

**EAST GOSHEN TOWNSHIP  
PLANNING COMMISSION  
Meeting Agenda  
Wednesday, February 6, 2019  
7:00 PM**

- A. Call to Order / Pledge of Allegiance and Moment of Silence
- B. Chairman will ask if anyone is going to record the meeting
- C. Review of Tracking Log / Determine need for Workshop Meeting**
- D. Public Comment on Non-Agenda Items
- E. Approval of Minutes**
  - 1. January 2, 2018
- F. Subdivision and Land Development Applications**
  - 1. **ESKE Development / Ducklings Early Learning Center**
- G. Conditional Uses and Variances
- H. Ordinance Amendments
- I. Old Business**
  - 1. **Goshenville TND Overlay Discussion**
- J. 2019 Goals
- K. Any Other Matter**
  - 1. **Westtown Township Comprehensive Plan Discussion**
- L. Liaison Reports
- M. Correspondence

[Click here for plans.](#)

**Bold Items indicate new information to review or discuss.**

East Goshen Township Planning Commission  
Application Tracking Log

February 6, 2019 PC Meeting

Application Name	Application (CU, LD, O, SD, V, SE, CA)	Type (Sk, P, F)	Date Filed	Start Date	Date to Township Engineer	Date to CCPC	Date to Abutting Prop. / ABC's	Extension	PC NLT Action Date	BOS NLT Action Date	Hearing Date	Drop Dead date	Comments
ESKE Development / Ducklings	LD	P/F	1/18/2019	2/6/2019	2/23/2019	2/23/2019	2/29/2019		4/3/2019	4/16/2019	NA	5/6/2018	

**Bold = New Application or PC action required**

**Completed in 2018**

1302 Wilson Dr. / ESKE Development / Child Daycare	CU	Sk	9/4/2018	9/4/2018	9/4/2018, 9/17/2018	NA	9/25/2018	1	11/7/2018	12/3/2018	11/13/2018	12/3/2018	APPD
1506 Meadowbrook Ln	SD/LD	P/F	2/26/2018	4/4/2018	2/27/2018	3/1/2018	3/1/2018	2	8/1/2018	8/21/2018	NA	9/3/2018	APPD
1339 E. Strasburg Rd.	CU	Sk	7/16/2018	7/16/2018	NA	NA	7/25/2018		8/1/2018	9/4/2018	9/4/2018	9/14/2018	APPD
Malvern Institute, 940 King Rd.	V, SE	P	3/27/2017	3/27/2017	NA	NA	3/30/2017	4	1/17/2018	2/6/2018	2/13/2018	2/28/2018	
WCASD / EG Elem.	LD	P	11/28/2017	12/6/2017	11/30/2017	11/30/2017	11/30/2017		2/7/2018	3/6/2018	NA	3/6/2018	APPD
1665 E. Boot Rd	V	P	12/1/2017	12/1/2017	NA	NA	12/7/2018		1/3/2017	1/16/2018	1/25/2018	1/30/2018	APPD

**DRAFT**  
**EAST GOSHEN TOWNSHIP**  
**PLANNING COMMISSION MEETING**  
**January 2, 2019**

The East Goshen Township Planning Commission held a workshop meeting on Wednesday, January 2, 2019 at 5:00 p.m. with a regular meeting following at 7:00 p.m. at the East Goshen Township building. People present at the workshop were: Chairman Brad Giresi, Jim McRee, Dan Daley, Silvia Shin, Ernest Harkness and new member Mark Levy. Also present was Mark Gordon, (Township Zoning Officer); Janet Emanuel, Marty Shane and Mike Lynch (Township Supervisors), and Tom Comitta (Consultant).

**COMMON ACRONYMS:**

<i>BOS – Board of Supervisors</i>	<i>CPTF – Comprehensive Plan Task Force</i>
<i>BC – Brandywine Conservancy</i>	<i>CVS – Community Visioning Session</i>
<i>CB – Conservancy Board</i>	<i>SWM – Storm Water Management</i>
<i>CCPC – Chester Co Planning Commission</i>	<i>ZHB – Zoning Hearing Board</i>

**A. WORKSHOP MEETING – 5:00 pm**

1. Brad explained that the purpose of this workshop is to determine how the uses under TND1 and TND2 would look. Mark Gordon provided copies of the map showing the properties in the TND1 area. Dan showed his engineering sketch using the Sinquet property next to the Wawa. He shows a 19,000 sq. ft. building with 12 apartments and parking. They reviewed the Comparison Chart, which showed the requirements for different categories (lot area, density, setbacks, height etc.) for the C-2, C-5, TND1 Non-Res and TND2 Res. Tom discussed the minimum building size, height and stories. Brad wants to encourage commercial/retail on the ground floor. Janet brought up green space and storm water management. It was pointed out that on page 5 of the proposed amendment, pedestrian space should be counted toward impervious coverage. It was suggested that the current C-2 on the south side of Paoli Pike and the C-5 on the north side be combined to make one district. Mark Gordon feels they should just change the zoning and try to avoid non-conformities. Brad commented that the limitations are in density and parking. Apartments of 800 sq. ft. 1 or 2 bedrooms should have 2.5 parking spaces. Ernie asked about public parking spaces. Marty feels that having the C zoning and TND zoning creates too many options. We should have a design and what goes with it to control non-conformities. At this point in the meeting, the group was divided into 2 groups of 4 people each. Each group took a particular property and sketched it out under the TND1. Group #1 had the M&T bank property on the south side of Paoli Pike. This property is 1.1 acres. They found that parking would be a problem for a 2-story apartment building. Only a 1-story retail building with parking would work. Group #2 had the DiAbounte property on the north side of Paoli Pike. They found that there is extra green space after a building was sketched.

**B. FORMAL MEETING – 7 p.m.**

Commission members attending the formal meeting were: Chairman Brad Giresi, Jim McRee, Dan Daley, Ernest Harkness and Mark Levy. Also present were: Mark Gordon (Township Zoning Officer), Jon Altshul (Township Assistant Manager); Janet Emanuel, Marty Shane, and David Shuey (Township Supervisors) and Tom Comitta (Consultant).

1. Brad called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and a moment of silence to remember our first responders, and military.
2. Brad asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
3. Brad checked the log. Mark Gordon mentioned that the Zoning Hearing Board will review Malvern Institute on January 9<sup>th</sup>.
4. The minutes of the December 5, 2018 meeting were approved.




# **Memorandum**

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**East Goshen Township**  
**1580 Paoli Pike**  
**West Chester, PA 19380**

Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [mgordon@eastgoshen.org](mailto:mgordon@eastgoshen.org)

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Date: 1/28/2019  
To: Planning Commission  
From: Mark Gordon, Township Zoning Officer   
Re: Land Development Application / ESKE Development LLC / Ducklings Early Learning Center

Planning Commission Members,

The Township has received a Land Development Application and plans for 1302 Wilson Drive. This parcel is located in the I-1 Light Industrial zoning district, has an area of 4 acres and received Conditional Use Approval in 2018 for a Child Daycare Center use. The applicant proposes to construct an approximately 14000 s.f. building with associated playground area, parking, and driveway to accommodate the use.

## **STAFF RECOMENDATION**

The Township's engineers review is pending and may be available for discussion during the meeting on 2/6/2019. Planning Commission action on this plan is premature at this time.

BOARD OF SUPERVISORS  
EAST GOSHEN TOWNSHIP  
CHESTER COUNTY  
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

FYI

January 29, 2019

Dear Property Owner:

The purpose of this letter is to inform you that East Goshen Township has received a Land Development application for 1302 Wilson Dr., West Chester, PA 19380. The equitable owner, ESKE Development, LLC, is seeking approval to develop the property and build a 14,000 square foot Child Daycare Center. The property is situated in the I-1, Light Industrial Zoning District of East Goshen Township. Child Daycare Centers are permitted in the I-1 Zoning District as a Conditional Use. Conditional Use approval was granted for this use in 2018.

Pursuant to Township policy, property owners within 1000 feet of the subject property are notified when Land Development applications are received. **Meeting dates when this application will be discussed are listed below and subject to change without further written notice:**

**February 6, 2019 – Planning Commission (7:00 PM)**

**February 13, 2019 – Conservancy Board (7:00 PM)**

**March 6, 2019 – Planning Commission (7:00 PM)**

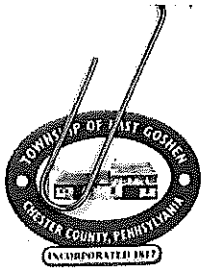
**March 19, 2019 – Board of Supervisors (7:00 PM)**

These meetings will be held at the Township Administration Building and will be open to the public. The Application is available for review at the Township building during normal business hours. If any person who wishes to attend the hearing has a disability and/or requires an auxiliary aid, service or other accommodation to observe or participate in the proceedings, he or she should contact East Goshen Township at 610-692-7171 to discuss how those needs may be accommodated.

Sincerely,

*Mark A. Gordon*

Mark A. Gordon  
Township Zoning Officer



EAST GOSHEN TOWNSHIP  
CHESTER COUNTY, PA

FILE COPY

SUBDIVISION AND / OR LAND DEVELOPMENT APPLICATION

Date Filed: 1/18/2019

Application for (Circle one):

Subdivision  Land Development  Subdivision & Land Development

A. Application is hereby made by the undersigned for approval of a Subdivision and or Land Development Plan, more particularly described below.

1. Applicant's name: ESKE Development, LLC.

Address: 1390 Birmingham Road, West Chester, PA 19382 Phone: 610-364-0144

Fax: \_\_\_\_\_ Email: ajdiver@tamora.com

2. Name and address of present owner (if other than 1. above)

Name: S Winig Associates, L.P.

Address: P.O. Box 1239, West Chester, PA 19380 Phone: \_\_\_\_\_

Fax: \_\_\_\_\_ Email: \_\_\_\_\_

3. Location of plan: 1302 Wilson Drive

4. Proposed name of plan: Ducklings Early Learning Center

5. County Tax Parcel No.: 53-3-1.2C Zoning District: I-1

6. Area of proposed plan (ac.): 4 Number of lots: 1

7. Area of open space (ac.): \_\_\_\_\_

8. Type of structures to be constructed: New building w/ parking & driveway

9. What provisions are to be made for water supply and sanitary sewer? The site will be using public water and sewer

10. Linear feet of road to be constructed: 0

11. Name of Engineer: Christopher M. Daily

Phone Number: 610-918-9002 Fax: 610-918-9003

Email address: cdaily@dlhowel.com

# Memorandum

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**East Goshen Township**  
**1580 Paoli Pike**  
**West Chester, PA 19380**  
Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [mgordon@eastgoshen.org](mailto:mgordon@eastgoshen.org)

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Date: 1/31/2019  
To: Planning Commission  
From: Mark Gordon, Township Zoning Officer *mld*  
Re: Paoli Pike / Goshenville TND Planning

Planning Commission Members,

In April of 2018 The Planning Commission was tasked with developing a zoning ordinance amendment that reflected the planning objectives outlined in the 2015 Comprehensive Plan and the Paoli Pike Corridor Master plan. A draft ordinance has been developed and final review and revisions have been contemplated over the last couple of months. On January 2<sup>nd</sup> the PC met in workshop session to work through a visualization exercise to assist the PC with envisioning the magnitude of the new development potential of the TND-1 district. During the regular portion of the meeting we discussed the draft ordinance at length and identified the following issues to address in the next revision:

1. To decide on Overlay Districts, or outright Districts;
2. To create new and specific provisions for Apartments in the TND, instead of cross-referencing Section 240-29;
3. To add specific parking regulations for TND-1 & TND-2 uses;
4. To possibly add detail Design Guidelines (specifications) for Street Lights, Benches, etc.;
5. To change the church property along Route 352 (across from Perakis) from TND-1 to TND-2;
6. To change the minimum height from "2-stories" to "20 feet";
7. To increase the apartment density from 12 to 16 dwelling units/acre;
8. To increase the minimum lot width at the street line from 50 feet to 80 feet;
9. To increase the minimum lot area from 10,000 square feet in TND-1 to 20,000 square feet;
10. To change the spelling of "stationary" to "stationery" in Section 240-61.C.(1)(b)[2];
11. To change the word "of" to "or" in Section 240-61.C.(1)(f); and
12. To strike the words "but shall not count for the purpose of total Impervious Coverage calculations" in the note for the Residential Uses table on page 5.



These items have not been incorporated into the to the draft ordinance sections yet. Even after inclusion of these edits the ordinance may still not deliver what the PC is looking for. This assumption is based on the following observations:

1. The incentives in the TND 1 and TND 2 may still not be enough to justify demolishing an existing building.
2. There are only two underdeveloped properties in the C-2 and C-5 districts, they are both existing SF dwellings which if developed as apartments at 12 to 16 units per acre, could result in a total of 34 to 45 apartments.
3. There is only one vacancy in the corridor today (former Swiss Farm Store).
4. The Goshen Village Shopping Center has only one vacancy.
5. The Township Building and Public Works Annex (which is deed restricted) will remain in their present location.

Staff has identified three options for the Commission's consideration as listed below; some pros and cons for each are noted:

**1. Move forward with the current draft TND overlay districts with minor amendments.**

PRO

- Property owners will have the ability to develop in accordance with the TND regulations if they choose.
- Underutilized or vacant uses and properties would probably take advantage of the overlay, since they can have more impervious coverage.

CON

- Since this is an overlay, property owners can to continue to use the underlying zoning and this could delay the desired outcomes.
- Implementation of this overlay could prove problematic for staff and Developers.

**2. Abandon the TND 1 and TND 2 draft overlay ordinance and 1.) combine the C-2 and C-5 districts into a new district (TND) to include the new uses, setbacks and development standards; and 2.) do not make any changes to the zoning for the properties in the R-2 and R-3 districts.**

PRO

- We would not create new nonconforming uses or structures.
- Any new buildings, redevelopment or expansion of existing use in the new commercial district would be permitted to utilize the new uses and setbacks.
- Modify the minimum building setbacks as identified.

CON

- We would lose potential residential dwelling units on the parcels identified in the proposed TND-2.

**3. Rezone Goshenville as new TND-1 and TND-2 districts (minor changes to the existing draft - not an overlay)**

**PRO**

- The districts would be re-developed in accordance with the new regulations and the vision of Goshenville will be realized sooner rather than later so long as significant incentives are incorporated such as reduced and shared parking provisions, increased height allowances, increased impervious allowance, etc.

**CON**

- It will create non-conforming structures and uses immediately. The current zoning allows a nonconforming structure to expand by 25%.

This planning effort began as objectives identified in the 2015 EGT Comp Plan and the Paoli Pike Corridor Master Plan:

**2015 Comp Plan:**

1. 6.1 – Transform the Town Center into a viable, walkable, visitable place.
  - a. Supporting objectives: 5.1, 5.2, 5.5,
2. 7.1 – Promoting the enhancement of business opportunities in the Town Center.
  - a. Supporting objectives: 6.1, 6.2, 5.35.5

**Paoli Pike Corridor Master Plan (PPCMP):**

Tier I Action Item:

Goshenville Overlay District – Zoning Ordinance Amendment

Tier II Action Item:

Goshenville Overlay District – SALDO Update

The objectives and action items from BOTH the Comp Plan and the PPCMP directly support the development and implementation of Zoning Ordinances and development standards which will enhance Goshenville and transform the Town Center.

**Staff Recommendation:**

If the PC is committed to implementing the objectives and action items to transform and enhance Goshenville as outlined in the recent Township planning efforts, option 3 may be the quickest path forward to that objective.

Staff believes that in order to realize lofty land use changes in the Town Center, lofty zoning changes may need to be implemented. The larger question is whether or not the community is willing to make those lofty changes.

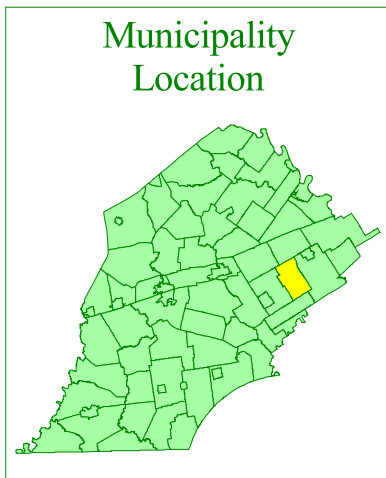
# Traditional Neighborhood Development - 1 & 2 Goshenville Overlay Districts

**East Goshen Township - Chester County, PA**



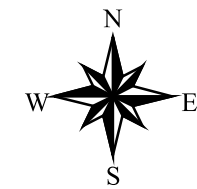
**Zoning Ordinance Amendments as Proposed**  
**May 23; June 20; September 26; October 17, 2018;**  
**October 29, 2018; Revised: November 1, 2018**

**TCA/EGT**



Municipality Location

TOWNSHIP OFFICE  
1580 PAOLI PIKE  
WEST CHESTER, PA 19380



# EAST GOSHEN TOWNSHIP

## Municipal Zoning Map

Zoning Adopted: September 21, 2004  
Map Created: April 1, 2005

**Proposed:** June 20, 2018 **Reissued:** 9-26-2018;  
10-7-2018; 10-17-2018; 10-29-2018; 11-1-2018

### East Goshen Zoning Districts

- BP - Business Park
- C-1 - Community Commercial
- C-2 - Local Convenience Commercial
- C-4 - Planned Highway Commercial
- C-5 - Commercial
- I-1 - Light Industrial
- I-2 - Planned Business/Research/Limited Industrial/Park/Residential
- R-1 - Low Density Open Space Suburban Residential
- R-2 - Low Density Suburban Residential
- R-3 - Medium Density Suburban Residential
- R-4 - High Density Suburban Residential
- R-5 - Urban Residential
- Road Centerlines
- Parcel Boundaries
- Floodplains
- TND-1 Goshenville Overlay District
- TND-2 Goshenville Overlay District

**IMPORTANT NOTICE:**  
The Official Zoning Map in the municipal building shall be the final authority regarding the current zoning status of land, buildings, and other structures.

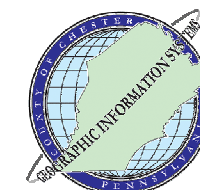
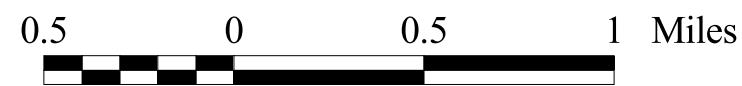
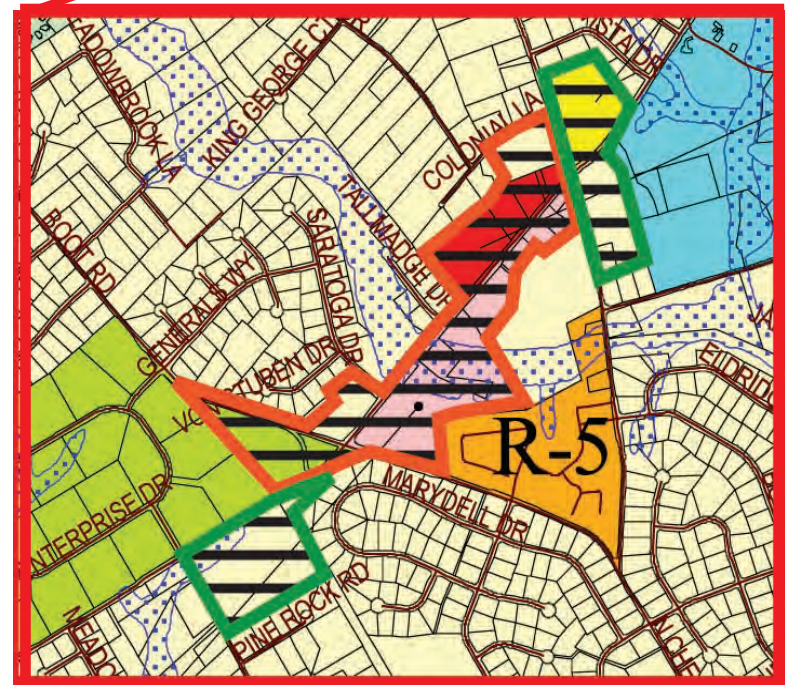
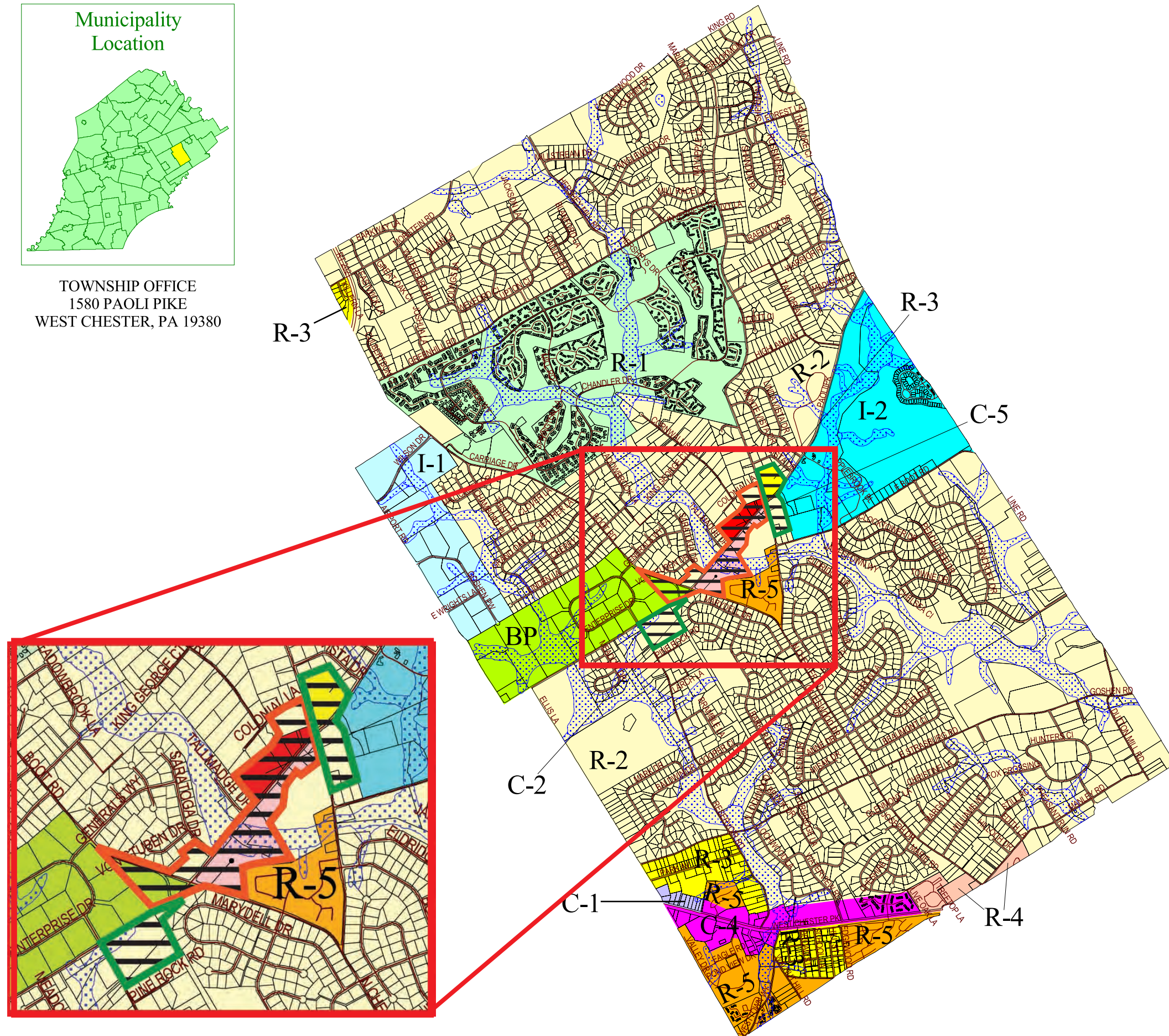
NOTES: Not for engineering purposes.

Landbase Source: Planimetric features have been compiled to meet the National Map Accuracy Standard of 1:24,000 scale mapping using first order, fully analytical digital stereoplotters, from aerial photography dated March, 2000, controlled analytically from ground points captured using first order GPS equipment. Planimetric coordinates were based on the PA State Plane Coordinate System South Zone and North American Datum 1983.

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**LIMITATION AND LIABILITY OF USE:** This map was digitally compiled for internal maintenance and developmental use by the County of Chester, PA to provide index to parcels and for other reference purposes. Parcel lines do not represent actual field surveys of premises. County of Chester, PA makes no claims as to the completeness, accuracy or content of any data contained herein, and makes no representation of any kind, including, but not limited to, the warranties of merchantability or fitness for a particular use, nor are any such warranties to be implied or inferred, with respect to the information or data furnished herein.

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**ZONING ORDINANCE AMENDMENTS**

**Article I. Title; intent; Definitions**

**240-5. Zoning Districts and map.**

- A. Zoning Districts. For the purpose of this chapter, the Township of East Goshen is hereby divided into the following districts:

TND-1 Traditional Neighborhood Development -1  
Goshenville Overlay District

TND-2 Traditional Neighborhood Development -2  
Goshenville Overlay District

**240-6. Definitions; word usage.**

- B. Definitions. When used in this chapter, the following words, terms and phrases shall have the following meaning, unless expressly stated otherwise or unless the context clearly indicates otherwise.

**Artisan Shop**

A retail store selling art glass, ceramics, clothing, jewelry, paintings, sculpture, and other similar handcrafted items, where the facility includes an area for crafting of the items being sold.

**Build-To Line**

The line which defines the placement of the building from the street on which the building fronts. The Build-To Line of the Building forms the Street Wall line. On a corner lot, the Build-To Line is located on each side of a lot abutting a street. A Build-To Line may have a recess or projection up to two (2) feet in order to promote variation of building placement on a block, and/or may have a recess of up to 12 feet in order to promote outdoor dining for a café or restaurant, except that the distance to the Build-To Line may be increased to be greater than that specified in the TND Overlay Districts whenever there is a stream along the front of a property.

**Convenience Store**

A retail store of not less than 3,000 square feet and not more than 5,500 square feet of gross floor area for the sale of food and beverages for off-premises consumption, personal care items and other similar items. This may include ATM machines and the retail sale of automotive fuel under canopy.

**Green Space**

The totality of the land that comprises the area of a TND, exclusive of buildings, streets, alleys, service lanes, parking lots, and other paved surfaces such as those used for dumpsters or approved/fenced outdoor storage. Green Space includes Active Open Space and Passive Open Space, including such features as recreational areas, parks, squares, plazas, courtyards, pedestrian gathering areas, pocket parks, playgrounds, tot

lots, dog parks, playfields, natural open space designated to conserve wetlands and floodplains, and other areas for natural resource conservation, and stormwater detention basins unless designed and constructed as a wet basin or a stormwater management basin.

**Outdoor Dining**

An establishment with either counter ordering or table service that provides a defined outdoor area for eating, which may be a sidewalk café.

**Pedestrian Gathering Area**

A plaza, courtyard, pocket park, tot lot, playground, walkway, promenade, or other like type facility in which features such as pavers, benches, gazebos, pergolas, arbors, trellises, planters, plantings, lighting, and sculpture are installed and maintained. Impervious surfaces within Pedestrian Gathering Areas shall be included for purposes of stormwater management but shall not count for purposes of zoning calculations.

**Pop-Up Use**

A temporary use that may involve a commercial or retail establishment, an art gallery, a philanthropic use, an educational use, outdoor recreational use, or a seasonal use.

**Revitalization**

The enlargement or extension of an existing non-residential building by twenty percent (20%) or more of the gross floor area of the building.

**Streetscape**

The space formed between buildings and the adjoining street, which is embellished with sidewalks, street trees, street lights, curbs, and cartways. The Streetscape is framed by buildings, which create the "outdoor room" character of the street as shown in the Design Standards in Section 205-75.A. of the Subdivision & Land Development Ordinance.

Further Revised: 12-19-2018  
Revised: 11-1-2018  
10-29-2018  
10-17-2018  
9-26-2018  
6-20-2018  
5-23-2018

**ZONING ORDINANCE AMENDMENTS**

**Article X. Overlay Districts**

**240-61. Traditional Neighborhood Development: TND-1 Goshenville Overlay District.**

A. Applicability.

- (1) The TND-1 Overlay District shall be depicted on the East Goshen Township Zoning Map.
- (2) Whenever Revitalization of an existing non-residential building is proposed, **with a new use or a change of use of 51% or more**, the provisions of this Article X shall apply, and the provisions of Article IX, Section 205.75. of the Subdivision and Land Development Ordinance shall apply.
- (3) **Whenever a vacant lot is proposed for development.**
- (4) **Whenever an existing building is demolished and new construction is proposed.**

B. Intent of the TND-1 Overlay District. This district is intended to:

- (1) Implement the East Goshen Township Comprehensive Plan, adopted October 20, 2015.
- (2) Implement the Paoli Pike Corridor Master Plan, adopted December 19, 2017, and promote walkability.
- (3) Comply with Article VII-A Traditional Neighborhood Development, of the Pennsylvania Municipalities Planning Code (MPC), Act 247, as amended and, in particular those purposes and objectives listed in Section 701-A of Article VII-A such as: encouraging innovation for mixed-use, pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for integrated, mixed-use, pedestrian-oriented neighborhoods; establishing public space; and fostering a sense of place and community.
- (4) Emulate other successful Villages in the region that are noted for attractive Streetscapes, walkability, and a diversity of uses.
- (5) Emulate the Build-To Line condition of the Blacksmith Shop in Historic Goshenville so that buildings have a direct Streetscape presence.

- (6) Be guided by Section 240-61.F. the Special Design and Development Standards which is found in Appendix A. to this Article.
- (7) Be guided by Section 205-75, the Special Design and Development Standards of Article XI. of the Subdivision & Land Development Ordinance.
- (8) Promote a mix of non-residential uses and residential uses.

C. Use Regulations.

- (1) Uses Permitted By Right. The following principal uses are permitted by right in the TND-1 Overlay District if the area, bulk and all other applicable requirements of this chapter are satisfied:
  - (a) Personal service establishment, including the following uses and other personal service uses that the applicant proves to the clear satisfaction of the Zoning Officer which are similar in character: retail and/or self-service dry cleaning and laundry, barber shop, beauty salon, and shoe repair.
  - (b) Retail sales, within a building or buildings not to exceed 8,000 square feet of gross leasable area, of the following items and other items that the applicant proves to the clear satisfaction of the Zoning Officers which are similar in character, but not to include Convenience Store, **and not to include the sale of automotive fuels:**
    - [1] Furniture and home furnishings.
    - [2] Gift items, legal drugs, newspapers, cameras, stationary, books, cigarettes, flowers, custom-make crafts, luggage and candy.
    - [3] Shoes, cosmetics and apparel or apparel accessories.
    - [4] Hardware, paint, wallpaper and interior decorating supplies.
    - [5] Groceries and related items for common household use.
    - [6] Retail bakeries and other custom production of salads and similar foods.
    - [7] General merchandise such as is commonly found within department stores, "five and ten" variety stores and general merchandise discount stores.
    - [8] Musical instruments or household appliances.
  - (c) Standard restaurant, but not including drive-through service., ~~a fast-food restaurant.~~
  - (d) Standard restaurant including take-out service., ~~but not including drive-through service, a fast-food restaurant.~~
  - (e) **Fast food restaurant.**



- (f) Business office, provided that no goods shall be sold on site. A building of lot containing more than one office establishment shall require conditional use approval.
  - (g) Professional offices, including offices of attorneys, accountants, physicians, dentists, realtors, financial consultants, brokers, engineers, architects or other recognized professions.
  - (h) Government office operated by a municipality, county, state, or federal government, by a school district or by a legally constituted municipal authority or a United States Postal Service facility.
  - (i) Place of worship or church.
  - (j) Public Library.
  - (k) Health/Exercise/Tennis Club.
  - (l) Bank, savings and loan or other financial institution.
  - (m) Mailing, reproduction, faxing, commercial art, photography and/or stenographic services.
  - (n) Forestry in accordance with the standards of §240-34.1.
  - (o) Wireless communications facilities on Township-owned property, subject to compliance with the standards in §240-15H.
  - (p) Artisan Shop.
  - (q) Outdoor dining as part of a standard restaurant.
  - (r) Apartments in accordance with §240-29.
  - (s) Dwelling Units above Ground Floor Commercial Uses.
  - (t) Township park, recreational areas, Green Space, Pedestrian Gathering Area.
  - (u) Pop-Up Use.
- (2) Conditional Uses. The following Conditional Uses may be permitted when authorized by the Board of Supervisors in accordance with §240-31, and the Special Design and Development Standards of §240-61.F.:
- (a) Lot or building containing more than one commercial or office establishment, provided that only uses listed as permitted by right or conditional uses in the TND-1 District shall be permitted.
  - (b) Public utility facility.
  - (c) Child Day-care Center.

- (d) Adult Day-care Center.
- (e) Cyber charter school campus.
- (3) Uses By Special Exception. None.
- (4) Accessory Uses. Accessory Uses shall be permitted in accordance with the Special Design and Development Standards of §240-61.F.
  - (a) Fences and walls.
  - (b) Solar energy systems.
  - (c) Off-street parking and loading. (See §240-33.)
  - (d) Signs. (See §240-22.)
  - (e) Temporary use.
  - (f) Garage.
  - (g) The following uses if accessory to a lawful existing dwelling unit:
    - [1] Home occupation.
    - [2] Storage shed.
    - [3] Swimming pool.
    - [4] Tennis court.
    - [5] Storage of recreational vehicle.
    - [6] No-impact home-based business as accessory to a residential dwelling.
  - (h) Beverage café with or without drive-through service in a shopping center.

D. Lot Area, Width, Building Coverage, Height, Yard and Density Regulations. All uses shall be serviced by centralized sewage disposal and centralized water supply systems. The following requirements shall apply to each use in the TND-1 Overlay District, subject to further applicable provisions of this chapter:

(1) Non-Residential Uses.

Requirements: TND-1	Non-Residential Uses
Minimum lot area	10,000 square feet
Minimum lot width	
At Build-To Line	50 feet
At street line	50 feet
Maximum lot coverage	
By buildings	40%

By total impervious cover	65%
Minimum Green Space	10%
Minimum building height	
Stories	2
Feet	20 feet
Maximum building height	
Stories	3
Feet	40 feet
Minimum side yards	10 feet each
Minimum rear yard	50 feet
Buffer Yard Adjoining Residential Districts	50 feet
Build-To Line	15 feet

(2) Residential Uses.

Requirements: TND-1	Residential Uses
Apartment	
Minimum Tract Area	40,000 square feet
Maximum Density	12 dwelling units per acre
Minimum Habitable Floor Area Permitted	800 square feet
Total Impervious Coverage	65%
Minimum Green Space	20%
Minimum Building Height	20 feet
Maximum Building Height	40 feet
Buffer Yard Adjoining Residential Districts	50 feet
Build-To Lines (as scaled from Development Strategy Plan)	15 feet

Note: Pedestrian Gathering Areas as part of the required 10% or 20% minimum Green Space may be a combination of pervious and impervious surfaces. Impervious surfaces shall be included for purposes of stormwater management, but shall not count for the purpose of total Impervious Coverage calculations.

E. Other Overlay District Requirements.

In addition to the Plans that are required for a Subdivision and Land Development Application, the following additional plans and procedures shall apply.

(1) Procedures.

- (a) The Applicant is strongly encouraged to submit a Sketch Plan as the first submission to receive informal comments on the design and layout of the proposed TND-1 District.
- (b) A Streetscape Plan/Public Realm Plan shall be submitted with the Preliminary and Final Plan submission, and shall be used to gauge compliance and consistency with the TND-1 District requirements.

- (c) A Specific Manual of Written and Graphic Design Standards shall be submitted.
- (2) Streetscape Plan/Public Realm Plan Requirements.
- (a) The Plan shall depict all features proposed within the Streetscape, including: street trees; street lights; trails/pathways; crosswalks; speed tables; on-street parking; and the like.
  - (b) The Plan shall depict any area proposed for curb bulb-outs, bus stops, bus shelters, bicycle lanes, bicycle racks, and Pedestrian Gathering Areas.
  - (c) The Plan shall depict pavement materials.
  - (d) The Plan shall depict all proposed Streets, Alleys, Lanes, Service Drives, and other vehicular thoroughfares.
  - (e) The Plan shall include all dimensions for all thoroughfare types.
  - (f) The Plan shall depict all: Green Space; passive open space; active open space; natural open space (woodlands, wetlands, etc.); sidewalks; walkways; trails; pathways; crosswalk; pedestrian bridges; and Pedestrian Gathering Areas (plazas, courtyards, and the like).
  - (g) A minimum of 2% of the gross tract area shall be depicted as a Pedestrian Gathering Area and depicted on the Plan.
- (3) Specific Manual of Written and Graphic Design Standards.
- (a) Applicants shall prepare and submit a Specific Manual of Written and Graphic Design Standards that shall be consistent with the Article X-Appendix A General Manual of Written and Graphic Design Standards.
- (4) Relationship to Other Ordinance Requirements for the TND-1 District.
- (a) Relationship to other Zoning Ordinance Requirements.
    - [f] Except as they are in conflict with these regulations, all other regulations in this Chapter 240 shall apply to this TND-1 District.
  - (b) Relationship to Subdivision and Land Development Ordinance Requirements.
    - [1] The conventional Design Standards of the East Goshen Township Subdivision and Land Development Ordinance shall apply unless such Design Standards are found to be in conflict with the provisions of this Article and Article IX of the East Goshen Township Subdivision & Land Development Ordinance in which case the provisions of this Article shall apply.

F. Special Design and Development Standards.

- (1) All submissions in the TND-1 Goshenville Overlay District shall be designed to be consistent with the §240-61.F. Design Standards of Appendix A, which include:
  - (a) Legislative Intent of the Special Design and Development Standards.
  - (b) Building Location.
  - (c) Temporary Uses.
- (2) No submission shall be approved unless there is a finding of consistency with the §240-61.F. Design Standards of Appendix A.
- (3) All subdivision and land development Applications shall be accompanied by a Manual of Written and Graphic Design Guidelines prepared by the Applicant, which shall be consistent with the Design Standards of this Section and Article IX of the Subdivision and Land Development Ordinance.

# Appendix A

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Chapter 240-61.F.  
Zoning Ordinance

## ARTICLE X. OVERLAY DISTRICTS

**General Manual of Written and Graphic Design Standards  
Special Design and Development Standards for:**

*Traditional Neighborhood Development - 1  
Goshenville Overlay District*

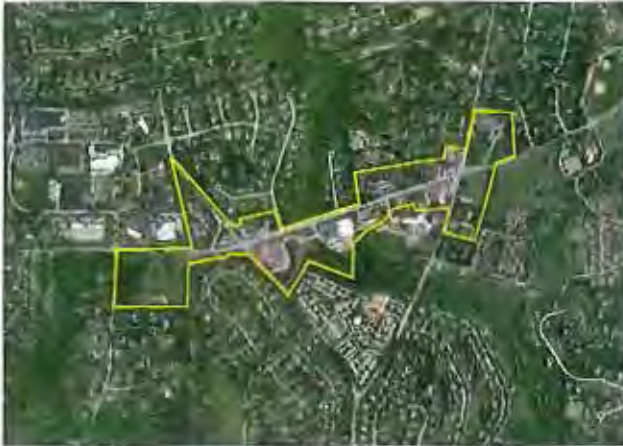
**East Goshen Township - Chester County, PA**

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- (a) Legislative Intent of the Special Design & Design Standards
- (b) Building Location
- (c) Temporary Uses



## 240-61.F.(1)(a) Legislative Intent of the Special Design & Development Standards



Goshenville Overlay District



Paoli Pike Streetscape Concept

### Legislative Intent:

**240-61.F.(1)(a)[1]** These Special Design & Development Standards are intended to comply with Article VII-A: Traditional Neighborhood Development, and in particular Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

**240-61.F.(1)(a)[2]** Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-1 Goshenville Overlay District.

**240-61.F.(1)(a)[3]** These Design Standards shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes of the TND-1 Goshenville Overlay District.

**240-61.F.(1)(a)[4]** All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Standards.

**240-61.F.(1)(a)[5]** All Applications for Land Development in the TND-1 Goshenville Overlay District shall be accompanied by a Specific Manual of Written and Graphic Design Guidelines prepared by the Applicant, which Manual shall be consistent with this Appendix A.

**240-61.F.(1)(a)[6]** In addition to the Design Standards in this Appendix A, the provisions of Article X TND-1 Goshenville Overlay District of this Ordinance, and the provisions of Article IX. of the Subdivision Land Development Ordinance shall also apply.

If there is a conflict between the provisions of this Appendix A, and those of Article X or Article IX, the strictest provisions shall apply.

## 240-61.F.(1)(b) Building Location



Building located at Build-To-Line.



Existing Building with Pergola as transitional feature



Buildings adjoining sidewalk



Mixed-Use Buildings in alignment

### Legislative Intent:

**240-61.F.(1)(b)[1]** Buildings are intended to be located in general alignment with other buildings on a block.

### Design Standards:

**240-61.F.(1)(b)[2]** Buildings shall be placed at a Build-To Line, as shown in the Development Strategy Plan.

**240-61.F.(1)(b)[3]** At least 60% of the building facade shall be along the Build-To Line. Therefore, up to 40% of the building facade may have a recess or projection to add variety and diversity to the building.

**240-61.F.(1)(b)[4]** New Buildings shall adjoin sidewalks at street corners, (and parking shall be located behind buildings), unless a Green or Plaza is provided at street corners

**240-61.F.(1)(b)[5]** Existing Buildings with deep setbacks shall have building additions such as Pergolas and Porches to serve as a transitional feature along the Streetscape.



## 240-61.F.(1)(c) Temporary Uses



Pop-Up Market



Temporary Food Trucks/Vendors



Pop-Up Art Show

### Legislative Intent:

**240-61.F.(1)(c)[1]** Temporary Uses are intended to promote a more Pedestrian-oriented retail environment in Goshenville.

**240-61.F.(1)(c)[2]** Temporary Uses are intended to promote the Village Character of Goshenville.

### Design Standards:

**240-61.F.(1)(c)[3]** Temporary Uses may include, but are not limited to: Pop-up Markets, Pop-up Festivals/Events, Pop-up Art shows, Food Trucks/Vendors, etc.

**240-61.F.(1)(c)[4]** Temporary Uses shall minimize impacts on surrounding and nearby properties.

**240-61.F.(1)(c)[5]** Temporary Uses shall not cause vehicular traffic/parking problems, or put pedestrian safety at risk.

**240-61.F.(1)(c)[6]** Temporary Uses shall be located in an area with sufficient open space available to conduct the proposed use.

**ZONING ORDINANCE AMENDMENTS**

**240-62. Traditional Neighborhood Development: TND-2 Goshenville Overlay District.**

A. Applicability.

- (1) The TND-2 Overlay District is as shown on the East Goshen Township Zoning Map.

B. Intent of the TND-2 Overlay District. This district is intended to:

- (1) Implement the East Goshen Township Comprehensive Plan, adopted October 20, 2015.
- (2) Implement the Paoli Pike Corridor Master Plan, adopted December 19, 2017, and promote Walkability.
- (3) Comply with Article VII-A Traditional Neighborhood Development, of the Pennsylvania Municipalities Planning Code (MPC), Act 247, as Amended and, in particular those purposes and objectives listed in Section 701-A of Article VII-A such as: encouraging innovation for mixed-use, pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for integrated, mixed-use, pedestrian-oriented neighborhoods; establishing public space; and fostering a sense of place and community.
- (4) Emulate other successful Villages in the region that are noted for attractive Streetscapes, walkability, and a diversity of Uses.
- (5) Emulate the Build-To Line condition of the Blacksmith Shop in Historic Goshenville so that buildings have a direct Streetscape presence.
- (6) Be guided by Section 240-62.F., the Special Design and Development Standards Appendix B. this Article.
- (7) Be guided by Section 205-75, the Special Design and Development Standards of Article XI. Of the Subdivision & Land Development Ordinance.

C. Use Regulations.

- (1) Uses Permitted By Right. The following principal uses are permitted by right in the TND-2 Overlay District if the area, bulk and all other applicable requirements of this chapter are satisfied:
  - (a) Single-family detached dwelling.
  - (b) Semidetached dwelling.

- (c) A lawfully permitted dwelling unit used as a group home, provided that the requirements of §240-38 for such use are met.
  - (d) Forestry in accordance with the standards of §240-34.1.
  - (e) Townhouses in accordance with §240-30.
  - (f) Township Park, recreational areas, Green Space, Pedestrian Gathering Area.
- (2) Conditional Uses. The following Conditional Uses may be when authorized by the Board of Supervisors in accordance with §240-31.
- (a) Place of worship or church.
  - (b) Public or private primary or secondary school.
  - (c) Public utility facility.
- (3) Uses By Special Exception. None.
- (4) Accessory Uses. Accessory Uses shall be permitted in accordance with the Special Design and Development Standards.
- (a) Home occupation, which may include day care as an accessory use.
  - (b) Storage shed.
  - (c) Fence and wall.
  - (d) Garage.
  - (e) Recreational vehicle storage.
  - (f) Private greenhouse.
  - (g) Tennis court.
  - (h) Swimming pool.
  - (i) Solar energy systems.
  - (j) Signs. (See §240-22.)
  - (k) Temporary structure or use.
  - (l) Home-related business.
  - (m) Apartment for care of a relative.
  - (n) No-impact home-based business as accessory to a residential dwelling.
  - (o) Wind-generated energy systems.

(p) Off-street parking. (See §240-33.)

D. Lot Area, Width, Building Coverage, Height, Yard and Density Regulations. All uses shall be serviced by centralized sewage disposal and centralized water supply systems. The following requirements shall apply to each use in the TND-2 Overlay District, subject to further applicable provisions of this chapter:

(1) Basic Requirements.

Requirements: TND-2	Residential Uses
Single-Family Detached Dwellings	
Minimum Lot Area	8,500 square feet
Minimum Side Yard	10 ft. minimum; 25 ft. aggregate
Minimum Rear Yard	20 feet
Single-Family Semi-Detached Dwellings	4,500 square feet
Townhouses	
Minimum Tract Area	1 acre
Maximum Density	4 dwelling units per acre
Total Impervious Coverage	65%
Minimum Green Space	35%
Maximum Building Height	35 feet
Minimum Building Height	20 feet
Perimeter Buffer	50 feet
Adjoining Residential Districts	
Build-To Lines	20 feet

E. Other Overlay District Requirements.

In addition to the Plans typically submitted for a Subdivision and Land Development Application and in addition to the typical procedures, the following shall apply.

(1) Procedures.

(a) The Applicant is strongly encouraged to submit a Sketch Plan as the first submission to receive informal comments on the design and layout of the proposed development in the TND-2 District.

(b) A Streetscape Plan/Public Realm Plan shall be submitted with the Preliminary and Final Plan submission, and shall be used to gauge compliance and consistency with the TND-2 District requirements.

(c) A Specific Manual of Written and Graphic Design Standards shall be submitted.

(2) Streetscape Plan/Public Realm Plan Requirements.

(a) The Plan shall depict all features proposed within the Streetscape, including: street trees; street lights; trails/pathways; crosswalks; speed tables; on-street parking; and the like.

- (b) The Plan shall depict any area proposed for curb bulb-outs, bus stops, bus shelters, bicycle lanes, bicycle racks, and Pedestrian Gathering Areas.
  - (c) The Plan shall depict pavement materials.
  - (d) The Plan shall depict all proposed Streets, Alleys, Lanes, Service Drives, and other vehicular thoroughfares.
  - (e) The Plan shall include all dimensions for all thoroughfare types.
  - (f) The Plan shall depict all: Green Space; passive open space; active open space; natural open space (woodlands, wetlands, etc.); sidewalks; walkways; trails; pathways; crosswalks; pedestrian bridges; and Pedestrian Gathering Areas (plazas, courtyards, and the like).
  - (g) A minimum of 10% of the gross tract area shall be depicted as a Pedestrian Gathering Area as depicted on the Plan.
- (3) Specific Manual of Written and Graphic Design Standards
- (a) Applicants shall prepare and submit a Specific Manual of Written and Graphic Design Standards that shall be consistent with Article X-Appendix B, and the Article IX-Appendix A General Manuals of Written and Graphic Design Standards.
- (4) Relationship to Other Ordinance Requirements for the TND-2 District.
- (a) Relationship to other Zoning Ordinance Requirements.
    - [1] Except as they are in conflict with these regulations, all other regulations in this Chapter 240 shall apply to this TND-2 District.
  - (b) Relationship to Subdivision and Land Development Ordinance Requirements.
    - [1] The conventional Design Standards of the East Goshen Township Subdivision and Land Development Ordinance Shall apply unless such Design Standards are found to be in conflict with the provisions of this Article and Article IX of the East Goshen Township Subdivision & Land Development Ordinance in which case the provisions of this Article shall apply.

F. Special Design and Development Standards.

- (1) All submissions in the TND-2 Goshenville Overlay District shall be designed to be consistent with the Design Standards of Appendix B., which include:
  - (a) Legislative Intent of the Special Design and Development Standards.
  - (b) Building Location.
- (2) No submission shall be approved unless there is a finding of consistency with the Design Standards of Appendix B.

- (3) All subdivision and land development Applications shall be accompanied by a Manual of Written and Graphic Design Guidelines prepared by the Applicant, which shall be consistent with the Design Standards of this Section and Article IX of the Subdivision and Land Development Ordinance.

# Appendix B

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Chapter 240-62.F,  
Zoning Ordinance

## ARTICLE X. OVERLAY DISTRICTS

**General Manual of Written and Graphic Design Standards  
Special Design and Development Standards for:**

*Traditional Neighborhood Development - 2  
Goshenville Overlay District*

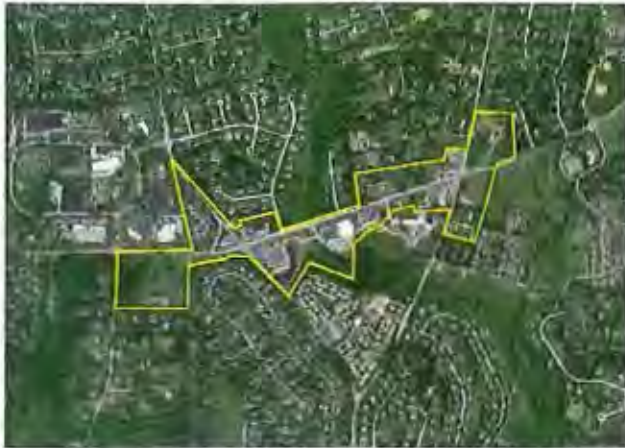
**East Goshen Township - Chester County, PA**

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- (a) Legislative Intent of the Special Design & Design Standards
- (b) Building Location



## 240-62.F.(1)(a) Legislative Intent of the Special Design & Development Standards



Goshenville Overlay Districts



Paoli Pike Streetscape Concept

### Legislative Intent:

**240-62.F.(1)(a)[1]** These Special Design & Development Standards are intended to comply with Article VII-A: Traditional Neighborhood Development, and in particular Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

**240-62.F.(1)(a)[2]** Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-2 Goshenville Overlay District.

**240-62.F.(1)(a)[3]** These Design Standards shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes of the TND-2 Goshenville Overlay District.

**240-62.F.(1)(a)[4]** All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Standards.

**240-62.F.(1)(a)[5]** All Applications for Land Development in the TND-2 Goshenville Overlay District shall be accompanied by a Specific Manual of Written and Graphic Design Guidelines prepared by the Applicant, which Manual shall be consistent with this Appendix A.

**240-62.F.(1)(a)[6]** In addition to the Design Standards in this Appendix B, the provisions of Article X TND-2 Goshenville Village Overlay District of this Ordinance, and the provisions of Article IX. of the Subdivision Land Development Ordinance shall also apply.

If there is a conflict between the provisions of this Appendix B, and those of Article X or Article IX, the strictest provisions shall apply.



## 240-62.F.(1)(b) Building Location



Single-Family Semi-Detached Dwelling at Build-To Line



Townhomes in alignment with buildings on the block



Single-Family Semi-Detached Dwelling adjoining Sidewalk



Single-Family Dwellings located at Build-To Line

### Legislative Intent:

**240-62.F.(1)(b)[1]** Buildings are intended to be located in general alignment with other buildings on a block.

### Design Standards:

**240-62.F.(1)(b)[2]** Buildings shall be placed at a Build-To Line, as shown in the Development Strategy Plan.

**240-62.F.(1)(b)[3]** At least 60% of the building facade shall be along the Build-To Line. Therefore, up to 40% of the building facade may have a recess or projection to add variety and diversity to the building.

**240-62.F.(1)(b)[4]** New Buildings shall adjoin sidewalks at street corners, (and parking shall be located behind buildings), unless a Green or Plaza is provided at street corners

**240-62.F.(1)(b)[5]** Existing Buildings with deep setbacks shall have building additions such as Pergolas and Porches to serve as a transitional feature along the Streetscape.

Further Revised: 11-1-2018  
Revised: 10-29-2018  
10-17-2018  
9-26-2018  
6-20-2018  
5-23-2018

**SUBDIVISION AND LAND DEVELOPMENT**  
**ORDINANCE AMENDMENTS**

**Article IX. Special Design and Development Standards**

**205.75. Traditional Neighborhood Development -1 & 2 Goshenville Overlay District.**

A. All submissions in the TND-1 & 2 Goshenville Overlay District shall be designed to be consistent with the Special Design and Development Standards of Appendix A to the extent applicable with mixed use in the TND-1 District and Residential Use only in the TND-2 District, which include:

- (1) Legislative Intent of the Special Design and Development Standards.
- (2) Overview and Key Design Elements.
- (3) Building Design & Proportion.
- (4) Parking Location & Requirements.
- (5) Curb Cuts.
- (6) Streets Walls.
- (7) Street Trees & Other Landscaping.
- (8) Street Lights.
- (9) Sidewalks/Walkways/Crosswalks.
- (10) Streetscape Features & Street Furniture.
- (11) Pedestrian Gathering Areas.
- (12) Internal Street Network.
- (13) Drive-Thru Facilities.
- (14) Development Strategy Plan.

B. Definitions.

(The following words are defined and intended to be codified as part of Article II, Section 205.6. Word Usage.)

**Build-To Line**

The line which defines the placement of the building from the street on which the building fronts. The Build-To Line of the Building forms the Street Wall line. On a corner lot, the Build-To Line is located on each side of a lot abutting a street. A Build-To Line may have a recess or projection up to two (2) feet in order to promote variation of building placement on a block, and/or may have a recess of up to 12 feet in order to promote outdoor dining for a café or restaurant, except that the distance to the Build-To Line may be increased to be greater than that specified in the TND Overlay Districts whenever there is a stream along the front of a property.

**Green Space**

The totality of the land that comprises the area of a TND, exclusive of buildings, streets, alleys, service lanes, parking lots, and paved surfaces such as those used for dumpsters or approved/fenced outdoor storage. Green Space includes Active Open Space and passive Open Space, including such features as recreational areas, parks, squares, plazas, courtyards, pedestrian gathering areas, pocket parks, playgrounds, tot lots, dog parks, playfields, natural open space designated to conserve wetlands and floodplains, and other areas for natural resource conservation, and stormwater detention basins unless designed and constructed as a wet basin or a naturalized stormwater management basin.

**Manual of Written and Graphic Design Guidelines**

A document that provides written and graphic design guidelines for the TND District, consistent with the Design Standards in Sections 240-61.F. and 240-62.F. of the Zoning Ordinance and Section 205.75.A. of this Ordinance.

**Pedestrian Gathering Area**

A plaza, courtyard, pocket park, tot lot, playground, walkway, promenade, or other like type facility in which features such as pavers, benches, gazebos, pergolas, arbors, trellises, planters, plantings, lighting, and sculpture are installed and maintained.

**Service Lane**

A thoroughfare type, similar to a common driveway or alley, that provides vehicular access for non-residential development, typically for deliveries, loading and unloading, and parking.

**Shared Parking**

Off-street parking that two (2) or more landowners or tenants share in accordance with the regulations derived from the ULI-Urban Land Institute publication titled "Shared Parking Second Edition", 2005.

**Streetscape**

The space formed between buildings and the adjoining street, which is embellished with sidewalks, street trees, street lights, curbs, and cartways. The Streetscape is framed by buildings, which create the "outdoor room" character of the street as shown in the Design Standards in Section 205-75.A. of the Subdivision & Land Development Ordinance.

**Street Wall**

The wall of a building adjoining a sidewalk at the edge of the street right-of-way, as in the case of a non-residential use, or adjoining a porch, portico, stoop, or front yard landscaped area as in the case of a residential use; or approved architectural or landscaping elements at least 30 inches but not more than 42 inches in height such as piers, benches, and hedges, in lieu of a building wall. A Street Wall shall extend the entire length of the edge of the street right-of-way, except where curb cuts, driveways and pedestrian access is provided.

**Traditional Neighborhood Development (TND)**

An area of land developed for a compatible mixture of residential and nonresidential uses, including buildings that provide for a mix of uses. Residences, shops, offices, workplaces, public buildings, and parks are interwoven within the neighborhood so that all are within relatively close proximity to each other. Traditional Neighborhood Development is relatively compact, limited in size and oriented toward pedestrian activity. It has an identifiable center and discernible edge. The center of the neighborhood is in the form of a public park, commons, plaza, square, or prominent intersection of two or more major streets. There is a hierarchy of streets laid out in a rectilinear pattern of inter-connecting streets and blocks that provide multiple routes from origins to destinations, designed to serve the needs of pedestrians and vehicles.

# Appendix A

Chapter 205-75.A.

Subdivision & Land Development Ordinance

## ARTICLE IX. DESIGN STANDARDS.

**General Manual of Written and Graphic Design Standards  
Special Design and Development Standards for:**

*Traditional Neighborhood Development - 1 & 2  
Goshenville Overlay Districts*

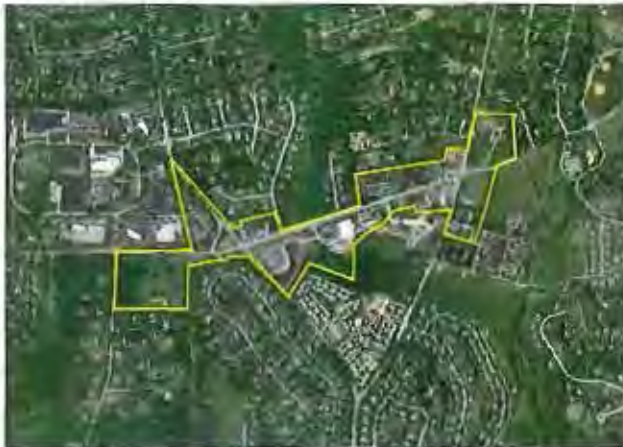
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- (2) Overview and Key Design Elements
- (3) Building Design & Proportion
- (4) Parking Location & Requirements
- (5) Curb Cuts
- (6) Street Walls
- (7) Street Trees & Other Landscaping
- (8) Street Lights
- (9) Sidewalks/Walkways/Crosswalks
- (10) Streetscape & Street Furniture
- (11) Pedestrian Gathering Areas
- (12) Internal Street Network
- (13) Drive-Thru Facilities
- (14) Development Strategy Plan



## 205-75.A.(1) Legislative Intent of the Special Design & Development Standards



Goshenville Overlay Districts



Paoli Pike Streetscape Concept

### Legislative Intent:

**205-75.A.(1)(a)** These Special Design & Development Standards are intended to comply with Article VII-A: Traditional Neighborhood Development, and in particular Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

**205-75.A.(1)(b)** Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-1 & TND-2 Goshenville Overlay Districts.

**205-75.A.(3)(c)** These Design Standards shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes of the TND-1 Goshenville Overlay District.

**205-75.A.(3)(d)** All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Standards.

**205-75.A.(3)(e)** All Applications for Land Development in the TND-1 & TND-2 Goshenville Overlay Districts shall be accompanied by a Specific Manual of Written and Graphic Design Guidelines prepared by the Applicant, which Manual shall be consistent with this Appendix A.

**205-75.A.(3)(f)** In addition to the Design Standards in this Appendix A, the provisions of Article III-A TND-1 & TND-2 Goshenville Overlay Districts of the Zoning Ordinance, and the provisions of Article IX. of this Ordinance shall also apply.

If there is a conflict between the provisions of this Appendix A, and those of Article X or Article IX, the strictest provisions shall apply.

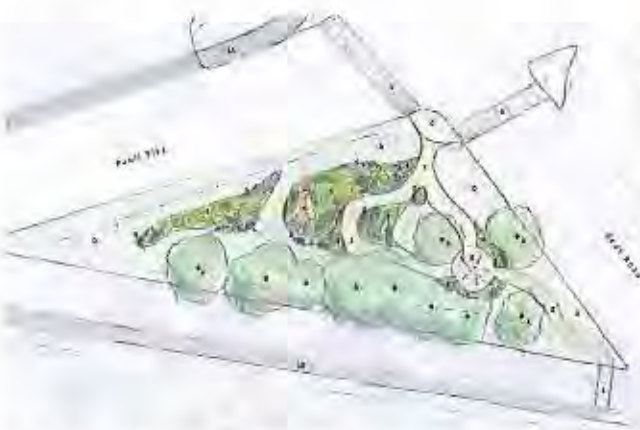
## 205-75.A.(2) Overview and Key Design Elements



Village Concept in Goshenville



Goshenville Overlay District Development Strategy Plan



Pedestrian Gathering Area Concept

### Legislative Intent:

**205-75.A.(2)(a)** The Vision and Goals of the Goshenville Overlay District include: activating the corridor; connecting people; calming traffic; and enhancing the Town Center of Goshenville.

**205-75.A.(2)(b)** The TND-1 & TND-2 Goshenville Overlay Districts is intended to accomplish the Vision and Goals by: encouraging innovation for mixed-use pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for integrated, mixed-use, pedestrian-oriented neighborhoods; establishing public space; fostering a sense of place and community; and encouraging a diversity of Uses.

**205-75.A.(2)(c)** The enhancements of Goshenville will be guided through these Special Design & Development Standards, and will address the following Key Design Elements in order to achieve the desired outcome for Goshenville.

**Balance Growth & Development to maintain a Small Town Character:** to coordinate community development/redevelopment in context with the scale & capacity of Goshenville.

**Maintain & Enhance Diversity:** to enhance the variety of opportunities to live, work, shop, dine, and play.

**Improve & Enhance Attractiveness & Vitality:** to promote a variety of commercial uses in Goshenville that add value, and enhance the vibrancy.

**Promote Multi-Modal Transportation:** to enable effective mobility & circulation through an interconnect network for buses, motor vehicles, bicycles, and pedestrian.

**Enhance Streetscapes:** to provide functional, safe, and attractive thoroughfares through interconnect networks for streets, trails/pathways and crosswalks, accented with street trees and street lights,

**Protect Historic, Cultural & Natural Resources:** to encourage adaptive reuse of viable buildings, protect historic and natural features, and promote conservation of energy.

**Enhance the Quality of Life:** to maintain and promote parks, recreational areas, and special civic events.

## 205-75.A.(3) Building Design & Proportion



Facade and Roof Line Articulation



Utilization of stone and wood siding material



Building recesses and projections



Roof Line Variation

### Legislative Intent:

**205-75.A.(3)(a)** Architectural Materials are intended to be durable, long lasting, and sustainable.

**205-75.A.(3)(b)** The use of traditional materials, such as brick, stone, stucco over stone, and wood siding, is intended to provide a historic reference to Goshenville.

**205-75.A.(3)(c)** Facade articulation, variation in roof lines, and vertical expression of buildings, is intended to promote consistency with the scale and proportion of traditional Goshenville buildings and Streetscape.

### Design Standards:

**205-75.A.(3)(d)** Utilize brick, stone, stucco over stone, or wood siding to the maximum extent possible.

**205-75.A.(3)(e)** Create a vertical expression to buildings through the use of crenelation in the form of windows, doors, pilasters, piers, columns, arches, terraces, porches, porticos, stoops, balconies, colonnades, arcades, and the like.

**205-75.A.(3)(f)** Provide recesses or projections to buildings, from one to two feet, whenever the building exceeds 18 feet in width.



## 205-75.A.(4) Parking Location & Requirements



Off-street Parking located to the side of the building



Shared Parking located to the rear or side of the buildings



Pier-Fence-Hedge combination screening visible parking

### Legislative Intent:

**205-75.A.(4)(a)** Off-Street parking lots are intended to be located to the rear of buildings.

**205-75.A.(4)(b)** Existing Parking Lots located in the front of a building are intended to be screened with a pier-fence-hedge combination (see §205-75.A.5.).

**205-75.A.(4)(c)** Shared Parking is intended to reduce the amount of parking needed and impervious surface coverage.

### Design Standards:

**205-75.A.(4)(d)** Off-Street Parking lots shall be located to the side or rear of buildings or in parking courts.

**205-75.A.(4)(e)** Off-Street Parking visible from a street shall be screened with a pier-fence-hedge combination.

**205-75.A.(4)(f)** Shared Parking shall link parking areas on adjoining properties with compatible uses to the maximum extent possible.

**205-75.A.(4)(g)** Shared Parking shall be governed by a written Agreement between property owners.

## 205-75.A.(5) Curb Cuts



Continuous Street edge with limited Curb Cuts



Curb Cut allowing continuous Pedestrian access



Curb Cut less than 30 feet in width



Curb Cut located along the rear of the lot/building

### Legislative Intent:

**205-75.A.(5)(a)** Curb Cuts are intended to be limited in width, to help control vehicular access.

**205-75.A.(5)(b)** Existing wide Curb Cuts are intended to be “necked-down” to minimize pedestrian conflicts, and to provide space for additional Streetscape amenities.

### Design Standards:

**205-75.A.(5)(c)** Curb Cuts shall be minimized to enable uninterrupted pedestrian movement along trails/paths.

**205-75.A.(5)(d)** Existing cross streets or streets along the rear of the lot shall be utilized to access parking to the maximum extent possible.

**205-75.A.(5)(e)** Any new Curb Cut shall not be more than 30 feet in width for two-way traffic, and not more than 18 feet in width for one-way traffic.

## 205-75.A.(6) Street Walls



Buildings forming the Street Wall



Brick Wall screening off-street parking



Street Trees utilized as Street Wall along Streetscape

### Legislative Intent:

**205-75.A.(6)(a)** Street Walls are intended to be the predominant Street edge feature in the Goshenville, or when permitted as a combination of architectural and landscape elements such as but not limited to pier-fence-hedge combination, low walls, and street trees/landscaping.

### Design Standards:

**205-75.A.(6)(b)** Existing Street Walls formed by Buildings shall be maintained.

**205-75.A.(6)(d)** A brick or masonry Street Wall, 30 inches to 42 inches in height, shall be created to create a visual screen to existing off-street parking lots, and proposed off-street parking lots. The wall shall be built and maintained with materials complementary to the principal building and/or structure.

**205-75.A.(6)(e)** Street Trees and other landscaping may be utilized as the Street Wall along portions of the streetscape without buildings.

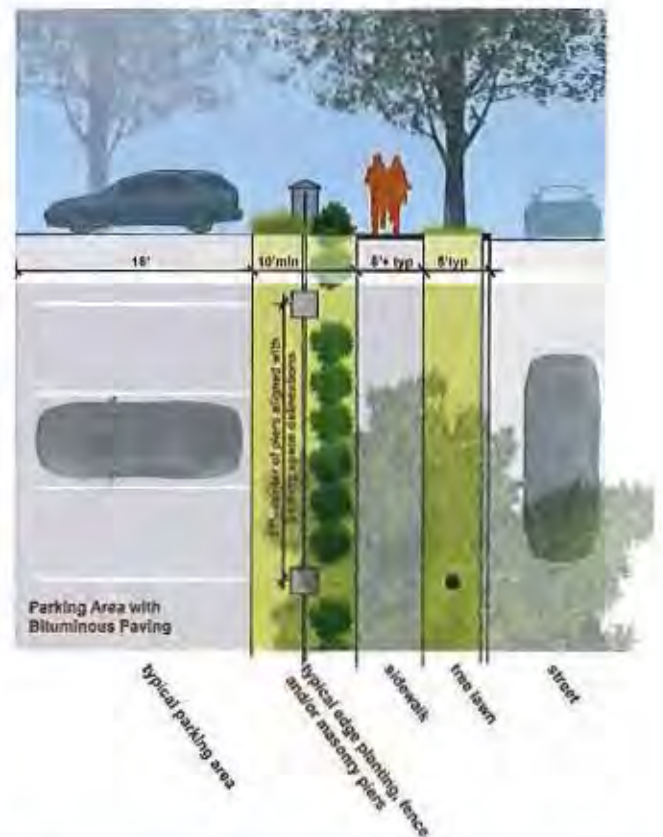
## 205-75.A.(6) Street Walls: Pier-Fence-Hedge



Typical Section of Pier, Fence & Hedge



Pier-Fence-Hedge combination screening off-street parking



### Legislative Intent:

**205-75.A.(6)(f)** A Pier-Fence-Hedge combination is intended to provide an alternative Street Wall type.

**205-75.A.(6)(g)** A Pier-Fence-Hedge combination is intended to be used to delineate the Streetscape edge and to help screen the off-parking located adjacent to the roadway.

### Design Standards:

**205-75.A.(6)(h)** A Pier-Fence-Hedge combinations shall be utilized as a form of Street Wall in order to screen off-street parking areas located adjacent to the roadway.

**205-75.A.(6)(i)** A Pier-Fence-Hedge combinations shall consist of stone/masonry piers, black fence, and evergreen shrubs.

## 205-75.A.(7) Street Trees & Other Landscaping



Street Trees installed and maintained along both sides of street



Landscaping utilized to soften hardscape features



Layered Landscaping

### Legislative Intent:

**205-75.A.(7)(a)** Street Trees are intended to provide shade and screening, and add a graceful element to the streetscape.

**205-75.A.(7)(b)** Street Trees are intended to be placed in a regular alternating alignment along both sides of streets, and are intended to form an Allee effect to the streetscape.

**205-75.A.(7)(c)** Landscaping is intended to provide an attractive edge along the streetscape.

**205-75.A.(7)(d)** Landscaping is intended to be layered, so that there is a progression of scale from the ground plane, to the sidewalk/building scale, to the overhead canopy.

### Design Standards:

**205-75.A.(7)(e)** Street Trees shall be installed and maintained along both sides of all streets at least two feet (2') behind the Trail/Path, and out of the buffer area along Paoli Pike.

**205-75.A.(7)(f)** Street Trees shall be installed and maintained in accordance with Section 205-62 of the Subdivision and Land Development Ordinance.

**205-75.A.(7)(g)** Landscaping shall be utilized to soften hardscape features.

**205-75.A.(7)(h)** Walkways, Public Space, and view corridors shall be accentuated with Landscaping.

**205-75.A.(7)(h)** The landscaping shall be diversified through the use of contrasting textures such as: smooth & rough, light & dark, bright & shadow, brilliant & subdued, and natural & man-made.

## 205-75.A.(8) Street Lights



"Traditional" style Street Lights



Street Light with Vertical Banner



Street Lights located to minimize conflict with Street Trees

### **Legislative Intent:**

**205-75.A.(8)(a)** Pedestrian-scaled street lights are intended to provide an attractive component to the Streetscape.

**205-75.A.(8)(b)** Street Lights are intended to provide securing along the trail/paths.

**205-75.A.(8)(c)** Street Lights are intended to be a "Traditional" style in order to create an identity for Goshenville.

**205-75.A.(8)(d)** Landscaping is intended to be layered, so that there is a progression of scale from the ground plane, to the sidewalk/building scale, to the overhead canopy.

### **Design Standards:**

**205-75.A.(8)(e)** Street Lights shall be provided along both sides of streets.

**205-75.A.(8)(f)** Street Lights shall be 10 to 12 feet in height.

**205-75.A.(8)(g)** One (1) pedestrian scaled, ornamental street light shall be provided at an average interval of forty-five (45) feet.

**205-75.A.(8)(h)** Street Lights shall have vertical banners.

**205-75.A.(8)(i)** Street Lights shall be "Traditional Style" and shall have a matte black finish.

**205-75.A.(8)(j)** Street Lights shall be located to minimize conflicts with Street Trees.

## 205-75.A.(9) Trails/Paths/Crosswalks



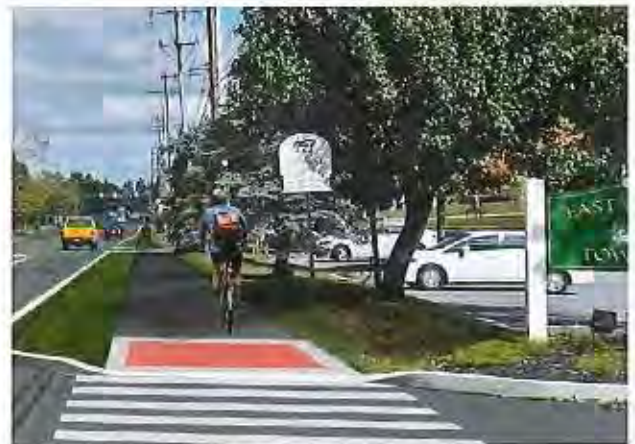
Crosswalk Striping connecting opposing accessible sidewalk ramps



Crosswalk in driveway throat continuing the Sidewalk system



Trail/Path with grass buffer



Multi-Use Trail and Crosswalk along Paoli Pike

### Legislative Intent:

**205-75.A.(9)(a)** Trails/Paths are intended to provide opportunities for continuous pedestrian circulation and connection.

**205-75.A.(9)(b)** Crosswalks are intended to provide pedestrian safety, and continue the Trail/Path system.

### Design Standards:

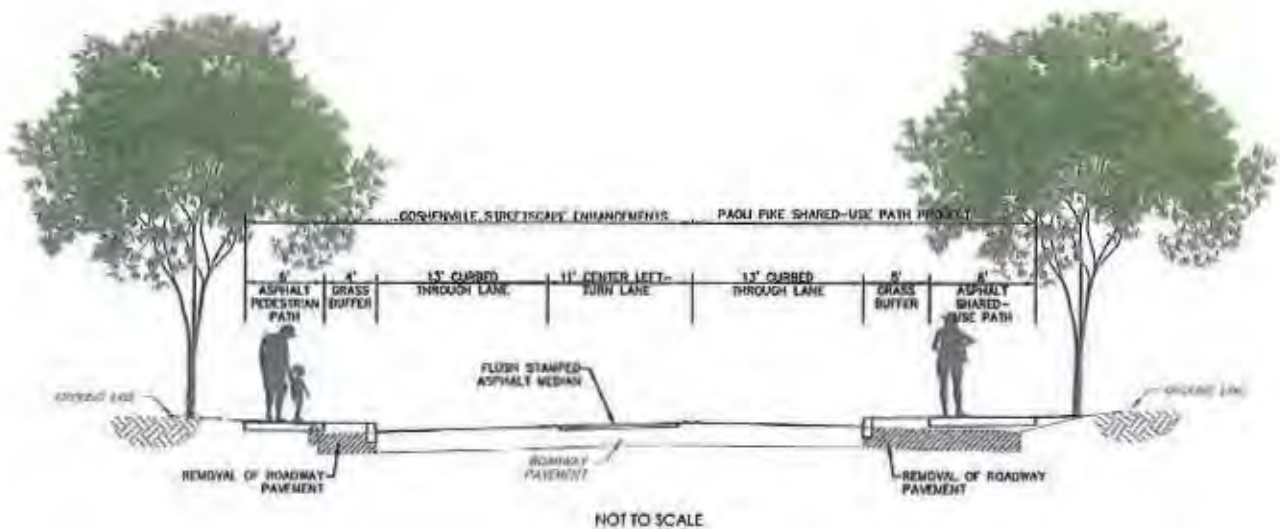
**205-75.A.(9)(e)** An 8'-10' asphalt multi-use trail with a five foot (5') wide (minimum) grass buffer between the curb and path shall be provided and maintained on the south side of Paoli Pike

**205-75.A.(9)(f)** A six foot (6') wide asphalt pedestrian path with a four foot (4') wide (minimum) grass buffer between the curb and path shall be provided and maintained on the north side of Paoli Pike.

**205-75.A.(9)(g)** High visibility Crosswalks with ADA compliant curb ramps shall be provided and maintained at signalized intersections and at all street crossings and curb cuts.

**205-75.A.(9)(h)** Crosswalks shall be at least six feet (6'-0") in width when they cross streets.

## 205-75.A.(10) Streetscape & Street Furniture



Paoli Pike Streetscape Section

### **Legislative Intent:**

**205-75.A.(10)(a)** Streetscapes are intended to be maintained, enhanced, and created to consist of Paths/Trails, Street Trees, Street Lights, Street Furniture, Pedestrian Gathering Spaces, and Cartways.

**205-75.A.(10)(b)** Street Furniture is intended to provide a functional and attractive component to the West Chester Borough Streetscape.

**205-75.A.(10)(c)** Streetscape and hardscape paving materials are intended to be referential to Historic Goshenville and promote uniformity and continuity within the Goshenville Streetscape.

**205-75.A.(10)(d)** Traffic Calming strategies are intended to reduce vehicular travel speeds in order to improve bicycle and pedestrian safety and provide a comfortable environment for walking and biking.

### **Design Standards:**

**205-75.A.(10)(e)** Streetscapes shall be enhanced with Paths/Trails, Street Trees, Street Lights, Street Furniture, Pedestrian Gathering Spaces, and Traffic Calming Measures.

**205-75.A.(10)(f)** Brick or Stamped Asphalt Brick shall be utilized in the Hardscape Median, Flush Stamped Asphalt Median, and the Pedestrian Gathering Areas.

**205-75.A.(10)(g)** Brick or Stamped Asphalt Brick shall be utilized for the Hardscape Paving in order to provide uniformity and continuity within the Goshenville Streetscape.

**205-75.A.(10)(g)** Retaining Walls utilized to enable the Trail in narrow areas shall be pre-cast stone wall that is referential to Historic Goshenville.



## 205-75.A.(10) Streetscape & Street Furniture



Stone Wall material referential to Historic Goshenville



Paoli Pike Streetscape with Street Trees, Trail/Path, Crosswalk, Traffic Calming Measures, etc.



Brick utilized in Pedestrian Gathering Area



Bench with Black Matte Finish

### Design Standards:

**205-75.A.(10)(h)** Retaining Walls utilized to enable the Trail in narrow areas shall be pre-cast stone wall that is referential to Historic Goshenville.

**205-75.A.(10)(i)** Traffic Calming Strategies shall include: Gateway Median/Pedestrian Safety Island, Stamped Asphalt Median, Reduced Lane Widths, Gateway Signage, Street Trees/Landscaping, and Painted Rumble Strips (as described in the Paoli Pike Corridor Master Plan).

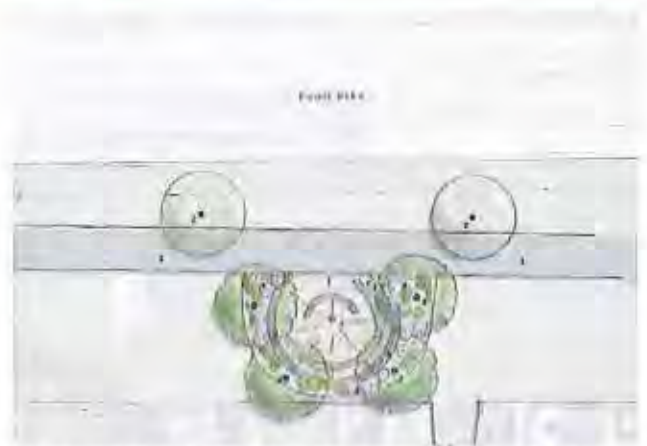
**205-75.A.(10)(j)** Street Furniture, such as benches, waste receptacles, street lights, bollards, bicycle racks, fencing etc., shall have a black matte finish in order to provide uniformity and continuity throughout the Goshenville Streetscape.

**205-75.A.(10)(k)** All Street Trees, Street Lights, Landscaping, and the like shall be in accordance with this Article XI and the Subdivision and Land Development Ordinance.

## 205-75.A.(11) Pedestrian Gathering Areas



Pedestrian Gathering Area Concept for the intersection of Paoli Pike and Boot Road



Pedestrian Gathering Area Concept along Paoli Pike



Pedestrian Gathering Area with Hardscape, Shade Trees, shrubs, and benches



Pedestrian Gathering Area as central open space amenity

### Legislative Intent:

**205-75.A.(11)(a)** Pedestrian Gathering Areas are intended to provide passive recreational opportunities along the Paoli Pike Corridor:

**205-75.A.(11)(b)** Pedestrian Gathering Areas are intended to provide places to rest, shade, and service as focal points along the Streetscape.

**205-75.A.(11)(c)** Pedestrian Gathering Areas are intended to complement adjoining retail/commercial uses, and be accessible to nearby neighborhoods.

### Design Standards:

**205-75.A.(11)(d)** Pedestrian Gathering Areas shall include a variety of landscape and hardscape features such as shade trees, shrubs, unit pavers, benches, low sitting walls, planters, and pedestrian scaled lighting.

**205-75.A.(11)(e)** Pedestrian Gathering Areas shall also be built and maintained as a central open space amenity in TND-2 Area neighborhoods.

## 205-75.A.(12) Internal Street Network



Internal Street Network at Wyndcrest, Sandy Springs, MD, with On-Street Parallel Parking



Internal Street Network at Lake Forest, IL, with On-Street Angled Parking



Internal Street Network at Louella Court, Wayne, PA



Internal Street Network wrapped around Pedestrian Gathering Areas

### Legislative Intent:

205-75.A.(12)(a) Internal Street Networks are intended to be interconnected.

### Design Standards:

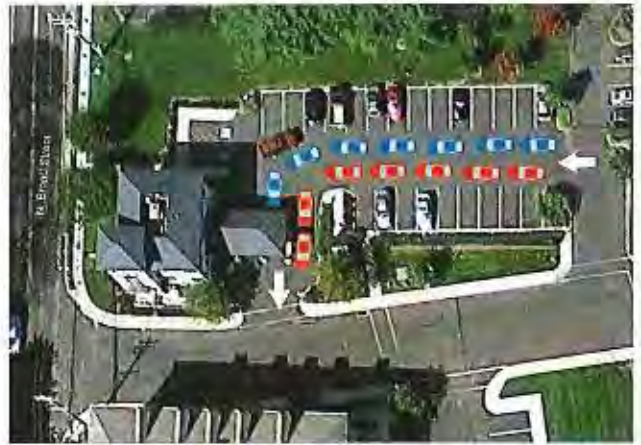
205-75.A.(12)(b) Internal Street Networks shall be designed and built as an interconnected network.

205-75.A.(12)(c) A new internal street shall be designed and built to wrap around a Pedestrian Gathering Area.

## 205-75.A.(13) Drive-Thru Facilities



Bank with Drive-Thru Facility located in the rear



Traffic Stacking at Drive-Thru Facility located in the rear



Coffee Shop with Drive-Thru Facility located in the rear



Fast Food with Drive-Thru Facility located on the side

### Legislative Intent:

**205-75.A.(13)(a)** Drive-Thru Facilities, such as those at Banks, Pharmacies, Coffee Shops, and Fast Food Restaurants, are intended to have the Drive-Thru component in the back or side of the facility, not along a primary street frontage.

### Design Standards:

**205-75.A.(13)(b)** Drive-Thru Facilities shall not be located along a primary street frontage.

**205-75.A.(13)(c)** When A Drive-Thru Facility is located on the side of a building, it shall be setback at least 25 feet from the street right-of-way.

**205-75.A.(13)(d)** Drive-Thru Facilities shall have building materials, colors, and form, complementary to the principal building.

# 205-75.A.(14) Development Strategy Plan



Goshenville Village Development Strategy Plan (see insert enlargement)

**Legislative Intent:**

**205-75.A.(14)(a)** The Development Strategy Plan is intended to guide and inform Development, Redevelopment, and Infill in Goshenville Village.

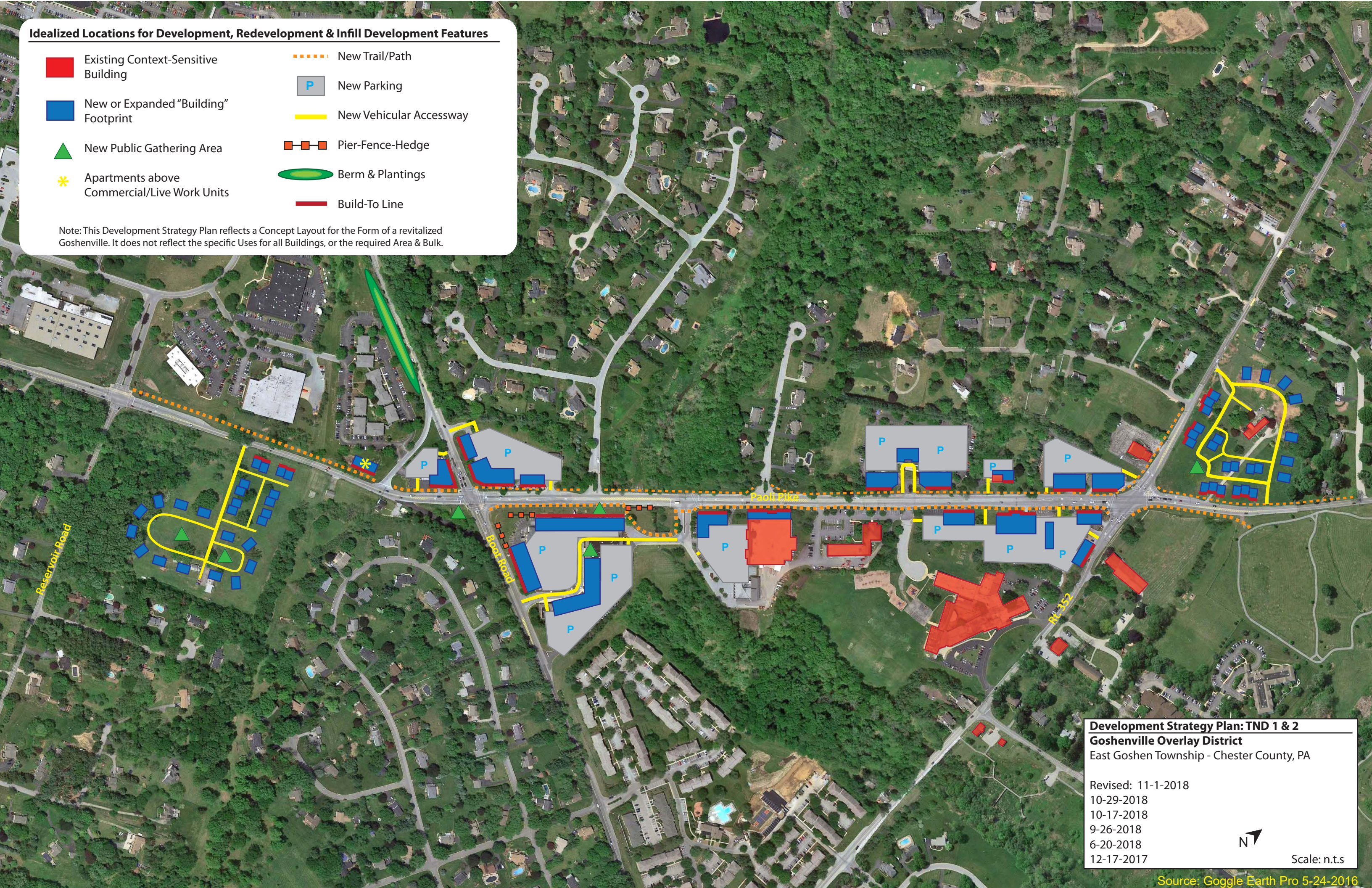
**Design Standards:**

**205-75.A.(14)(b)** Development, Redevelopment, and Infill shall follow the form of the Development Strategy Plan to the maximum extent possible.

**Idealized Locations for Development, Redevelopment & Infill Development Features**

- Existing Context-Sensitive Building
- New or Expanded "Building" Footprint
- ▲ New Public Gathering Area
- ✱ Apartments above Commercial/Live Work Units
- - - New Trail/Path
- P New Parking
- New Vehicular Accessway
- Pier-Fence-Hedge
- Berm & Plantings
- Build-To Line

Note: This Development Strategy Plan reflects a Concept Layout for the Form of a revitalized Goshenville. It does not reflect the specific Uses for all Buildings, or the required Area & Bulk.



**Development Strategy Plan: TND 1 & 2**  
**Goshenville Overlay District**  
 East Goshen Township - Chester County, PA

Revised: 11-1-2018  
 10-29-2018  
 10-17-2018  
 9-26-2018  
 6-20-2018  
 12-17-2017

N  
 Scale: n.t.s

# Memorandum

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**East Goshen Township**  
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Date: 2/1/2019

To: Planning Commission

From: Mark Gordon, Township Zoning Officer *mg*

Re: Westtown Township Comprehensive Plan

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Dear Commission Members,

As you know, Westtown Township is developing their 2019 Comprehensive Plan Update and IAW the MPC, WTT is seeking input from the surrounding communities on their plan.

WTT and EGT share approximately 2 miles of Township boundary all of which is currently developed except for one parcel owned by the Westtown School which has frontage on Westtown Way and Walnut Hill Rd.

The staff review of the WWT Comp Plan revealed no concerns or issues from a planning perspective. Staff did note that that the plan projects that future development, past the 20-year horizon, could top 1000 dwelling units. This would surely necessitate traffic and infrastructure improvements which are also identified in the plan.

The only comment I would suggest the PC make is in regard to future planning for the West Chester Pike Corridor. I would suggest that East Goshen Township and WWT continue to work together on future planning efforts concerning the West Chester Pike Corridor.

Tom Comitta is the planner for the WTT Comp Plan Update, so I would also suggest that we ask Tom if he sees any specific issues identified in the WTT plan that we should look at and discuss in more detail.