



Welcome East Goshen Township Board of Supervisors

Open Space Development Ordinance Amendment Discussion

January 22, 2019

Meeting Agenda



- ▶ Welcome
- ▶ Pledge of Allegiance
- ▶ Moment of Silence
- ▶ The meeting is being streamed LIVE on YouTube
- ▶ The Board does not intend to take any action this evening
- ▶ Introductions
- ▶ Presentations
 - ▶ Kristin Camp Esq., Township Solicitor
 - ▶ Tom Comitta AICP, - Township Planning Consultant
- ▶ Public Comment
- ▶ Adjourn no later than 9:30 pm

Ordinance Adoption Process

Kristin Camp, Esq. - Township Solicitor

- ▶ Staff, Planning Commission, Solicitor, Planner, etc. develop a draft ordinance to address a planning objective or new legislative requirement.
- ▶ Ordinance is presented to the Board of Supervisors.
- ▶ If the Board decides to proceed they direct Staff to forward the draft ordinance to the Township and County Planning Commissions for review and comment. They have 30 days to submit comments to the Board of Supervisors.
- ▶ The Board of Supervisors then reviews the comments and if they decide to move forward they will direct staff to advertise a public hearing.
- ▶ The Board holds a public hearing and then they can vote on the proposed ordinance.

R-2 Zoning District - Development Options

Tom Comitta, AICP - Township Planning Consultant

► Current Residential options in the R-2

- Single Family homes on 1 acre lots
- Single Family homes on 25,000 s.f. (~.6 acre lots) with a min. 40% open space
- Single Family homes on 20,000 s.f. (~.5 acre lots) with a min. 50% open space
- Single Family homes with no minimum lot size, and a minimum of 55% open space.

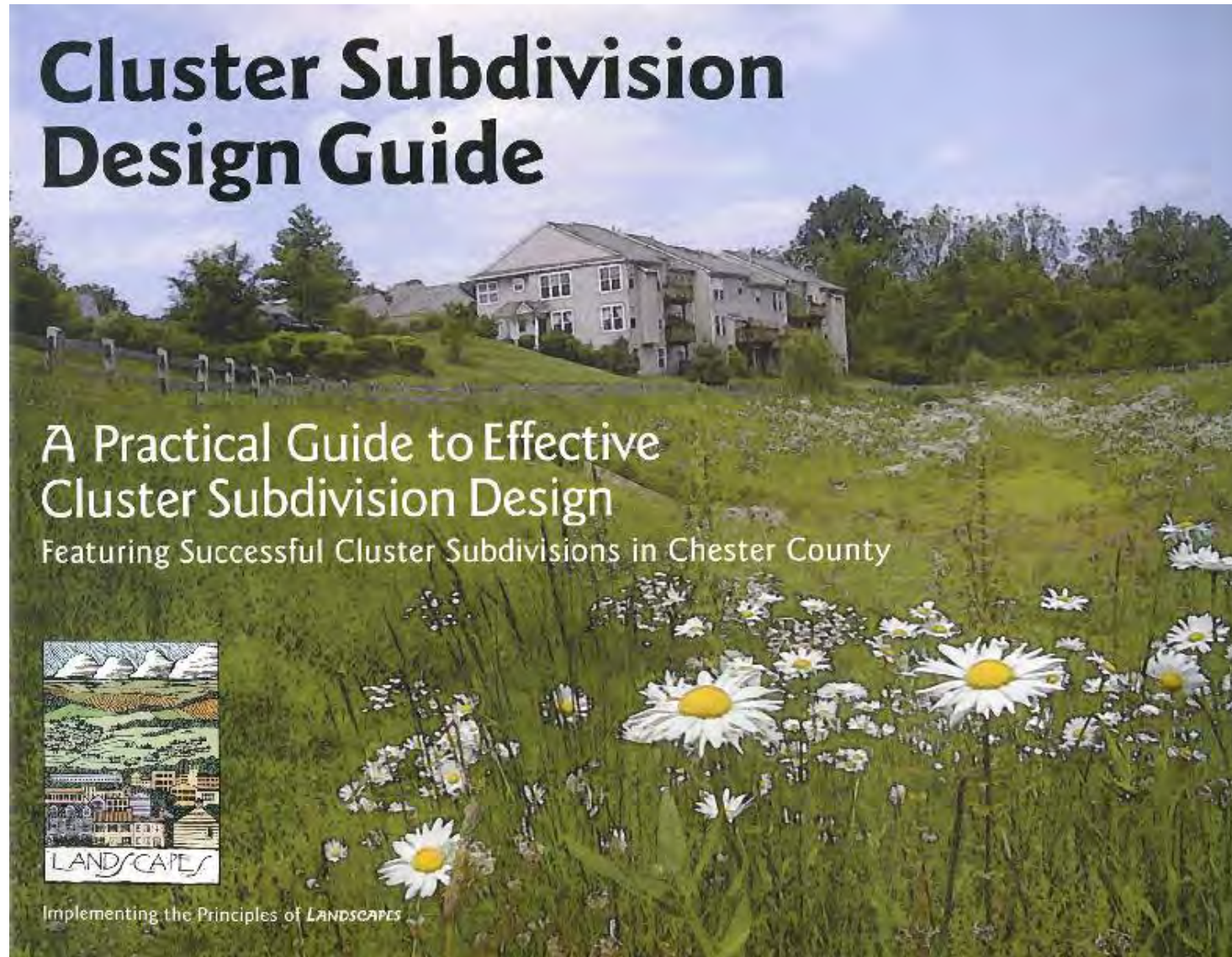
ALL OF THESE DEVELOPMENT OPTIONS PERMIT A MAXIMUM OF 1 DWELLING UNIT PER ACRE

Conceptual Development Options

► Conceptual Layout Options

- The Lewis property, 980 Hershey Mill Rd., was used as the example property in the **CONCEPTUAL** yield and lot layout plans for the proposed **DRAFT** ordinance amendment.
- The Township Engineer developed several **CONCEPTUAL** layout options using a software called SiteOps.
- These **CONCEPTUAL** plans are intended to graphically represent the general area and bulk requirements of each development option. A number of additional requirements will influence site layout and design, however those items were not considered in the development of these high level **CONCEPTUAL** options.

Cluster Subdivision Design Guide



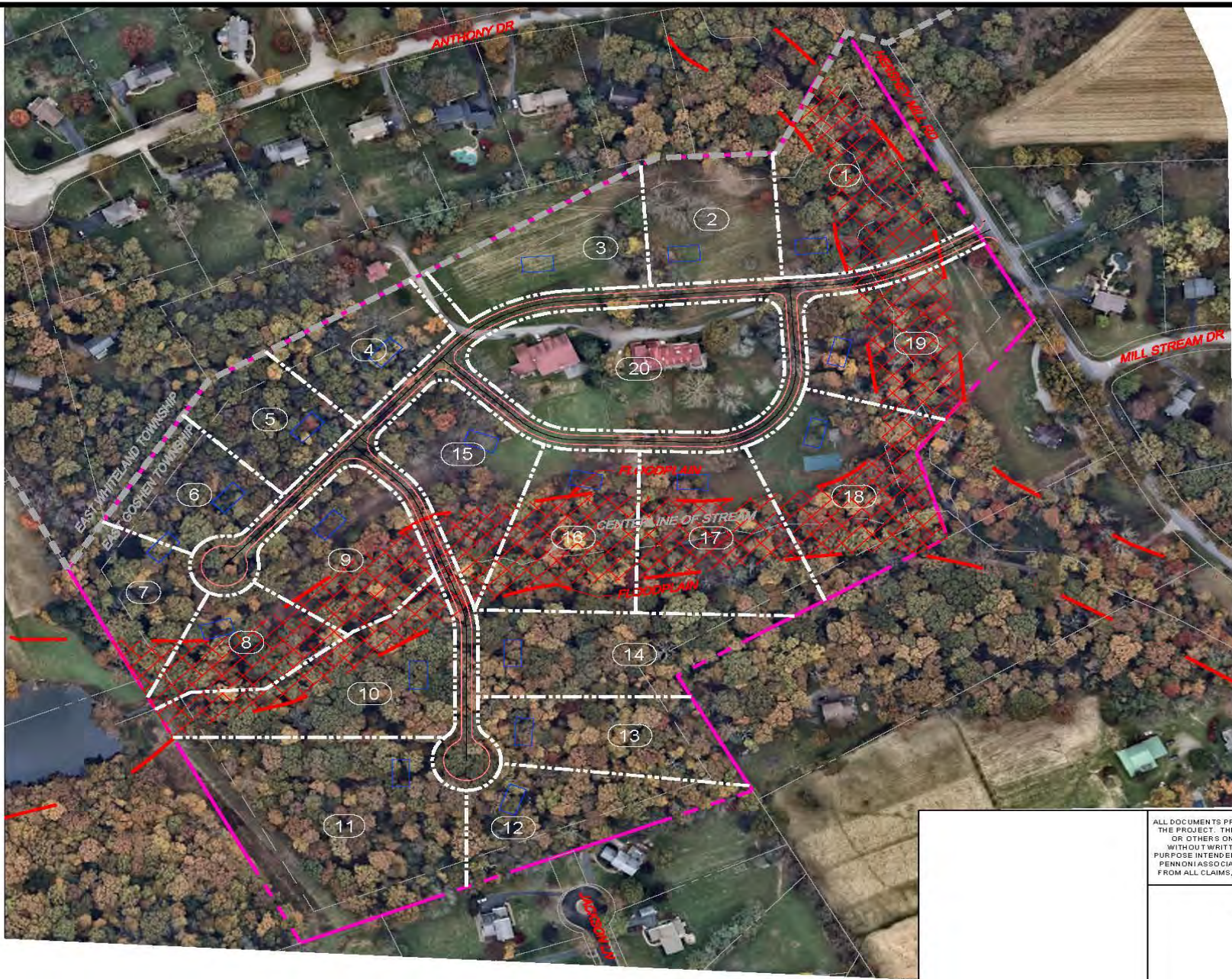
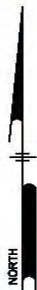
Single Family Residential (Min. 1 ac lots)



Existing EGT Developments

- Goshen Downs (shown)
- Ashbridge Farms
- Charter Chase

\\HACOUNTS\EGOST00017 - BY RIGHT SKETCH PLANS\DESIGN SHEETS\OPTION 6.DWG
PLOTTED: 7/19/2017 3:18:48 PM BY: STEVEN LEWIS PLOTSTYLE: PENNONI.NSL.DWT, PROJECT STATUS: —



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ZONING COMPLIANCE SUMMARY

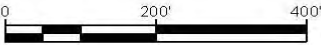
TOWNSHIP OF EAST GOSHEN ORDINANCE, ZONE RESIDENTIAL, R-2 DISTRICT

INTENDED USE: R-2 LOW DENSITY RESIDENTIAL DISTRICT

| AREA REQUIREMENTS | REQUIRED |
|--|---------------|
| MINIMUM LOT AREA (AC) | 1 |
| MAXIMUM IMPERVIOUS COVERAGE (%) | 35 |
| MAXIMUM BUILDING COVERAGE (%) | 25 |
| MAXIMUM BUILDING HEIGHT (FT) | 30, 3 STORIES |
| MINIMUM LOT WIDTH AT BUILDING SETBACK (FT) | 150 |
| MINIMUM LOT WIDTH AT STREET (FT) | 60 |
| BUILDING SETBACK REQUIREMENTS | |
| FRONT YARD SETBACK (FT) | 45 |
| SIDE YARD SETBACK (FT) | 20 EACH |
| REAR YARD SETBACK (FT) | 50 |

SITE SUMMARY

| | |
|-----------------|----|
| TRACT AREA (AC) | 36 |
| NUMBER OF LOTS | 20 |



ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

980 HERSHEY'S MILL ROAD
EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA

OPTION 6
BY RIGHT

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| PROJECT | EGOST00017 |
| DATE | 2019-01-04 |
| DRAWING SCALE | 1" = 200' |
| DRAWN BY | SML |
| APPROVED BY | |

OPTION 6

SHEET 1 OF 1

Single Family Residential (Min. 1 ac lots)



Existing EGT Developments

- Goshen Downs (shown)
- Ashbridge Farms
- Charter Chase

Single Family Residential (Min. 1 ac lots)



Existing EGT Developments

- Goshen Downs (shown)
- Ashbridge Farms
- Charter Chase

Single Family Residential (Min. 25,000 s.f. lots)



Existing EGT Developments

- Rossmore (shown)
- Bowtree
- Marydell

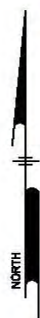
Single Family Residential (Min. 25,000 s.f. lots)



Existing EGT Developments

- Rossmore (shown)
- Bowtree
- Marydell

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ZONING COMPLIANCE SUMMARY

TOWNSHIP OF EAST GOSHEN ORDINANCE, ZONE RESIDENTIAL, R-2 DISTRICT

INTENDED USE: R-2 SINGLE FAMILY CLUSTER CONDITIONAL USE

| AREA REQUIREMENTS | REQUIRED |
|---------------------------------|--------------------|
| MINIMUM LOT AREA (AC) | 25,000 |
| MAXIMUM IMPERVIOUS COVERAGE (%) | 30 |
| MAXIMUM BUILDING COVERAGE (%) | 20 |
| MAXIMUM BUILDING HEIGHT (FT) | 35 |
| MINIMUM LOT WIDTH (FT) | 40 |
| BUILDING SETBACK REQUIREMENTS | |
| FRONT YARD SETBACK (FT) | 35 |
| SIDE YARD SETBACK (FT) | 20 |
| REAR YARD SETBACK (FT) | 35 |
| MAXIMUM DENSITY | 1 UNIT/AC OF TRACT |
| MINIMUM OPEN SPACE (%) | 40 |

SITE SUMMARY

| | |
|-----------------|--------------|
| TRACT AREA (AC) | 36 |
| NUMBER OF LOTS | 24 |
| OPEN SPACE | 18 AC. (50%) |



ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

980 HERSHEY'S MILL ROAD
EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA
OPTION 1
SINGLE FAMILY CLUSTER
DEVELOPMENT
(MINIMUM 25,000 S.F. LOTS)

| | |
|---------------|-------------------|
| PROJECT | EGOST00017 |
| DATE | 2019-01-04 |
| DRAWING SCALE | 1" = 200' |
| DRAWN BY | SML |
| APPROVED BY | |

OPTION 1

SHEET 1 OF 1

Single Family Residential (Min. 25,000 s.f. lots)



Existing EGT Developments

- Rossmore (shown)
- Bowtree
- Marydell

Single Family Residential (Min. 25,000 s.f. lots)



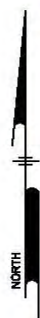
Existing EGT Developments

- Rossmore (shown)
- Bowtree
- Marydell

Single Family Residential (Min. 20,000 s.f. lots)

- ▶ This development option has never been used in the Township, however it would be very similar to the 25,000 s.f. option like Grand Oak, Marydell, & Wentworth.

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| ZONING COMPLIANCE SUMMARY | |
|---|--------------------|
| TOWNSHIP OF EAST GOSHEN ORDINANCE, ZONE RESIDENTIAL, R-2 DISTRICT | |
| INTENDED USE: R-2 SINGLE FAMILY CLUSTER CONDITIONAL USE | |
| AREA REQUIREMENTS | REQUIRED |
| MINIMUM LOT AREA (AC) | 20,000 |
| MAXIMUM IMPERVIOUS COVERAGE (%) | 30 |
| MAXIMUM BUILDING COVERAGE (%) | 20 |
| MAXIMUM BUILDING HEIGHT (FT) | 35 |
| MINIMUM LOT WIDTH (FT) | 40 |
| BUILDING SETBACK REQUIREMENTS | |
| FRONT YARD SETBACK (FT) | 35 |
| SIDE YARD SETBACK (FT) | 20 |
| REAR YARD SETBACK (FT) | 35 |
| MAXIMUM DENSITY | 1 UNIT/AC OF TRACT |
| MINIMUM OPEN SPACE (%) | 50 |

| SITE SUMMARY | |
|-----------------|--------------|
| TRACT AREA (AC) | 36 |
| NUMBER OF LOTS | 26 |
| OPEN SPACE | 19 AC. (53%) |



ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

980 HERSHEY'S MILL ROAD
EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA
OPTION 2
SINGLE FAMILY CLUSTER DEVELOPMENT
(MINIMUM 20,000 S.F. LOTS)

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| PROJECT | EGOST00017 |
| DATE | 2019-01-04 |
| DRAWING SCALE | 1" = 200' |
| DRAWN BY | SML |
| APPROVED BY | |
| OPTION 2 | |
| SHEET 1 OF 1 | |

Single Family Open Space Dev. (No Min. lot size)



Existing EGT Development

- Sorrell Hill (shown)

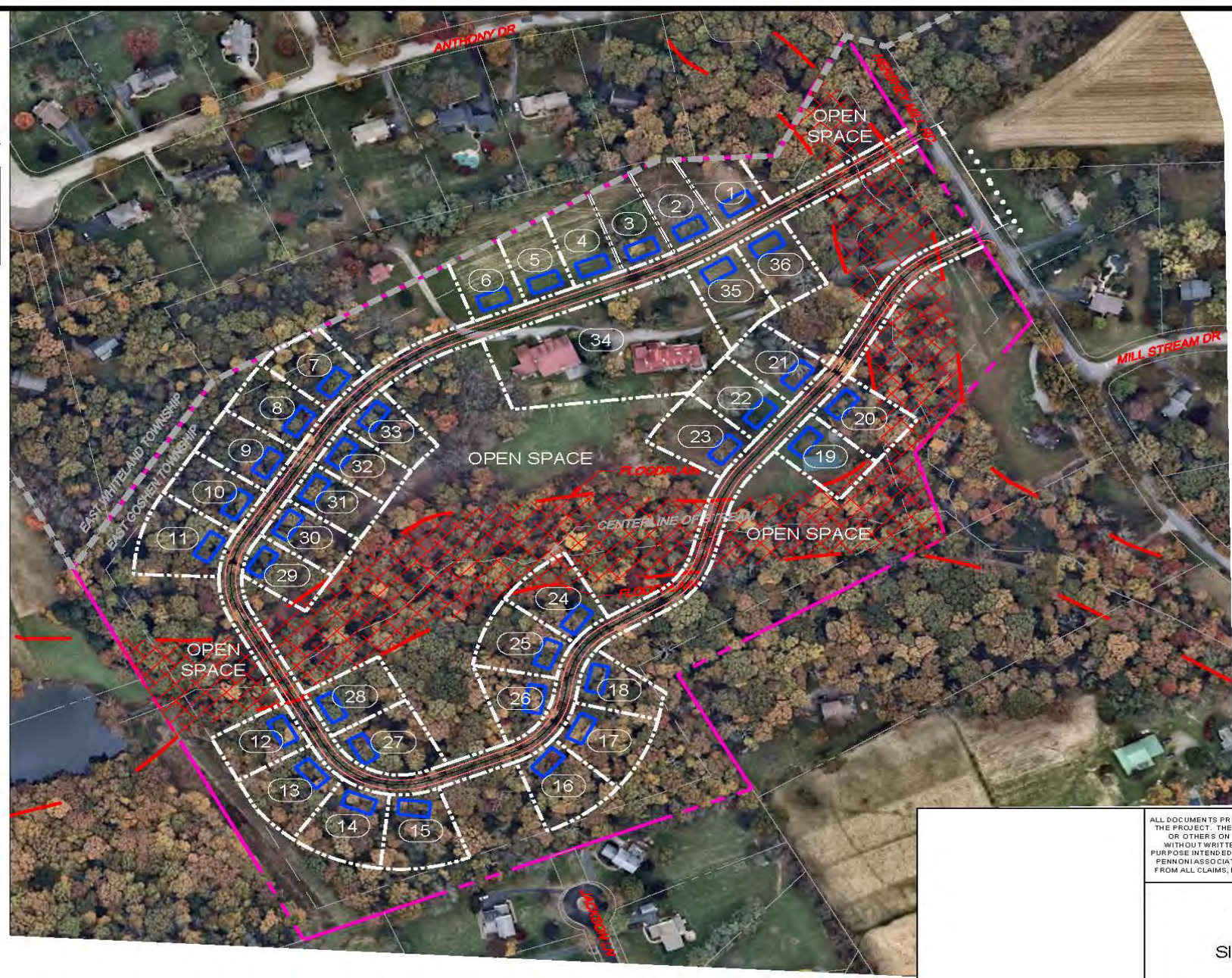
Single Family Open Space Dev. (No Min. lot size)



Existing EGT Development

- Sorrell Hill (shown)

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ZONING COMPLIANCE SUMMARY

TOWNSHIP OF EAST GOSHEN ORDINANCE, ZONE RESIDENTIAL, R-2 DISTRICT

INTENDED USE: R-2 SINGLE FAMILY OPEN SPACE CONDITIONAL USE

| AREA REQUIREMENTS | REQUIRED |
|---------------------------------|-------------------------------------|
| MINIMUM LOT AREA (AC) | NO MIN |
| MAXIMUM IMPERVIOUS COVERAGE (%) | NA |
| MAXIMUM BUILDING HEIGHT (FT) | NA |
| MINIMUM LOT WIDTH (FT) | NA |
| BUILDING SETBACK REQUIREMENTS | |
| FRONT YARD SETBACK (FT) | 25 FROM CARTWAY |
| SIDE YARD SETBACK (FT) | 30 BLDG TO BLDG, 1 FT FROM LOT LINE |
| REAR YARD SETBACK (FT) | NA |
| MAXIMUM DENSITY | 1 UNIT/AC OF TRACT |
| MINIMUM OPEN SPACE (%) | 55 |
| REQUIRED PARKING SPACES | 3 OFF STREET PARKING/UNIT |

SITE SUMMARY

| | |
|-----------------|--------------|
| TRACT AREA (AC) | 36 |
| NUMBER OF LOTS | 36 |
| OPEN SPACE | 20 AC. (55%) |



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980 HERSHEY'S MILL ROAD
EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA
OPTION 3
SINGLE FAMILY OPEN SPACE
DEVELOPMENT

| | |
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| PROJECT | EGOST00017 |
| DATE | 2019-01-04 |
| DRAWING SCALE | 1" = 200' |
| DRAWN BY | SML |
| APPROVED BY | |

OPTION 3

SHEET 1 OF 1

Single Family Open Space Dev. (No Min. lot size)



Existing EGT Developments

- Sorrell Hill (shown)

Single Family Open Space Dev. (No Min. lot size)



Existing EGT Developments

- Sorrell Hill (shown)

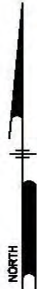
Proposed Open Space Development Ordinance

Tom Comitta, AICP - Township Planning Consultant

Proposed Open Space Development Options in the R-2

- ▶ **Area and Bulk Requirements**
 - ▶ Property must be at least 20 acres
 - ▶ Development must be served by Public Water and Sewer
 - ▶ A maximum of 1 dwelling unit per acre is permitted
- ▶ **Semi-Detached Homes (TWINS)**
 - ▶ No minimum lot size
 - ▶ A min. of 60% open space
- ▶ **Townhouses (Max. of 3 dwelling units per building)**
 - ▶ No minimum lot size
 - ▶ A min. of 65% open space

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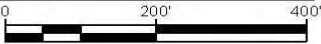
TOWNSHIP OF EAST GOSHEN ORDINANCE, ZONE RESIDENTIAL, R-2 DISTRICT

INTENDED USE: R-2 OPEN SPACE DEVELOPMENT TOWNHOUSE

| AREA REQUIREMENTS | REQUIRED |
|---------------------------------|----------------------------|
| MINIMUM LOT AREA (AC) | NA |
| MAXIMUM IMPERVIOUS COVERAGE (%) | NA |
| MAXIMUM BUILDING COVERAGE (%) | NA |
| MAXIMUM BUILDING HEIGHT (FT) | 35 |
| MINIMUM LOT WIDTH (FT) | NA |
| BUILDING SETBACK REQUIREMENTS | |
| FRONT YARD SETBACK (FT) | 25 FROM CARTWAY |
| SIDE YARD SETBACK (FT) | 30 BUILDING TO BUILDING |
| REAR YARD SETBACK (FT) | 30 BUILDING TO BUILDING |
| MAXIMUM DENSITY | 1 UNIT/AC OF TRACT |
| MINIMUM OPEN SPACE (%) | 65 |
| PARKING | 3 SPACES PER DWELLING UNIT |

SITE SUMMARY

| | |
|-----------------|--------------|
| TRACT AREA (AC) | 36 |
| NUMBER OF LOTS | 36 |
| OPEN SPACE | 24 AC. (66%) |

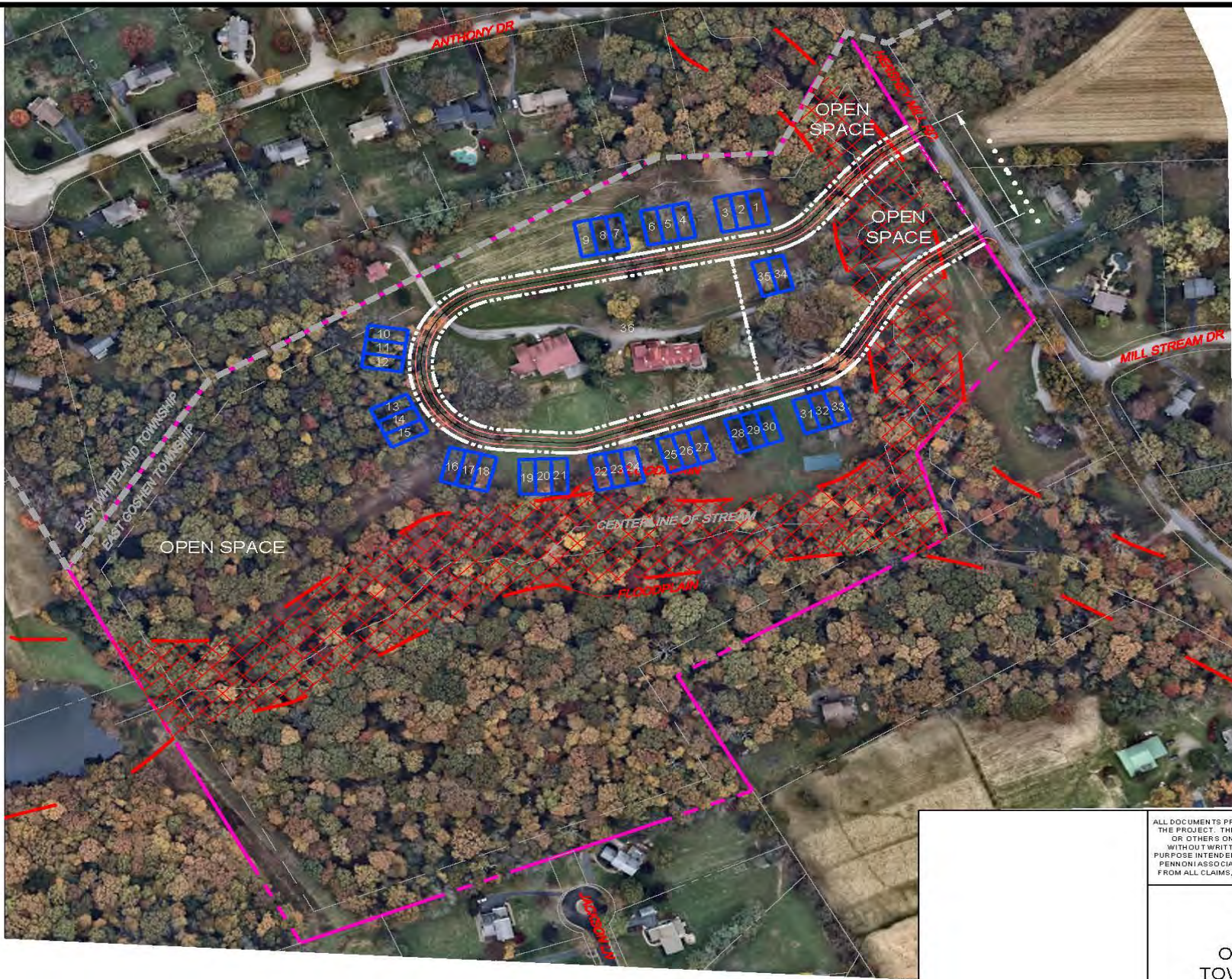
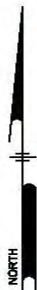


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980 HERSHEY'S MILL ROAD
EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA
OPTION 4
OPEN SPACE DEVELOPMENT
TOWNHOUSE

| | |
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| PROJECT | EGOST00017 |
| DATE | 2019-01-04 |
| DRAWING SCALE | 1" = 200' |
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| APPROVED BY | |
| OPTION 4 | |
| SHEET | 1 OF 1 |

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ZONING COMPLIANCE SUMMARY

TOWNSHIP OF EAST GOSHEN ORDINANCE, ZONE RESIDENTIAL, R-2 DISTRICT

INTENDED USE: R-2 OPEN SPACE DEVELOPMENT TOWNHOUSE

| AREA REQUIREMENTS | REQUIRED |
|---------------------------------|----------------------------|
| MINIMUM LOT AREA (AC) | NA |
| MAXIMUM IMPERVIOUS COVERAGE (%) | NA |
| MAXIMUM BUILDING COVERAGE (%) | NA |
| MAXIMUM BUILDING HEIGHT (FT) | 35 |
| MINIMUM LOT WIDTH (FT) | NA |
| BUILDING SETBACK REQUIREMENTS | |
| FRONT YARD SETBACK (FT) | 25 FROM CARTWAY |
| SIDE YARD SETBACK (FT) | 30 BUILDING TO BUILDING |
| REAR YARD SETBACK (FT) | 30 BUILDING TO BUILDING |
| MAXIMUM DENSITY | 1 UNIT/AC OF TRACT |
| MINIMUM OPEN SPACE (%) | 65 |
| PARKING | 3 SPACES PER DWELLING UNIT |

SITE SUMMARY

| | |
|-----------------|--------------|
| TRACT AREA (AC) | 36 |
| NUMBER OF LOTS | 36 |
| OPEN SPACE | 30 AC. (83%) |



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980 HERSHEY'S MILL ROAD
EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA
OPTION 4A
OPEN SPACE DEVELOPMENT
TOWNHOUSE (FOOTPRINT ONLY)

| | |
|---------------|------------|
| PROJECT | EGOST00017 |
| DATE | 2019-01-11 |
| DRAWING SCALE | 1" = 200' |
| DRAWN BY | SML |
| APPROVED BY | |
| OPTION 4A | |
| SHEET | 1 OF 1 |

Semi-Detached Homes (Twins)



Existing EGT Developments

- Preserve at Applebrook (shown)
- Applebrook
- Yardley Village
- Vassar Village

Semi-Detached Homes (Twins)



Existing EGT Developments

- Preserve at Applebrook(shown)
- Applebrook
- Yardley Village
- Vassar Village

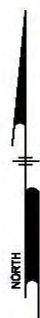
Semi-Detached Homes (Twins)



Existing EGT Developments

- Preserve at Applebrook
- Applebrook(shown)
- Yardley Village
- Vassar Village

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PLOTTED: 7/19/2019 3:18:48 PM BY: STEVEN LEWIS PLOTSTYLE: PENNONI.NCSTYLE, PROJECT STATUS: —



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ZONING COMPLIANCE SUMMARY

TOWNSHIP OF EAST GOSHEN ORDINANCE, ZONE RESIDENTIAL, R-2 DISTRICT

INTENDED USE: R-2 OPEN SPACE DEVELOPMENT SEMI-DETACHED

| AREA REQUIREMENTS | REQUIRED |
|---------------------------------|----------------------------|
| MINIMUM LOT AREA (AC) | NA |
| MAXIMUM IMPERVIOUS COVERAGE (%) | NA |
| MAXIMUM BUILDING COVERAGE (%) | NA |
| MAXIMUM BUILDING HEIGHT (FT) | 35 |
| MINIMUM LOT WIDTH (FT) | NA |
| BUILDING SETBACK REQUIREMENTS | |
| FRONT YARD SETBACK (FT) | 25 FROM CARTWAY |
| SIDE YARD SETBACK (FT) | 30 BUILDING TO BUILDING |
| REAR YARD SETBACK (FT) | 30 BUILDING TO BUILDING |
| MAXIMUM DENSITY | 1 UNIT/AC OF TRACT |
| MINIMUM OPEN SPACE (%) | 60 |
| PARKING | 3 SPACES PER DWELLING UNIT |

SITE SUMMARY

| | |
|-----------------|--------------|
| TRACT AREA (AC) | 36 |
| NUMBER OF LOTS | 35 |
| OPEN SPACE | 25 AC. (69%) |



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980 HERSHEY'S MILL ROAD
EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA

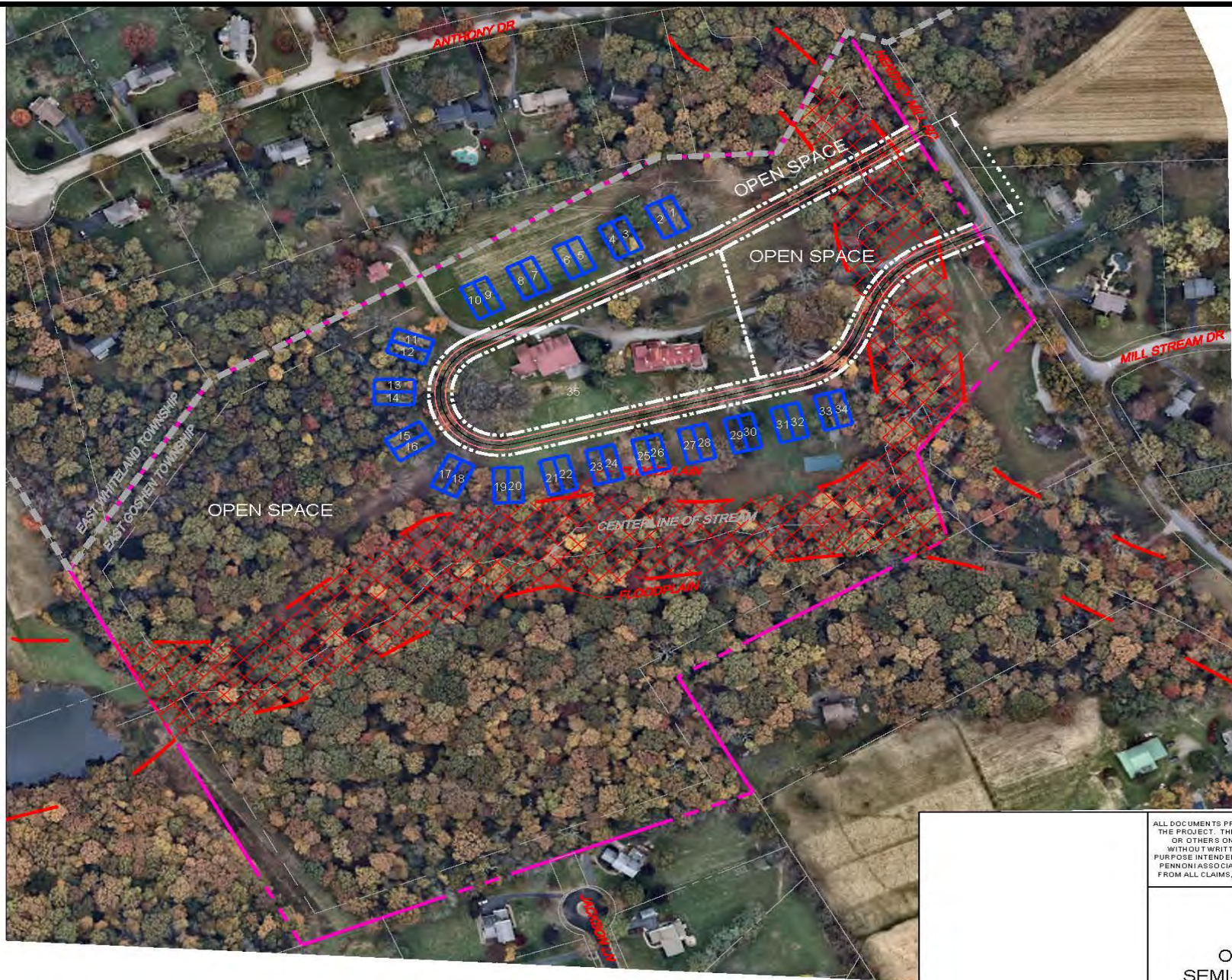
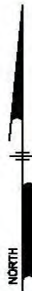
OPTION 5
OPEN SPACE DEVELOPMENT
SEMI-DETACHED

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| PROJECT | EGOST00017 |
| DATE | 2019-01-04 |
| DRAWING SCALE | 1" = 200' |
| DRAWN BY | SML |
| APPROVED BY | |

OPTION 5

SHEET 1 OF 1

UNACQUAINTED WITH THE PROJECT, BY RIGHT SKETCH PLAN DESIGN, SHEET OPTION 5A, DOW
PLOTTER, 7/10/2019 1:18:40 PM, BY: STEVEN LEWIS, PLOT STYLE: PENNONI_NCL251, PROJECT STATUS: —



| REVISIONS | | | |
|-----------|-------------|------|----|
| NO. | DESCRIPTION | DATE | BY |
| # | # | # | # |
| | | | |
| | | | |
| | | | |

ZONING COMPLIANCE SUMMARY

TOWNSHIP OF EAST GOSHEN ORDINANCE, ZONE RESIDENTIAL, R-2 DISTRICT

INTENDED USE: R-2 OPEN SPACE DEVELOPMENT SEMI-DETACHED

| AREA REQUIREMENTS | REQUIRED |
|---------------------------------|----------------------------|
| MINIMUM LOT AREA (AC) | NA |
| MAXIMUM IMPERVIOUS COVERAGE (%) | NA |
| MAXIMUM BUILDING COVERAGE (%) | NA |
| MAXIMUM BUILDING HEIGHT (FT) | 35 |
| MINIMUM LOT WIDTH (FT) | NA |
| BUILDING SETBACK REQUIREMENTS | |
| FRONT YARD SETBACK (FT) | 25 FROM CARTWAY |
| SIDE YARD SETBACK (FT) | 30 BUILDING TO BUILDING |
| REAR YARD SETBACK (FT) | 30 BUILDING TO BUILDING |
| MAXIMUM DENSITY | 1 UNIT/AC OF TRACT |
| MINIMUM OPEN SPACE (%) | 60 |
| PARKING | 3 SPACES PER DWELLING UNIT |

SITE SUMMARY

| | |
|-----------------|--------------|
| TRACT AREA (AC) | 36 |
| NUMBER OF LOTS | 35 |
| OPEN SPACE | 31 AC. (86%) |



ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

980 HERSHEY'S MILL ROAD
EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA
OPTION 5A
OPEN SPACE DEVELOPMENT
SEMI-DETACHED (FOOTPRINT ONLY)

| | |
|------------------|------------|
| PROJECT | EGOST00017 |
| DATE | 2019-01-11 |
| DRAWING SCALE | 1" = 200' |
| DRAWN BY | SML |
| APPROVED BY | |
| OPTION 5A | |
| SHEET | 1 OF 1 |

Townhouses (Max. 3 dwelling units per building)



Existing EGT Developments

- Yardley Village (shown)
- Vassar Village

Townhouses (Max. 3 dwelling units per building)



Existing EGT Developments

- Yardley Village (shown)
- Vassar Village

Townhouses (Max. 3 dwelling units per building)



Existing EGT Developments

- Yardley Village (shown)
- Vassar Village

Public Comment Period

► Questions and Comments

- Be brief so that everyone who wishes to speak has an opportunity
- If a specific issue has been discussed please don't repeat it
- We must conclude the meeting at 9:30 PM

East Goshen Township Zoning Map

