

AGENDA
EAST GOSHEN TOWNSHIP
BOARD OF SUPERVISORS
Tuesday, June 25, 2019

6:00 PM

1. Call to Order (6:00 PM)
2. Pledge of Allegiance
3. Moment of Silence – Supervisor Carmen Battavio
4. Announce that the meeting is being recorded
5. Chairman’s Report - none
6. Public Comment on non-agenda items – Will be held after the presentation.
7. Emergency Services Reports
 - a. WEGO – none
 - b. Goshen Fire Co – none
 - c. Malvern Fire Co – none
 - d. Good Fellowship – none
 - e. Fire Marshal – none
8. Financial Report – none
9. Approval of Minutes and Treasurer’s Report
 - a. Minutes – none
 - b. Treasurers Report – none
10. Public Hearings - none
11. Old Business - None
12. New Business
 - a. [Presentation by Tom Comitta on Paoli Pike / Goshenville Traditional Neighborhood Development Overlay Districts. \(6:05 PM to 7:55 PM\)](#)
13. Any Other Matter
14. Public Comment on non-agenda items – if necessary
15. Liaison Reports - none
16. Correspondence, Reports of Interest
17. Adjournment (7:55 PM)

Meetings & Dates of Importance

June 27, 2019	Pipeline Task Force	05:00pm
June 29, 2019	Community Day	04:30pm
July 2, 2019	Board of Supervisors	07:00pm
July 4, 2019	Township Office Closed	-----
July 8, 2019	Municipal Authority	07:00pm
July 10, 2019	Planning Commission	07:00pm
July 10, 2019	Conservancy Board	07:00pm

July 11, 2019	Historical Commission	07:00pm
July 16, 2019	Board Supervisors	07:00pm
July 18, 2019	Futurist Commission	07:00pm

Newsletter Deadline for Fall of 2019: August 1st

The Chairperson, in his or her sole discretion, shall have the authority to rearrange the agenda accommodate the needs of other board members, the public or an applicant.

Public Comment – Pursuant to Section 710.1 of the Sunshine Act the Township is required to include an opportunity for public comment agenda which is intended to allow residents and/or taxpayers to comment on matters of concern, official action or deliberation which are or may be before the Board of Supervisors. Matters of concern which merit additional research will be placed on the agenda for the next meeting. The Board of Supervisors will allocate a maximum of 30 minutes for public comment at the beginning of each meeting. If necessary, there will be a second period for public comment prior to the end of the meeting.

Constant Contact - Want more information about the latest news in the Township and surrounding area? East Goshen Township and Chester County offer two valuable resources to stay informed about important local issues. East Goshen communicates information by email about all Township news through Constant Contact. To sign up, go to www.eastgoshen.org, and click the “E-notification & Emergency Alert” button on the left side of the homepage.

ReadyChesco - Chester County offers an emergency notification system called ReadyChesco, which notifies residents about public safety emergencies in the area via text, email and cell phone call. Signing up is a great way to keep you and your loved ones safe when disaster strikes. Visit www.readychesco.org to sign up today!

Smart 911 – Smart 911 is a new service in Chester County that allows you to create a Safety Profile at www.smart911.com that includes details you want the 9-1-1 center and public safety response teams to know about your household in an emergency. When you dial 9-1-1, from a phone associated with your Safety Profile that information automatically displays to the 9-1-1 call taker allowing them to send responders based on up-to-date location and emergency information. With your Safety Profile, responders can arrive aware of many details they would not otherwise know. Fire crews can arrive knowing exactly how many people live in your home and where the bedrooms are located. EMS personnel can know family members’ allergies or specific medical conditions. And police can access a photo of a missing family member in seconds rather than minutes or hours, helping the search start faster.

F:\Data\Shared Data\Agendas\Board of Supervisors\2019\2019-06-25_Board of Supervisors Agenda for web.doc

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380
Voice: 610-692-7171
Fax: 610-692-8950
E-mail: mgordon@eastgoshen.org

Date: 4/19/2019
To: Board of Supervisors
From: Mark Gordon, Township Zoning Officer
Re: Paoli Pike / Goshenville TND Overlay District

Board Members,

In April of 2018 the Planning Commission was tasked with developing a zoning ordinance amendment that reflected the planning objectives outlined in the 2015 Comprehensive Plan and the Paoli Pike Corridor Master plan. A draft ordinance has been developed for the Boards consideration. **I have already distributed the final draft ordinance and development standards for your review. The draft is now on the website.**

The Planning Commission worked hard on this for a full year, with the primary concern being whether or not to create an overlay district or create an outright change to the zoning. The PC ultimately decided to draft and recommend a Traditional Neighborhood Development Overlay District within Goshenville.

Mr. Comitta is prepared to make a presentation to the Board at your first availability. We suggest that this topic be the only item on the agenda for that evening. After the presentation and once the Board has had time to review and discuss the ordinance amendments with Mr. Comitta and staff, the PC believes that it's important to have a public engagement session to engage the public.

Please advise staff on what dates work for the Board in June to conduct the presentation.

4-23-19

HAVE PRESENTATION ON 6-25-19

EAST GOSHEN TOWNSHIP
PLANNING COMMISSION
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

April 18, 2019

East Goshen Township
Board of Supervisors
1580 Paoli Pike
West Chester, Pa. 19380

Re: Paoli Pike / Goshenville Traditional Neighborhood Development Overlay (TND)

Dear Board Members:

At their meeting on April 3, 2019 the Planning Commission voted in favor of the following motion:

Mr. Chairman, I move that the Planning Commission recommend that the Board of Supervisors consider the Traditional Neighborhood Overlay District ordinance amendments and design guidelines and seek public input on the proposed amendments.

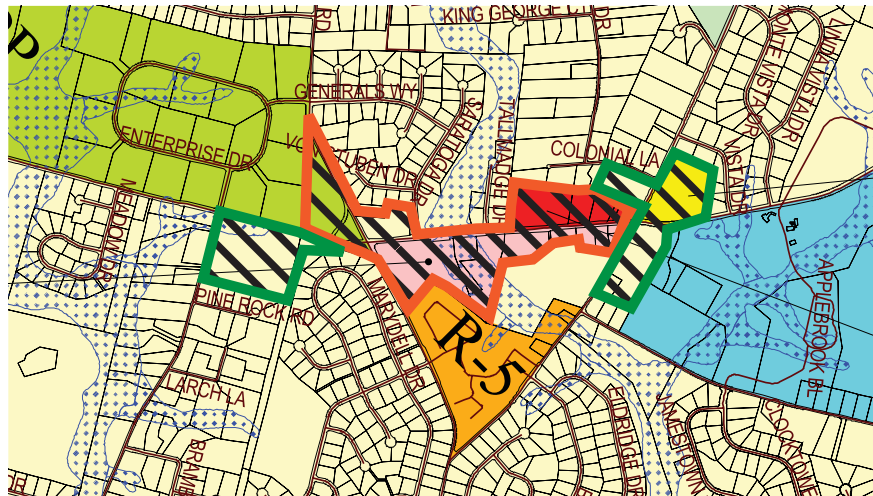
Sincerely,



Mark A. Gordon
Township Zoning Officer

Traditional Neighborhood Development -1 & 2 Goshenville Overlay Districts

East Goshen Township - Chester County, PA



Zoning Ordinance Amendments as Proposed
May 23; June 20; September 26; October 17, 2018;
October 29, 2018; November 1, 2018; April 3, 2019;
Revised: April 5, 2019

Revised: 4-5-2019
4-3-2019
11-1-2018
10-29-2018
10-17-2018
9-26-2018

ZONING ORDINANCE AMENDMENTS

Article I. Title; Intent; Definitions

240-5. Zoning Districts and map.

- A. Zoning Districts. For the purpose of this chapter, the Traditional Neighborhood Development Districts of the Township of East Goshen, are hereby divided into the following districts:

TND-1	Traditional Neighborhood Development -1 Goshenville Overlay District
TND-2	Traditional Neighborhood Development -2 Goshenville Overlay District

240-6. Definitions; word usage.

- B. Definitions. When used in this chapter, the following words, terms and phrases shall have the following meaning, unless expressly stated otherwise or unless the context clearly indicates otherwise.

Artisan Shop

A retail store selling art glass, ceramics, clothing, jewelry, paintings, sculpture, and other similar handcrafted items, where the facility includes an area for crafting of the items being sold.

Build-To Line

The line which defines the placement of the building from the street on which the building fronts. The Build-To Line of the Building forms the Street Wall line. On a corner lot, the Build-To Line is located on each side of a lot abutting a street. A Build-To Line may have a recess or projection up to two (2) feet in order to promote variation of building placement on a block (and/or may have a recess of up to 12 feet in order to promote outdoor dining for a café or restaurant in the TND-1 District), except that the distance to the Build-To Line may be increased to be greater than that specified in the TND Overlay Districts whenever there is a stream along the front of a property.

Outdoor Dining

An establishment with either counter ordering or table service that provides a defined outdoor area for eating, which may be a sidewalk café.

Pedestrian Gathering Area

A plaza, courtyard, pocket park, tot lot, playground, walkway, promenade, or other like type facility in which features such as pavers, benches, gazebos, pergolas, arbors, trellises, planters, plantings, lighting, and sculpture are installed and maintained.

Impervious surfaces within Pedestrian Gathering Areas shall be included for purposes of stormwater management but shall not count for purposes of zoning calculations.

Pop-Up Use

A temporary use that may involve a commercial or retail establishment, an art gallery, a philanthropic use, an educational use, outdoor recreational use, or a seasonal use such as a food stand.

Revitalization

The enlargement or extension of an existing non-residential building by twenty percent (20%) or more of the gross floor area of the building.

Streetscape

The space formed between buildings and the adjoining street, which is embellished with sidewalks, street trees, street lights, curbs, and cartways. The Streetscape is framed by buildings, which create the “outdoor room” character of the street as shown in the Design Standards in Section 205-75.A. of the Subdivision & Land Development Ordinance.

TND Open Space

The totality of the land that comprises the area of a TND, exclusive of buildings, streets, alleys, service lanes, parking lots, and other paved surfaces such as those used for dumpsters or approved/fenced outdoor storage. TND Open Space includes Active Open Space and Passive Open Space, including such features as recreational areas, parks, squares, plazas, courtyards, pedestrian gathering areas, pocket parks, playgrounds, tot lots, dog parks, playfields, natural open space designated to conserve wetlands and floodplains, and other areas for natural resource conservation, and stormwater detention basins unless designed and constructed as a wet basin or a stormwater management basin.

Further Revised: 4-5-2019
Revised: 4-3-2019
12-19-2018
11-1-2018
10-29-2018
10-17-2018
9-26-2018
6-20-2018
5-23-2018

ZONING ORDINANCE AMENDMENTS

Article X. Overlay Districts

240-61. Traditional Neighborhood Development: TND-1 Goshenville Overlay District.

A. Applicability and Conditions of Eligibility.

- (1) The TND-1 Overlay District shall be depicted on the East Goshen Township Zoning Map.
- (2) Whenever Revitalization of an existing non-residential building is proposed, or a new use or a change of use of 51% or more is proposed, the provisions of this Article X shall apply, and the provisions of Article IX, Section 205.75. of the Subdivision and Land Development Ordinance shall apply.
- (3) Whenever a vacant lot is proposed for development, the provisions of this Article X shall apply, and the provisions of Article IX, Section 205.75. of the Subdivision and Land Development Ordinance shall apply.
- (4) Whenever an existing building is demolished and new construction is proposed, the provisions of this Article X shall apply, and the provisions of Article IX, Section 205.75. of the Subdivision and Land Development Ordinance shall apply.
- (5) All development and revitalization shall be served by centralized water and centralized sewer.

B. Intent of the TND-1 Overlay District. This district is intended to:

- (1) Implement the East Goshen Township Comprehensive Plan, adopted October 20, 2015.
- (2) Implement the Paoli Pike Corridor Master Plan, adopted December 19, 2017, and promote walkability.
- (3) Comply with Article VII-A Traditional Neighborhood Development, of the Pennsylvania Municipalities Planning Code (MPC), Act 247, as amended and, in particular those purposes and objectives listed in Section 701-A of Article VII-A such as: encouraging innovation for mixed-use, pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for integrated, mixed-use, pedestrian-

oriented neighborhoods; establishing public space; and fostering a sense of place and community.

- (4) Emulate other successful Villages in the region that are noted for attractive Streetscapes, walkability, and a diversity of uses.
- (5) Emulate the Build-To Line condition of the Blacksmith Shop in Historic Goshenville so that buildings have a direct Streetscape presence.
- (6) Be guided by Section 240-61.F. the Special Design and Development Standards which is found in Appendix A. to this Article.
- (7) Be guided by Section 205-75, the Special Design and Development Standards of Article XI. of the Subdivision & Land Development Ordinance.
- (8) Promote a mix of non-residential uses and residential uses.

C. Use Regulations.

- (1) Uses Permitted By Right. The following principal uses are permitted by right in the TND-1 Overlay District if the area, bulk and all other applicable requirements of this chapter are satisfied:
 - (a) Personal service establishment, including the following uses and other personal service uses that the applicant proves to the clear satisfaction of the Zoning Officer which are similar in character: retail and/or self-service dry cleaning and laundry, barber shop, beauty salon, and shoe repair.
 - (b) Retail sales, within a building or buildings not to exceed 8,000 square feet of gross leasable area, of the following items and other items that the applicant proves to the clear satisfaction of the Zoning Officer, which are similar in character, but not to include Convenience Store, and not to include the sale of automotive fuels:
 - [1] Furniture and home furnishings.
 - [2] Gift items, legal drugs, newspapers, cameras, stationery, books, cigarettes, flowers, custom-make crafts, luggage and candy.
 - [3] Shoes, cosmetics and apparel or apparel accessories.
 - [4] Hardware, paint, wallpaper and interior decorating supplies.
 - [5] Groceries and related items for common household use.
 - [6] Retail bakeries and other custom production of salads and similar foods.
 - [7] General merchandise such as is commonly found within department stores, "five and ten" variety stores and general merchandise discount stores.
 - [8] Musical instruments or household appliances.

- (c) Standard restaurant.
 - (d) Standard restaurant with Take-Out Service.
 - (e) Fast food restaurant.
 - (f) Business office, provided that no goods shall be sold on site. A building on a lot containing more than one office establishment shall require conditional use approval.
 - (g) Professional offices, including offices of attorneys, accountants, physicians, dentists, realtors, financial consultants, brokers, engineers, architects or other recognized professions.
 - (h) Government office operated by a municipality, county, state, or federal government, by a school district or by a legally constituted municipal authority or a United States Postal Service facility.
 - (i) Place of worship or church.
 - (j) Public Library.
 - (k) Health/Exercise/Tennis Club.
 - (l) Bank, savings and loan or other financial institution.
 - (m) Mailing, reproduction, faxing, commercial art, photography and/or stenographic services.
 - (n) Forestry in accordance with the standards of §240-34.1.
 - (o) Wireless communications facilities on Township-owned property, subject to compliance with the standards in §240-15H.
 - (p) Artisan Shop.
 - (q) Outdoor dining as part of a standard restaurant.
 - (r) Dwelling Units above Ground Floor Commercial Uses.
 - (s) Township park, recreational areas, TND Open Space, Pedestrian Gathering Area.
 - (t) Pop-Up Use.
- (2) Conditional Uses. The following Conditional Uses may be permitted when authorized by the Board of Supervisors in accordance with §240-31, and the Special Design and Development Standards of §240-61.F.:
- (a) Lot or building containing more than one commercial or office establishment, provided that only uses listed as permitted by right or conditional uses in the TND-1 District shall be permitted.
 - (b) Public utility facility.

- (c) Child Day-care Center.
- (d) Adult Day-care Center.
- (e) Cyber charter school campus.
- (f) Apartments.
- (g) Beverage Café.
- (3) Uses By Special Exception. None.
- (4) Accessory Uses. Accessory Uses shall be permitted in accordance with the Special Design and Development Standards of §240-61.F.
 - (a) Fences and walls.
 - (b) Solar energy systems.
 - (c) Off-street parking and loading. (See §240-33.)
 - (d) Signs. (See §240-22.)
 - (e) Temporary use.
 - (f) Garage.
 - (g) The following uses if accessory to a lawful existing dwelling unit:
 - [1] Home occupation.
 - [2] Storage shed.
 - [3] Swimming pool.
 - [4] Tennis court.
 - [5] Storage of recreational vehicle.
 - [6] No-impact home-based business as accessory to a residential dwelling.
 - (h) Beverage café with or without drive-through service in a shopping center.

D. Lot Area, Width, Building Coverage, Height, Yard and Density Regulations. All uses shall be serviced by centralized sewage disposal and centralized water supply systems. The following requirements shall apply to each use in the TND-1 Overlay District, subject to further applicable provisions of this chapter:

- (1) Non-Residential Uses. (applicable to all Commercial, Office, and Institutional Uses)

Requirements: TND-1	Non-Residential Uses
---------------------	----------------------

Minimum lot area	20,000 square feet
Minimum lot width	
At Build-To Line	50 feet
At street line	80 feet
Maximum lot coverage	
By buildings	40%
By total impervious cover	65%
Minimum TND Open Space	10%
Minimum building height	
Stories	2
Feet	20 feet
Maximum building height	
Stories	3
Feet	40 feet
Minimum side yards	10 feet each
Minimum rear yard	50 feet
Buffer Yard Adjoining Residential Districts	50 feet
Build-To Line	15 feet

(a) Off-street parking. The off-street parking requirements of §240-61.F.(3)(a) shall apply.

(2) Residential Uses.

Requirements: TND-1	Residential Uses
Apartments	
Minimum lot area	40,000 square feet
Maximum Density	12 16 dwelling units per acre
Minimum Habitable Floor Area Permitted	800 square feet
Total impervious coverage	65%
Minimum TND Open Space	20%
Minimum building height	20 feet
Maximum building height	40 feet
Minimum side yards	10 feet each
Minimum rear yard	50 feet
Buffer Yard Adjoining Residential Districts	50 feet
Build-To Lines (as scaled from Development Strategy Plan)	15 feet

Note: Pedestrian Gathering Areas as part of the required 10% or 20% minimum TND Open Space may be a combination of pervious and impervious surfaces. Impervious surfaces shall be included for purposes of stormwater management. Also refer to the standards in §240-61.D.(3)(g).

(3) Apartment Standards. The following standards shall be observed:

(a) Underground utilities. All utilities shall be placed underground.

(b) Setbacks. Garages shall be setback at least ten feet from all side and rear property lines and at least 50 feet from all street right-of-way lines.

(c) Each apartment building shall:

[1] Have a maximum length of each wall of 150 feet in horizontal length.

[2] Be separated from each other building by at least 25 feet.

[3] Be separated from each other building by at least 1.5 times the height of the tallest building.

(d) Maximum dwelling unit size. No dwelling unit within an apartment development shall contain more than three (3) bedrooms, and no more than 50% of the total number of dwelling units shall contain two or more bedrooms.

(e) Building location, orientation and design. The location, orientation and design of all buildings should give consideration for Build-To Lines and Streetscape character, and shall comply with Appendix A General Manual of Written and Graphic Design Standards of Section 240-62.F.(b).

(f) Pedestrian Gathering Area. One or more Pedestrian Gathering Areas (each with a minimum area of 2,500 square feet) shall be provided, whose total area equals at least 200 square feet per dwelling unit. All Pedestrian Gathering Areas shall be located in areas suitable for outdoor active or passive recreation (such as outdoor relaxation, walking and/or gardening). Only Pedestrian Gathering Areas within 100 feet of any building shall count towards the minimum required TND Open Space. The types of Pedestrian Gathering Areas shall relate to the expected breakdown of ages of residents of the units, and shall comply with Appendix A General Manual of Written and Graphic Design Standards of Article IX. Section 205-75.A.(11).

(g) Driveways. The following minimum cartway widths shall be provided for any driveway within an apartment development:

Function	Minimum Cartway Width (feet)
One-way traffic, no parking	9
Two-way traffic, no parking	18
One-way traffic, parallel parking on one side	18
Two-way traffic, parallel parking on one side	27
Two-way traffic, parallel parking on two sides	34

(h) Off-street parking. The off-street parking requirements of §240-61.F.(3)(a) shall apply.

E. Other Overlay District Requirements.

In addition to the Plans that are required for a Subdivision and Land Development Application, the following additional plans and procedures shall apply.

(1) Procedures.

- (a) The Applicant is strongly encouraged to submit a Sketch Plan as the first submission to receive informal comments on the design and layout of the proposed TND-1 District.
 - (b) A Streetscape Plan/Public Realm Plan shall be submitted with the Preliminary and Final Plan submission, and shall be used to gauge compliance and consistency with the TND-1 District requirements.
 - (c) A Specific Manual of Written and Graphic Design Standards shall be submitted.
- (2) Streetscape Plan/Public Realm Plan Requirements.
- (a) The Plan shall depict all features proposed within the Streetscape, including: street trees; street lights; trails/pathways; crosswalks; speed tables; on-street parking; and the like.
 - (b) The Plan shall depict any area proposed for curb bulb-outs, bus stops, bus shelters, bicycle lanes, bicycle racks, and Pedestrian Gathering Areas.
 - (c) The Plan shall depict pavement materials.
 - (d) The Plan shall depict all proposed Streets, Alleys, Lanes, Service Drives, and other vehicular thoroughfares.
 - (e) The Plan shall include all dimensions for all thoroughfare types.
 - (f) The Plan shall depict all: TND Open Space; passive open space; active open space; natural open space (woodlands, wetlands, etc.); sidewalks; walkways; trails; pathways; crosswalk; pedestrian bridges; and Pedestrian Gathering Areas (plazas, courtyards, and the like).
 - (g) A minimum of 2% of the gross lot area shall be depicted as a Pedestrian Gathering Area and depicted on the Plan.
- (3) Specific Manual of Written and Graphic Design Standards.
- (a) Applicants shall prepare and submit a Specific Manual of Written and Graphic Design Standards that shall be consistent with the Article X-Appendix A General Manual of Written and Graphic Design Standards.
- (4) Relationship to Other Ordinance Requirements for the TND-1 District.
- (a) Relationship to other Zoning Ordinance Requirements.
 - [1] Except as they are in conflict with these regulations, all other regulations in this Chapter 240 shall apply to this TND-1 District, in which case the provisions of this Article shall apply.
 - (b) Relationship to Subdivision and Land Development Ordinance Requirements.

[1] The conventional Design Standards of the East Goshen Township Subdivision and Land Development Ordinance shall apply unless such Design Standards are found to be in conflict with the provisions of this Article and Article IX of the East Goshen Township Subdivision & Land Development Ordinance in which case the provisions of this Article shall apply.

F. Special Design and Development Standards.

- (1) All submissions in the TND-1 Goshenville Overlay District shall be designed to be consistent with the §240-61.F. Design Standards of Appendix A, which include:
 - (a) Legislative Intent of the Special Design and Development Standards.
 - (b) Building Location.
 - (c) Temporary Uses.
- (2) No submission shall be approved unless there is a finding of consistency with the §240-61.F. Design Standards of Appendix A.
- (3) Off-Street Parking and Loading. The parking regulations of Section 240-33 shall apply, except as otherwise provide below.

(a) Residential Apartments (Number of Parking Spaces/Bedroom)

1 Bedroom	1.3 parking spaces
2 Bedrooms	1.5 parking spaces
3 Bedrooms	2.0 parking spaces

(b) Non-Residential (Number of Parking Spaces/1,000 SF GLA)

Office	4
Restaurant	10 weekday; 16 weekend
Other	5

- (c) Parking space area dimensions. The minimum dimensions of parking stalls, shall be 9 feet by 18 feet for 90 degree parking, with a minimum drive or aisle width of 22 feet for one-way, and 24 feet for two-way. On-street parallel curbside parking stalls shall be 7 feet wide and 22 feet long.
- (4) All subdivision and land development Applications shall be accompanied by a Manual of Written and Graphic Design Guidelines prepared by the Applicant, which shall be consistent with the Design Standards of this Section and Article IX of the Subdivision and Land Development Ordinance.

Appendix A

Chapter 240-61.F
Zoning Ordinance

ARTICLE X. OVERLAY DISTRICTS

**General Manual of Written and Graphic Design Standards
Special Design and Development Standards for:**

*Traditional Neighborhood Development - 1 (TND-1)
Goshenville Overlay District*

East Goshen Township - Chester County, PA

TABLE OF CONTENTS

- (a) Legislative Intent of the Special Design & Design Standards
- (b) Building Location
- (c) Temporary Uses



240-61.F.(1)(a) Legislative Intent of the Special Design & Development Standards



Goshenville TND-1 Overlay District



Paoli Pike Streetscape Concept

Legislative Intent:

240-61.F.(1)(a)[1] These Special Design & Development Standards are intended to comply with Article VII-A: Traditional Neighborhood Development, and in particular Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

240-61.F.(1)(a)[2] Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-1 Goshenville Overlay District.

240-61.F.(1)(a)[3] These Design Standards shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes of the TND-1 Goshenville Overlay District.

240-61.F.(1)(a)[4] All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Standards.

240-61.F.(1)(a)[5] All Applications for Land Development in the TND-1 Goshenville Overlay District shall be accompanied by a Specific Manual of Written and Graphic Design Guidelines prepared by the Applicant, which Manual shall be consistent with this Appendix A.

240-61.F.(1)(a)[6] In addition to the Design Standards in this Appendix A, the provisions of Article X TND-1 Goshenville Overlay District of this Ordinance, and the provisions of Article IX. of the Subdivision Land Development Ordinance shall also apply.

If there is a conflict between the provisions of this Appendix A, and those of Article X or Article IX, the strictest provisions shall apply.

240-61.F.(1)(b) Building Location



Building located at Build-To-Line



Existing Building with Pergola as transitional feature



Buildings adjoining sidewalk



Mixed-Use Buildings in alignment

Legislative Intent:

240-61.F.(1)(b)[1] Buildings are intended to be located in general alignment with other buildings on a block.

Design Standards:

240-61.F.(1)(b)[2] Buildings shall be placed at a Build-To Line, as shown in the Development Strategy Plan.

240-61.F.(1)(b)[3] At least 60% of the building facade shall be along the Build-To Line. Therefore, up to 40% of the building facade may have a recess or projection to add variety and diversity to the building.

240-61.F.(1)(b)[4] New Buildings shall adjoin sidewalks at street corners, (and parking shall be located behind buildings), unless a Green or Plaza is provided at street corners

240-61.F.(1)(b)[5] Existing Buildings with deep setbacks shall have building additions such as Pergolas and Porches to serve as a transitional feature along the Streetscape.

240-61.F.(1)(c) Temporary Uses



Pop-Up Market



Temporary Food Trucks/Vendors



Pop-Up Art Show

Legislative Intent:

240-61.F.(1)(c)[1] Temporary Uses are intended to promote a more Pedestrian-oriented retail environment in Goshenville.

240-61.F.(1)(c)[2] Temporary Uses are intended to promote the Village Character of Goshenville.

Design Standards:

240-61.F.(1)(c)[3] Temporary Uses may include, but are not limited to: Pop-up Markets, Pop-up Festivals/Events, Pop-up Art shows, food trucks/vendors, food stands, etc.

240-61.F.(1)(c)[4] Temporary Uses shall minimize impacts on surrounding and nearby properties.

240-61.F.(1)(c)[5] Temporary Uses shall not cause vehicular traffic/parking problems, or put pedestrian safety at risk.

240-61.F.(1)(c)[6] Temporary Uses shall be located in an area with sufficient open space available to conduct the proposed use.

Further Revised: 4-5-2019
Revised: 4-3-2019
11-1-2018
10-29-2018
10-17-2018
9-26-2018
6-20-2018

ZONING ORDINANCE AMENDMENTS

240-62. Traditional Neighborhood Development: TND-2 Goshenville Overlay District.

A. Applicability and Conditions of Eligibility.

- (1) The TND-2 Overlay District is as shown on the East Goshen Township Zoning Map.
- (2) All development shall be served by centralized water and centralized sewer.

B. Intent of the TND-2 Overlay District. This district is intended to:

- (1) Implement the East Goshen Township Comprehensive Plan, adopted October 20, 2015.
- (2) Implement the Paoli Pike Corridor Master Plan, adopted December 19, 2017, and promote Walkability.
- (3) Comply with Article VII-A Traditional Neighborhood Development, of the Pennsylvania Municipalities Planning Code (MPC), Act 247, as Amended and, in particular those purposes and objectives listed in Section 701-A of Article VII-A such as: encouraging, pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for, pedestrian-oriented neighborhoods; establishing public space; and fostering a sense of place and community.
- (4) Emulate other successful Villages in the region that are noted for attractive Streetscapes, walkability, and a diversity of Uses.
- (5) Emulate the Build-To Line condition of the Blacksmith Shop in Historic Goshenville so that buildings have a direct Streetscape presence.
- (6) Be guided by Section 240-62.F., the Special Design and Development Standards Appendix B. this Article.
- (7) Be guided by Section 205-75, the Special Design and Development Standards of Article XI. Of the Subdivision & Land Development Ordinance.

C. Use Regulations.

- (1) Uses Permitted By Right. The following principal uses are permitted by right in the TND-2 Overlay District if the area, bulk and all other applicable requirements of this chapter are satisfied:
 - (a) Single-family detached dwelling.

- (b) Semidetached dwelling.
 - (c) A lawfully permitted dwelling unit used as a group home, provided that the requirements of §240-38 for such use are met.
 - (d) Forestry in accordance with the standards of §240-34.1.
 - (e) Townhouses in accordance with §240-30.
 - (f) Township Park, recreational areas, TND Open Space, Pedestrian Gathering Area.
- (2) Conditional Uses. The following Conditional Uses may be when authorized by the Board of Supervisors in accordance with §240-31.
- (a) Place of worship or church.
 - (b) Public or private primary or secondary school.
 - (c) Public utility facility.
- (3) Uses By Special Exception. None.
- (4) Accessory Uses. Accessory Uses shall be permitted in accordance with the Special Design and Development Standards.
- (a) Home occupation, which may include day care as an accessory use.
 - (b) Storage shed.
 - (c) Fence and wall.
 - (d) Garage.
 - (e) Recreational vehicle storage.
 - (f) Private greenhouse.
 - (g) Tennis court.
 - (h) Swimming pool.
 - (i) Solar energy systems.
 - (j) Signs. (See §240-22.)
 - (k) Temporary structure or use.
 - (l) Home-related business.
 - (m) Apartment for care of a relative.
 - (n) No-impact home-based business as accessory to a residential dwelling.

(o) Wind-generated energy systems.

(p) Off-street parking. (See §240-33.)

D. Lot Area, Width, Building Coverage, Height, Yard and Density Regulations. All uses shall be serviced by centralized sewage disposal and centralized water supply systems. The following requirements shall apply to each use in the TND-2 Overlay District, subject to further applicable provisions of this chapter:

(1) Basic Requirements.

Requirements: TND-2	Residential Uses
Single-Family Detached Dwellings	
Minimum Lot Area	8,500 square feet
Minimum Side Yard	10 ft. minimum; 25 ft. aggregate
Minimum Rear Yard	20 feet
Single-Family Semi-Detached Dwellings	
Minimum Lot Area	4,500 square feet
Townhouses	
Minimum Lot Area	1 acre
Maximum Density	4 dwelling units per acre
Total Impervious Coverage	65%
Minimum TND Open Space	35%
Maximum Building Height	35 feet
Minimum Building Height	20 feet
Perimeter Buffer Adjoining Residential Districts	50 feet
Build-To Lines	20 feet

E. Other Overlay District Requirements.

In addition to the Plans typically submitted for a Subdivision and Land Development Application and in addition to the typical procedures, the following shall apply.

(1) Procedures.

(a) The Applicant is strongly encouraged to submit a Sketch Plan as the first submission to receive informal comments on the design and layout of the proposed development in the TND-2 District.

(b) A Streetscape Plan/Public Realm Plan shall be submitted with the Preliminary and Final Plan submission, and shall be used to gauge compliance and consistency with the TND-2 District requirements.

(c) A Specific Manual of Written and Graphic Design Standards shall be submitted.

(2) Streetscape Plan/Public Realm Plan Requirements.

(a) The Plan shall depict all features proposed within the Streetscape, including: street trees; street lights; trails/pathways; crosswalks; speed tables; on-street parking; and the like.

- (b) The Plan shall depict any area proposed for curb bulb-outs, bus stops, bus shelters, bicycle lanes, bicycle racks, and Pedestrian Gathering Areas.
 - (c) The Plan shall depict pavement materials.
 - (d) The Plan shall depict all proposed Streets, Alleys, Lanes, Service Drives, and other vehicular thoroughfares.
 - (e) The Plan shall include all dimensions for all thoroughfare types.
 - (f) The Plan shall depict all: TND Open Space; passive open space; active open space; natural open space (woodlands, wetlands, etc.); sidewalks; walkways; trails; pathways; crosswalks; pedestrian bridges; and Pedestrian Gathering Areas (plazas, courtyards, and the like).
 - (g) A minimum of 10% of the gross ~~lot tract~~ area shall be depicted as a Pedestrian Gathering Area as depicted on the Plan.
- (3) Specific Manual of Written and Graphic Design Standards
- (a) Applicants shall prepare and submit a Specific Manual of Written and Graphic Design Standards that shall be consistent with Article X-Appendix B, and the Article IX-Appendix A General Manuals of Written and Graphic Design Standards.
- (4) Relationship to Other Ordinance Requirements for the TND-2 District.
- (a) Relationship to other Zoning Ordinance Requirements.
 - [1] Except as they are in conflict with these regulations, all other regulations in this Chapter 240 shall apply to this TND-2 District, in which case the provisions of this Article shall apply.
 - (b) Relationship to Subdivision and Land Development Ordinance Requirements.
 - [1] The conventional Design Standards of the East Goshen Township Subdivision and Land Development Ordinance Shall apply unless such Design Standards are found to be in conflict with the provisions of this Article and Article IX of the East Goshen Township Subdivision & Land Development Ordinance in which case the provisions of this Article shall apply.

F. Special Design and Development Standards.

- (1) All submissions in the TND-2 Goshenville Overlay District shall be designed to be consistent with the Design Standards of Appendix B., which include:
 - (a) Legislative Intent of the Special Design and Development Standards.
 - (b) Building Location.

- (2) No submission shall be approved unless there is a finding of consistency with the Design Standards of Appendix B.
- (3) Off-Street Parking and Loading. The parking regulations of Section 240-33 shall apply.
- (4) All subdivision and land development Applications shall be accompanied by a Manual of Written and Graphic Design Guidelines prepared by the Applicant, which shall be consistent with the Design Standards of this Section and Article IX of the Subdivision and Land Development Ordinance.

Appendix B

Chapter 240-62.F.
Zoning Ordinance

ARTICLE X. OVERLAY DISTRICTS

**General Manual of Written and Graphic Design Standards
Special Design and Development Standards for:**

*Traditional Neighborhood Development - 2 (TND-2)
Goshenville Overlay District*

East Goshen Township - Chester County, PA

TABLE OF CONTENTS

- (a) Legislative Intent of the Special Design & Design Standards
- (b) Building Location



240-62.F.(1)(a) Legislative Intent of the Special Design & Development Standards



Goshenville TND-2 Overlay Districts



Paoli Pike Streetscape Concept

Legislative Intent:

240-62.F.(1)(a)[1] These Special Design & Development Standards are intended to comply with Article VII-A: Traditional Neighborhood Development, and in particular Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

240-62.F.(1)(a)[2] Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-2 Goshenville Overlay District.

240-62.F.(1)(a)[3] These Design Standards shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes of the TND-2 Goshenville Overlay District.

240-62.F.(1)(a)[4] All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Standards.

240-62.F.(1)(a)[5] All Applications for Land Development in the TND-2 Goshenville Overlay District shall be accompanied by a Specific Manual of Written and Graphic Design Guidelines prepared by the Applicant, which Manual shall be consistent with this Appendix A.

240-62.F.(1)(a)[6] In addition to the Design Standards in this Appendix B, the provisions of Article X TND-2 Goshenville Village Overlay District of this Ordinance, and the provisions of Article IX. of the Subdivision Land Development Ordinance shall also apply.

If there is a conflict between the provisions of this Appendix B, and those of Article X or Article IX, the strictest provisions shall apply.

240-62.F.(1)(b) Building Location



Single-Family Semi-Detached Dwelling at Build-To Line



Townhomes in alignment with buildings on the block



Single-Family Semi-Detached Dwelling adjoining Sidewalk



Single-Family Dwellings located at Build-To Line

Legislative Intent:

240-62.F.(1)(b)[1] Buildings are intended to be located in general alignment with other buildings on a block.

Design Standards:

240-62.F.(1)(b)[2] Buildings shall be placed at a Build-To Line, as shown in the Development Strategy Plan.

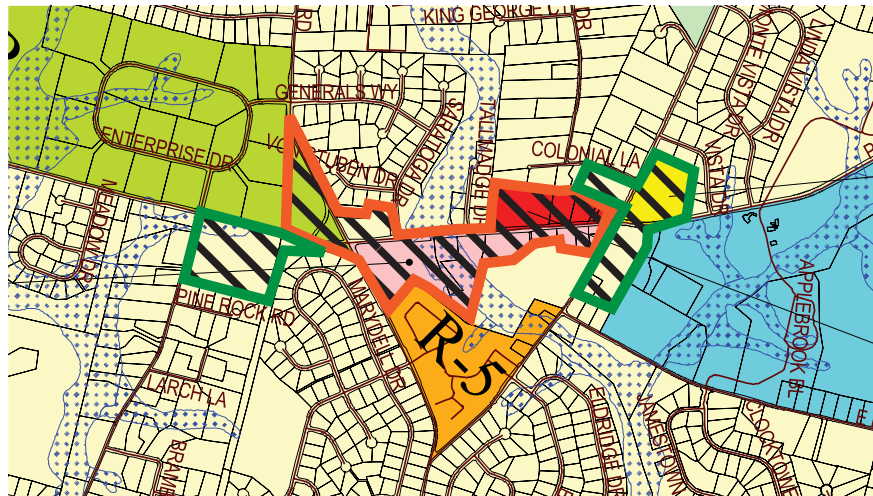
240-62.F.(1)(b)[3] At least 60% of the building facade shall be along the Build-To Line. Therefore, up to 40% of the building facade may have a recess or projection to add variety and diversity to the building.

240-62.F.(1)(b)[4] New Buildings shall adjoin sidewalks at street corners, (and parking shall be located behind buildings), unless a Green or Plaza is provided at street corners

240-62.F.(1)(b)[5] Existing Buildings with deep setbacks shall have building additions such as Pergolas and Porches to serve as a transitional feature along the Streetscape.

Traditional Neighborhood Development - 1 & 2 Goshenville Overlay Districts

East Goshen Township - Chester County, PA



Subdivision & Land Development Ordinance Amendments as Proposed
May 23; June 20; September 26; October 17, 2018; October 29, 2018;
November 1, 2018; April 3, 2019; Revised: April 5, 2019

Further Revised: 4-5-2019
Revised: 4-3-2019
11-1-2018
10-29-2018
10-17-2018
9-26-2018
6-20-2018
5-23-2018

**SUBDIVISION AND LAND DEVELOPMENT
ORDINANCE AMENDMENTS**

Article IX. Special Design and Development Standards

205.75. Traditional Neighborhood Development -1 & 2 Goshenville Overlay District.

A. All submissions in the TND-1 & 2 Goshenville Overlay District shall be designed to be consistent with the Special Design and Development Standards of Appendix A to the extent applicable with mixed use in the TND-1 District and Residential Use only in the TND-2 District, which include:

- (1) Legislative Intent of the Special Design and Development Standards.
- (2) Overview and Key Design Elements.
- (3) Building Design & Proportion.
- (4) Parking Location & Requirements.
- (5) Curb Cuts.
- (6) Streets Walls.
- (7) Street Trees & Other Landscaping.
- (8) Street Lights.
- (9) Sidewalks/Walkways/Crosswalks.
- (10) Streetscape Features & Street Furniture.
- (11) Pedestrian Gathering Areas.
- (12) Internal Street Network.
- (13) Drive-Thru Facilities.
- (14) Development Strategy Plan.

B. Definitions.

(The following words are defined and intended to be codified as part of Article II, Section 205.6. Word Usage.)

Build-To Line

The line which defines the placement of the building from the street on which the building fronts. The Build-To Line of the Building forms the Street Wall line. On a corner lot, the Build-To Line is located on each side of a lot abutting a street. A Build-To Line may have a recess or projection up to two (2) feet in order to promote variation of building placement on a block (and/or may have a recess of up to 12 feet in order to promote outdoor dining for a café or restaurant in the TND-1 District), except that the distance to the Build-To Line may be increased to be greater than that specified in the TND Overlay Districts whenever there is a stream along the front of a property.

Manual of Written and Graphic Design Guidelines

A document that provides written and graphic design guidelines for the TND District, consistent with the Design Standards in Sections 240-61.F. and 240-62.F. of the Zoning Ordinance and Section 205.75.A. of this Ordinance.

Pedestrian Gathering Area

A plaza, courtyard, pocket park, tot lot, playground, walkway, promenade, or other like type facility in which features such as pavers, benches, gazebos, pergolas, arbors, trellises, planters, plantings, lighting, and sculpture are installed and maintained.

Service Lane

A thoroughfare type, similar to a common driveway or alley, that provides vehicular access for non-residential development, typically for deliveries, loading and unloading, and parking.

Shared Parking

Off-street parking that two (2) or more landowners or tenants share in accordance with the regulations derived from the ULI-Urban Land Institute publication titled "Shared Parking Second Edition", 2005.

Streetscape

The space formed between buildings and the adjoining street, which is embellished with sidewalks, street trees, street lights, curbs, and cartways. The Streetscape is framed by buildings, which create the "outdoor room" character of the street as shown in the Design Standards in Section 205-75.A. of the Subdivision & Land Development Ordinance.

Street Wall

The wall of a building adjoining a sidewalk at the edge of the street right-of-way, as in the case of a non-residential use, or adjoining a porch, portico, stoop, or front yard landscaped area as in the case of a residential use; or approved architectural or landscaping elements at least 30 inches but not more than 42 inches in height such as piers, benches, and hedges, in lieu of a building wall. A Street Wall shall extend the entire length of the edge of the street right-of-way, except where curb cuts, driveways and pedestrian access is provided.

TND Open Space

The totality of the land that comprises the area of a TND, exclusive of buildings, streets, alleys, service lanes, parking lots, and paved surfaces such as those used for dumpsters or approved/fenced outdoor storage. TND Open Space includes Active Open Space and passive Open Space, including such features as recreational areas, parks, squares, plazas, courtyards, pedestrian gathering areas, pocket parks, playgrounds, tot lots, dog parks, playfields, natural open space designated to conserve wetlands and floodplains, and other areas for natural resource conservation, and stormwater detention basins unless designed and constructed as a wet basin or a naturalized stormwater management basin.

Traditional Neighborhood Development (TND)

An area of land developed for a compatible mixture of residential and nonresidential uses, including buildings that provide for a mix of uses. Residences, shops, offices, workplaces, public buildings, and parks are interwoven within the neighborhood so that all are within relatively close proximity to each other. Traditional Neighborhood Development is relatively compact, limited in size and oriented toward pedestrian activity. It has an identifiable center and discernible edge. The center of the neighborhood is in the form of a public park, commons, plaza, square, or prominent intersection of two or more major streets. There is a hierarchy of streets laid out in a rectilinear pattern of inter-connecting streets and blocks that provide multiple routes from origins to destinations, designed to serve the needs of pedestrians and vehicles.

Appendix A

Chapter 205-75.A.

Subdivision & Land Development Ordinance

ARTICLE IX. DESIGN STANDARDS.

**General Manual of Written and Graphic Design Standards
Special Design and Development Standards for:**

*Traditional Neighborhood Development - 1 & 2 (TND 1 & 2)
Goshenville Overlay Districts*

East Goshen Township - Chester County, PA

TABLE OF CONTENTS

- (1) Legislative Intent of the Special Design & Design Standards
- (2) Overview and Key Design Elements
- (3) Building Design & Proportion
- (4) Parking Location & Requirements
- (5) Curb Cuts
- (6) Street Walls
- (7) Street Trees & Other Landscaping
- (8) Street Lights
- (9) Sidewalks/Walkways/Crosswalks
- (10) Streetscape & Street Furniture
- (11) Pedestrian Gathering Areas
- (12) Internal Street Network
- (13) Drive-Thru Facilities
- (14) Development Strategy Plan



205-75.A.(1) Legislative Intent of the Special Design & Development Standards



Goshenville Overlay Districts



Paoli Pike Streetscape Concept

Legislative Intent:

205-75.A.(1)(a) These Special Design & Development Standards are intended to comply with Article VII-A: Traditional Neighborhood Development, and in particular Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

205-75.A.(1)(b) Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-1 & TND-2 Goshenville Overlay Districts.

205-75.A.(3)(c) These Design Standards shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes of the TND-1 & TND-2 Goshenville Overlay District.

205-75.A.(3)(d) All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Standards.

205-75.A.(3)(e) All Applications for Land Development in the TND-1 & TND-2 Goshenville Overlay Districts shall be accompanied by a Specific Manual of Written and Graphic Design Guidelines prepared by the Applicant, which Manual shall be consistent with this Appendix A.

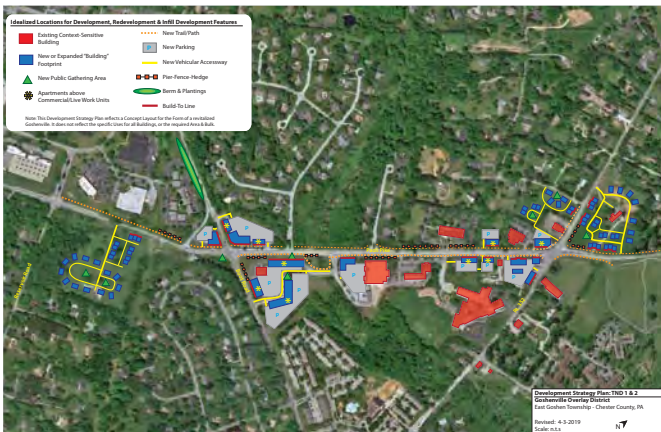
205-75.A.(3)(f) In addition to the Design Standards in this Appendix A, the provisions of Article III-A TND-1 & TND-2 Goshenville Overlay Districts of the Zoning Ordinance, and the provisions of Article IX. of this Ordinance shall also apply.

If there is a conflict between the provisions of this Appendix A, and those of Article X or Article IX, the strictest provisions shall apply.

205-75.A.(2) Overview and Key Design Elements



Village Concept in Goshenville



Goshenville Overlay District Development Strategy Plan



Pedestrian Gathering Area Concept

Legislative Intent:

205-75.A.(2)(a) The Vision and Goals of the Goshenville Overlay District include: activating the corridor; connecting people; calming traffic; and enhancing the Town Center of Goshenville.

205-75.A.(2)(b) The TND-1 & TND-2 Goshenville Overlay Districts is intended to accomplish the Vision and Goals by: encouraging innovation for mixed-use pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for integrated, mixed-use, pedestrian-oriented neighborhoods; establishing public space; fostering a sense of place and community; and encouraging a diversity of Uses.

205-75.A.(2)(c) The enhancements of Goshenville will be guided through these Special Design & Development Standards, and will address the following Key Design Elements in order to achieve the desired outcome for Goshenville.

Balance Growth & Development to maintain a Small Town Character: to coordinate community development/redevelopment in context with the scale & capacity of Goshenville.

Maintain & Enhance Diversity: to enhance the variety of opportunities to live, work, shop, dine, and play.

Improve & Enhance Attractiveness & Vitality: to promote a variety of commercial uses in Goshenville that add value, and enhance the vibrancy.

Promote Multi-Modal Transportation: to enable effective mobility & circulation through an interconnect network for buses, motor vehicles, bicycles, and pedestrian.

Enhance Streetscapes: to provide functional, safe, and attractive thoroughfares through interconnect networks for streets, trails/pathways and crosswalks, accented with street trees and street lights,

Protect Historic, Cultural & Natural Resources: to encourage adaptive reuse of viable buildings, protect historic and natural features, and promote conservation of energy.

Enhance the Quality of Life: to maintain and promote parks, recreational areas, and special civic events.

205-75.A.(3) Building Design & Proportion



Facade and Roof Line Articulation



Utilization of stone and wood siding material



Building recesses and projections



Roof Line Variation

Legislative Intent:

205-75.A.(3)(a) Architectural Materials are intended to be durable, long lasting, and sustainable.

205-75.A.(3)(b) The use of traditional materials, such as brick, stone, stucco over stone, and wood siding, is intended to provide a historic reference to Goshenville.

205-75.A.(3)(c) Facade articulation, variation in roof lines, and vertical expression of buildings, is intended to promote consistency with the scale and proportion of traditional Goshenville buildings and Streetscape.

Design Standards:

205-75.A.(3)(d) Utilize brick, stone, stucco over stone, or wood siding to the maximum extent possible.

205-75.A.(3)(e) Create a vertical expression to buildings through the use of crenelation in the form of windows, doors, pilasters, piers, columns, arches, terraces, porches, porticos, stoops, balconies, colonnades, arcades, and the like.

205-75.A.(3)(f) Provide recesses or projections to buildings, from one to two feet, whenever the building exceeds 18 feet in width.

205-75.A.(4) Parking Location & Requirements



Off-street Parking located to the side of the building



Shared Parking located to the rear or side of the buildings



Pier-Fence-Hedge combination screening visible parking

Legislative Intent:

205-75.A.(4)(a) Off-Street parking lots are intended to be located to the rear of buildings.

205-75.A.(4)(b) Existing Parking Lots located in the front of a building are intended to be screened with a pier-fence-hedge combination (see §205-75.A.5.).

205-75.A.(4)(c) Shared Parking is intended to reduce the amount of parking needed and impervious surface coverage.

Design Standards:

205-75.A.(4)(d) Off-Street Parking lots shall be located to the side or rear of buildings or in parking courts.

205-75.A.(4)(e) Off-Street Parking visible from a street shall be screened with a pier-fence-hedge combination.

205-75.A.(4)(f) Shared Parking shall link parking areas on adjoining properties with compatible uses to the maximum extent possible.

205-75.A.(4)(g) Shared Parking shall be governed by a written Agreement between property owners.

205-75.A.(5) Curb Cuts



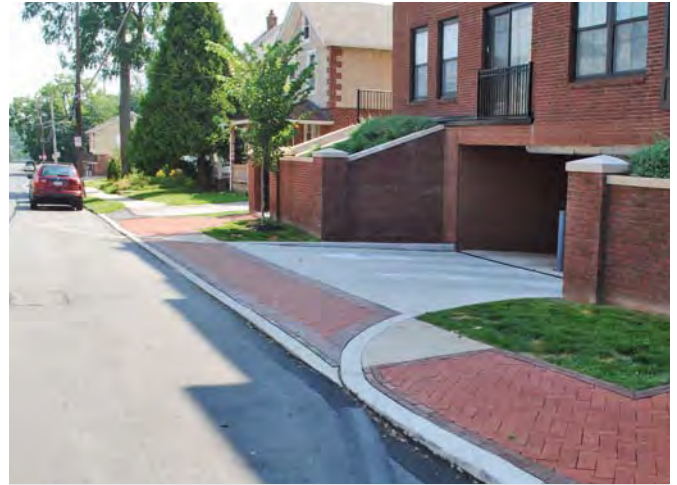
Continuous Street edge with limited Curb Cuts



Curb Cut allowing continuous Pedestrian access



Curb Cut less than 30 feet in width



Curb Cut located along the rear of the lot/building

Legislative Intent:

205-75.A.(5)(a) Curb Cuts are intended to be limited in width, to help control vehicular access.

205-75.A.(5)(b) Existing wide Curb Cuts are intended to be “necked-down” to minimize pedestrian conflicts, and to provide space for additional Streetscape amenities

Design Standards:

205-75.A.(5)(c) Curb Cuts shall be minimized to enable uninterrupted pedestrian movement along trails/paths.

205-75.A.(5)(d) Existing cross streets or streets along the rear of the lot shall be utilized to access parking to the maximum extent possible.

205-75.A.(5)(e) Any new Curb Cut shall not be more than 30 feet in width for two-way traffic, and not more than 18 feet in width for one-way traffic.

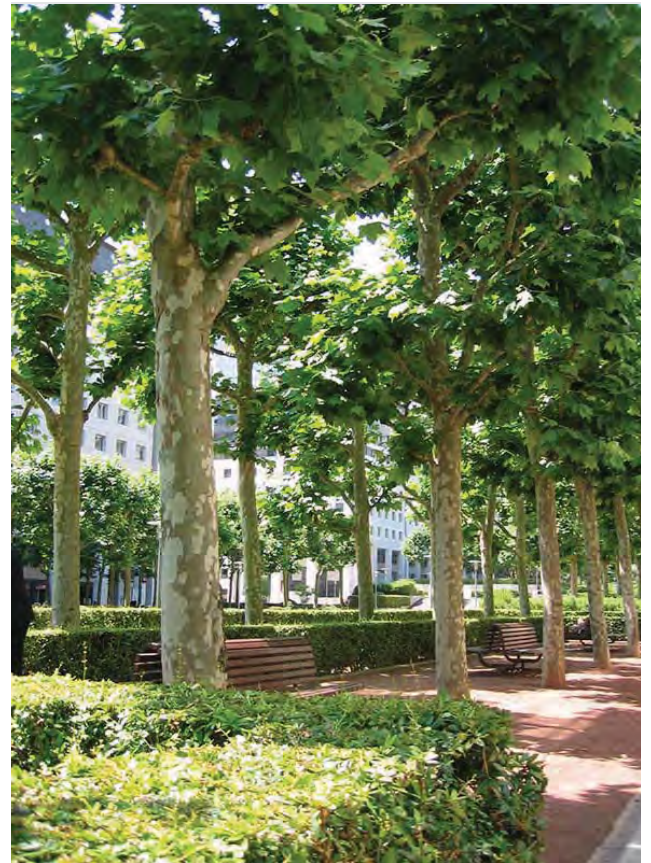
205-75.A.(6) Street Walls



Buildings forming the Street Wall



Brick Wall screening off-street parking



Street Trees utilized as Street Wall along Streetscape

Legislative Intent:

205-75.A.(6)(a) Street Walls are intended to be the predominant Street edge feature in the Goshenville, or when permitted as a combination of architectural and landscape elements such as but not limited to pier-fence-hedge combination, low walls, and street trees/landscaping.

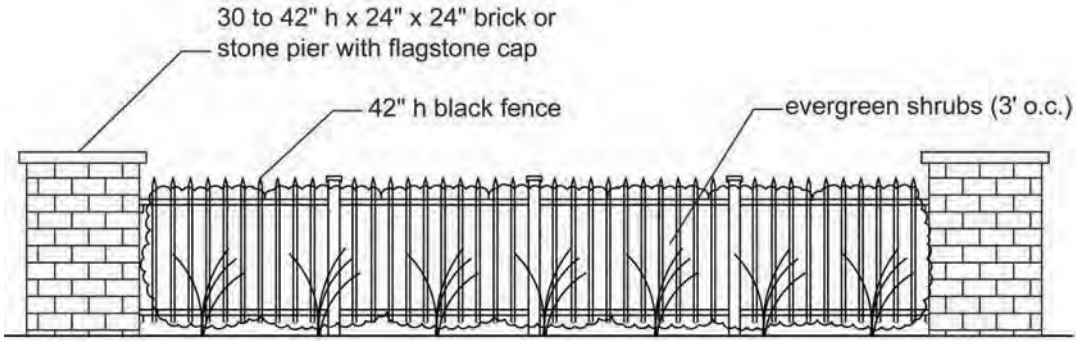
Design Standards:

205-75.A.(6)(b) Existing Street Walls formed by Buildings shall be maintained.

205-75.A.(6)(d) A brick or masonry Street Wall, 30 inches to 42 inches in height, shall be created to create a visual screen to existing off-street parking lots, and proposed off-street parking lots. The wall shall be built and maintained with materials complementary to the principal building and/or structure.

205-75.A.(6)(e) Street Trees and other landscaping may be utilized as the Street Wall along portions of the streetscape without buildings.

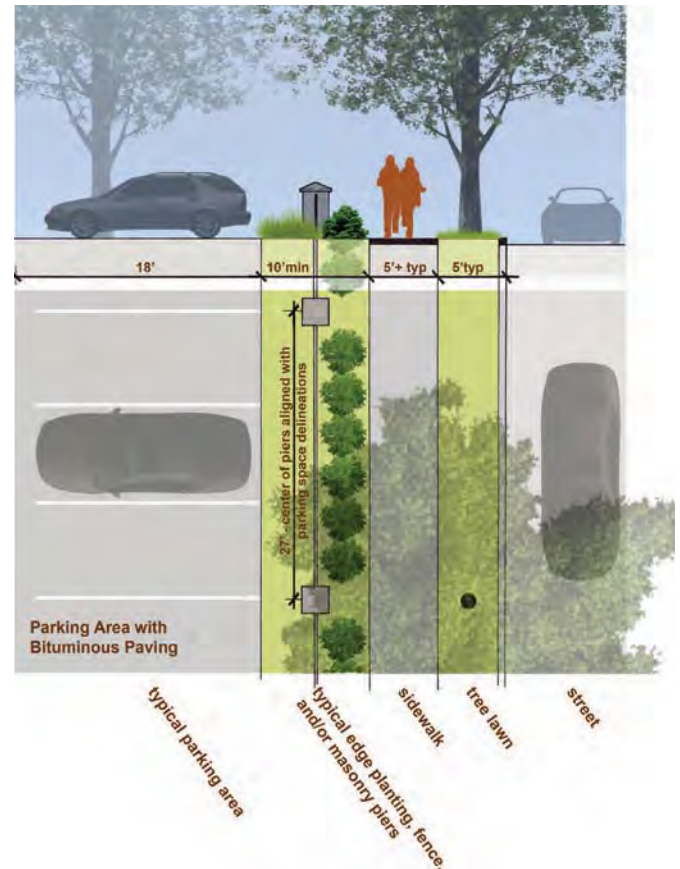
205-75.A.(6) Street Walls: Pier-Fence-Hedge



Typical Section of Pier, Fence & Hedge



Pier-Fence-Hedge combination screening off-street parking



Legislative Intent:

205-75.A.(6)(f) A Pier-Fence-Hedge combination is intended to provide an alternative Street Wall type.

205-75.A.(6)(g) A Pier-Fence-Hedge combination is intended to be used to delineate the Streetscape edge and to help screen the off-parking located adjacent to the roadway.

Design Standards:

205-75.A.(6)(h) A Pier-Fence -Hedge combinations shall be utilized as a form of Street Wall in order to screen off-street parking areas located adjacent to the roadway.

205-75.A.(6)(i) A Pier-Fence -Hedge combinations shall consist of stone/masonry piers, black fence, and evergreen shrubs.

205-75.A.(7) Street Trees & Other Landscaping



Street Trees installed and maintained along both sides of street



Landscaping utilized to soften hardscape features



Layered Landscaping

Legislative Intent:

205-75.A.(7)(a) Street Trees are intended to provide shade and screening, and add a graceful element to the streetscape.

205-75.A.(7)(b) Street Trees are intended to be placed in a regular alternating alignment along both sides of streets, and are intended to form an Allee effect to the streetscape.

205-75.A.(7)(c) Landscaping is intended to provide an attractive edge along the streetscape.

205-75.A.(7)(d) Landscaping is intended to be layered, so that there is a progression of scale from the ground plane, to the sidewalk/building scale, to the overhead canopy.

Design Standards:

205-75.A.(7)(e) Street Trees shall be installed and maintained along both sides of all streets at least two feet (2') behind the Trail/Path, and out of the buffer area along Paoli Pike.

205-75.A.(7)(f) Street Trees shall be installed and maintained in accordance with Section 205-62 of the Subdivision and Land Development Ordinance.

205-75.A.(7)(g) Landscaping shall be utilized to soften hardscape features.

205-75.A.(7)(h) Walkways, Public Space, and view corridors shall be accentuated with Landscaping.

205-75.A.(7)(h) The landscaping shall be diversified through the use of contrasting textures such as: smooth & rough, light & dark, bright & shadow, brilliant & subdued, and natural & man-made.

205-75.A.(8) Street Lights



“Traditional” style Street Lights



Street Light with Vertical Banner



Street Lights located to minimize conflict with Street Trees

Legislative Intent:

205-75.A.(8)(a) Pedestrian-scaled street lights are intended to provide an attractive component to the Streetscape.

205-75.A.(8)(b) Street Lights are intended to provide securing along the trail/paths.

205-75.A.(8)(c) Street Lights are intended to be a “Traditional” style in order to create an identity for Goshenville.

205-75.A.(8)(d) Landscaping is intended to be layered, so that there is a progression of scale from the ground plane, to the sidewalk/building scale, to the overhead canopy.

Design Standards:

205-75.A.(8)(e) Street Lights shall be provided along both sides of streets.

205-75.A.(8)(f) Street Lights shall be 10 to 12 feet in height.

205-75.A.(8)(g) One (1) pedestrian scaled, ornamental street light shall be provided at an average interval of forty-five (45) feet.

205-75.A.(8)(h) Street Lights shall have vertical banners.

205-75.A.(8)(i) Street Lights shall be “Traditional Style” and shall have a black finish as shown on page 8.2.

205-75.A.(8)(j) Street Lights shall be located to minimize conflicts with Street Trees.

205-75.A.(8) Street Lights

This drawing is property of Spring City Electrical Mfg. Co. and is loaned to the recipient with the understanding that it shall not be copied, duplicated, passed on to unauthorized parties, nor used for any purpose other than that for which it is specifically furnished except with Spring City's written permission.

LUMINAIRE SPECIFICATIONS

STYLE: WASHINGTON LED
 HEIGHT: 44"
 WIDTH: 16 1/2" DIAMETER
 MATERIAL: CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95
 FINISH: POWDER COAT - RIVER TEXTURE GLOSS BLACK
 GLOBE: CLEAR STIPPLED ACRYLIC
 LAMPING: 60 WATT LED
 VOLTAGE: ELECTRONIC 120-277 VOLTS
 COLOR TEMP: 3000K (WARM WHITE)
 DISTRIBUTION: TYPE III (ASYMMETRIC)
 SURGE: 10kV

CATALOG NO.: ALMWSH-LE060/EVXX2-30-CR3-YS11-FPA-CU

LAMP POST SPECIFICATIONS

STYLE: WASHINGTON WITH DC TOP
 HEIGHT: 12'-0"
 PHOTOMETRIC CENTER: 14'-0"
 BASE: 17" DIAMETER
 MATERIAL: ONE PIECE, CAST DUCTILE IRON PER A536-84 GRADE 65-45-12
 FINISH: POWDER COAT - RIVER TEXTURE GLOSS BLACK
 ACCESS DOOR: ACCESS DOOR LOCATED IN BASE WITH TAMPER PROOF HEX SOCKET SECURITY MACHINE SCREWS DRILL AND TAP INSIDE WALL OF BASE OPPOSITE
 GROUND PROVISIONS: ACCESS DOOR TO ACCOMMODATE A 1/4"-20 GROUND STUD (STUD SUPPLIED BY OTHERS)
 ANCHOR BOLTS: (4) 3/4" X 2 1/4" + 3" HOOK (FULLY GALVANIZED WITH 1 GALVANIZED NUT AND 1 GALVANIZED WASHER PER BOLT)
 BOLT PROJECTION: 3" REQUIRED
 TENON: 3 1/2" DIA. X 3" HIGH (TO ACCEPT LUMINAIRE)

CATALOG NO.: DPSWSH-17-12.00-TN3.50/3.00-DC-CU

WARRANTY INFORMATION:

ONE PIECE CAST DUCTILE IRON BASE PROTECTED BY SPRING CITY'S 25 YEAR WARRANTY.

SPRING CITY WARRANTS ITS DUCTILE IRON BASES TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP UNDER NORMAL USE AND OPERATION FOR 25 YEARS. NORMAL USE INCLUDES DAMAGE RESULTING FROM MOTOR VEHICLE COLLISIONS.

LED LUMINAIRE, LED DRIVER, AND LED ARRAYS PROTECTED BY SPRING CITY'S 10 YEAR WARRANTY

SPRING CITY WARRANTS ITS LED LUMINAIRE, LED DRIVER, AND LED ARRAYS TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP UNDER NORMAL USE AND OPERATION FOR 10 YEARS. A SINGLE LED FAILURE SHALL BE REPLACED UNDER THE WARRANTY TERMS.

PLEASE WWW.SPRINGCITY.COM FOR FULL WARRANTY DETAILS.

PLEASE NOTE: PRODUCT MUST MEET PENN DOT PUBLICATION 408 AND BULLETIN 15 STANDARDS AND REQUIREMENTS

SECTION A-A
BASE PLATE DETAIL

Spring City Electrical Mfg. Co.
 HALL AND MAIN STREETS - P.O. BOX 19 - SPRING CITY, PA. 19075
 PHONE (610) 948-4000 - FAX (610) 948-5577 - WWW.SPRINGCITY.COM

DESCRIPTION	THE WASHINGTON LED LUMINAIRE WITH CAST ROOF ATOP THE WASHINGTON CAST DUCTILE IRON POST		
CUSTOMER	EAST GOSHEN TOWNSHIP		
JOB			
SCALE	DRAWN BY:	DATE	DRAWING NO.
N.T.S.	W.R.W.	07-05-18	S104301

Design Standards:

205-75.A.(8)(k) Street Lights shall be Washington LED Luminarie with Washington DC Top Lamp Posts from Spring City Electrical Mfg. Co. in a black finish, or approved equal.

205-75.A.(9) Trails/Paths/Crosswalks



Crosswalk Striping connecting opposing accessible sidewalk ramps



Crosswalk in driveway throat continuing the Sidewalk system



Trail/Path with grass buffer



Multi-Use Trail and Crosswalk along Paoli Pike

Legislative Intent:

205-75.A.(9)(a) Trails/Paths are intended to provide opportunities for continuous pedestrian circulation and connection.

205-75.A.(9)(b) Crosswalks are intended to provide pedestrian safety, and continue the Trail/Path system.

Design Standards:

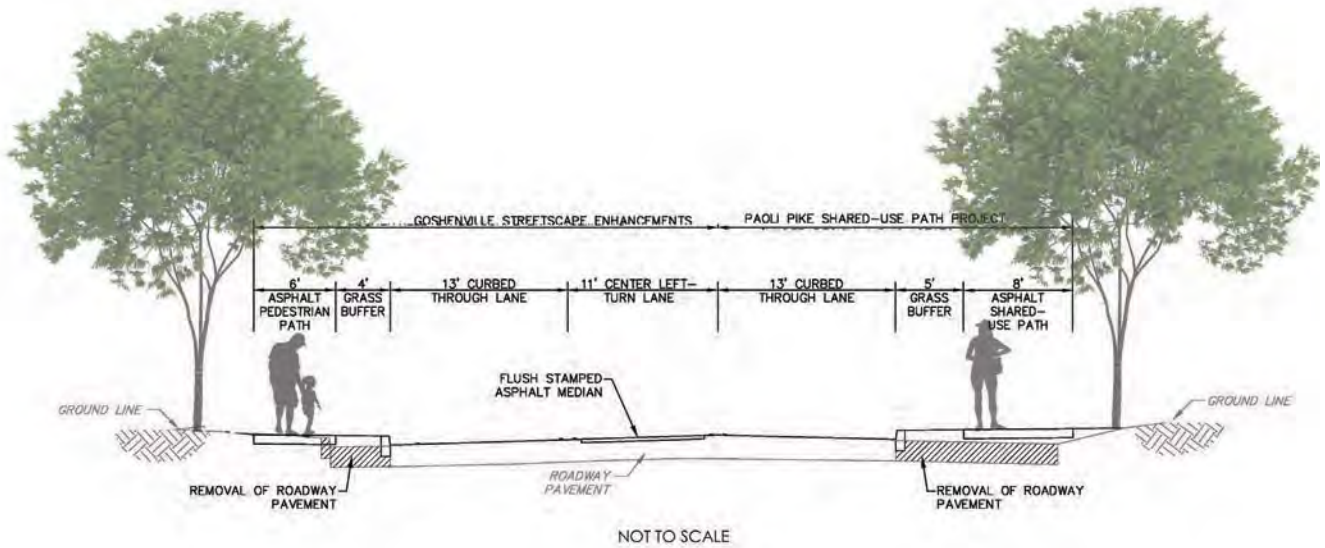
205-75.A.(9)(e) An 8'-10' asphalt multi-use trail with a five foot (5') wide (minimum) grass buffer between the curb and path shall be provided and maintained on the south side of Paoli Pike

205-75.A.(9)(f) A six foot (6') wide asphalt pedestrian path with a four foot (4') wide (minimum) grass buffer between the curb and path shall be provided and maintained on the north side of Paoli Pike.

205-75.A.(9)(g) High visibility Crosswalks with ADA compliant curb ramps shall be provided and maintained at signalized intersections and at all street crossings and curb cuts.

205-75.A.(9)(h) Crosswalks shall be at least six feet (6'-0") in width when they cross streets.

205-75.A.(10) Streetscape & Street Furniture



Paoli Pike Streetscape Section

Legislative Intent:

205-75.A.(10)(a) Streetscapes are intended to be maintained, enhanced, and created to consist of Paths/Trails, Street Trees, Street Lights, Street Furniture, Pedestrian Gathering Spaces, and Cartways.

205-75.A.(10)(b) Street Furniture is intended to provide a functional and attractive component to the West Chester Borough Streetscape.

205-75.A.(10)(c) Streetscape and hardscape paving materials are intended to be referential to Historic Goshenville and promote uniformity and continuity within the Goshenville Streetscape.

205-75.A.(10)(d) Traffic Calming strategies are intended to reduce vehicular travel speeds in order to improve bicycle and pedestrian safety and provide a comfortable environment for walking and biking.

Design Standards:

205-75.A.(10)(e) Streetscapes shall be enhanced with Paths/Trails, Street Trees, Street Lights, Street Furniture, Pedestrian Gathering Spaces, and Traffic Calming Measures.

205-75.A.(10)(f) Brick or Stamped Asphalt Brick shall be utilized in the Hardscape Median, Flush Stamped Asphalt Median, and the Pedestrian Gathering Areas.

205-75.A.(10)(g) Brick or Stamped Asphalt Brick shall be utilized for the Hardscape Paving in order to provide uniformity and continuity within the Goshenville Streetscape.

205-75.A.(10)(g) Retaining Walls utilized to enable the Trail in narrow areas shall be pre-cast stone wall that is referential to Historic Goshenville.

205-75.A.(10) Streetscape & Street Furniture



Stone Wall material referential to Historic Goshenville



Brick utilized in Pedestrian Gathering Area



Paoli Pike Streetscape with Street Trees, Trail/Path, Crosswalk, Traffic Calming Measures, etc.

Design Standards:

205-75.A.(10)(h) Retaining Walls utilized to enable the Trail in narrow areas shall be pre-cast stone wall that is referential to Historic Goshenville.

205-75.A.(10)(i) Traffic Calming Strategies shall include: Gateway Median/Pedestrian Safety Island, Stamped Asphalt Median, Reduced Lane Widths, Gateway Signage, Street Trees/Landscaping, and Painted Rumble Strips (as described in the Paoli Pike Corridor Master Plan).

205-75.A.(10)(j) Street Furniture, such as benches, waste receptacles, street lights, bollards, bicycle racks, fencing etc., shall have a black finish in order to provide uniformity and continuity throughout the Goshenville Streetscape.

205-75.A.(10)(k) All Street Trees, Street Lights, Landscaping, and the like shall be in accordance with this Article XI and the Subdivision and Land Development Ordinance.

205-75.A.(10) Streetscape & Street Furniture



Trash Receptacle (Victor Stanley S-42)



Black Bench (Victor Stanley RB-28)

Design Standards:

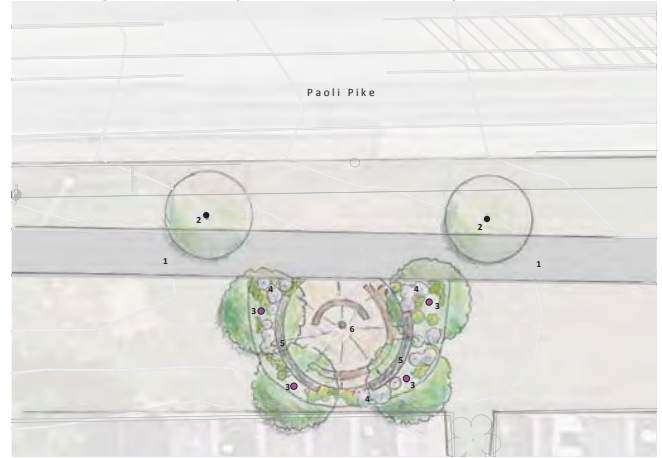
205-75.A.(10)(l) All Benches shall be Victor Stanley Steelsites RB Collection RB -28 in a black finish, or approved equal.

205-75.A.(10)(m) All Trash Receptacles shall be Victor Stanley Ironsites Collection S-42 in a black finish, or approved equal.

205-75.A.(11) Pedestrian Gathering Areas



Pedestrian Gathering Area Concept for the intersection of Paoli Pike and Boot Road



Pedestrian Gathering Area Concept along Paoli Pike



Pedestrian Gathering Area with Hardscape, Shade Trees, shrubs, and benches



Pedestrian Gathering Area as central open space amenity, as part of an Internal Street Network

Legislative Intent:

205-75.A.(11)(a) Pedestrian Gathering Areas are intended to provide passive recreational opportunities along the Paoli Pike Corridor.

205-75.A.(11)(b) Pedestrian Gathering Areas are intended to provide places to rest, shade, and service as focal points along the Streetscape.

205-75.A.(11)(c) Pedestrian Gathering Areas are intended to complement adjoining retail/commercial uses, and be accessible to nearby neighborhoods.

Design Standards:

205-75.A.(11)(d) Pedestrian Gathering Areas shall include a variety of landscape and hardscape features such as shade trees, shrubs, unit pavers, benches, low sitting walls, planters, and pedestrian scaled lighting.

205-75.A.(11)(e) Pedestrian Gathering Areas shall also be built and maintained as a central open space amenity in TND-2 Area neighborhoods.

205-75.A.(12) Internal Street Network



Internal Street Network at Wyndcrest, Sandy Springs, MD, with On-Street Parallel Parking



Internal Street Network at Lake Forest, IL, with On-Street Angled Parking



Internal Street Network at Louella Court, Wayne, PA



Internal Street Network wrapped around Pedestrian Gathering Areas

Legislative Intent:

205-75.A.(12)(a) Internal Street Networks are intended to be interconnected.

Design Standards:

205-75.A.(12)(b) Internal Street Networks shall be designed and built as an interconnected network.

205-75.A.(12)(c) A new internal street shall be designed, built, and maintained to wrap around a Pedestrian Gathering Area, and to provide a counter-clockwise vehicular route as an alternative to a cul-de-sac.

205-75.A.(13) Drive-Thru Facilities



Bank with Drive-Thru Facility located in the rear



Traffic Stacking at Drive-Thru Facility located in the rear



Bank with Drive-Thru Facility located on the side

Legislative Intent:

205-75.A.(13)(a) Drive-Thru Facilities, such as those at Banks and Pharmacies, are intended to have the Drive-Thru component in the back or side of the facility, not along a primary street frontage.

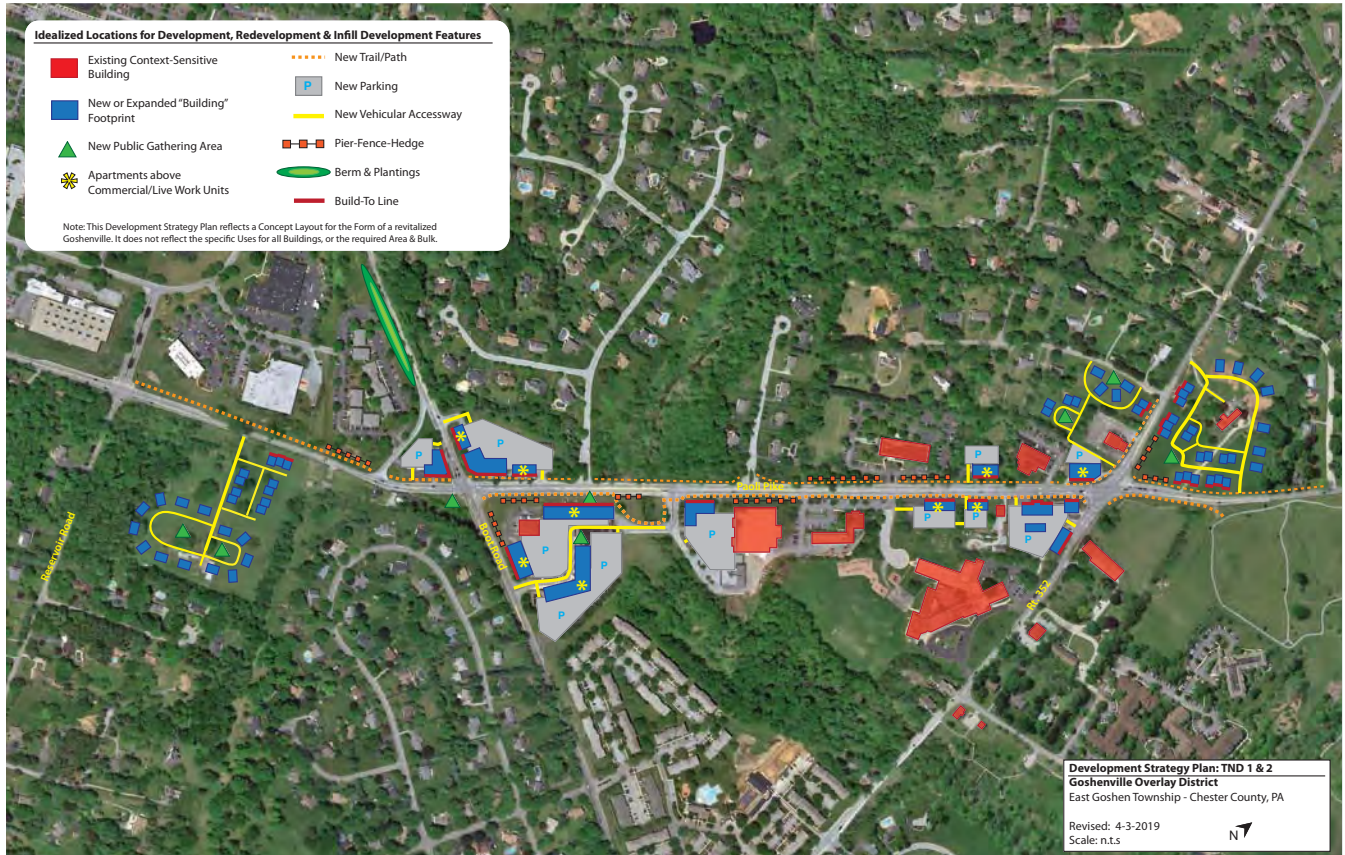
Design Standards:

205-75.A.(13)(b) Drive-Thru Facilities shall not be located along a primary street frontage.

205-75.A.(13)(c) When A Drive-Thru Facility is located on the side of a building, it shall be setback at least 25 feet from the street right-of-way.

205-75.A.(13)(d) Drive-Thru Facilities shall have building materials, colors, and form, complementary to the principal building.

205-75.A.(14) Development Strategy Plan



Goshenville Village Development Strategy Plan (see insert enlargement)

Legislative Intent:

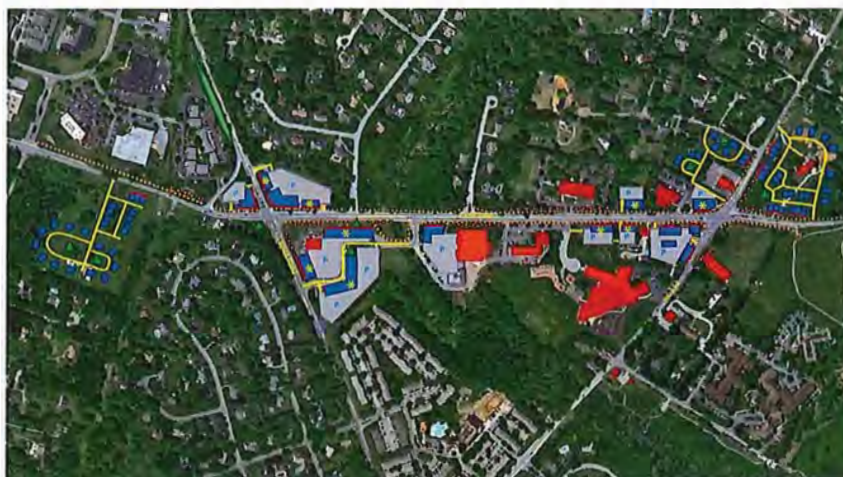
205-75.A.(14)(a) The Development Strategy Plan is intended to guide and inform Development, Redevelopment, and Infill in Goshenville Village.

Design Standards:

205-75.A.(14)(b) Development, Redevelopment, and Infill development shall be consistent with the Development Strategy Plan to the maximum extent possible, relative to the location of buildings at a Build-To Line.

Traditional Neighborhood Development - 1 & 2 Goshenville Overlay Districts

East Goshen Township - Chester County, PA



Zoning Ordinance Amendments as Proposed
May 23; June 20; September 26; October 17, 2018;
October 29, 2018; November 1, 2018; April 3, 2019;
Revised: April 5, 2019

Revised: 4-5-2019
4-3-2019
11-1-2018
10-29-2018
10-17-2018
9-26-2018

ZONING ORDINANCE AMENDMENTS

Article I. Title; Intent; Definitions

240-5. Zoning Districts and map.

A. Zoning Districts. For the purpose of this chapter, the Traditional Neighborhood Development Districts of the Township of East Goshen, are hereby divided into the following districts:

- TND-1 Traditional Neighborhood Development -1
Goshenville Overlay District
- TND-2 Traditional Neighborhood Development -2
Goshenville Overlay District

240-6. Definitions; word usage.

B. Definitions. When used in this chapter, the following words, terms and phrases shall have the following meaning, unless expressly stated otherwise or unless the context clearly indicates otherwise.

Artisan Shop

A retail store selling art glass, ceramics, clothing, jewelry, paintings, sculpture, and other similar handcrafted items, where the facility includes an area for crafting of the items being sold.

Build-To Line

The line which defines the placement of the building from the street on which the building fronts. The Build-To Line of the Building forms the Street Wall line. On a corner lot, the Build-To Line is located on each side of a lot abutting a street. A Build-To Line may have a recess or projection up to two (2) feet in order to promote variation of building placement on a block (and/or may have a recess of up to 12 feet in order to promote outdoor dining for a café or restaurant in the TND-1 District), except that the distance to the Build-To Line may be increased to be greater than that specified in the TND Overlay Districts whenever there is a stream along the front of a property.

Outdoor Dining

An establishment with either counter ordering or table service that provides a defined outdoor area for eating, which may be a sidewalk café.

Pedestrian Gathering Area

A plaza, courtyard, pocket park, tot lot, playground, walkway, promenade, or other like type facility in which features such as pavers, benches, gazebos, pergolas, arbors, trellises, planters, plantings, lighting, and sculpture are installed and maintained.

Impervious surfaces within Pedestrian Gathering Areas shall be included for purposes of stormwater management but shall not count for purposes of zoning calculations.

Pop-Up Use

A temporary use that may involve a commercial or retail establishment, an art gallery, a philanthropic use, an educational use, outdoor recreational use, or a seasonal use such as a food stand.

Revitalization

The enlargement or extension of an existing non-residential building by twenty percent (20%) or more of the gross floor area of the building.

Streetscape

The space formed between buildings and the adjoining street, which is embellished with sidewalks, street trees, street lights, curbs, and cartways. The Streetscape is framed by buildings, which create the "outdoor room" character of the street as shown in the Design Standards in Section 205-75.A. of the Subdivision & Land Development Ordinance.

TND Open Space

The totality of the land that comprises the area of a TND, exclusive of buildings, streets, alleys, service lanes, parking lots, and other paved surfaces such as those used for dumpsters or approved/fenced outdoor storage. TND Open Space includes Active Open Space and Passive Open Space, including such features as recreational areas, parks, squares, plazas, courtyards, pedestrian gathering areas, pocket parks, playgrounds, tot lots, dog parks, playfields, natural open space designated to conserve wetlands and floodplains, and other areas for natural resource conservation, and stormwater detention basins unless designed and constructed as a wet basin or a stormwater management basin.

Further Revised: 4-5-2019
Revised: 4-3-2019
12-19-2018
11-1-2018
10-29-2018
10-17-2018
9-26-2018
6-20-2018
5-23-2018

ZONING ORDINANCE AMENDMENTS

Article X. Overlay Districts

240-61. Traditional Neighborhood Development: TND-1 Goshenville Overlay District.

A. Applicability and Conditions of Eligibility.

- (1) The TND-1 Overlay District shall be depicted on the East Goshen Township Zoning Map.
- (2) Whenever Revitalization of an existing non-residential building is proposed, or a new use or a change of use of 51% or more is proposed, the provisions of this Article X shall apply, and the provisions of Article IX, Section 205.75. of the Subdivision and Land Development Ordinance shall apply.
- (3) Whenever a vacant lot is proposed for development, the provisions of this Article X shall apply, and the provisions of Article IX, Section 205.75. of the Subdivision and Land Development Ordinance shall apply.
- (4) Whenever an existing building is demolished and new construction is proposed, the provisions of this Article X shall apply, and the provisions of Article IX, Section 205.75. of the Subdivision and Land Development Ordinance shall apply.
- (5) All development and revitalization shall be served by centralized water and centralized sewer.

B. Intent of the TND-1 Overlay District. This district is intended to:

- (1) Implement the East Goshen Township Comprehensive Plan, adopted October 20, 2015.
- (2) Implement the Paoli Pike Corridor Master Plan, adopted December 19, 2017, and promote walkability.
- (3) Comply with Article VII-A Traditional Neighborhood Development, of the Pennsylvania Municipalities Planning Code (MPC), Act 247, as amended and, in particular those purposes and objectives listed in Section 701-A of Article VII-A such as: encouraging innovation for mixed-use, pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for integrated, mixed-use, pedestrian-

oriented neighborhoods; establishing public space; and fostering a sense of place and community.

- (4) Emulate other successful Villages in the region that are noted for attractive Streetscapes, walkability, and a diversity of uses.
- (5) Emulate the Build-To Line condition of the Blacksmith Shop in Historic Goshenville so that buildings have a direct Streetscape presence.
- (6) Be guided by Section 240-61.F. the Special Design and Development Standards which is found in Appendix A. to this Article.
- (7) Be guided by Section 205-75, the Special Design and Development Standards of Article XI. of the Subdivision & Land Development Ordinance.
- (8) Promote a mix of non-residential uses and residential uses.

C. Use Regulations.

- (1) Uses Permitted By Right. The following principal uses are permitted by right in the TND-1 Overlay District if the area, bulk and all other applicable requirements of this chapter are satisfied:
 - (a) Personal service establishment, including the following uses and other personal service uses that the applicant proves to the clear satisfaction of the Zoning Officer which are similar in character: retail and/or self-service dry cleaning and laundry, barber shop, beauty salon, and shoe repair.
 - (b) Retail sales, within a building or buildings not to exceed 8,000 square feet of gross leasable area, of the following items and other items that the applicant proves to the clear satisfaction of the Zoning Officer, which are similar in character, but not to include Convenience Store, and not to include the sale of automotive fuels:
 - [1] Furniture and home furnishings.
 - [2] Gift items, legal drugs, newspapers, cameras, stationery, books, cigarettes, flowers, custom-make crafts, luggage and candy.
 - [3] Shoes, cosmetics and apparel or apparel accessories.
 - [4] Hardware, paint, wallpaper and interior decorating supplies.
 - [5] Groceries and related items for common household use.
 - [6] Retail bakeries and other custom production of salads and similar foods.
 - [7] General merchandise such as is commonly found within department stores, "five and ten" variety stores and general merchandise discount stores.
 - [8] Musical instruments or household appliances.

- (c) Standard restaurant.
 - (d) Standard restaurant with Take-Out Service.
 - (e) Fast food restaurant.
 - (f) Business office, provided that no goods shall be sold on site. A building on a lot containing more than one office establishment shall require conditional use approval.
 - (g) Professional offices, including offices of attorneys, accountants, physicians, dentists, realtors, financial consultants, brokers, engineers, architects or other recognized professions.
 - (h) Government office operated by a municipality, county, state, or federal government, by a school district or by a legally constituted municipal authority or a United States Postal Service facility.
 - (i) Place of worship or church.
 - (j) Public Library.
 - (k) Health/Exercise/Tennis Club.
 - (l) Bank, savings and loan or other financial institution.
 - (m) Mailing, reproduction, faxing, commercial art, photography and/or stenographic services.
 - (n) Forestry in accordance with the standards of §240-34.1.
 - (o) Wireless communications facilities on Township-owned property, subject to compliance with the standards in §240-15H.
 - (p) Artisan Shop.
 - (q) Outdoor dining as part of a standard restaurant.
 - (r) Dwelling Units above Ground Floor Commercial Uses.
 - (s) Township park, recreational areas, TND Open Space, Pedestrian Gathering Area.
 - (t) Pop-Up Use.
- (2) Conditional Uses. The following Conditional Uses may be permitted when authorized by the Board of Supervisors in accordance with §240-31, and the Special Design and Development Standards of §240-61.F.:
- (a) Lot or building containing more than one commercial or office establishment, provided that only uses listed as permitted by right or conditional uses in the TND-1 District shall be permitted.
 - (b) Public utility facility.

- (c) Child Day-care Center.
- (d) Adult Day-care Center.
- (e) Cyber charter school campus.
- (f) Apartments.
- (g) Beverage Café.
- (3) Uses By Special Exception. None.
- (4) Accessory Uses. Accessory Uses shall be permitted in accordance with the Special Design and Development Standards of §240-61.F.
 - (a) Fences and walls.
 - (b) Solar energy systems.
 - (c) Off-street parking and loading. (See §240-33.)
 - (d) Signs. (See §240-22.)
 - (e) Temporary use.
 - (f) Garage.
 - (g) The following uses if accessory to a lawful existing dwelling unit:
 - [1] Home occupation.
 - [2] Storage shed.
 - [3] Swimming pool.
 - [4] Tennis court.
 - [5] Storage of recreational vehicle.
 - [6] No-impact home-based business as accessory to a residential dwelling.
 - (h) Beverage café with or without drive-through service in a shopping center.

D. Lot Area, Width, Building Coverage, Height, Yard and Density Regulations. All uses shall be serviced by centralized sewage disposal and centralized water supply systems. The following requirements shall apply to each use in the TND-1 Overlay District, subject to further applicable provisions of this chapter:

- (1) Non-Residential Uses. (applicable to all Commercial, Office, and Institutional Uses)

Requirements: TND-1	Non-Residential Uses
---------------------	----------------------

Minimum lot area	20,000 square feet
Minimum lot width	
At Build-To Line	50 feet
At street line	80 feet
Maximum lot coverage	
By buildings	40%
By total impervious cover	65%
Minimum TND Open Space	10%
Minimum building height	
Stories	2
Feet	20 feet
Maximum building height	
Stories	3
Feet	40 feet
Minimum side yards	10 feet each
Minimum rear yard	50 feet
Buffer Yard Adjoining Residential Districts	50 feet
Build-To Line	15 feet

(a) Off-street parking. The off-street parking requirements of §240-61.F.(3)(a) shall apply.

(2) Residential Uses.

Requirements: TND-1	Residential Uses
Apartments	
Minimum lot area	40,000 square feet
Maximum Density	42 16 dwelling units per acre
Minimum Habitable Floor Area Permitted	800 square feet
Total impervious coverage	65%
Minimum TND Open Space	20%
Minimum building height	20 feet
Maximum building height	40 feet
Minimum side yards	10 feet each
Minimum rear yard	50 feet
Buffer Yard Adjoining Residential Districts	50 feet
Build-To Lines (as scaled from Development Strategy Plan)	15 feet

Note: Pedestrian Gathering Areas as part of the required 10% or 20% minimum TND Open Space may be a combination of pervious and impervious surfaces. Impervious surfaces shall be included for purposes of stormwater management. Also refer to the standards in §240-61.D.(3)(g).

(3) Apartment Standards. The following standards shall be observed:

(a) Underground utilities. All utilities shall be placed underground.

(b) Setbacks. Garages shall be setback at least ten feet from all side and rear property lines and at least 50 feet from all street right-of-way lines.

(c) Each apartment building shall:

[1] Have a maximum length of each wall of 150 feet in horizontal length.

[2] Be separated from each other building by at least 25 feet.

[3] Be separated from each other building by at least 1.5 times the height of the tallest building.

(d) Maximum dwelling unit size. No dwelling unit within an apartment development shall contain more than three (3) bedrooms, and no more than 50% of the total number of dwelling units shall contain two or more bedrooms.

(e) Building location, orientation and design. The location, orientation and design of all buildings should give consideration for Build-To Lines and Streetscape character, and shall comply with Appendix A General Manual of Written and Graphic Design Standards of Section 240-62.F.(b).

(f) Pedestrian Gathering Area. One or more Pedestrian Gathering Areas (each with a minimum area of 2,500 square feet) shall be provided, whose total area equals at least 200 square feet per dwelling unit. All Pedestrian Gathering Areas shall be located in areas suitable for outdoor active or passive recreation (such as outdoor relaxation, walking and/or gardening). Only Pedestrian Gathering Areas within 100 feet of any building shall count towards the minimum required TND Open Space. The types of Pedestrian Gathering Areas shall relate to the expected breakdown of ages of residents of the units, and shall comply with Appendix A General Manual of Written and Graphic Design Standards of Article IX. Section 205-75.A.(11).

(g) Driveways. The following minimum cartway widths shall be provided for any driveway within an apartment development:

Function	Minimum Cartway Width (feet)
One-way traffic, no parking	9
Two-way traffic, no parking	18
One-way traffic, parallel parking on one side	18
Two-way traffic, parallel parking on one side	27
Two-way traffic, parallel parking on two sides	34

(h) Off-street parking. The off-street parking requirements of §240-61.F.(3)(a) shall apply.

E. Other Overlay District Requirements.

In addition to the Plans that are required for a Subdivision and Land Development Application, the following additional plans and procedures shall apply.

(1) Procedures.

- (a) The Applicant is strongly encouraged to submit a Sketch Plan as the first submission to receive informal comments on the design and layout of the proposed TND-1 District.
 - (b) A Streetscape Plan/Public Realm Plan shall be submitted with the Preliminary and Final Plan submission, and shall be used to gauge compliance and consistency with the TND-1 District requirements.
 - (c) A Specific Manual of Written and Graphic Design Standards shall be submitted.
- (2) Streetscape Plan/Public Realm Plan Requirements.
- (a) The Plan shall depict all features proposed within the Streetscape, including: street trees; street lights; trails/pathways; crosswalks; speed tables; on-street parking; and the like.
 - (b) The Plan shall depict any area proposed for curb bulb-outs, bus stops, bus shelters, bicycle lanes, bicycle racks, and Pedestrian Gathering Areas.
 - (c) The Plan shall depict pavement materials.
 - (d) The Plan shall depict all proposed Streets, Alleys, Lanes, Service Drives, and other vehicular thoroughfares.
 - (e) The Plan shall include all dimensions for all thoroughfare types.
 - (f) The Plan shall depict all: TND Open Space; passive open space; active open space; natural open space (woodlands, wetlands, etc.); sidewalks; walkways; trails; pathways; crosswalk; pedestrian bridges; and Pedestrian Gathering Areas (plazas, courtyards, and the like).
 - (g) A minimum of 2% of the gross lot area shall be depicted as a Pedestrian Gathering Area and depicted on the Plan.
- (3) Specific Manual of Written and Graphic Design Standards.
- (a) Applicants shall prepare and submit a Specific Manual of Written and Graphic Design Standards that shall be consistent with the Article X-Appendix A General Manual of Written and Graphic Design Standards.
- (4) Relationship to Other Ordinance Requirements for the TND-1 District.
- (a) Relationship to other Zoning Ordinance Requirements.
 - [1] Except as they are in conflict with these regulations, all other regulations in this Chapter 240 shall apply to this TND-1 District, in which case the provisions of this Article shall apply.
 - (b) Relationship to Subdivision and Land Development Ordinance Requirements.

[1] The conventional Design Standards of the East Goshen Township Subdivision and Land Development Ordinance shall apply unless such Design Standards are found to be in conflict with the provisions of this Article and Article IX of the East Goshen Township Subdivision & Land Development Ordinance in which case the provisions of this Article shall apply.

F. Special Design and Development Standards.

- (1) All submissions in the TND-1 Goshenville Overlay District shall be designed to be consistent with the §240-61.F. Design Standards of Appendix A, which include:
 - (a) Legislative Intent of the Special Design and Development Standards.
 - (b) Building Location.
 - (c) Temporary Uses.
- (2) No submission shall be approved unless there is a finding of consistency with the §240-61.F. Design Standards of Appendix A.
- (3) Off-Street Parking and Loading. The parking regulations of Section 240-33 shall apply, except as otherwise provide below.

(a) Residential Apartments (Number of Parking Spaces/Bedroom)

1 Bedroom	1.3 parking spaces
2 Bedrooms	1.5 parking spaces
3 Bedrooms	2.0 parking spaces

(b) Non-Residential (Number of Parking Spaces/1,000 SF GLA)

Office	4
Restaurant	10 weekday; 16 weekend
Other	5

- (c) Parking space area dimensions. The minimum dimensions of parking stalls, shall be 9 feet by 18 feet for 90 degree parking, with a minimum drive or aisle width of 22 feet for one-way, and 24 feet for two-way. On-street parallel curbside parking stalls shall be 7 feet wide and 22 feet long.
- (4) All subdivision and land development Applications shall be accompanied by a Manual of Written and Graphic Design Guidelines prepared by the Applicant, which shall be consistent with the Design Standards of this Section and Article IX of the Subdivision and Land Development Ordinance.

Appendix A

Chapter 240-61.F.
Zoning Ordinance

ARTICLE X. OVERLAY DISTRICTS

General Manual of Written and Graphic Design Standards
Special Design and Development Standards for:

*Traditional Neighborhood Development - 1 (TND-1)
Goshenville Overlay District*

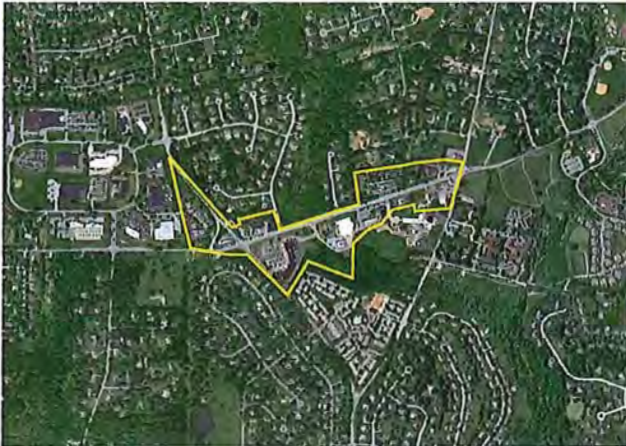
East Goshen Township - Chester County, PA

TABLE OF CONTENTS

- (a) Legislative Intent of the Special Design & Design Standards
- (b) Building Location
- (c) Temporary Uses



240-61.F.(1)(a) Legislative Intent of the Special Design & Development Standards



Goshenville TND-1 Overlay District



Paoli Pike Streetscape Concept

Legislative Intent:

240-61.F.(1)(a)[1] These Special Design & Development Standards are intended to comply with Article VII-A: Traditional Neighborhood Development, and in particular Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

240-61.F.(1)(a)[2] Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-1 Goshenville Overlay District.

240-61.F.(1)(a)[3] These Design Standards shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes of the TND-1 Goshenville Overlay District.

240-61.F.(1)(a)[4] All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Standards.

240-61.F.(1)(a)[5] All Applications for Land Development in the TND-1 Goshenville Overlay District shall be accompanied by a Specific Manual of Written and Graphic Design Guidelines prepared by the Applicant, which Manual shall be consistent with this Appendix A.

240-61.F.(1)(a)[6] In addition to the Design Standards in this Appendix A, the provisions of Article X TND-1 Goshenville Overlay District of this Ordinance, and the provisions of Article IX. of the Subdivision Land Development Ordinance shall also apply.

If there is a conflict between the provisions of this Appendix A, and those of Article X or Article IX, the strictest provisions shall apply.

240-61.F.(1)(b) Building Location



Building located at Build-To-Line



Existing Building with Pergola as transitional feature



Buildings adjoining sidewalk



Mixed-Use Buildings in alignment

Legislative Intent:

240-61.F.(1)(b)[1] Buildings are intended to be located in general alignment with other buildings on a block.

Design Standards:

240-61.F.(1)(b)[2] Buildings shall be placed at a Build-To Line, as shown in the Development Strategy Plan.

240-61.F.(1)(b)[3] At least 60% of the building facade shall be along the Build-To Line. Therefore, up to 40% of the building facade may have a recess or projection to add variety and diversity to the building.

240-61.F.(1)(b)[4] New Buildings shall adjoin sidewalks at street corners, (and parking shall be located behind buildings), unless a Green or Plaza is provided at street corners

240-61.F.(1)(b)[5] Existing Buildings with deep setbacks shall have building additions such as Pergolas and Porches to serve as a transitional feature along the Streetscape.

240-61.F.(1)(c) Temporary Uses



Pop-Up Market



Temporary Food Trucks/Vendors



Pop-Up Art Show

Legislative Intent:

240-61.F.(1)(c)[1] Temporary Uses are intended to promote a more Pedestrian-oriented retail environment in Goshenville.

240-61.F.(1)(c)[2] Temporary Uses are intended to promote the Village Character of Goshenville.

Design Standards:

240-61.F.(1)(c)[3] Temporary Uses may include, but are not limited to: Pop-up Markets, Pop-up Festivals/Events, Pop-up Art shows, food trucks/vendors, food stands, etc.

240-61.F.(1)(c)[4] Temporary Uses shall minimize impacts on surrounding and nearby properties.

240-61.F.(1)(c)[5] Temporary Uses shall not cause vehicular traffic/parking problems, or put pedestrian safety at risk.

240-61.F.(1)(c)[6] Temporary Uses shall be located in an area with sufficient open space available to conduct the proposed use.

Further Revised: 4-5-2019
Revised: 4-3-2019
11-1-2018
10-29-2018
10-17-2018
9-26-2018
6-20-2018

ZONING ORDINANCE AMENDMENTS

240-62. Traditional Neighborhood Development: TND-2 Goshenville Overlay District.

A. Applicability and Conditions of Eligibility.

- (1) The TND-2 Overlay District is as shown on the East Goshen Township Zoning Map.
- (2) All development shall be served by centralized water and centralized sewer.

B. Intent of the TND-2 Overlay District. This district is intended to:

- (1) Implement the East Goshen Township Comprehensive Plan, adopted October 20, 2015.
- (2) Implement the Paoli Pike Corridor Master Plan, adopted December 19, 2017, and promote Walkability.
- (3) Comply with Article VII-A Traditional Neighborhood Development, of the Pennsylvania Municipalities Planning Code (MPC), Act 247, as Amended and, in particular those purposes and objectives listed in Section 701-A of Article VII-A such as: encouraging, pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for, pedestrian-oriented neighborhoods; establishing public space; and fostering a sense of place and community.
- (4) Emulate other successful Villages in the region that are noted for attractive Streetscapes, walkability, and a diversity of Uses.
- (5) Emulate the Build-To Line condition of the Blacksmith Shop in Historic Goshenville so that buildings have a direct Streetscape presence.
- (6) Be guided by Section 240-62.F., the Special Design and Development Standards Appendix B. this Article.
- (7) Be guided by Section 205-75, the Special Design and Development Standards of Article XI. Of the Subdivision & Land Development Ordinance.

C. Use Regulations.

- (1) Uses Permitted By Right. The following principal uses are permitted by right in the TND-2 Overlay District if the area, bulk and all other applicable requirements of this chapter are satisfied:
 - (a) Single-family detached dwelling.

- (b) Semidetached dwelling.
 - (c) A lawfully permitted dwelling unit used as a group home, provided that the requirements of §240-38 for such use are met.
 - (d) Forestry in accordance with the standards of §240-34.1.
 - (e) Townhouses in accordance with §240-30.
 - (f) Township Park, recreational areas, TND Open Space, Pedestrian Gathering Area.
- (2) Conditional Uses. The following Conditional Uses may be when authorized by the Board of Supervisors in accordance with §240-31.
- (a) Place of worship or church.
 - (b) Public or private primary or secondary school.
 - (c) Public utility facility.
- (3) Uses By Special Exception. None.
- (4) Accessory Uses. Accessory Uses shall be permitted in accordance with the Special Design and Development Standards.
- (a) Home occupation, which may include day care as an accessory use.
 - (b) Storage shed.
 - (c) Fence and wall.
 - (d) Garage.
 - (e) Recreational vehicle storage.
 - (f) Private greenhouse.
 - (g) Tennis court.
 - (h) Swimming pool.
 - (i) Solar energy systems.
 - (j) Signs. (See §240-22.)
 - (k) Temporary structure or use.
 - (l) Home-related business.
 - (m) Apartment for care of a relative.
 - (n) No-impact home-based business as accessory to a residential dwelling.

(o) Wind-generated energy systems.

(p) Off-street parking. (See §240-33.)

D. Lot Area, Width, Building Coverage, Height, Yard and Density Regulations. All uses shall be serviced by centralized sewage disposal and centralized water supply systems. The following requirements shall apply to each use in the TND-2 Overlay District, subject to further applicable provisions of this chapter:

(1) Basic Requirements.

Requirements: TND-2	Residential Uses
Single-Family Detached Dwellings	
Minimum Lot Area	8,500 square feet
Minimum Side Yard	10 ft. minimum; 25 ft. aggregate
Minimum Rear Yard	20 feet
Single-Family Semi-Detached Dwellings	
Minimum Lot Area	4,500 square feet
Townhouses	
Minimum Lot Area	1 acre
Maximum Density	4 dwelling units per acre
Total Impervious Coverage	65%
Minimum TND Open Space	35%
Maximum Building Height	35 feet
Minimum Building Height	20 feet
Perimeter Buffer	50 feet
Adjoining Residential Districts	
Build-To Lines	20 feet

E. Other Overlay District Requirements.

In addition to the Plans typically submitted for a Subdivision and Land Development Application and in addition to the typical procedures, the following shall apply.

(1) Procedures.

(a) The Applicant is strongly encouraged to submit a Sketch Plan as the first submission to receive informal comments on the design and layout of the proposed development in the TND-2 District.

(b) A Streetscape Plan/Public Realm Plan shall be submitted with the Preliminary and Final Plan submission, and shall be used to gauge compliance and consistency with the TND-2 District requirements.

(c) A Specific Manual of Written and Graphic Design Standards shall be submitted.

(2) Streetscape Plan/Public Realm Plan Requirements.

(a) The Plan shall depict all features proposed within the Streetscape, including: street trees; street lights; trails/pathways; crosswalks; speed tables; on-street parking; and the like.

- (b) The Plan shall depict any area proposed for curb bulb-outs, bus stops, bus shelters, bicycle lanes, bicycle racks, and Pedestrian Gathering Areas.
 - (c) The Plan shall depict pavement materials.
 - (d) The Plan shall depict all proposed Streets, Alleys, Lanes, Service Drives, and other vehicular thoroughfares.
 - (e) The Plan shall include all dimensions for all thoroughfare types.
 - (f) The Plan shall depict all: TND Open Space; passive open space; active open space; natural open space (woodlands, wetlands, etc.); sidewalks; walkways; trails; pathways; crosswalks; pedestrian bridges; and Pedestrian Gathering Areas (plazas, courtyards, and the like).
 - (g) A minimum of 10% of the gross lot tract area shall be depicted as a Pedestrian Gathering Area as depicted on the Plan.
- (3) Specific Manual of Written and Graphic Design Standards
- (a) Applicants shall prepare and submit a Specific Manual of Written and Graphic Design Standards that shall be consistent with Article X-Appendix B, and the Article IX-Appendix A General Manuals of Written and Graphic Design Standards.
- (4) Relationship to Other Ordinance Requirements for the TND-2 District.
- (a) Relationship to other Zoning Ordinance Requirements.
 - [1] Except as they are in conflict with these regulations, all other regulations in this Chapter 240 shall apply to this TND-2 District, in which case the provisions of this Article shall apply.
 - (b) Relationship to Subdivision and Land Development Ordinance Requirements.
 - [1] The conventional Design Standards of the East Goshen Township Subdivision and Land Development Ordinance Shall apply unless such Design Standards are found to be in conflict with the provisions of this Article and Article IX of the East Goshen Township Subdivision & Land Development Ordinance in which case the provisions of this Article shall apply.

F. Special Design and Development Standards.

- (1) All submissions in the TND-2 Goshenville Overlay District shall be designed to be consistent with the Design Standards of Appendix B., which include:
 - (a) Legislative Intent of the Special Design and Development Standards.
 - (b) Building Location.

- (2) No submission shall be approved unless there is a finding of consistency with the Design Standards of Appendix B.
- (3) Off-Street Parking and Loading. The parking regulations of Section 240-33 shall apply.
- (4) All subdivision and land development Applications shall be accompanied by a Manual of Written and Graphic Design Guidelines prepared by the Applicant, which shall be consistent with the Design Standards of this Section and Article IX of the Subdivision and Land Development Ordinance.

Appendix B

Chapter 240-62.F.
Zoning Ordinance

ARTICLE X. OVERLAY DISTRICTS

General Manual of Written and Graphic Design Standards
Special Design and Development Standards for:

*Traditional Neighborhood Development - 2 (TND-2)
Goshenville Overlay District*

East Goshen Township - Chester County, PA

TABLE OF CONTENTS

- (a) Legislative Intent of the Special Design & Design Standards
- (b) Building Location



240-62.F.(1)(a) Legislative Intent of the Special Design & Development Standards



Goshenville TND-2 Overlay Districts



Paoli Pike Streetscape Concept

Legislative Intent:

240-62.F.(1)(a)[1] These Special Design & Development Standards are intended to comply with Article VII-A: Traditional Neighborhood Development, and in particular Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

240-62.F.(1)(a)[2] Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-2 Goshenville Overlay District.

240-62.F.(1)(a)[3] These Design Standards shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes of the TND-2 Goshenville Overlay District.

240-62.F.(1)(a)[4] All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Standards.

240-62.F.(1)(a)[5] All Applications for Land Development in the TND-2 Goshenville Overlay District shall be accompanied by a Specific Manual of Written and Graphic Design Guidelines prepared by the Applicant, which Manual shall be consistent with this Appendix A.

240-62.F.(1)(a)[6] In addition to the Design Standards in this Appendix B, the provisions of Article X TND-2 Goshenville Village Overlay District of this Ordinance, and the provisions of Article IX. of the Subdivision Land Development Ordinance shall also apply.

If there is a conflict between the provisions of this Appendix B, and those of Article X or Article IX, the strictest provisions shall apply.

240-62.F.(1)(b) Building Location



Single-Family Semi-Detached Dwelling at Build-To Line



Townhomes in alignment with buildings on the block



Single-Family Semi-Detached Dwelling adjoining Sidewalk



Single-Family Dwellings located at Build-To Line

Legislative Intent:

240-62.F.(1)(b)[1] Buildings are intended to be located in general alignment with other buildings on a block.

Design Standards:

240-62.F.(1)(b)[2] Buildings shall be placed at a Build-To Line, as shown in the Development Strategy Plan.

240-62.F.(1)(b)[3] At least 60% of the building facade shall be along the Build-To Line. Therefore, up to 40% of the building facade may have a recess or projection to add variety and diversity to the building.

240-62.F.(1)(b)[4] New Buildings shall adjoin sidewalks at street corners, (and parking shall be located behind buildings), unless a Green or Plaza is provided at street corners

240-62.F.(1)(b)[5] Existing Buildings with deep setbacks shall have building additions such as Pergolas and Porches to serve as a transitional feature along the Streetscape.

Further Revised: 4-5-2019
Revised: 4-3-2019
11-1-2018
10-29-2018
10-17-2018
9-26-2018
6-20-2018
5-23-2018

**SUBDIVISION AND LAND DEVELOPMENT
ORDINANCE AMENDMENTS**

Article IX. Special Design and Development Standards

205.75. Traditional Neighborhood Development -1 & 2 Goshenville Overlay District.

A. All submissions in the TND-1 & 2 Goshenville Overlay District shall be designed to be consistent with the Special Design and Development Standards of Appendix A to the extent applicable with mixed use in the TND-1 District and Residential Use only in the TND-2 District, which include:

- (1) Legislative Intent of the Special Design and Development Standards.
- (2) Overview and Key Design Elements.
- (3) Building Design & Proportion.
- (4) Parking Location & Requirements.
- (5) Curb Cuts.
- (6) Streets Walls.
- (7) Street Trees & Other Landscaping.
- (8) Street Lights.
- (9) Sidewalks/Walkways/Crosswalks.
- (10) Streetscape Features & Street Furniture.
- (11) Pedestrian Gathering Areas.
- (12) Internal Street Network.
- (13) Drive-Thru Facilities.
- (14) Development Strategy Plan.

B. Definitions.

(The following words are defined and intended to be codified as part of Article II, Section 205.6. Word Usage.)

Build-To Line

The line which defines the placement of the building from the street on which the building fronts. The Build-To Line of the Building forms the Street Wall line. On a corner lot, the Build-To Line is located on each side of a lot abutting a street. A Build-To Line may have a recess or projection up to two (2) feet in order to promote variation of building placement on a block (and/or may have a recess of up to 12 feet in order to promote outdoor dining for a café or restaurant in the TND-1 District), except that the distance to the Build-To Line may be increased to be greater than that specified in the TND Overlay Districts whenever there is a stream along the front of a property.

Manual of Written and Graphic Design Guidelines

A document that provides written and graphic design guidelines for the TND District, consistent with the Design Standards in Sections 240-61.F. and 240-62.F. of the Zoning Ordinance and Section 205.75.A. of this Ordinance.

Pedestrian Gathering Area

A plaza, courtyard, pocket park, tot lot, playground, walkway, promenade, or other like type facility in which features such as pavers, benches, gazebos, pergolas, arbors, trellises, planters, plantings, lighting, and sculpture are installed and maintained.

Service Lane

A thoroughfare type, similar to a common driveway or alley, that provides vehicular access for non-residential development, typically for deliveries, loading and unloading, and parking.

Shared Parking

Off-street parking that two (2) or more landowners or tenants share in accordance with the regulations derived from the ULI-Urban Land Institute publication titled "Shared Parking Second Edition", 2005.

Streetscape

The space formed between buildings and the adjoining street, which is embellished with sidewalks, street trees, street lights, curbs, and cartways. The Streetscape is framed by buildings, which create the "outdoor room" character of the street as shown in the Design Standards in Section 205-75.A. of the Subdivision & Land Development Ordinance.

Street Wall

The wall of a building adjoining a sidewalk at the edge of the street right-of-way, as in the case of a non-residential use, or adjoining a porch, portico, stoop, or front yard landscaped area as in the case of a residential use; or approved architectural or landscaping elements at least 30 inches but not more than 42 inches in height such as piers, benches, and hedges, in lieu of a building wall. A Street Wall shall extend the entire length of the edge of the street right-of-way, except where curb cuts, driveways and pedestrian access is provided.

TND Open Space

The totality of the land that comprises the area of a TND, exclusive of buildings, streets, alleys, service lanes, parking lots, and paved surfaces such as those used for dumpsters or approved/fenced outdoor storage. TND Open Space includes Active Open Space and passive Open Space, including such features as recreational areas, parks, squares, plazas, courtyards, pedestrian gathering areas, pocket parks, playgrounds, tot lots, dog parks, playfields, natural open space designated to conserve wetlands and floodplains, and other areas for natural resource conservation, and stormwater detention basins unless designed and constructed as a wet basin or a naturalized stormwater management basin.

Traditional Neighborhood Development (TND)

An area of land developed for a compatible mixture of residential and nonresidential uses, including buildings that provide for a mix of uses. Residences, shops, offices, workplaces, public buildings, and parks are interwoven within the neighborhood so that all are within relatively close proximity to each other. Traditional Neighborhood Development is relatively compact, limited in size and oriented toward pedestrian activity. It has an identifiable center and discernible edge. The center of the neighborhood is in the form of a public park, commons, plaza, square, or prominent intersection of two or more major streets. There is a hierarchy of streets laid out in a rectilinear pattern of inter-connecting streets and blocks that provide multiple routes from origins to destinations, designed to serve the needs of pedestrians and vehicles.

Appendix A

Chapter 205-75.A.

Subdivision & Land Development Ordinance

ARTICLE IX. DESIGN STANDARDS.

**General Manual of Written and Graphic Design Standards
Special Design and Development Standards for:**

***Traditional Neighborhood Development - 1 & 2 (TND 1 & 2)
Goshenville Overlay Districts***

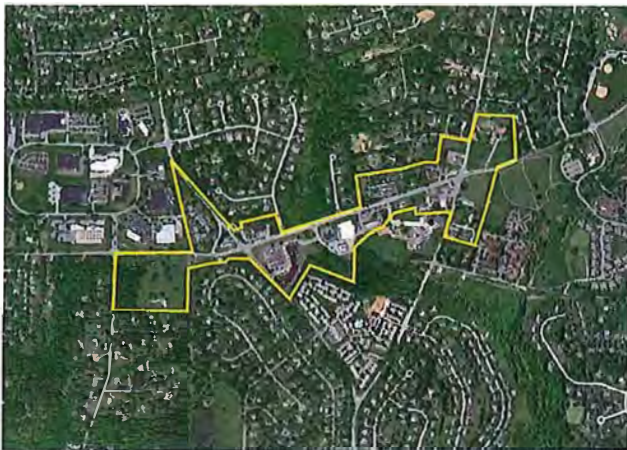
East Goshen Township - Chester County, PA

TABLE OF CONTENTS

- (1) Legislative Intent of the Special Design & Design Standards
- (2) Overview and Key Design Elements
- (3) Building Design & Proportion
- (4) Parking Location & Requirements
- (5) Curb Cuts
- (6) Street Walls
- (7) Street Trees & Other Landscaping
- (8) Street Lights
- (9) Sidewalks/Walkways/Crosswalks
- (10) Streetscape & Street Furniture
- (11) Pedestrian Gathering Areas
- (12) Internal Street Network
- (13) Drive-Thru Facilities
- (14) Development Strategy Plan



205-75.A.(1) Legislative Intent of the Special Design & Development Standards



Goshenville Overlay Districts



Paoli Pike Streetscape Concept

Legislative Intent:

205-75.A.(1)(a) These Special Design & Development Standards are intended to comply with Article VII-A: Traditional Neighborhood Development, and in particular Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

205-75.A.(1)(b) Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-1 & TND-2 Goshenville Overlay Districts.

205-75.A.(3)(c) These Design Standards shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes of the TND-1 & TND-2 Goshenville Overlay District.

205-75.A.(3)(d) All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Standards.

205-75.A.(3)(e) All Applications for Land Development in the TND-1 & TND-2 Goshenville Overlay Districts shall be accompanied by a Specific Manual of Written and Graphic Design Guidelines prepared by the Applicant, which Manual shall be consistent with this Appendix A.

205-75.A.(3)(f) In addition to the Design Standards in this Appendix A, the provisions of Article III-A TND-1 & TND-2 Goshenville Overlay Districts of the Zoning Ordinance, and the provisions of Article IX. of this Ordinance shall also apply.

If there is a conflict between the provisions of this Appendix A, and those of Article X or Article IX, the strictest provisions shall apply.

205-75.A.(2) Overview and Key Design Elements



Village Concept in Goshenville



Goshenville Overlay District Development Strategy Plan



Pedestrian Gathering Area Concept

Legislative Intent:

205-75.A.(2)(a) The Vision and Goals of the Goshenville Overlay District include: activating the corridor; connecting people; calming traffic; and enhancing the Town Center of Goshenville.

205-75.A.(2)(b) The TND-1 & TND-2 Goshenville Overlay Districts is intended to accomplish the Vision and Goals by: encouraging innovation for mixed-use pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for integrated, mixed-use, pedestrian-oriented neighborhoods; establishing public space; fostering a sense of place and community; and encouraging a diversity of Uses.

205-75.A.(2)(c) The enhancements of Goshenville will be guided through these Special Design & Development Standards, and will address the following Key Design Elements in order to achieve the desired outcome for Goshenville.

Balance Growth & Development to maintain a Small Town Character: to coordinate community development/redevelopment in context with the scale & capacity of Goshenville.

Maintain & Enhance Diversity: to enhance the variety of opportunities to live, work, shop, dine, and play.

Improve & Enhance Attractiveness & Vitality: to promote a variety of commercial uses in Goshenville that add value, and enhance the vibrancy.

Promote Multi-Modal Transportation: to enable effective mobility & circulation through an interconnect network for buses, motor vehicles, bicycles, and pedestrian.

Enhance Streetscapes: to provide functional, safe, and attractive thoroughfares through interconnect networks for streets, trails/pathways and crosswalks, accented with street trees and street lights,

Protect Historic, Cultural & Natural Resources: to encourage adaptive reuse of viable buildings, protect historic and natural features, and promote conservation of energy.

Enhance the Quality of Life: to maintain and promote parks, recreational areas, and special civic events.

205-75.A.(3) Building Design & Proportion



Facade and Roof Line Articulation



Utilization of stone and wood siding material



Building recesses and projections



Roof Line Variation

Legislative Intent:

205-75.A.(3)(a) Architectural Materials are intended to be durable, long lasting, and sustainable.

205-75.A.(3)(b) The use of traditional materials, such as brick, stone, stucco over stone, and wood siding, is intended to provide a historic reference to Goshenville.

205-75.A.(3)(c) Facade articulation, variation in roof lines, and vertical expression of buildings, is intended to promote consistency with the scale and proportion of traditional Goshenville buildings and Streetscape.

Design Standards:

205-75.A.(3)(d) Utilize brick, stone, stucco over stone, or wood siding to the maximum extent possible.

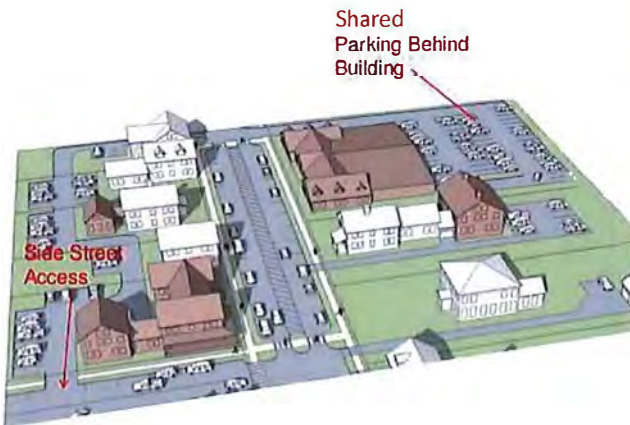
205-75.A.(3)(e) Create a vertical expression to buildings through the use of crenelation in the form of windows, doors, pilasters, piers, columns, arches, terraces, porches, porticos, stoops, balconies, colonnades, arcades, and the like.

205-75.A.(3)(f) Provide recesses or projections to buildings, from one to two feet, whenever the building exceeds 18 feet in width.

205-75.A.(4) Parking Location & Requirements



Off-street Parking located to the side of the building



Shared Parking located to the rear or side of the buildings



Pier-Fence-Hedge combination screening visible parking

Legislative Intent:

205-75.A.(4)(a) Off-Street parking lots are intended to be located to the rear of buildings.

205-75.A.(4)(b) Existing Parking Lots located in the front of a building are intended to be screened with a pier-fence-hedge combination (see §205-75.A.5.).

205-75.A.(4)(c) Shared Parking is intended to reduce the amount of parking needed and impervious surface coverage.

Design Standards:

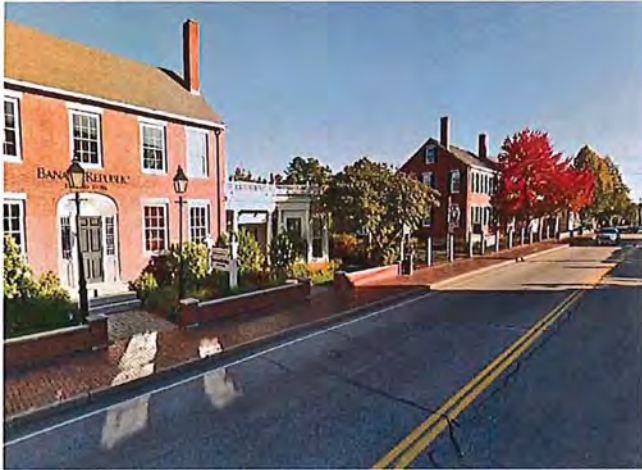
205-75.A.(4)(d) Off-Street Parking lots shall be located to the side or rear of buildings or in parking courts.

205-75.A.(4)(e) Off-Street Parking visible from a street shall be screened with a pier-fence-hedge combination.

205-75.A.(4)(f) Shared Parking shall link parking areas on adjoining properties with compatible uses to the maximum extent possible.

205-75.A.(4)(g) Shared Parking shall be governed by a written Agreement between property owners.

205-75.A.(5) Curb Cuts



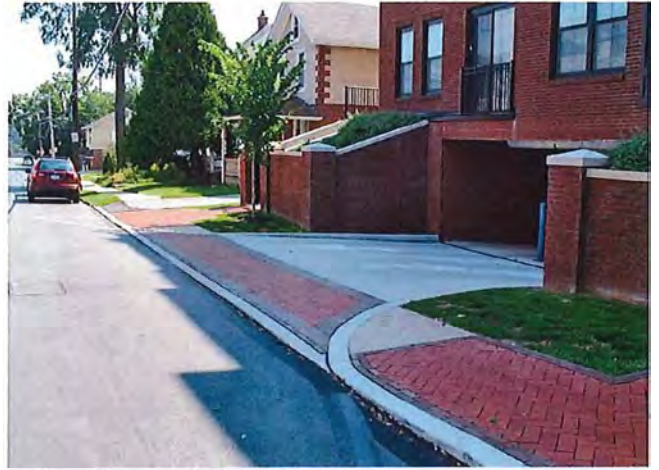
Continuous Street edge with limited Curb Cuts



Curb Cut allowing continuous Pedestrian access



Curb Cut less than 30 feet in width



Curb Cut located along the rear of the lot/building

Legislative Intent:

205-75.A.(5)(a) Curb Cuts are intended to be limited in width, to help control vehicular access.

205-75.A.(5)(b) Existing wide Curb Cuts are intended to be “necked-down” to minimize pedestrian conflicts, and to provide space for additional Streetscape amenities

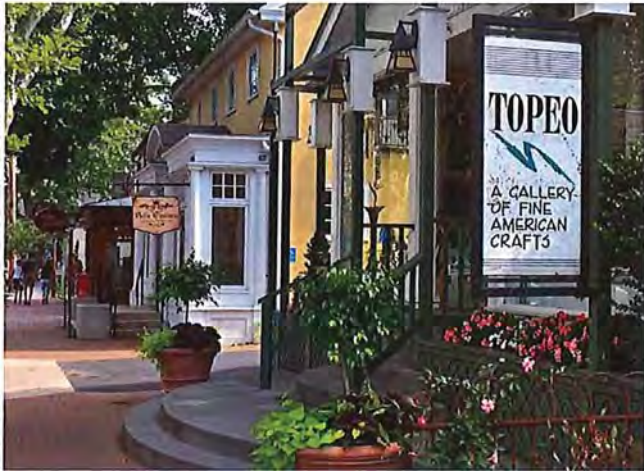
Design Standards:

205-75.A.(5)(c) Curb Cuts shall be minimized to enable uninterrupted pedestrian movement along trails/paths.

205-75.A.(5)(d) Existing cross streets or streets along the rear of the lot shall be utilized to access parking to the maximum extent possible.

205-75.A.(5)(e) Any new Curb Cut shall not be more than 30 feet in width for two-way traffic, and not more than 18 feet in width for one-way traffic.

205-75.A.(6) Street Walls



Buildings forming the Street Wall



Brick Wall screening off-street parking



Street Trees utilized as Street Wall along Streetscape

Legislative Intent:

205-75.A.(6)(a) Street Walls are intended to be the predominant Street edge feature in the Goshenville, or when permitted as a combination of architectural and landscape elements such as but not limited to pier-fence-hedge combination, low walls, and street trees/landscaping.

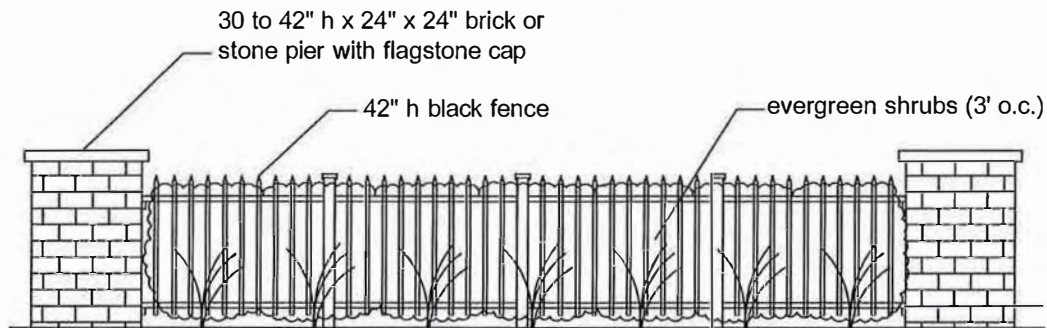
Design Standards:

205-75.A.(6)(b) Existing Street Walls formed by Buildings shall be maintained.

205-75.A.(6)(d) A brick or masonry Street Wall, 30 inches to 42 inches in height, shall be created to create a visual screen to existing off-street parking lots, and proposed off-street parking lots. The wall shall be built and maintained with materials complementary to the principal building and/or structure.

205-75.A.(6)(e) Street Trees and other landscaping may be utilized as the Street Wall along portions of the streetscape without buildings.

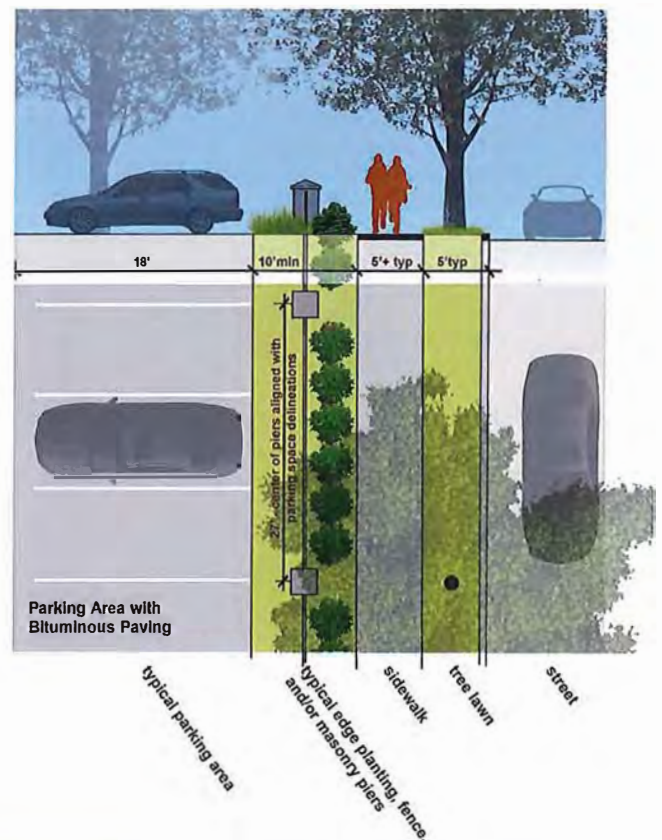
205-75.A.(6) Street Walls: Pier-Fence-Hedge



Typical Section of Pier, Fence & Hedge



Pier-Fence-Hedge combination screening off-street parking



Legislative Intent:

205-75.A.(6)(f) A Pier-Fence-Hedge combination is intended to provide an alternative Street Wall type.

205-75.A.(6)(g) A Pier-Fence-Hedge combination is intended to be used to delineate the Streetscape edge and to help screen the off-parking located adjacent to the roadway.

Design Standards:

205-75.A.(6)(h) A Pier-Fence-Hedge combinations shall be utilized as a form of Street Wall in order to screen off-street parking areas located adjacent to the roadway.

205-75.A.(6)(i) A Pier-Fence-Hedge combinations shall consist of stone/masonry piers, black fence, and evergreen shrubs.

205-75.A.(7) Street Trees & Other Landscaping



Street Trees installed and maintained along both sides of street



Landscaping utilized to soften hardscape features



Layered Landscaping

Legislative Intent:

205-75.A.(7)(a) Street Trees are intended to provide shade and screening, and add a graceful element to the streetscape.

205-75.A.(7)(b) Street Trees are intended to be placed in a regular alternating alignment along both sides of streets, and are intended to form an Allee effect to the streetscape.

205-75.A.(7)(c) Landscaping is intended to provide an attractive edge along the streetscape.

205-75.A.(7)(d) Landscaping is intended to be layered, so that there is a progression of scale from the ground plane, to the sidewalk/building scale, to the overhead canopy.

Design Standards:

205-75.A.(7)(e) Street Trees shall be installed and maintained along both sides of all streets at least two feet (2') behind the Trail/Path, and out of the buffer area along Paoli Pike.

205-75.A.(7)(f) Street Trees shall be installed and maintained in accordance with Section 205-62 of the Subdivision and Land Development Ordinance.

205-75.A.(7)(g) Landscaping shall be utilized to soften hardscape features.

205-75.A.(7)(h) Walkways, Public Space, and view corridors shall be accentuated with Landscaping.

205-75.A.(7)(h) The landscaping shall be diversified through the use of contrasting textures such as: smooth & rough, light & dark, bright & shadow, brilliant & subdued, and natural & man-made.

205-75.A.(8) Street Lights



“Traditional” style Street Lights



Street Light with Vertical Banner



Street Lights located to minimize conflict with Street Trees

Legislative Intent:

205-75.A.(8)(a) Pedestrian-scaled street lights are intended to provide an attractive component to the Streetscape.

205-75.A.(8)(b) Street Lights are intended to provide securing along the trail/paths.

205-75.A.(8)(c) Street Lights are intended to be a “Traditional” style in order to create an identity for Goshenville.

205-75.A.(8)(d) Landscaping is intended to be layered, so that there is a progression of scale from the ground plane, to the sidewalk/building scale, to the overhead canopy.

Design Standards:

205-75.A.(8)(e) Street Lights shall be provided along both sides of streets.

205-75.A.(8)(f) Street Lights shall be 10 to 12 feet in height.

205-75.A.(8)(g) One (1) pedestrian scaled, ornamental street light shall be provided at an average interval of forty-five (45) feet.

205-75.A.(8)(h) Street Lights shall have vertical banners.

205-75.A.(8)(i) Street Lights shall be “Traditional Style” and shall have a black finish as shown on page 8.2.

205-75.A.(8)(j) Street Lights shall be located to minimize conflicts with Street Trees.

205-75.A.(8) Street Lights

This drawing is property of Spring City Electrical Mfg. Co. and is loaned to the recipient with the understanding that it shall not be copied, reproduced, passed on to unaffiliated parties, nor used for any purpose other than that for which it is specifically loaned except with Spring City's written permission.

LUMINAIRE SPECIFICATIONS

STYLE: WASHINGTON LED
 HEIGHT: 44'
 WIDTH: 16 1/2" DIAMETER
 MATERIAL: CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95
 FINISH: POWDER COAT - RIVER TEXTURE GLOSS BLACK
 GLOBE: CLEAR STIPPLED ACRYLIC
 LAMPING: 60 WATT LED
 VOLTAGE: ELECTRONIC 120-277 VOLTS
 COLOR TEMP.: 3000K (WARM WHITE)
 DISTRIBUTION: TYPE III (ASYMMETRIC)
 SURGE: 10W

CATALOG NO.: ALMWSH-LE060EVXK2-30-CR3YS11-FPA-CU

LAMP POST SPECIFICATIONS

STYLE: WASHINGTON WITH DC TOP
 HEIGHT: 12'-0"
 PHOTOMETRIC CENTER: 14'-0"
 BASE: 17" DIAMETER
 MATERIAL: ONE PIECE, CAST DUCTILE IRON PER A536-84 GRADE 65-45-12
 FINISH: POWDER COAT - RIVER TEXTURE GLOSS BLACK
 ACCESS DOOR: ACCESS DOOR LOCATED IN BASE WITH TAMPER PROOF HEX SOCKET SECURITY MACHINE SCREWS
 GROUND PROVISIONS: DRILL AND TAP IN SIDEWALL OF BASE OPPOSITE ACCESS DOOR TO ACCOMMODATE A 1/4"-20 GROUND STUD (STUD SUPPLIED BY OTHERS)
 ANCHOR BOLTS: (4) 3/4" X 2 1/4" X 3" HOOK (FULLY GALVANIZED WITH 1 GALVANIZED NUT AND 1 GALVANIZED WASHER PER BOLT)
 BOLT PROJECTION: 3" REQUIRED
 TENON: 3 1/2" DIA. X 3" HIGH (TO ACCEPT LUMINAIRE)
 CATALOG NO.: DPSWSH-17-12-00-TN1350L00-DC-CU

WARRANTY INFORMATION:

ONE PIECE CAST DUCTILE IRON BASE PROTECTED BY SPRING CITY'S 25 YEAR WARRANTY.

SPRING CITY WARRANTS ITS DUCTILE IRON BASES TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP UNDER NORMAL USE AND OPERATION FOR 25 YEARS. NORMAL USE INCLUDES DAMAGE RESULTING FROM MOTOR VEHICLE COLLISIONS.

LED LUMINAIRE, LED DRIVER, AND LED ARRAYS PROTECTED BY SPRING CITY'S 10 YEAR WARRANTY

SPRING CITY WARRANTS ITS LED LUMINAIRE, LED DRIVER, AND LED ARRAYS TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP UNDER NORMAL USE AND OPERATION FOR 10 YEARS. A SINGLE LED FAILURE SHALL BE REPLACED UNDER THE WARRANTY TERMS.

PLEASE WWW.SPRINGCITY.COM FOR FULL WARRANTY DETAILS.

PLEASE NOTE: PRODUCT MUST MEET PENN DOT PUBLICATION 408 AND BULLETIN 15 STANDARDS AND REQUIREMENTS

SECTION A-A
BASE PLATE DETAIL

Spring City Electrical Mfg. Co.
 1 HILL AND MAIN STREET B - P.O. BOX 11 - SPRING CITY, PA 19775
 PHONE (610) 441-4000 - FAX (610) 446-6377 - WWW.SPRINGCITY.COM

DESCRIPTION	THE WASHINGTON LED LUMINAIRE WITH CAST ROOF ATOP THE WASHINGTON CAST DUCTILE IRON POST		
CUSTOMER	EAST GOSHEN TOWNSHIP		
SCALE	DRAWN BY:	DATE	DRAWING NO.
N.T.S.	W.R.W.	07-05-16	S104301

Design Standards:

205-75.A.(8)(k) Street Lights shall be Washington LED Luminaire with Washington DC Top Lamp Posts from Spring City Electrical Mfg. Co. in a black finish, or approved equal.

205-75.A.(9) Trails/Paths/Crosswalks



Crosswalk Striping connecting opposing accessible sidewalk ramps



Crosswalk in driveway throat continuing the Sidewalk system



Trail/Path with grass buffer



Multi-Use Trail and Crosswalk along Paoli Pike

Legislative Intent:

205-75.A.(9)(a) Trails/Paths are intended to provide opportunities for continuous pedestrian circulation and connection.

205-75.A.(9)(b) Crosswalks are intended to provide pedestrian safety, and continue the Trail/Path system.

Design Standards:

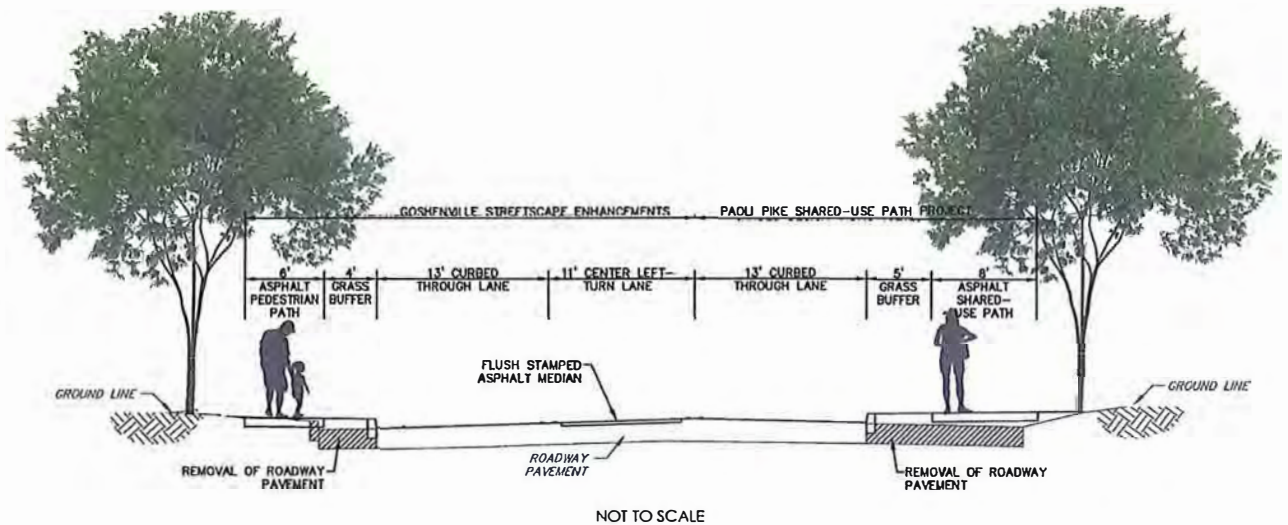
205-75.A.(9)(e) An 8'-10' asphalt multi-use trail with a five foot (5') wide (minimum) grass buffer between the curb and path shall be provided and maintained on the south side of Paoli Pike

205-75.A.(9)(f) A six foot (6') wide asphalt pedestrian path with a four foot (4') wide (minimum) grass buffer between the curb and path shall be provided and maintained on the north side of Paoli Pike.

205-75.A.(9)(g) High visibility Crosswalks with ADA compliant curb ramps shall be provided and maintained at signalized intersections and at all street crossings and curb cuts.

205-75.A.(9)(h) Crosswalks shall be at least six feet (6'-0") in width when they cross streets.

205-75.A.(10) Streetscape & Street Furniture



Paoli Pike Streetscape Section

Legislative Intent:

205-75.A.(10)(a) Streetscapes are intended to be maintained, enhanced, and created to consist of Paths/Trails, Street Trees, Street Lights, Street Furniture, Pedestrian Gathering Spaces, and Cartways.

205-75.A.(10)(b) Street Furniture is intended to provide a functional and attractive component to the West Chester Borough Streetscape.

205-75.A.(10)(c) Streetscape and hardscape paving materials are intended to be referential to Historic Goshenville and promote uniformity and continuity within the Goshenville Streetscape.

205-75.A.(10)(d) Traffic Calming strategies are intended to reduce vehicular travel speeds in order to improve bicycle and pedestrian safety and provide a comfortable environment for walking and biking.

Design Standards:

205-75.A.(10)(e) Streetscapes shall be enhanced with Paths/Trails, Street Trees, Street Lights, Street Furniture, Pedestrian Gathering Spaces, and Traffic Calming Measures.

205-75.A.(10)(f) Brick or Stamped Asphalt Brick shall be utilized in the Hardscape Median, Flush Stamped Asphalt Median, and the Pedestrian Gathering Areas.

205-75.A.(10)(g) Brick or Stamped Asphalt Brick shall be utilized for the Hardscape Paving in order to provide uniformity and continuity within the Goshenville Streetscape.

205-75.A.(10)(g) Retaining Walls utilized to enable the Trail in narrow areas shall be pre-cast stone wall that is referential to Historic Goshenville.

205-75.A.(10) Streetscape & Street Furniture



Stone Wall material referential to Historic Goshenville



Brick utilized in Pedestrian Gathering Area



Paoli Pike Streetscape with Street Trees, Trail/Path, Crosswalk, Traffic Calming Measures, etc.

Design Standards:

205-75.A.(10)(h) Retaining Walls utilized to enable the Trail in narrow areas shall be pre-cast stone wall that is referential to Historic Goshenville.

205-75.A.(10)(i) Traffic Calming Strategies shall include: Gateway Median/Pedestrian Safety Island, Stamped Asphalt Median, Reduced Lane Widths, Gateway Signage, Street Trees/Landscaping, and Painted Rumble Strips (as described in the Paoli Pike Corridor Master Plan).

205-75.A.(10)(j) Street Furniture, such as benches, waste receptacles, street lights, bollards, bicycle racks, fencing etc., shall have a black finish in order to provide uniformity and continuity throughout the Goshenville Streetscape.

205-75.A.(10)(k) All Street Trees, Street Lights, Landscaping, and the like shall be in accordance with this Article XI and the Subdivision and Land Development Ordinance.

205-75.A.(10) Streetscape & Street Furniture



Trash Receptacle (Victor Stanley S-42)



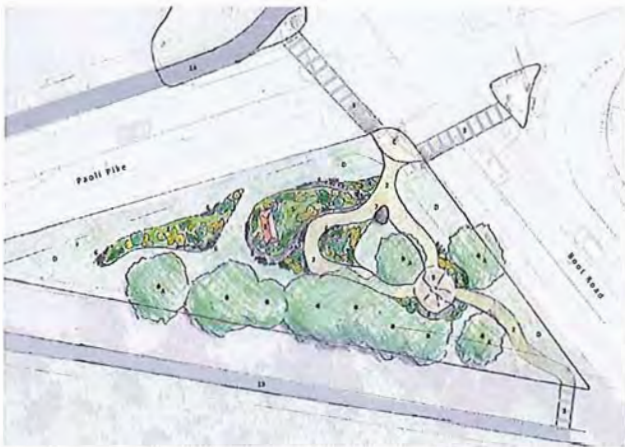
Black Bench (Victor Stanley RB-28)

Design Standards:

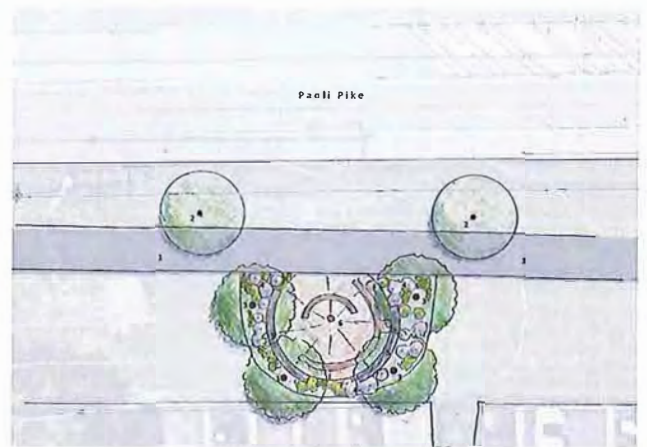
205-75.A.(10)(l) All Benches shall be Victor Stanley Steelsites RB Collection RB -28 in a black finish, or approved equal.

205-75.A.(10)(m) All Trash Receptacles shall be Victor Stanley Ironsites Collection S-42 in a black finish, or approved equal.

205-75.A.(11) Pedestrian Gathering Areas



Pedestrian Gathering Area Concept for the intersection of Paoli Pike and Boot Road



Pedestrian Gathering Area Concept along Paoli Pike



Pedestrian Gathering Area with Hardscape, Shade Trees, shrubs, and benches



Pedestrian Gathering Area as central open space amenity, as part of an Internal Street Network

Legislative Intent:

205-75.A.(11)(a) Pedestrian Gathering Areas are intended to provide passive recreational opportunities along the Paoli Pike Corridor.

205-75.A.(11)(b) Pedestrian Gathering Areas are intended to provide places to rest, shade, and service as focal points along the Streetscape.

205-75.A.(11)(c) Pedestrian Gathering Areas are intended to complement adjoining retail/commercial uses, and be accessible to nearby neighborhoods.

Design Standards:

205-75.A.(11)(d) Pedestrian Gathering Areas shall include a variety of landscape and hardscape features such as shade trees, shrubs, unit pavers, benches, low sitting walls, planters, and pedestrian scaled lighting.

205-75.A.(11)(e) Pedestrian Gathering Areas shall also be built and maintained as a central open space amenity in TND-2 Area neighborhoods.

205-75.A.(12) Internal Street Network



Internal Street Network at Wyndcrest, Sandy Springs, MD, with On-Street Parallel Parking



Internal Street Network at Lake Forest, IL, with On-Street Angled Parking



Internal Street Network at Louella Court, Wayne, PA



Internal Street Network wrapped around Pedestrian Gathering Areas

Legislative Intent:

205-75.A.(12)(a) Internal Street Networks are intended to be interconnected.

Design Standards:

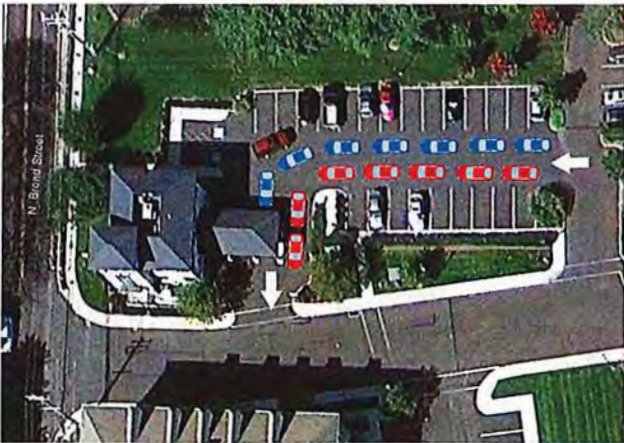
205-75.A.(12)(b) Internal Street Networks shall be designed and built as an interconnected network.

205-75.A.(12)(c) A new internal street shall be designed, built, and maintained to wrap around a Pedestrian Gathering Area, and to provide a counter-clockwise vehicular route as an alternative to a cul-de-sac.

205-75.A.(13) Drive-Thru Facilities



Bank with Drive-Thru Facility located in the rear



Traffic Stacking at Drive-Thru Facility located in the rear



Bank with Drive-Thru Facility located on the side

Legislative Intent:

205-75.A.(13)(a) Drive-Thru Facilities, such as those at Banks and Pharmacies, are intended to have the Drive-Thru component in the back or side of the facility, not along a primary street frontage.

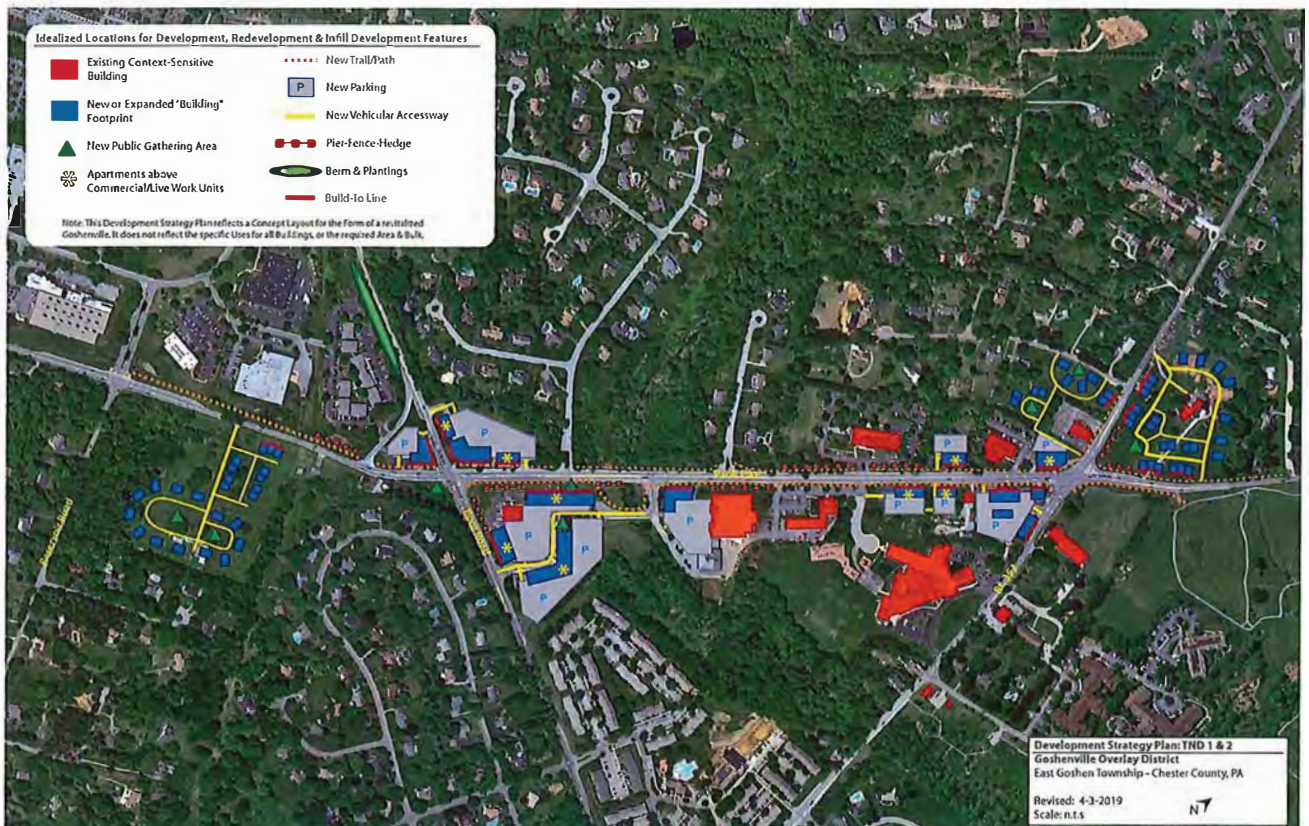
Design Standards:

205-75.A.(13)(b) Drive-Thru Facilities shall not be located along a primary street frontage.

205-75.A.(13)(c) When A Drive-Thru Facility is located on the side of a building, it shall be setback at least 25 feet from the street right-of-way.

205-75.A.(13)(d) Drive-Thru Facilities shall have building materials, colors, and form, complementary to the principal building.

205-75.A.(14) Development Strategy Plan



Goshenville Village Development Strategy Plan (see insert enlargement)

Legislative Intent:

205-75.A.(14)(a) The Development Strategy Plan is intended to guide and inform Development, Redevelopment, and Infill in Goshenville Village.

Design Standards:

205-75.A.(14)(b) Development, Redevelopment, and Infill development shall be consistent with the Development Strategy Plan to the maximum extent possible, relative to the location of buildings at a Build-To Line.