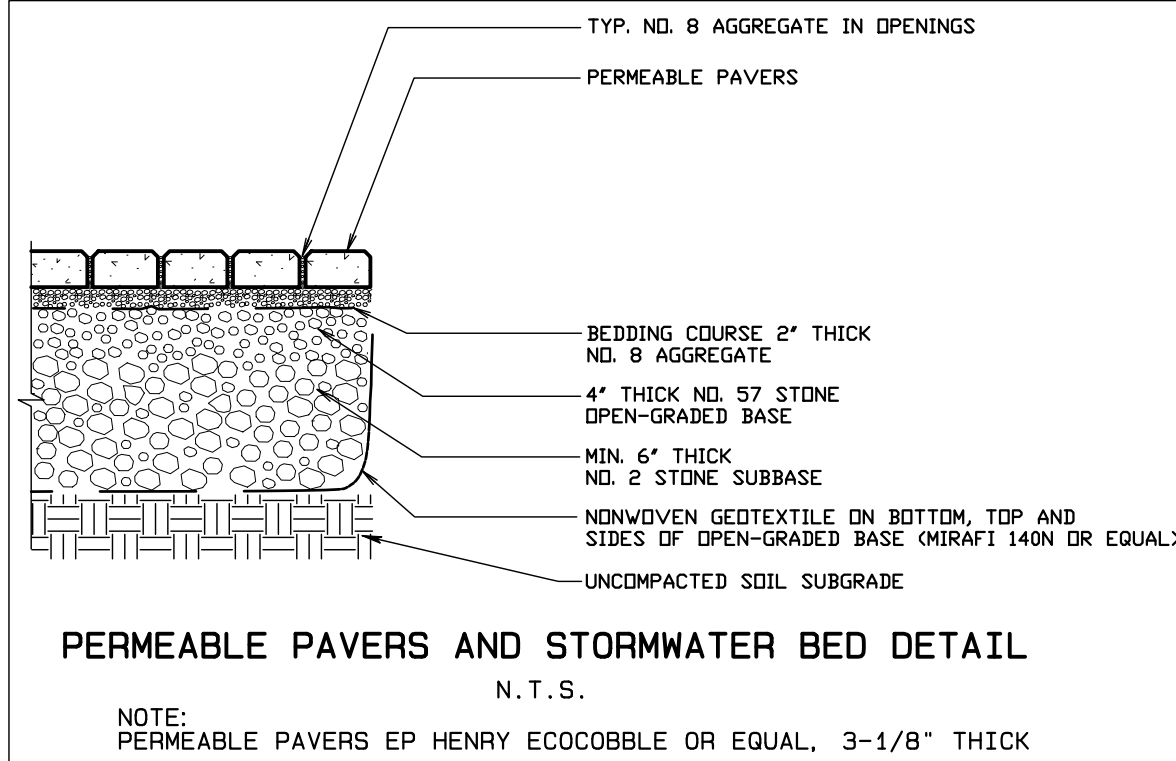


TEMPORARY SEEDING:
 LIME: 190 lbs/1000 sf
 Ground limestone incorporated 4 inches into soil.
 FERTILIZER: 25 lbs/1000 sf
 10-20-20 incorporated 4 inches into soil.
 SEED: 1.0 lbs/1000 sf
 Annual ryegrass
 140 lbs/1000 sf
 Straw mulch

Minimum Standard for Limestone and Fertilizer:
 Limestone shall be applied at a rate of 1 ton per acre.
 Fertilizer shall be applied at a rate of:
 Nitrate nitrogen 30 lbs/acre average
 Phosphorous 100 lbs/acre average
 Potassium 120 lbs/acre average

PERMANENT SEEDING:
 LIME: 190 lbs/1000 sf
 Ground limestone incorporated 4 inches into soil.
 FERTILIZER: 25 lbs/1000 sf
 10-20-20 incorporated 4 inches into soil.
 SEEDING:
 Lawn and mowed areas - Kentucky Bluegrass - 30 lbs/ac
 Restop - 3 lbs/ac
 Perennial Ryegrass - 20 lbs/ac
 Total Seeding = 53 lbs/ac
 OR
 Perennial-Fine Fescue - 40 lbs/ac
 Restop - 3 lbs/ac
 Perennial Ryegrass - 20 lbs/ac
 Total Seeding = 63 lbs/ac
 Slopes or unmowed areas - Crown Vetch - 25 lbs/ac
 Perennial Ryegrass - 25 lbs/ac
 Total Seeding = 50 lbs/ac

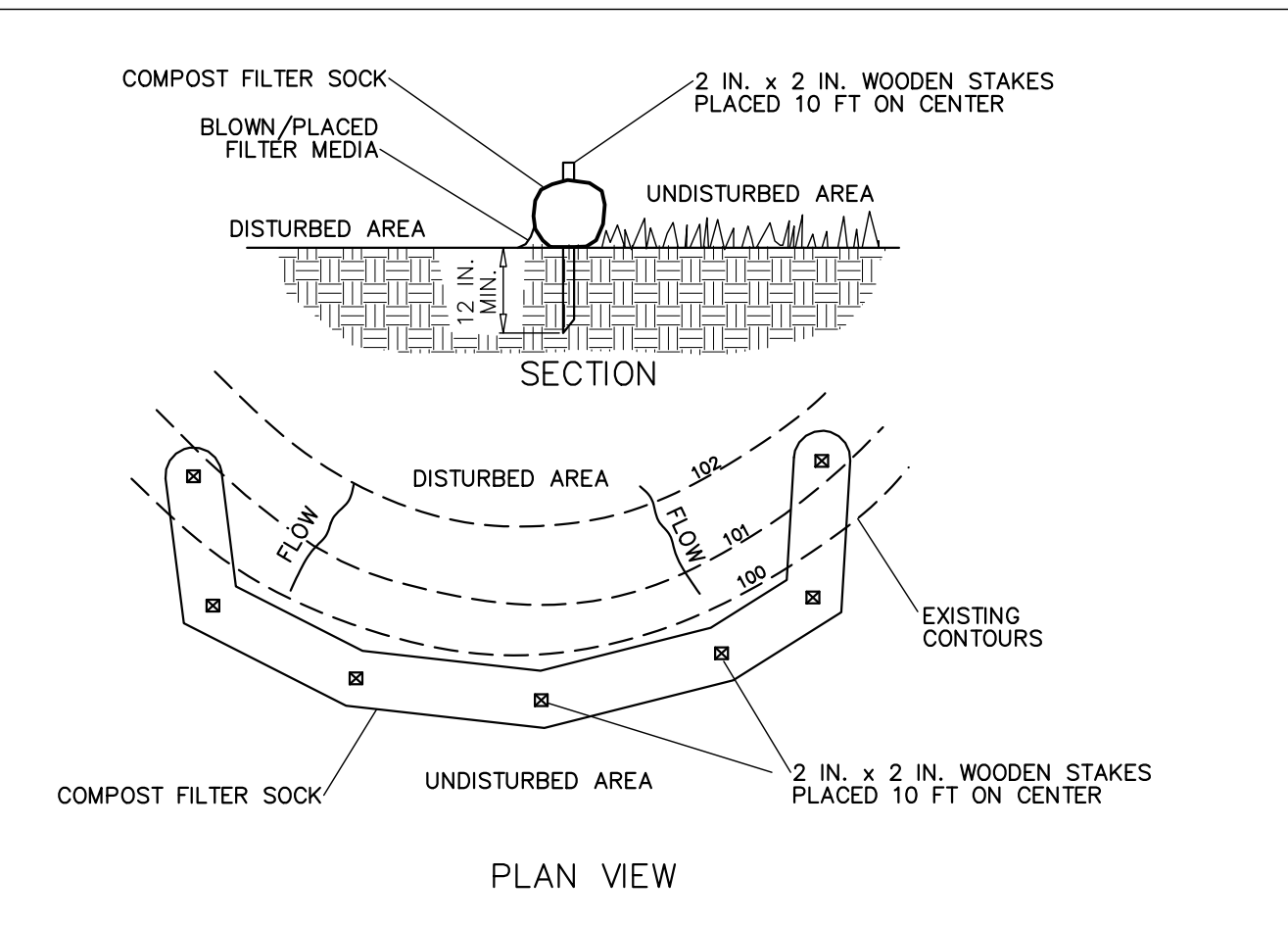
Planting date: March 1st to May 15th, and August 15th to October 1st.
 Mulch: Straw at a rate of 140 lbs/1000 sf. Mulch shall be secured by approved methods.



* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

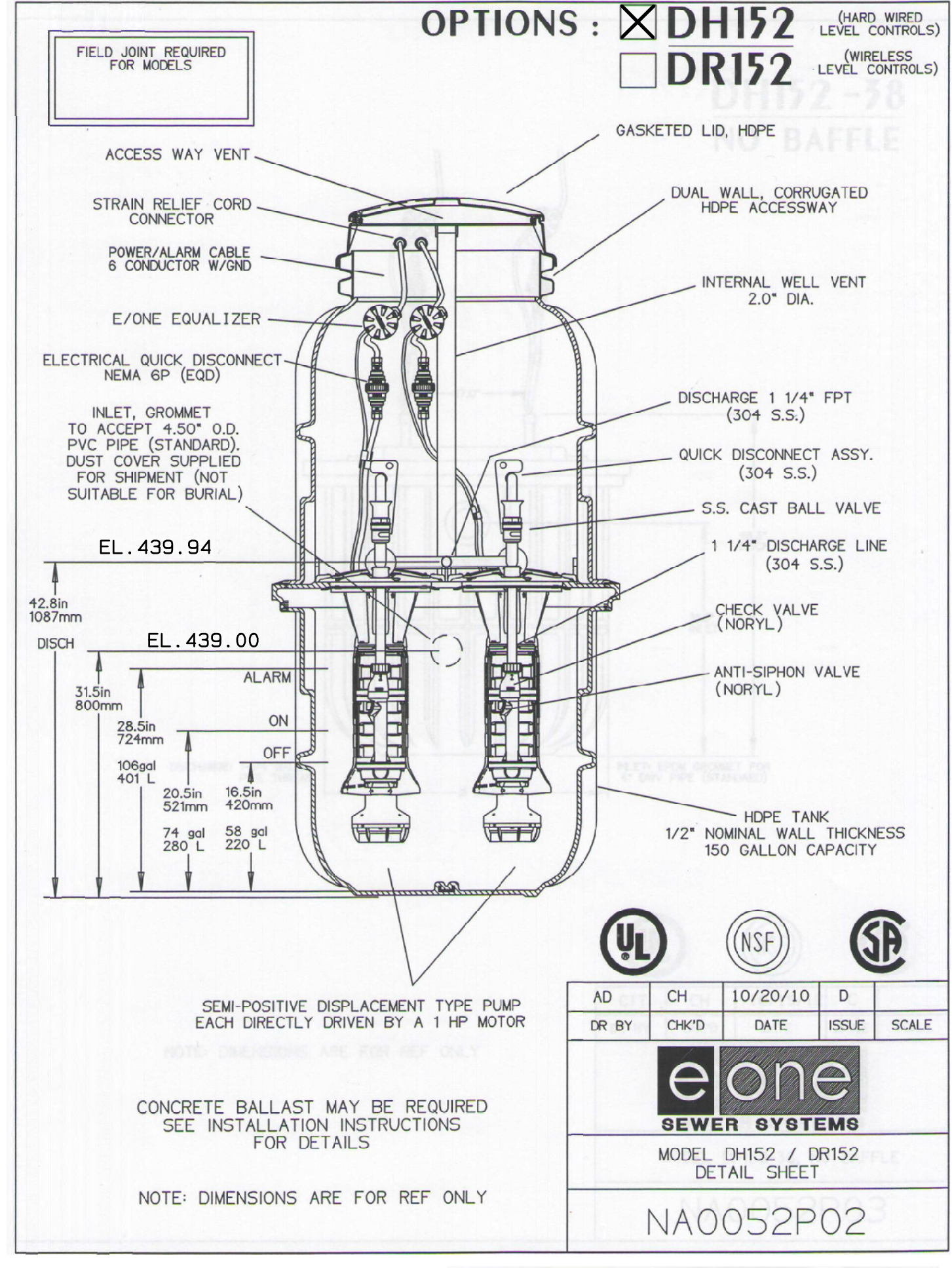
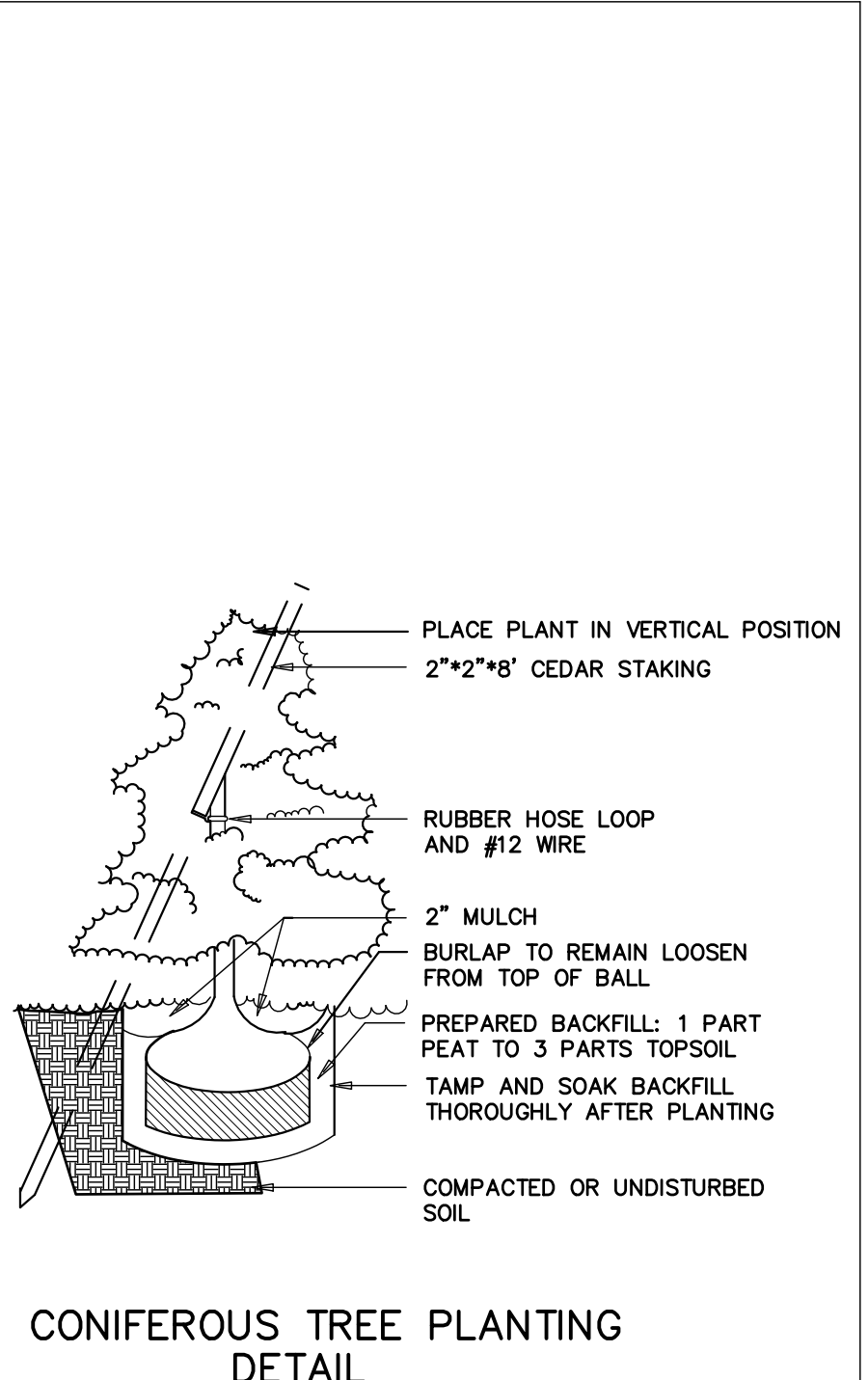
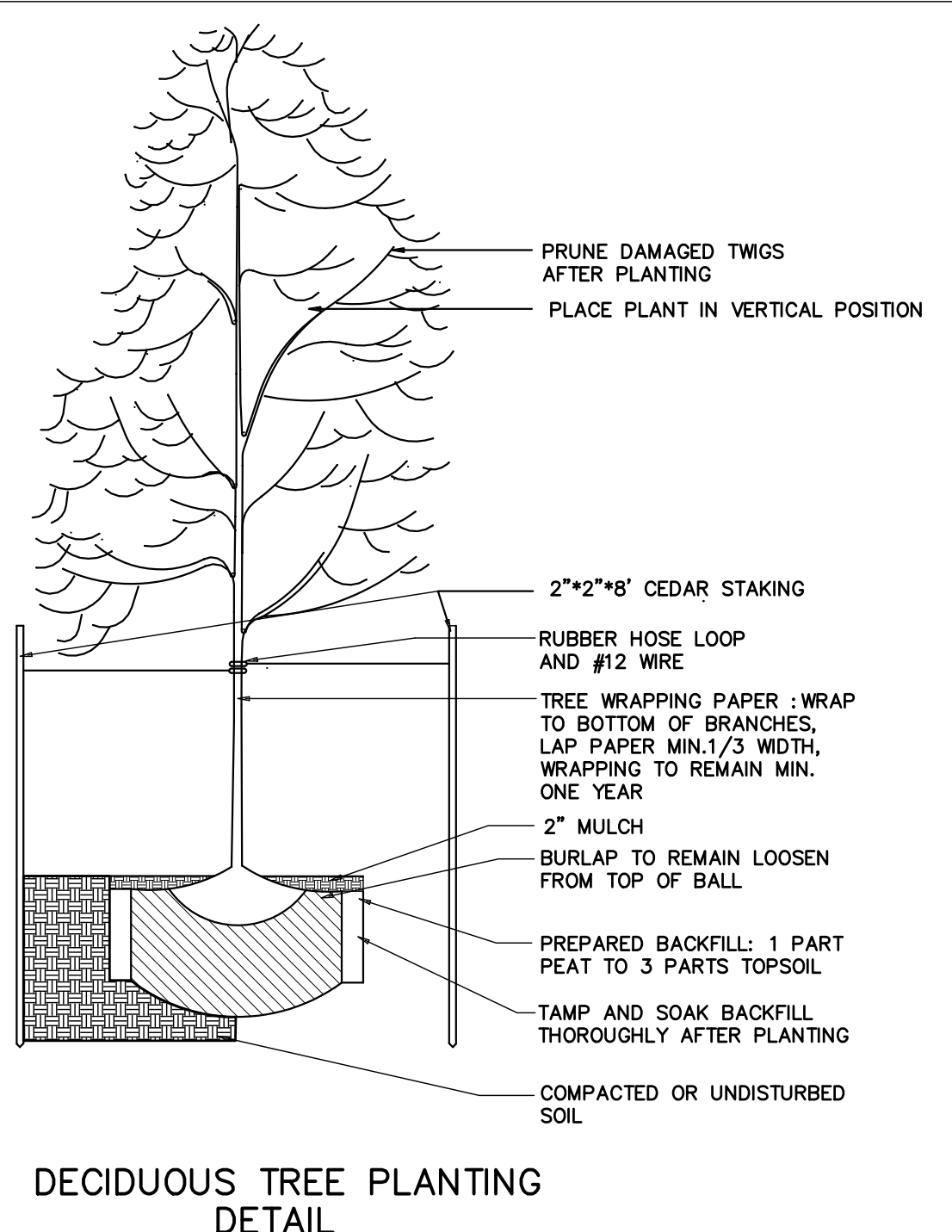
NOTES:
 REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
 MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL #3-1
 ROCK CONSTRUCTION ENTRANCE**
 NOT TO SCALE

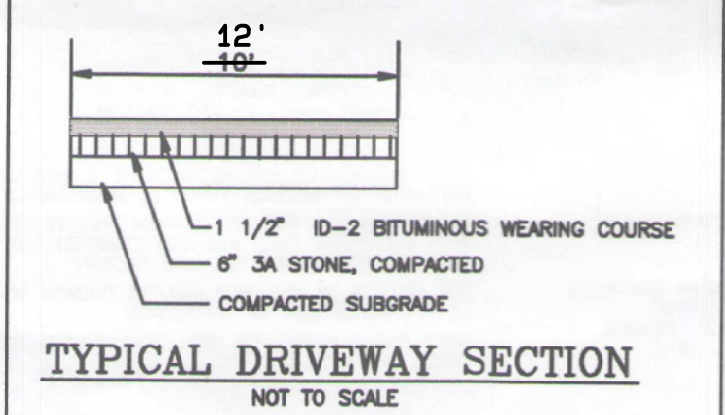


NOTES:
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

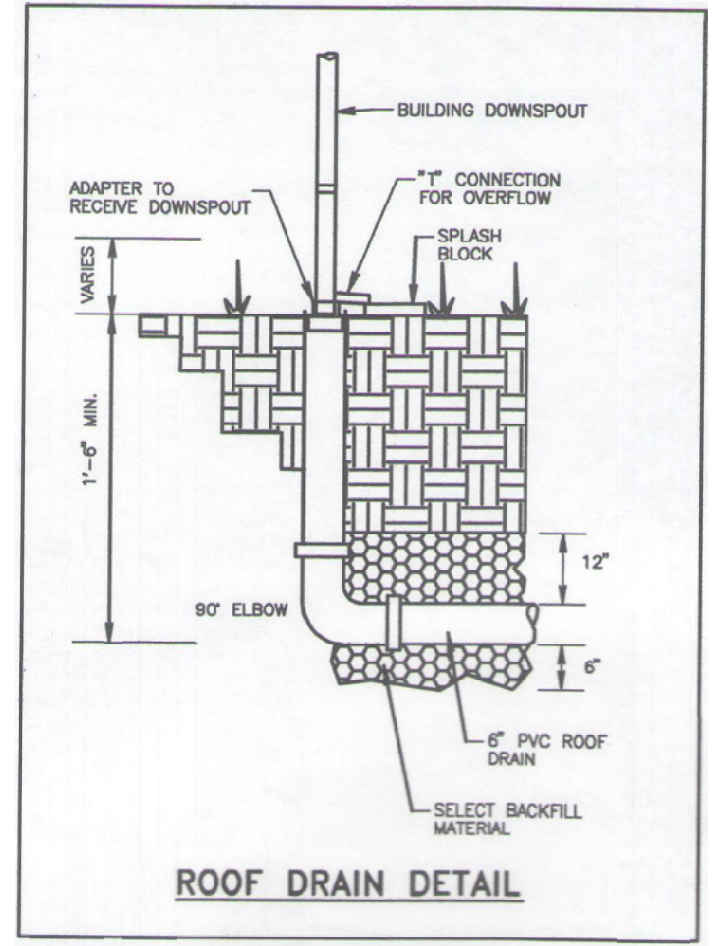
**STANDARD CONSTRUCTION DETAIL #4-1
 COMPOST FILTER SOCK**
 NOT TO SCALE



NOTE: PRIVATE DRIVEWAY WIDTH - 10 FT

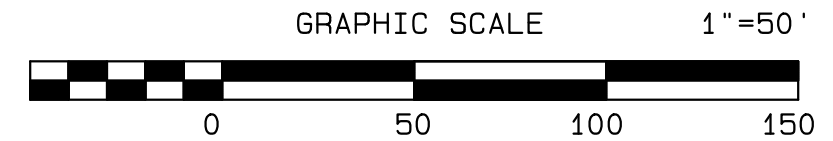


DRIVEWAY WIDENING DETAIL

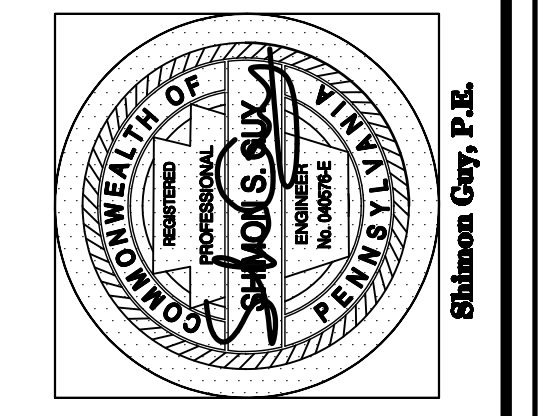


PROPERTY OWNER:

STEPHEN & DENISE LEGENSTEIN
 DEED RECORDED: DB.5051, PG.2296
 TMP # 53-4-23



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Project:
PROPOSED RESIDENTIAL SUBDIVISION
 1506 MEADOWBROOK LANE
 WEST CHESTER, PA 19380
 EAST COSHEN TOWNSHIP, COUNTY OF CHESTER, PA

Applicant:
STEPHEN & DENISE LEGENSTEIN
 1506 MEADOWBROOK LANE
 WEST CHESTER, PA 19380

Plan Title
 PRELIMINARY / FINAL
**CONSTRUCTION NOTES
 AND DETAILS PLAN**
 LOT # 1

Guy Engineering Associates, Inc.
 Consulting Engineers
 3508 Goshen Road
 Newtown Square, PA 19073
 (610) 355-0862

Project File:
 SUBDIV B-17-PRO

Scale: 1"=50'

Checked: S.G.

Drawn: S.G.

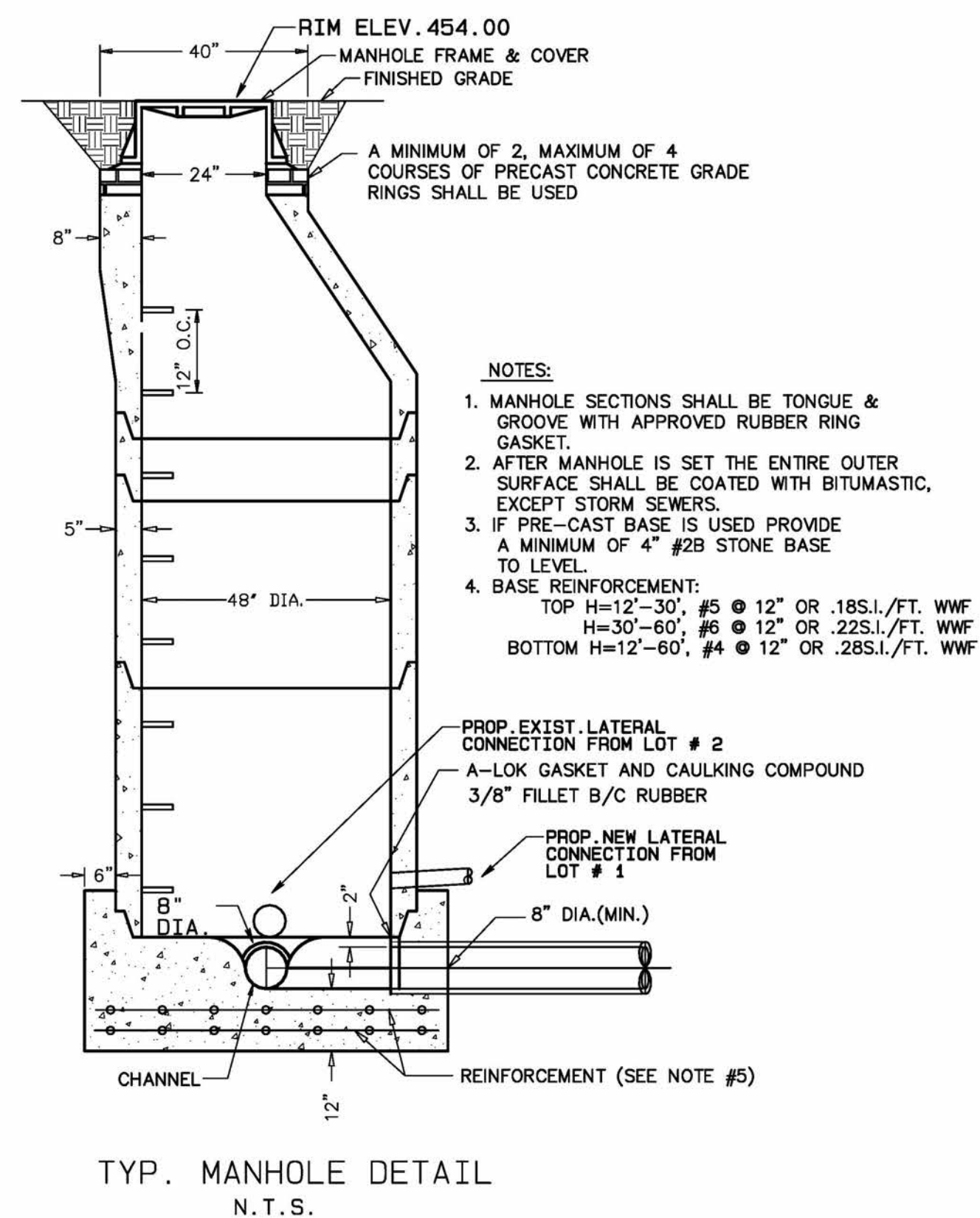
Date: 8/01/2017

SHEET

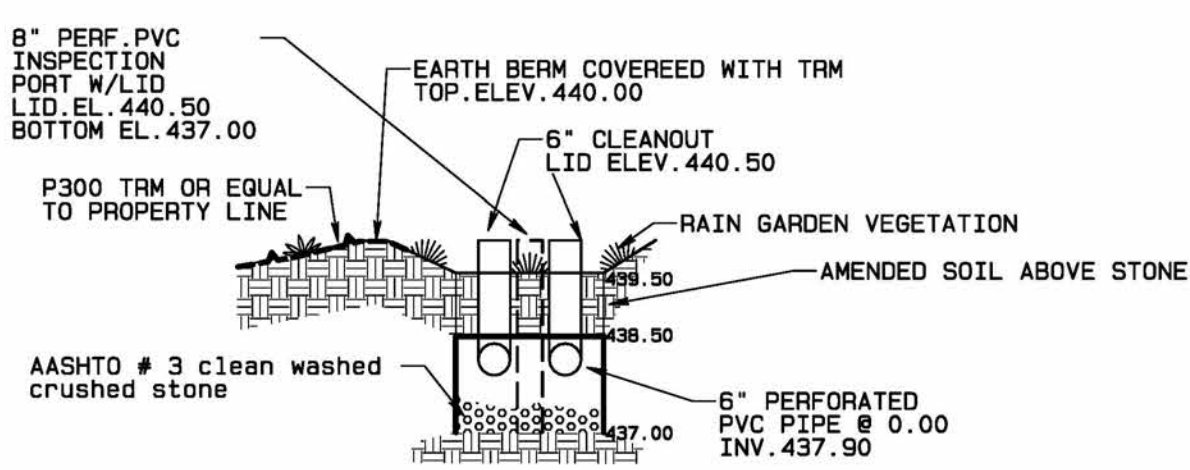
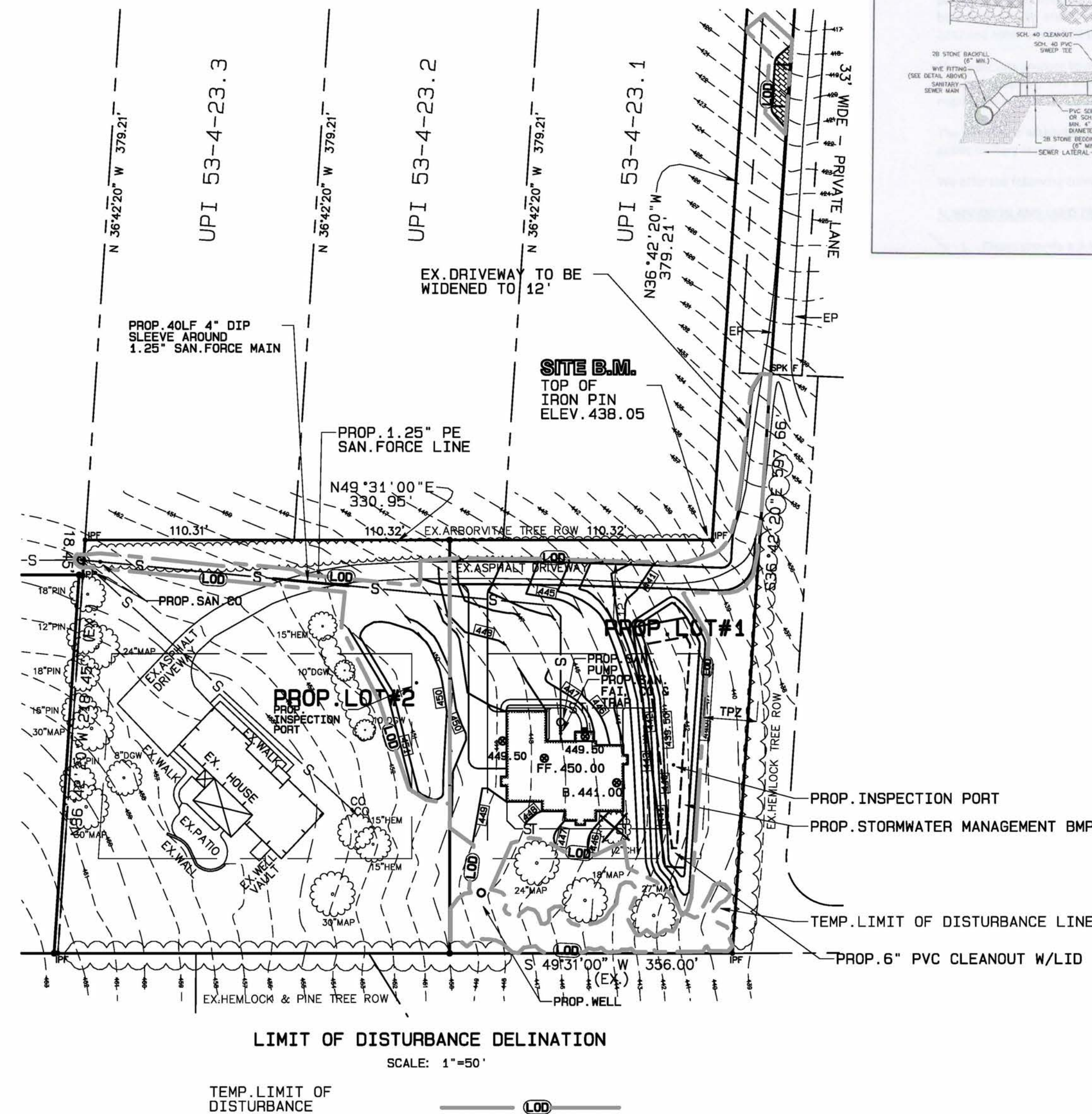
OF: 8

STORMWATER MANAGEMENT BMP OPERATION AND MAINTENANCE PROCEDURES:

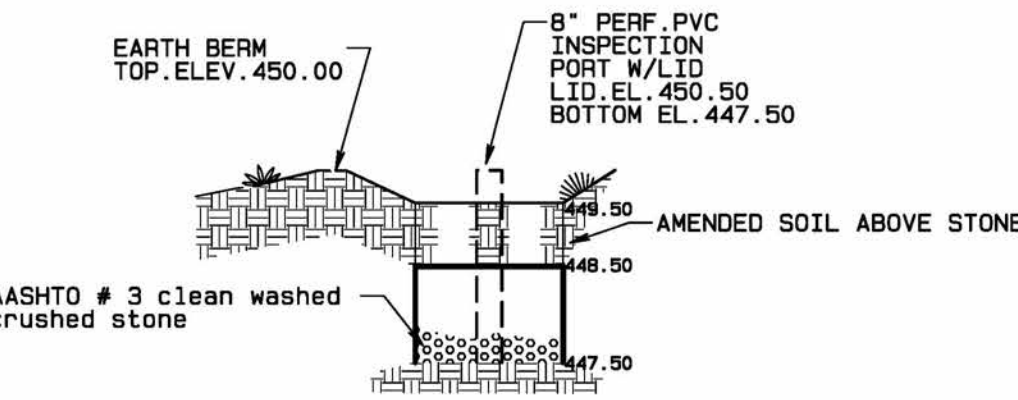
A. EARLY MAINTENANCE ACTIVITY	FREQUENCY
Water vegetation at the end of each day for 2 weeks after planting is completed	Daily for 2 weeks after installation
Water vegetation regularly to ensure successful establishment	Every 4 days during periods of 4 or more days without rain. June through August for the first year after installation
Inspect vegetation for signs of disease or distress	Biweekly for the first year after installation
Inspect BMP and inlet systems for trash and sediment accumulation	Monthly for the first year after installation to determine ongoing maintenance frequency
B. ONGOING MAINTENANCE ACTIVITY	FREQUENCY
Remulch void areas	As needed
Treat diseased plants	As needed
Keep incoming pipes and rain garden free and clear of leaves	As needed
Inspect soil and repair eroded areas	Monthly
Remove leaves, litter and debris	Monthly
Inspect plants to evaluate health, replace if necessary	Quarterly
Inspect cleanouts and water elevation in inspection port	Quarterly
Add additional mulch	Quarterly
Evaluate the draindown time of the BMP after a storm of at least 1 inch in no more than 24 hours to ensure a draindown time of less than 72 hours	Ongoing
Maintain records of all inspections and maintenance activity	Ongoing



- NOTES:
- THE MANHOLE SHALL BE INSTALLED AT THE END OF THE EXISTING SANITARY SEWER AND WILL REPLACE THE EXISTING CLEANOUT.
 - THE INVERT ELEVATION OF THE MANHOLE OUTLET SHALL MATCH THE EXISTING INVERT ELEVATION OF THE EXISTING SEWER.
 - THE SANITARY SEWER LATERAL OF THE EXISTING HOUSE IN LOT # 2 SHALL BE DIRECTED TO ENTER THE MANHOLE ABOVE THE OUTLET INVERT ELEVATION.
 - THE 1.25" DISCHARGE PIPE FROM THE GRINDER PUMP IN LOT # 1 WILL BE CONNECTED TO THE MANHOLE 8" ABOVE THE OUTLET INVERT ELEVATION.
 - ALL CONNECTIONS INTO THE MANHOLE SHALL BE SEALED WITH AN A-LOK GASKET.
 - THE MANHOLE STEPS SHALL BE 12" OC AND SHALL BE COATED-POLYPROPYLENE PLASTIC.
 - THE MANHOLE FRAME AND COVER SHALL BE HEAVY DUTY TRAFFIC TYPE CAST IRON LABELED "EAST GOSHEN MUNICIPAL AUTHORITY SANITARY SEWER".
 - THE MANHOLE LID SHALL BE WATERTIGHT WITH CLOSED PICKHOLES AND BOLTED TO THE FRAME.
 - INCOMING PIPES INTO THE MANHOLE SHALL BE PLACED AT THE BOTTOM ELEVATION OF THE MANHOLE AND CHANNELS SHALL BE FORMED IN THE CONCRETE FLOOR OF THE MANHOLE BETWEEN THE INFLUENT AND EFFLUENT PIPES.

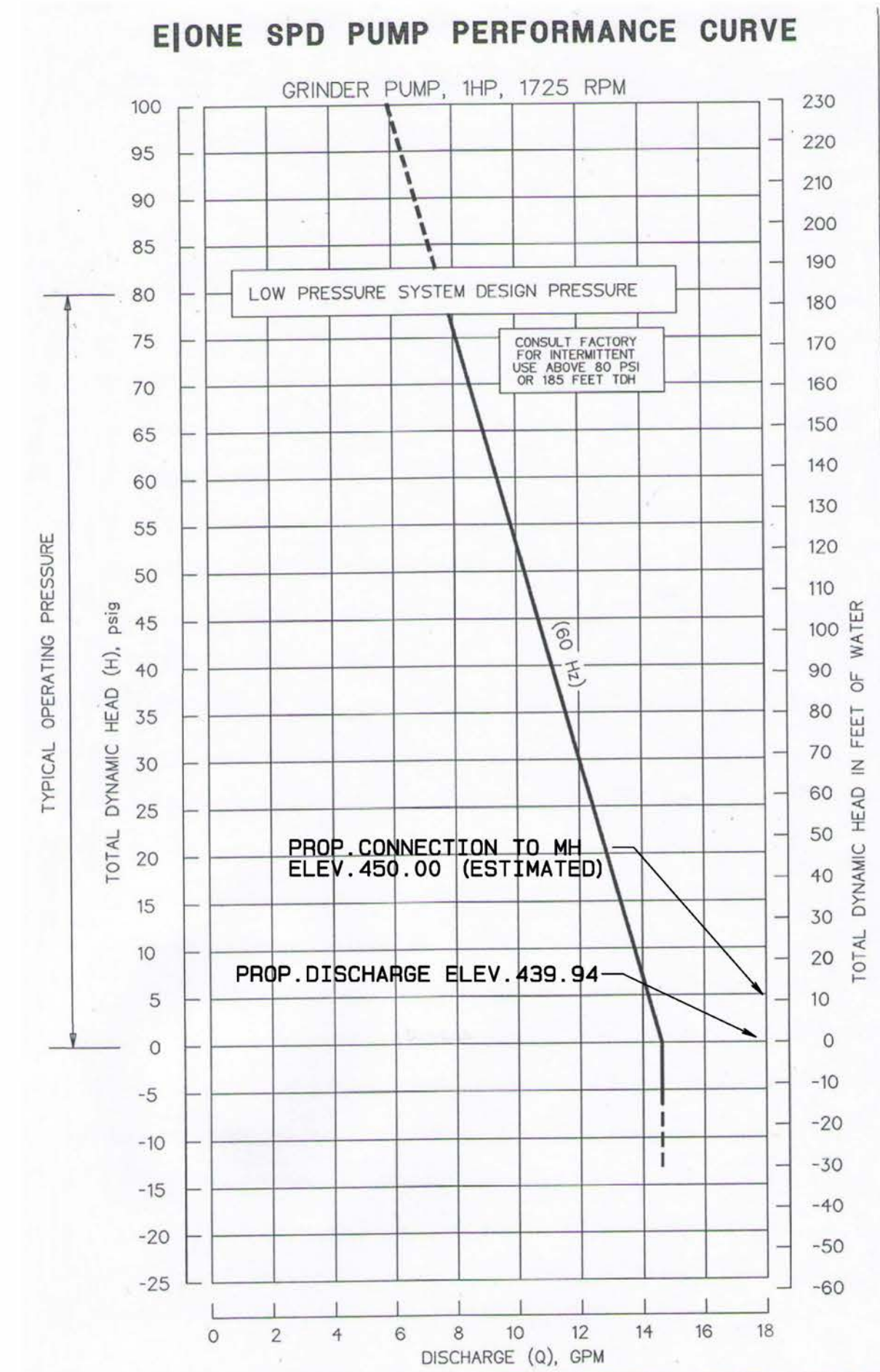
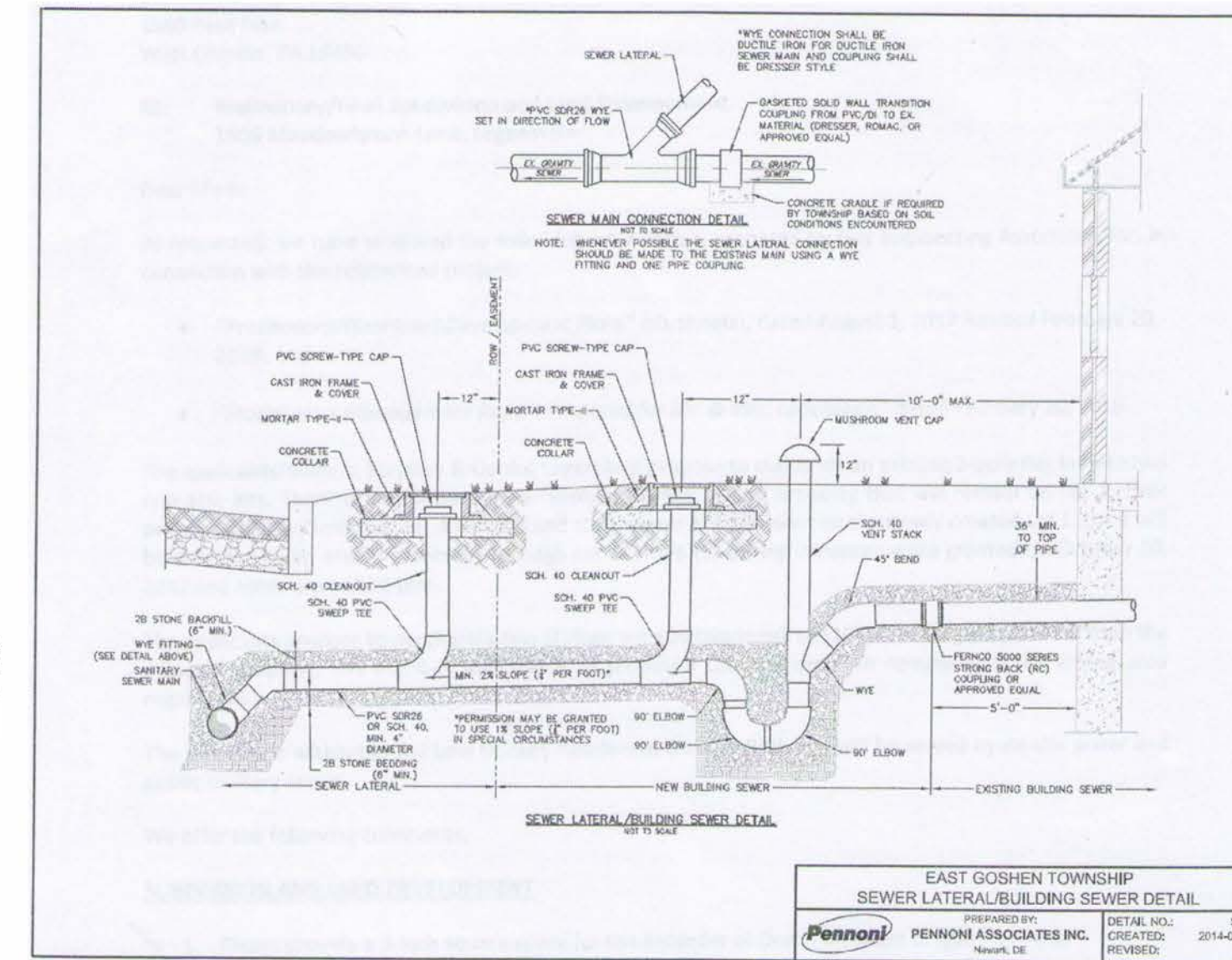


- NOTES:
- The crushed stone bed shall be wrapped on top and sides with non-woven drainage fabric, such as Mirafix 140N, on approved equal.
 - Excavation for the infiltration BMP shall be performed with equipment that will not compact the bottom of the facility.
 - The bottom of the BMP shall be scarified prior to placement of fabric and aggregate.
 - Only clean aggregate with documented porosity, free of fines, shall be allowed.
 - The contractor shall contact the Township to have the construction of the infiltration BMP inspected. Inspection of the BMP must start prior to placement of stone.
 - Amended soil above the crushed stone shall consist of: 50% sand, 25% compost and 25% topsoil without clay.

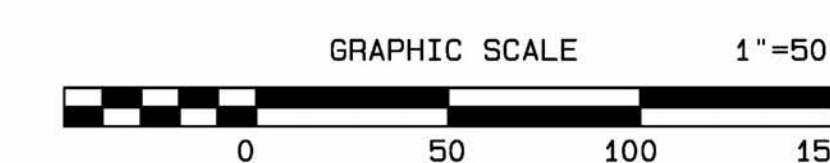


- NOTES:
- Upon completion of the development of Lot # 2 the rain garden in Lot # 2 shall be planted as specified for Lot # 1. OSM procedures shall be as specified for Lot # 1.

- NOTES:
- The crushed stone bed shall be wrapped on top and sides with non-woven drainage fabric, such as Mirafix 140N, on approved equal.
 - Excavation for the infiltration BMP shall be performed with equipment that will not compact the bottom of the facility.
 - The bottom of the BMP shall be scarified prior to placement of fabric and aggregate.
 - Only clean aggregate with documented porosity, free of fines, shall be allowed.
 - The contractor shall contact the Township to have the construction of the infiltration BMP inspected. Inspection of the BMP must start prior to placement of stone.
 - Amended soil above the crushed stone shall consist of: 50% sand, 25% compost and 25% topsoil without clay.



PROPERTY OWNER:
STEPHEN & DENISE LEGENSTEIN
DEED RECORDED: DB.5051, PG.2296
TMP # 53-4-23



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PROPOSED RESIDENTIAL SUBDIVISION
1506 MEADOWBROOK LANE
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Applicant: **STEPHEN & DENISE LEGENSTEIN**
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Guy E. Engineering Associates, Inc.
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(610) 355-0862

Project File: SUBDIV 8-17-PRO
Scale: 1"=50'
Checked: S.G.
Drawn: S.G.
Date: 8/01/2017

CONSTRUCTION NOTES AND DETAILS PLAN LOT # 1
SHEET
OF: 8

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380


Voice: 610-692-7171

Fax: 610-692-8950

E-mail: mgordon@eastgoshen.org

Date: 7/17/2018

To: Board of Supervisors

From: Mark Gordon, Township Zoning Officer 

Re: Storm water Management Operation and Maintenance Agreement

Dear Board Members:

We have received a SWM O&M Agreement for authorization by the Board. The Applebrook Golf Club is going to extend their existing patio area on the north side of the Clubhouse and the project requires the installation of a storm water management BMP as a result of the proposed increase in impervious coverage.

The plan and calculations have been reviewed and approved by the township engineer.

100 Line Rd.— New patio area for Mixed Grill

Draft Motion:

I move that we authorize the Chairman to execute the storm water management operation and maintenance agreement for the Applebrook Golf Club Mixed Grill patio area.

July 27, 2018

To: Board of Supervisors

From: Mark Miller

Re: Overhead Door Replacement

The large overhead garage door (with the ramp) located at the Public Works Annex is broken and needs to be replaced. This is the only door we have to get our equipment in and out of the building. Note that the existing door is not being depreciated; therefore, this cost will be reflected as a new purchase, and the Capital Reserve Fund will need to be reimbursed with a transfer from the General Fund.

I have contacted three garage door contractors, and they all agree that the door is in disrepair and unsafe. I asked the three vendors to quote for a replacement door. Below are the prices. All three vendors say it is going to take a least 4 weeks to get the new door.

Nask Door Company	\$7,032.00
Smoker Door Company	\$7,165.00
Winfield Door Company	\$10,869.00

I recommend the contract be awarded to Nask Door Company in the amount of \$7,032.00

July 27, 2018

To: Board of Supervisors

From: Mark Miller

Re: Explorer Replacement

The 2007 Ford Explorer is scheduled to be replaced this year. It is fully depreciated with a replacement value of about \$27,000. The Township budgeted \$38,000.00 to replace the Explorer.

The old Explorer has 38,000 miles on it and still runs very well. We would like to keep that vehicle in the Township's fleet as a dedicated vehicle for Parks & Recreation to move materials and supplies from the Township building to the Park and other off-site locations (e.g. Glen Acres Elementary). The new Explorer would be shared by office staff for off-site travel.

I reached out to three vendors and received COSTAR pricing from two vendors:

Hondru Ford – Manheim PA

2018 Ford Explorer (Limited)	\$48,020.00
------------------------------	-------------

Hoskins Ford – Coatesville PA

2018 Ford Explorer (Limited)	\$35,850.00
------------------------------	-------------

I recommend that we award the purchase to Hoskins Ford in the amount of \$35,850.00

Memo

To: Board of Supervisors
From: Jon Altshul
Re: Copier replacement
Date: July 30, 2018

The lease on our existing copier expires next month. I have contacted three vendors for COSTAR/US Communities pricing for a replacement machine, as summarized below. All three vendors provided quotes for the same machine (Ricoh MPC 6004ex), which is the successor model to what we current have (C5503). This new machine runs slightly faster than the old machine (60 sheets per minute, rather than 55) and has some modern bells and whistles (e.g. drag and drop control screen), but otherwise has the same functionalities.

Vendor	Location	Cost per copy (B&W/Color)	Monthly Lease (60 months unless otherwise noted)	Estimated 5 year cost
Rothwell	West Chester	\$.006/\$.045	\$160	\$26,497
Centric	Malvern	\$.006/\$.05	\$132.51 (63 month lease)	\$26,193
KDI	Aston	\$.006/\$.04	\$155	\$24,853

Technically, Centric's lease price is the lowest, but because the price of printing (which reflects toner cartridges, parts and service calls) represents over half of the estimated five year cost, KDI had the lowest all-in cost. For perspective, on average, we print 13,322 black and white sheets and 4,482 color sheets per month.

We currently pay \$305/month for the lease, so any of these options would represent a substantial net savings.

Prior to 2013, we leased from KDI and we received excellent customer service, although that machine broke down often towards the end of its lease. Rothwell is our current vendor and they have done a fantastic job servicing our account. We have never used Centric. Given the fact that the prices came in so close, I would recommend that we stay with Rothwell.

Recommended motion: Mr. Chairman, I move that we enter into a lease agreement for a Ricoh/Lanier MPC6004ex copier from Rothwell Document Solutions in the amount of \$160 per month.

July 27, 2018

To: Board of Supervisors

From: Mark Miller

Re: Truck Replacement

We are scheduled to replace a 2011 F350, which was purchased in 2010. This is the same truck that the Fire Company wanted us to donate to them. However, the Board indicated that it would sell the vehicle to the Fire Company, but not donate it.

About \$38,000 has depreciated on this vehicle. However, it has had several transmission and engine issues recently. The vehicle has 92,000 miles on it, which is consistent with the mileage on a 10 year-old truck. Accordingly, I would recommend replacing it now to avoid higher maintenance costs over the next two years.

\$45,000.00 was budgeted for this purpose in this year's Capital Reserve Fund. I reached out to three COSTAR vendors and received pricing from two of them:

Hondru Ford – Manheim PA

Purchase Price	\$48,815.00
Trade allowance	\$16,500.00
Snow Plow	\$ 6,350.00
Lighting	\$ 4,500.00
Total Cost	\$43,165.00

Hoskins Ford – Coatesville PA

Purchase Price	\$49,920.00
Trade Allowance	\$21,500.00
Snow Plow	\$ 6,350.00
Lighting	\$ 4,500.00
Total Cost	\$39,270.00

Recommended motion: Mr. Chairman, I move that we purchase the 2019 Ford F350 from Hoskins Ford, provided that we first offer the old 2011 F350 to the Goshen Fire Company for \$21,500. If the Fire Company purchases the vehicle for \$21,000, then the price of the 2019 F350, without trade-in, would be \$70,270. If the Fire Company does not purchase the vehicle, then the price, with trade in, would be \$39,270.

BOARD OF SUPERVISORS
EAST GOSHEN TOWNSHIP
CHESTER COUNTY
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

FYI

July 24, 2018

Dear Property Owner:

The purpose of this letter is to inform you that East Goshen Township has received a Conditional Use application for 1339 E. Strasburg Rd. West Chester PA 19380. The property owner, Peter Lloyd, is seeking approval to operate a scuba supply business as a Home Occupation. The property contains a single family home and is situated in the R-2 Zoning District of East Goshen Township. Home Occupations are permitted in single family homes within the R-2 Zoning District as a conditional use.

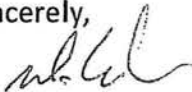
Pursuant to Township policy, property owners within 1000 feet of the subject property are notified when conditional use applications are received. **The meeting dates for this matter are listed below and subject to change without further written notice:**

August 1, 2018 – Planning Commission (7:00 PM)

September 4, 2018 – Board of Supervisors (7:00 PM – Conditional Use Hearing)

These meetings will be held at the Township Administration Building and will be open to the public. The Application is available for review at the Township building during normal business hours. If any person who wishes to attend the hearing has a disability and/or requires an auxiliary aid, service or other accommodation to observe or participate in the proceedings, he or she should contact East Goshen Township at 610-692-7171 to discuss how those needs may be accommodated.

Sincerely,



Mark A. Gordon
Township Zoning Officer