

**EAST GOSHEN TOWNSHIP  
PLANNING COMMISSION  
Meeting Agenda  
Wednesday, December 4, 2019  
7:00 PM**

- A. Call to Order / Pledge of Allegiance and Moment of Silence
- B. Chairman will ask if anyone is going to record the meeting
- C. Review of Tracking Log / Determine need for Workshop Meeting**
- D. Public Comment on Non-Agenda Items
- E. Approval of Minutes**
  - 1. November 6, 2019**
- F. Subdivision and Land Development Applications
- G. Conditional Uses and Variances
- H. Ordinance Amendments**
  - 1. TND Ordinance Overlay / FINAL DRAFT**
- I. Old Business
- J. 2019 Goals
- K. Any Other Matter
- L. Liaison Reports
- M. Correspondence
- N. Announcements**
  - 1. TND Ordinance Hearing: 12/17/2019 at 7 PM**

**Bold Items indicate new information to review or discuss.**

East Goshen Township Planning Commission  
Application Tracking Log

**December 4, 2019 PC Meeting**

Application Name	Application (CU,LD,O, SD,V, SE, CA)	Type (Sk, P, F)	Date Filed	Start Date	Date to Township Engineer	Date to CCPC	Date to Abutting Prop. / ABC's	Extension	PC NLT Action Date	BOS NLT Action Date	Hearing Date	Drop Dead date	Comments
No Applications													

**Bold = New Application or PC action required**

**Completed in 2019**

ZEKS, 1302 Goshen Parkway	CU	Sk	8/27/2019	8/27/2019	NA	NA	8/29/2019		10/2/2019	10/29/2019	10/15/2019	10/25/2019	APPVD.
ESKE Development / Ducklings	LD	P/F	1/18/2019	2/6/2019	2/23/2019	2/23/2019	2/29/2019		4/3/2019	4/9/2019	NA	5/6/2018	APPVD.
PECO Gas Gate	CU	Sk	2/26/2019	2/26/2019	2/28/2019	NA	2/28/2019	1	4/3/2019	6/5/2019	5/14/2019	6/25/2019	APPVD.
CZ Woodworking / 1422 Ardleigh Cir.	CU	Sk	3/29/2019	3/29/2019	NA	NA	4/22/2019	1	6/5/2019	6/18/2019	6/18/2019	6/27/2019	APPVD. W Conds.
1351 Paoli Pike / The Hankin Group	ZO	SK	5/31/2019	NA	NA	NA	5/31/2019	NA	NA	NA	NA	NA	DENIED
1339 Enterprise Drive	CU	SK	5/30/2019	5/30/2019	NA	NA	6/11/2019		7/10/2019	7/16/2019	7/16/2019	7/29/2019	APPVD.

**DRAFT**  
**EAST GOSHEN TOWNSHIP**  
**PLANNING COMMISSION MEETING**  
**November 6, 2019**

The East Goshen Township Planning Commission held a regular meeting on Wednesday, November 6, 2019 at 7:00 p.m. at the East Goshen Township building.

Members present are highlighted:

**Chair - Brad Giresi**

**Vice Chair - Ernest Harkness**

**Dan Daley**

**Edward Decker**

**Michael Koza**

**Mark Levy**

**John Stipe**

Also present were:

**Mark Gordon, Zoning Officer**

**Janet Emanuel, Township Supervisor**

**David Shuey, Township Supervisor**

**Michael Lynch, Township Supervisor**

**COMMON ACRONYMS:**

*BOS – Board of Supervisors*

*BC – Brandywine Conservancy*

*CB – Conservancy Board*

*CCPC – Chester Co Planning Commission*

*CPTF – Comprehensive Plan Task Force*

*CVS – Community Visioning Session*

*SWM – Storm Water Management*

*ZHB – Zoning Hearing Board*

**A. FORMAL MEETING – 7 p.m.**

1. Brad called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and a moment of silence to remember our first responders and military.
2. Brad asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
3. Brad checked the log.
4. The minutes of the October 2, 2019 meeting were approved as amended.

**B. ORDINANCE AMENDMENTS**

1. TND Ordinance Overlay – Brad mentioned that the BOS held a public meeting on October 22. As a result of that meeting, the BOS has asked the PC to revisit this revised TND proposal to remove apartments as a use.

Mark explained that he met with the Township Solicitor, Tom Comitta, and Rick Smith to make these changes. Apartments were removed, build-to line and front yard setback, the pedestrian gathering area was changed and design standards were changed to reflect these items. The TND-2 is single family or twins. He discussed the easements and right of way. He spoke about new uses that the TND-1 allows. Any new construction has to use the TND-1.

Dan and Ernie are disappointed that apartments were removed.

Brad mentioned that the Commission met with a developer who commented that without residential there will be no interest because this was an incentive.

David mentioned three examples of requests not allowed under this revised proposal. 1) someone wants to build a coffee shop and to cover debt put a residential unit above it. 2) Someone wants to build back further than 15 ft from the trail. 3) On the Perakis property, someone wants to build triplex units with open space. Mark confirmed that all of these would require a variance under the current proposal.

Mike feels a town center should have mixed use. He is in favor of individual residential units above commercial. He feels the residents don't want apartment buildings like they are doing in Exton.

Janet mentioned that the developer commented that we have to add more density. A resident mentioned that a community she knows did a mix and the stores with residential above were more successful. Ernie pointed out what is in the current Township Comprehensive Plan about the town center and it includes residential above commercial. Brad commented that all plans point to a pedestrian oriented space so people can walk. Mark mentioned that the Paoli Pike Trail for this area will be started in spring of 2020 and will take a year to complete. He commented that the revised plan has to be sent to the County by November 15. David commented that there are 2 vacant properties there and he wants to keep this moving. He mentioned, that under this TND-1, parking is to be in the rear.

**Public Comment:**

Dan Truitt, 1430 Grand Oak Ln -Dan spoke about parking for dwellings when there is more than 2 adults in a unit. The current standard is 1.2 to 1.5 cars per unit. Where will the extra cars go? There was more discussion about dwellings above ground floor commercial, density, parking, etc. The Commission agreed to revise the plan again to allow dwellings above ground floor commercial. Mark will have a meeting with the staff and next week 2 or 3 Commission members will review the new draft which will be sent to the County.

Ernie made a motion that the Planning Commission recommend that the Board of Supervisors move the draft TND Overlay Ordinance forward to adoption with the following changes:

**TND-1**

1. Add "Dwelling units above first floor commercial uses" back into the TND-1, Uses permitted by right section.
2. Add a definition for "Dwelling units above first floor commercial uses".
3. Add Dwelling Units Above First Floor Commercial in the Residential Uses Table specifying that said units have a minimum habitable floor area of 1,000 s.f. and a maximum density of 10 dwelling units per acre.
4. Add parking standards for dwelling units above first floor commercial uses to the special design standards section as outlined in the 4/5/2019 version.
5. Amend Front Yard Setback to 15' minimum
6. Amend Buffer Yard requirement in the TND-1 to read "Buffer Yard adjoining residential uses".
7. Revise appendices and SALDO amendment to reflect these changes.

**TND-2**

No Changes.

Mike seconded the motion. The motion passed unanimously.

**C. ANY OTHER MATTER**

1. 2019 PA Small Water and Sewer Grant Application – Mark commented that he received a memo from Jon Altshul, Asst. Township Manager, stating that the Municipal Authority is interested in submitting a grant application to the DCED through the PA Small Water and Sewer Program for their Caustic Soda Project. He explained how the caustic soda is used and the manual process currently being use. The MA wants to install a safer, computerized conveyor system. Mark gave a history of the RCSTP. As part of the grant application, a letter is needed from the Planning Commission affirming that the proposed Caustic Soda project conforms with comprehensive land use plans. Brad moved that the PC direct the Zoning Officer to draft a letter to the PA Department of Community and Economic Development affirming that the proposed Caustic Soda Project at the Ridley Creek Sewage Treatment Plant conforms with the Township's comprehensive land use plans. Ernie seconded the motion. The motion passed unanimously.

**D. CORRESPONDENCE**

1. PennDOT MTF Fund Application – The PC received a letter from Jason Lang, Director of Parks and Recreation, giving notice that the Township is making application for PennDOT's Multimodal

1 Transportation Fund Program (MTF) for funding to complete the Paoli Pike Trail segment B from Ellis  
2 Lane to Reservoir Road. Mark explained what is needed to get this grant.  
3 Dan moved that the Planning Commission support the MTF application. Mark Levy seconded the  
4 motion. The motion passed unanimously.  
5

6 **D. ADJOURNMENT**

7 There being no further business, Mike made a motion to adjourn the meeting. John seconded the  
8 motion. The meeting was adjourned at 9:20 pm. The next regular meeting will be held on  
9 Wednesday, December 4, 2019 at 7:00 p.m.

10  
11  
12 Respectfully submitted, \_\_\_\_\_  
13 *Ruth Kiefer, Recording Secretary*

# Memorandum

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**East Goshen Township**  
**1580 Paoli Pike**  
**West Chester, PA 19380**

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Date: 11/26/2019

To: Planning Commission

From: Mark Gordon, Township Zoning Officer



Re: TND Overlay District Ordinances

Planning Commission Members,

Staff has incorporated the Planning Commissions comments from your 11/6/2019 meeting and forwarded this version to the CCPC for their review and comment. The changes incorporated in this final version of the ordinances are:

1. Residential Dwelling units above first floor commercial uses has been returned to the ordinance.
2. The Build-To Line has been removed and replaced with minimum front yard setback of 15'.
3. The Buffer yard setback from residential districts has been revised to 25' for the TND-1 district.
4. Parking standards have been amended for residential units above first floor commercial.
5. A minimum 1000 square foot habitable floor area for dwelling units above first floor commercial has been added.
6. A maximum density of 10 units per acre has been added for dwelling units above first floor commercial.

The Board of Supervisors will hold a hearing to consider these TND Ordinance amendments on 12/17/2019 at 7 PM.

## **STAFF RECOMENDATION**

Staff anticipates that the CCPC comments will be received in the first week of December. Their comments will be forwarded to the Board of Supervisors for consideration.

Staff believes that the proposed TND ordinances will move the Township forward towards the realization of the Land Use goals and objectives outlined for the Paoli Pike Corridor in the Township Comprehensive Plan 2015. Staff believes that a

recommendation from the PC on these proposed ordinance amendments and design standards for the Town Center is appropriate at this time.

**DRAFT MOTION**

Mr. Chairman, I move that the Planning Commission recommend the Board of Supervisors adopt the proposed draft ordinance amendments and design standards for the Traditional Neighborhood Development 1 and 2, as outlined in the final draft.

**EAST GOSHEN TOWNSHIP**

**CHESTER COUNTY, PENNSYLVANIA**

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING THE EAST GOSHEN TOWNSHIP ZONING ORDINANCE OF 1997, AS AMENDED, WHICH IS CODIFIED IN CHAPTER 240 OF THE EAST GOSHEN TOWNSHIP CODE TO AMEND SECTION 240-5 TO CREATE THE TND-1 TRADITIONAL NEIGHBORHOOD DEVELOPMENT- 1 OVERLAY DISTRICT AND THE TND-2 TRADITIONAL NEIGHBORHOOD DEVELOPMENT- 2 OVERLAY DISTRICT; TO AMEND THE EAST GOSHEN TOWNSHIP ZONING MAP WHICH IS ADOPTED IN SECTION 240-5.E TO INCLUDE CERTAIN PARCELS ALONG PAOLI PIKE IN THE TND-1 TRADITIONAL NEIGHBORHOOD DEVELOPMENT- 1 OVERLAY DISTRICT AND THE TND-2 TRADITIONAL NEIGHBORHOOD DEVELOPMENT- 2 OVERLAY DISTRICT; SECTION 240-6 TO ADD CERTAIN DEFINITIONS AND TO ADD A NEW ARTICLE X TITLED, "TRADITIONAL NEIGHBORHOOD DEVELOPMENT OVERLAY DISTRICTS".**

BE IT ENACTED AND ORDAINED by the Board of Supervisors of East Goshen Township, that the East Goshen Township Zoning Ordinance, which is codified in Chapter 240 of the East Goshen Township Code, shall be amended as follows:

**SECTION 1.** Section 240-5.A, titled, "Zoning Districts and map", shall be amended as follows:

**§ 240-5. Zoning districts and map.**

A. Zoning districts. For the purpose of this chapter, the Township of East Goshen is hereby divided into the following districts:

R-1	Low Density Open Space Residential
R-2	Low Density Residential
R-3	Medium Density Residential
R-4	High Density Suburban Residential
R-5	Urban Residential
C-1	Community Commercial
C-2	Local Convenience Commercial
C-3	(Reserved for future use)
C-4	Planned Highway Commercial
C-5	Government, Finance and Office
I-1	Light Industrial
I-2	Planned Business, Research and Limited Industrial Park



BP	Business Park
HR	Historic Resources Overlay District*
TND-1	Traditional Neighborhood Development -1 Overlay District
TND-2	Traditional Neighborhood Development -2 Overlay District

**SECTION 2.** The East Goshen Township Zoning Map which is adopted in Section 240-5.E shall be amended to include the following parcels in the TND-1 Traditional Neighborhood Development -1 Overlay District:

<u>Tax Parcel No.</u>	<u>Property Address</u>	<u>Current Owner</u>
53-4-1	Paoli Pike and Boot Road	Goshen Executive Condominium Association
53-4-2	1425 Paoli Pike	Sunoco LLC
53-4-75-E	Paoli Pike	East Goshen Township
53-4-6.2	1501 Paoli Pike	Paoli Realty Partners, LP
53-4-6.3	1501 Paoli Pike	Paoli Realty Partners, LP
53-4-43-E	1585 Paoli Pike	Friends of PA Leadership Charter School
53-4-47	1591 Paoli Pike	Pasquale D'Abundo and Concetta D'Abundo, co-Trustees under the Concetta D'Abundo Revocable Trust
53-4-48.2	1595 Paoli Pike	Bentley Family Limited Partnership I, LP
53-4-48.1	Paoli Pike	Kalemjian, Inc.
53-4-49	1599 Paoli Pike	Kalemjian, Inc.
53-4-77	1546 Paoli Pike	Goshen Equities, LLC
53-4-77.1A	1560 Paoli Pike	Commerce Bank/PA
53-4-77.1	1570 Paoli Pike	East Goshen Township
53-4-78.1-E	1580 Paoli Pike	East Goshen Township

53-4-78.2	1584 Paoli Pike	Keystone Financial Bank PA National Bank & Trust Co
53-4-79	1590 Paoli Pike	Carroll E. Siquett, III and Christine M. Siquett
53-4-80.1	352 Paoli Pike	Thorndale Investment Group
53-4-81	1596 Paoli Pike	Redeemed Properties, LP
53-4-80	813 N. Chester Road	Topmal, LLC

**SECTION 3.** The East Goshen Township Zoning Map which is adopted in Section 240-5.E shall be amended to include the following parcels in the TND-2 Traditional Neighborhood Development -2 Overlay District:

<b><u>Tax Parcel No.</u></b>	<b><u>Property Address</u></b>	<b><u>Current Owner</u></b>
53-4-117	1408 Paoli Pike	Thomas R. Peraino and Doris D. Peraino
53-4-118	1422 Paoli Pike	Tru-Team, Inc.
53-4-67	1601 Paoli Pike	Nicholas Perakis and Andrea N. Perakis
53-4-48	1580 Colonial Lane	Goshenville Church
53-4-87	814 N. Chester Road	Goshenville Friends Meeting & Burial Grounds
53-4-86	814 N. Chester Road	Goshen Monthly Meeting of Religious Society of Friends

**SECTION 4.** Section 240-6, titled, "Definitions; word usage", shall be amended to add the following terms:

**ARTISAN SHOP-** A retail store selling art glass, ceramics, clothing, jewelry, paintings, sculpture, and other similar handcrafted items, where the facility includes an area for crafting of the items being sold.

**OUTDOOR DINING-** A defined outdoor area for eating.

**PEDESTRIAN GATHERING AREA-** A plaza, courtyard, pocket park, square, tot lot, playground, walkway, promenade, or other like type facility in which features such as pavers, benches, gazebos, pergolas, arbors, trellises, planters, plantings, lighting, and sculpture are installed and maintained. Impervious surfaces within Pedestrian Gathering Areas shall be included for purposes of stormwater management but shall not count for purposes of zoning calculations.

**POP-UP USE-** A temporary use that may involve a commercial or retail establishment, an art gallery, a philanthropic use, an educational use, outdoor recreational use, or a seasonal use such as a food stand or food truck.

**REVITALIZATION-**The enlargement or extension of an existing non-residential building by twenty percent (20%) or more of the gross floor area of the building.

**STREETSCAPE-**The space formed between buildings and the adjoining street, which is embellished with sidewalks, street trees, and street lights. The Streetscape is framed by buildings, which create the "outdoor room" character of the street as shown in the Design Standards in Section 205-71.1.A. of the Subdivision and Land Development Ordinance.

**TND OPEN SPACE-** TND Open Space shall include active Open Space and Passive Open Space, including such features as recreational areas, parks, Pedestrian Gathering Areas, dog parks, and playfields.

**SECTION 5.** Section 240-6, titled, "Definitions; word usage", shall be amended to add the following new definition under the definition of "Dwelling unit/housing unit":

**(5) DWELLING UNIT ABOVE FIRST FLOOR COMMERCIAL USES –** A dwelling unit that is occupied by one family and is located on the second and/or third floor of a building that contains a commercial use on the first floor.

**SECTION 6.** A new Article X, titled, “Traditional Neighborhood Development Overlay Districts” shall be adopted and provide as follows:

## **ARTICLE X**

### **TRADITIONAL NEIGHBORHOOD DEVELOPMENT OVERLAY DISTRICTS**

#### **§ 240-61. Traditional Neighborhood Development: TND-1 Overlay District.**

**A. Applicability and Conditions of Eligibility.**

- (1) The boundaries of the TND-1 Overlay District shall be depicted on the East Goshen Township Zoning Map.
- (2) Whenever Revitalization of an existing non-residential building is proposed, or a new use is proposed, the provisions of this Article X shall apply in lieu of the provisions in the underlying zoning district.
- (3) Whenever a vacant lot is proposed for development, the provisions of this Article X shall apply in lieu of the provisions in the underlying zoning district.
- (4) Whenever an existing building is demolished and new construction is proposed, the provisions of this Article X shall apply in lieu of the provisions in the underlying zoning district.

**B. Intent of the TND-1 Overlay District. This District is intended to:**

- (1) Implement the East Goshen Township Comprehensive Plan, adopted October 20, 2015.
- (2) Implement the Paoli Pike Corridor Master Plan, adopted December 19, 2017, and promote walkability.
- (3) Comply with Article VII-A Traditional Neighborhood Development, of the Pennsylvania Municipalities Planning Code (MPC), Act 247, as amended and, in particular those purposes and objectives listed in Section 701-A of Article VII-A such as: encouraging innovation for mixed-use, pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for integrated, mixed-use, pedestrian-oriented neighborhoods; establishing public space; and fostering a sense of place and community.
- (4) Emulate other successful villages in the region that are noted for attractive Streetscapes, walkability, and a diversity of uses.

- (5) Emulate the condition of the Blacksmith Shop in Historic Goshenville so that buildings have a direct Streetscape presence.
- (6) Be guided by Section 240-61.F. the Special Design and Development Standards and Appendix A to this Article, titled, "General Manual of Written and Graphic Design Standards Special Design and Development Standards for Traditional Neighborhood Development - 1 Overlay District" (TND-1)".
- (7) Be guided by Section 205-75, the Special Design and Development Standards of Article XI of the Subdivision and Land Development Ordinance.
- (8) Promote a mix of residential and non-residential uses.

C. Use Regulations.

- (1) Uses Permitted By Right. The following principal uses are permitted by right in the TND-1 Overlay District if the area, bulk and all other applicable requirements of this chapter are satisfied:
  - (a) Personal service establishment, including the following uses and other personal service uses that the applicant proves to the clear satisfaction of the Zoning Officer are similar in character: retail and/or self-service dry cleaning and laundry, barber shop, beauty salon, and shoe repair.
  - (b) Retail sales, within a building or buildings not to exceed 8,000 square feet of gross leasable area, of the following items and other items that the applicant proves to the clear satisfaction of the Zoning Officer, are similar in character, but not to include the sale of automotive fuels:
    - [1] Furniture and home furnishings.
    - [2] Gift items, legal drugs, newspapers, cameras, stationery, books, cigarettes, flowers, custom-make crafts, luggage and candy.
    - [3] Shoes, cosmetics and apparel or apparel accessories.
    - [4] Hardware, paint, wallpaper and interior decorating supplies.
    - [5] Groceries and related items for common household use.

- [6] Retail bakeries and other custom production of salads and similar foods.
  - [7] General merchandise such as is commonly found within department stores, "five and ten" variety stores and general merchandise discount stores.
  - [8] Musical instruments or household appliances.
- (c) Standard restaurant.
  - (d) Standard restaurant with Take-Out Service.
  - (e) Fast food restaurant.
  - (f) Business offices, provided that no goods shall be sold on site.
  - (g) Professional offices, including offices of attorneys, accountants, physicians, dentists, realtors, financial consultants, brokers, engineers, architects or other recognized professions.
  - (h) Government office operated by a municipality, county, state, or federal government, by a school district or by a legally constituted municipal authority or a United States Postal Service facility.
  - (i) Place of worship or church.
  - (j) Public library.
  - (k) Health/Exercise/Tennis Club.
  - (l) Bank, savings and loan or other financial institution.
  - (m) Mailing, reproduction, faxing, commercial art, photography and/or stenographic services.
  - (n) Forestry in accordance with the standards of §240-34.1.
  - (o) Wireless communications facilities on Township-owned property, subject to compliance with the standards in §240-15H.
  - (p) Artisan Shop.

- (q) Outdoor dining as part of a standard restaurant.
  - (r) Township park, recreational areas, TND Open Space, and Pedestrian Gathering Area.
  - (s) Pop-Up Use.
  - (t) Dwelling Unit above First Floor Commercial Uses.
- (2) Conditional Uses. The following conditional uses may be permitted when authorized by the Board of Supervisors in accordance with §240-31, and the Special Design and Development Standards of §240-61.F:
- (a) Lot or building containing more than one commercial or office establishment, provided that only uses listed as permitted by right or conditional uses in the TND-1 District shall be permitted.
  - (b) Public utility facility.
  - (c) Child day-care center.
  - (d) Adult day-care center.
  - (e) Cyber charter school campus.
  - (f) Beverage Café.
- (3) Uses by Special Exception. None.
- (4) Accessory Uses. The following accessory uses shall be permitted in accordance with the Special Design and Development Standards of §240-61.F.
- (a) Fences and walls.
  - (b) Solar energy systems.
  - (c) Off-street parking and loading. (See §240-33.)
  - (d) Signs. (See §240-22.)
  - (e) Temporary use.
  - (f) Garage.

- D. Lot Area, Width, Building Coverage, Height, Yard and Density Regulations. All uses shall be serviced by centralized sewage disposal and centralized water supply systems. The following requirements shall apply to each use in the TND-1 Overlay District, subject to further applicable provisions of this chapter:

- (1) Applicable to all uses including Dwelling Units above First Floor Commercial Uses.

Requirements: TND-1	
Minimum lot area	20,000 square feet
Minimum lot width	
At street line	80 feet
Maximum lot coverage	
By buildings	40%
By total impervious cover	65%
Minimum TND Open Space	10%
Minimum building height	
Feet	20 feet
Maximum building height	
Stories	3
Feet	40 feet
Minimum side yards	10 feet each
Minimum rear yard	50 feet
Minimum front yard	15 feet
Buffer Yard Adjoining Residential Districts	25 feet

Note 1: The required 10% minimum TND Open Space may include a combination of pervious and impervious surfaces. Impervious surfaces shall however be included for purposes of compliance with the Township's stormwater management ordinance.

Note 2: Buffer Yards Adjoining Residential Districts shall be landscaped in accordance with §240-27.C(3).

Note 3: Each Dwelling Unit above First Floor Commercial shall have a minimum 1,000 SF of gross floor area. There shall be a maximum of 10 dwelling units per acre.

- E. Other Overlay District Requirements.

In addition to the plans that are required for a subdivision and land development application, the following additional plans and procedures shall apply.



- (1) Procedures.
  - (a) Applicants are strongly encouraged to submit a sketch plan as the first submission to receive informal comments on the design and layout of the proposed development in the TND-1 Overlay District.
  - (b) A Streetscape Plan/Public Realm Plan shall be submitted with the preliminary and final plan submission, and shall be used to gauge compliance and consistency with the TND-1 Overlay District requirements.
  - (c) A Specific Manual of Written and Graphic Design Standards shall be submitted.
- (2) Streetscape Plan/Public Realm Plan Requirements.
  - (a) The plan shall depict all features proposed within the Streetscape, including: street trees; street lights; trails/pathways; crosswalks; speed tables; on-street parking; and the like.
  - (b) The plan shall depict any area proposed for curb bulb-outs, bus stops, bus shelters, bicycle lanes, bicycle racks, and Pedestrian Gathering Areas.
  - (c) The plan shall depict pavement materials.
  - (d) The plan shall depict all proposed streets, alleys, lanes, service drives, and other vehicular thoroughfares.
  - (e) The plan shall include all dimensions for all thoroughfare types.
  - (f) The plan shall depict all: TND Open Space; Passive Open Space; active Open Space; natural Open Space (woodlands, wetlands, etc.); sidewalks; walkways; trails; pathways; crosswalk; pedestrian bridges; and Pedestrian Gathering Areas (plazas, courtyards, and the like).
  - (g) A minimum of 2% of the gross lot area shall be depicted as a Pedestrian Gathering Area and depicted on the plan.

- (3) Specific Manual of Written and Graphic Design Standards. Applicants shall prepare and submit a Specific Manual of Written and Graphic Design Standards that shall be consistent with Article X-Appendix A General Manual of Written and Graphic Design Standards.
- (4) Relationship to Other Ordinance Requirements for the TND-1 Overlay District. Relationship to other Zoning Ordinance Requirements. Except if they are in conflict with the regulations in this Article X, all other regulations in this Chapter 240 shall apply to uses and development in this TND-1 District. In the case of a conflict between the provisions in this Article X and other regulations in Chapter 240, the provisions of this Article shall apply.

F. Special Design and Development Standards.

- (1) All submissions in the TND-1 Overlay District shall be designed to be consistent with the Design Standards in Appendix A, titled, "General Manual of Written and Graphic Design Standards Special Design and Development Standards for Traditional Neighborhood Development - 1 Overlay District (TND – 1)", which is adopted herein and attached hereto, which include:
  - (a) Legislative Intent of the Special Design and Development Standards.
  - (b) Building Location.
  - (c) Temporary Uses.
- (2) No submission shall be approved unless there is a finding of consistency with the Design Standards in Appendix A.
- (3) Off-Street Parking and Loading. The parking regulations of Section 240-33 shall apply, except as otherwise provided below.
  - (a) Non-Residential (Number of Parking Spaces/1,000 SF gross floor area)

Office	4
Restaurant	10 weekday; 16 weekend
Other	5

- (b) Dwelling Units above First Floor Commercial. (The number of parking spaces per dwelling unit shall be based on the number of bedrooms.) These parking spaces shall be in addition to the parking spaces required for the non-residential use.

1 Bedroom Dwelling Unit	1.3 parking spaces
2 Bedroom Dwelling Unit	1.5 parking spaces
3 Bedroom Dwelling Unit	2.0 parking spaces

- (c) Parking space area dimensions. The minimum dimensions of parking stalls shall be 9 feet by 18 feet for 90 degree parking, with a minimum drive aisle width of 22 feet for one-way, and 24 feet for two-way. On-street parallel curbside parking stalls shall be 7 feet wide and 22 feet long.
- (4) All subdivision and land development applications shall be accompanied by a Manual of Written and Graphic Design Guidelines prepared by the Applicant, which shall be consistent with the Design Standards of this Section and Article IX of the Subdivision and Land Development Ordinance.
- (5) TND Open Space Design Standards. The TND Open Space shall be made up of the minimum number of parcels possible to avoid fragmentation of the open space within the tract.

**§ 240-62. Traditional Neighborhood Development: TND-2 Overlay District.**

**A. Applicability and Conditions of Eligibility.**

- (1) The boundaries of the TND-2 Overlay District shall be depicted on the East Goshen Township Zoning Map. The TND-2 Overlay District includes optional provisions to supplement and enhance the existing underlying district regulations. These optional supplemental regulations should not replace the existing underlying zoning district regulations. The provisions of the underlying zoning district regulations shall apply if the land area is developed in accordance with the underlying zoning district. The provisions of the TND-2 Overlay District shall apply if the land area is developed in accordance with the TND-2 Overlay District regulations set forth in this §240-62.

**B. Intent of the TND-2 Overlay District. This District is intended to:**

- (1) Implement the East Goshen Township Comprehensive Plan, adopted October 20, 2015.

- (2) Implement the Paoli Pike Corridor Master Plan, adopted December 19, 2017, and promote walkability.
- (3) Comply with Article VII-A Traditional Neighborhood Development, of the Pennsylvania Municipalities Planning Code (MPC), Act 247, as Amended and, in particular those purposes and objectives listed in Section 701-A of Article VII-A such as: encouraging pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for pedestrian-oriented neighborhoods; establishing public space; and fostering a sense of place and community.
- (4) Emulate other successful villages in the region that are noted for attractive Streetscapes, walkability, and a diversity of Uses.
- (5) Emulate the condition of the Blacksmith Shop in Historic Goshenville so that buildings have a direct Streetscape presence.
- (6) Be guided by Section 240-62.F, the Special Design and Development Standards and Appendix B of this Article titled, "General Manual of Written and Graphic Design Standards Special Design and Development Standards for Traditional Neighborhood Development - 2 Overlay District TND -1)".
- (7) Be guided by Section 205-75, the Special Design and Development Standards of Article XI of the Subdivision and Land Development Ordinance.

C. Use Regulations.

- (1) Uses Permitted By Right. The following principal uses are permitted by right in the TND-2 Overlay District if the area, bulk and all other applicable requirements of this chapter are satisfied:
  - (a) Single-family detached dwelling.
  - (b) Semi-detached dwelling.
  - (c) A lawfully permitted dwelling unit used as a group home, provided that the requirements of §240-38 for such use are met.
  - (d) Forestry in accordance with the standards of §240-34.1.
  - (e) Township Park, recreational areas, TND Open Space, Pedestrian Gathering Area.

- (2) Conditional Uses. The following conditional uses may be when authorized by the Board of Supervisors in accordance with §240-31.
  - (a) Place of worship or church.
  - (b) Public or private primary or secondary school.
  - (c) Public utility facility.
- (3) Uses By Special Exception. None.
- (4) Accessory Uses. The following accessory uses shall be permitted in accordance with the Special Design and Development Standards.
  - (a) Home occupation, which may include day care as an accessory use.
  - (b) Storage shed.
  - (c) Fence and wall.
  - (d) Garage.
  - (e) Recreational vehicle storage.
  - (f) Private greenhouse.
  - (g) Tennis court.
  - (h) Swimming pool.
  - (i) Solar energy systems.
  - (j) Signs. (See §240-22.)
  - (k) Temporary structure or use.
  - (l) Home-related business.
  - (m) Apartment for care of a relative.
  - (n) No-impact home-based business as accessory to a residential dwelling.
  - (o) Wind-generated energy systems.

(p) Off-street parking. (See §240-33.)

- D. Lot Area, Width, Building Coverage, Height, Yard and Density Regulations. All uses shall be serviced by centralized sewage disposal and centralized water supply systems. The following requirements shall apply to each use in the TND-2 Overlay District, subject to further applicable provisions of this chapter:

(1) Basic Requirements.

Requirements: TND-2	Residential Uses
Single-Family Detached Dwellings	
Minimum Lot Area	18,000 square feet
Minimum Side Yard	20 feet
Minimum Rear Yard	30 feet
Minimum Front Yard	30 feet
Single-Family Semi-Detached Dwellings	
Minimum Lot Area	12,000 square feet
Minimum Side Yard	20 feet (1 side)
Minimum Rear Yard	30 feet
Minimum Front Yard	30 feet
Total Impervious Coverage	65%
Minimum TND Open Space	10%
Maximum Building Height	30 feet
Maximum Stories	3
Perimeter Buffer Adjoining Residential Districts	50 feet

Note 1: Buffer Yards Adjoining Residential Districts shall be landscaped in accordance with §240-27.C(3)

E. Other Overlay District Requirements.

In addition to the plans typically submitted for a subdivision and land development application and in addition to the typical procedures, the following shall apply.

(1) Procedures.

- (a) Applicants are strongly encouraged to submit a sketch plan as the first submission to receive informal comments on the design and layout of the proposed development in the TND-2 Overlay District.
  - (d) A Streetscape Plan/Public Realm Plan shall be submitted with the preliminary and final plan submission, and shall be used to gauge compliance and consistency with the TND-2 Overlay District requirements.
  - (c) A Specific Manual of Written and Graphic Design Standards shall be submitted.
- (2) Streetscape Plan/Public Realm Plan Requirements.
- (a) The plan shall depict all features proposed within the Streetscape, including: street trees; street lights; trails/pathways; crosswalks; speed tables; on-street parking; and the like.
  - (b) The plan shall depict any area proposed for curb bulb-outs, bus stops, bus shelters, bicycle lanes, bicycle racks, and Pedestrian Gathering Areas.
  - (c) The plan shall depict pavement materials.
  - (d) The plan shall depict all proposed Streets, Alleys, Lanes, Service Drives, and other vehicular thoroughfares.
  - (e) The plan shall include all dimensions for all thoroughfare types.
  - (f) The plan shall depict all: TND Open Space; Passive Open Space; active Open Space; natural Open Space (woodlands, wetlands, etc.); sidewalks; walkways; trails; pathways; crosswalks; pedestrian bridges; and Pedestrian Gathering Areas (plazas, courtyards, and the like).
- (3) Specific Manual of Written and Graphic Design Standards. Applicants shall prepare and submit a Specific Manual of Written and Graphic Design Standards that shall be consistent with Article X-Appendix B.
- (4) Relationship to Other Ordinance Requirements for the TND-2 Overlay District.

(a) Relationship to other Zoning Ordinance Requirements.

- [1] Except if they are in conflict with the regulations in this Article X, all other regulations in this Chapter 240 shall apply to uses and development in this TND-2 Overlay District. In the case of a conflict between the provisions in this Article X and other regulations in Chapter 240, the provisions of this Article shall apply.

F. Special Design and Development Standards.

- (1) All submissions in the TND-2 Overlay District shall be designed to be consistent with the Design Standards in Appendix B, titled, "General Manual of Written and Graphic Design Standards Special Design and Development Standards for Traditional Neighborhood Development - 2 Overlay District (TND – 2)", which is adopted herein and attached hereto, which include:
  - (a) Legislative Intent of the Special Design and Development Standards.
  - (d) Building Location.
- (2) No submission shall be approved unless there is a finding of consistency with the Design Standards in Appendix B.
- (3) Off-Street Parking and Loading. The parking regulations of Section 240-33 shall apply.
- (4) All subdivision and land development applications shall be accompanied by a Manual of Written and Graphic Design Guidelines prepared by the Applicant, which shall be consistent with the Design Standards of this Section
- (5) TND Open Space Design Standards. The TND Open Space shall be made up of the minimum number of parcels possible to avoid fragmentation of the open space within the tract.

**SECTION 7. Severability.** If any sentence, clause, section, or part of this Ordinance is for any reason found to be unconstitutional, illegal or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses, sections, or parts hereof. It is hereby declared as the intent of the Board of Supervisors that this Ordinance would have been adopted had such unconstitutional, illegal or invalid sentence, clause, section or part thereof not been included herein.



**SECTION 8. Repealer.** All ordinances or parts of ordinances conflicting with any provision of this Ordinance are hereby repealed insofar as the same affects this Ordinance.

**SECTION 9. Effective Date.** This Ordinance shall become effective in five days from the date of adoption.

ENACTED AND ORDAINED this \_\_\_\_ day of \_\_\_\_\_, 2019.

ATTEST:

**EAST GOSHEN TOWNSHIP  
BOARD OF SUPERVISORS**

\_\_\_\_\_  
Louis F. Smith, Secretary

\_\_\_\_\_  
Janet L. Emanuel, Chair

\_\_\_\_\_  
E. Martin Shane, Vice-Chair

\_\_\_\_\_  
Carmen R. Battavio, Member

\_\_\_\_\_  
Michael P. Lynch, Member

\_\_\_\_\_  
David E. Shuey, Member

# *Appendix A*

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Chapter 240-61.F.

Zoning Ordinance

## **ARTICLE X. OVERLAY DISTRICTS**

**General Manual of Written and Graphic Design Standards  
Special Design and Development Standards for:**

***Traditional Neighborhood Development - 1  
Overlay District (TND-1)***

**East Goshen Township - Chester County, PA**

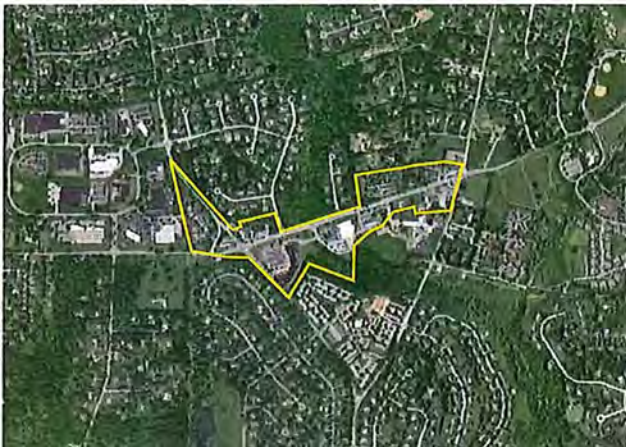
### **TABLE OF CONTENTS**

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- (a) Legislative Intent of the Special Design & Design Standards
- (b) Building Location
- (c) Temporary Uses



## 240-61.F.(1)(a) Legislative Intent of the Special Design & Development Standards



TND-1 Overlay District



Paoli Pike Streetscape Concept

### **Legislative Intent:**

**240-61.F.(1)(a)[1]** These Special Design & Development Standards are intended to comply with Article VII-A: Traditional Neighborhood Development, and in particular Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

**240-61.F.(1)(a)[2]** Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-1 Overlay District.

**240-61.F.(1)(a)[3]** These Design Standards shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes of the TND-1 Overlay District.

**240-61.F.(1)(a)[4]** All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Standards.

**240-61.F.(1)(a)[5]** All Applications for Land Development in the TND-1 Overlay District shall be accompanied by a Specific Manual of Written and Graphic Design Guidelines prepared by the Applicant, which Manual shall be consistent with this Appendix A.

**240-61.F.(1)(a)[6]** In addition to the Design Standards in this Appendix A, the provisions of Article X TND-1 Overlay District of this Ordinance, and the provisions of Article IX. of the Subdivision Land Development Ordinance shall also apply.

If there is a conflict between the provisions of this Appendix A, and those of Article X or Article IX, the strictest provisions shall apply.



## 240-61.F.(1)(b) Building Location



Building located at the minimum Front Yard setback



Existing Building with Pergola as transitional feature



Buildings adjoining sidewalk



Mixed-Use Buildings in alignment

### Legislative Intent:

**240-61.F.(1)(b)[1]** Buildings are intended to be located in general alignment with other buildings on a block.

### Design Standards:

**240-61.F.(1)(b)[2]** All buildings shall front on Paoli Pike.

**240-61.F.(1)(b)[3]** New buildings shall contain variations on the front facade in order to avoid having a flat unbroken wall facing Paoli Pike.

**240-61.F.(1)(b)[4]** New buildings shall adjoin sidewalks at street corners, (and parking shall be located behind buildings), unless a Green or Plaza is provided at street corners

**240-61.F.(1)(b)[5]** Existing buildings with deep setbacks shall have building additions such as Pergolas and Porches to serve as a transitional feature along the Streetscape.



## 240-61.F.(1)(c) Temporary Uses



Pop-Up Market



Temporary Food Trucks/Vendors



Pop-Up Art Show

### Legislative Intent:

**240-61.F.(1)(c)[1]** Temporary Uses are intended to promote a more Pedestrian-oriented retail environment.

**240-61.F.(1)(c)[2]** Temporary Uses are intended to promote the Village Character.

### Design Standards:

**240-61.F.(1)(c)[3]** Temporary Uses may include, but are not limited to: Pop-up Markets, Pop-up Festivals/Events, Pop-up Art shows, Food Trucks/Stands, etc.

**240-61.F.(1)(c)[4]** Temporary Uses shall minimize impacts on surrounding and nearby properties.

**240-61.F.(1)(c)[5]** Temporary Uses shall not cause vehicular traffic/parking problems, or put pedestrian safety at risk.

**240-61.F.(1)(c)[6]** Temporary Uses shall be located in an area with sufficient open space available to conduct the proposed use.

# *Appendix B*

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Chapter 240-62.F.

Zoning Ordinance

## **ARTICLE X. OVERLAY DISTRICTS**

**General Manual of Written and Graphic Design Standards  
Special Design and Development Standards for:**

***Traditional Neighborhood Development - 2  
Overlay District (TND-2)***

**East Goshen Township - Chester County, PA**

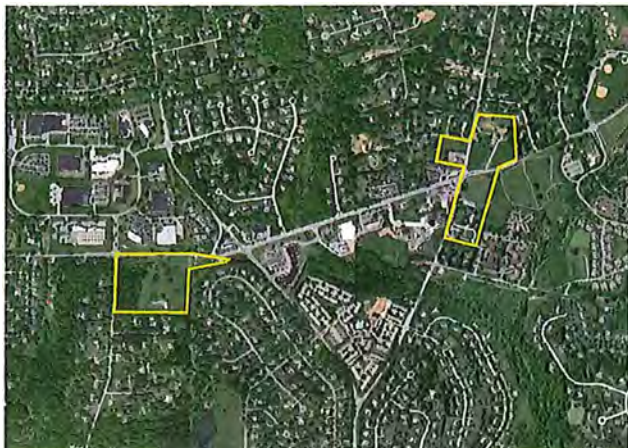
### **TABLE OF CONTENTS**

- (a) Legislative Intent of the Special Design & Design Standards**
- (b) Building Location**





## 240-62.F.(1)(a) Legislative Intent of the Special Design & Development Standards



TND-2 Overlay Districts



Paoli Pike Streetscape Concept

### Legislative Intent:

**240-62.F.(1)(a)[1]** These Special Design & Development Standards are intended to comply with Article VII-A: Traditional Neighborhood Development, and in particular Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

**240-62.F.(1)(a)[2]** Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-2 Overlay District.

**240-62.F.(1)(a)[3]** These Design Standards shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes of the TND-2 Overlay District.

**240-62.F.(1)(a)[4]** All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Standards.

**240-62.F.(1)(a)[5]** All Applications for Land Development in the TND-2 Overlay District shall be accompanied by a Specific Manual of Written and Graphic Design Guidelines prepared by the Applicant, which Manual shall be consistent with this Appendix A.

**240-62.F.(1)(a)[6]** In addition to the Design Standards in this Appendix B, the provisions of Article X TND-2 Village Overlay District of this Ordinance, and the provisions of Article IX. of the Subdivision Land Development Ordinance shall also apply.

If there is a conflict between the provisions of this Appendix B, and those of Article X or Article IX, the strictest provisions shall apply.



## 240-62.F.(1)(b) Building Location



Semi-Detached Dwelling located at the minimum Front Yard Setback



Single-Family Dwelling adjoining Sidewalk



Single-Family Dwellings located at the minimum Front Yard Setback

### Legislative Intent:

**240-62.F.(1)(b)[1]** Buildings are intended to be located in general alignment with other buildings on a block.

### Design Standards:

**240-62.F.(1)(b)[2]** There shall be variations in the front yard setback of residential buildings.

**240-62.F.(1)(b)[3]** New buildings shall contain variations on the front facade in order to add variety and diversity to the buildings.

**240-62.F.(1)(b)[4]** New Buildings shall adjoin sidewalks at street corners, (and parking shall be located behind buildings), unless a Green or Plaza is provided at street corners

**240-62.F.(1)(b)[5]** Existing Buildings with deep setbacks shall have building additions such as Pergolas and Porches to serve as a transitional feature along the Streetscape.



**EAST GOSHEN TOWNSHIP**  
**CHESTER COUNTY, PENNSYLVANIA**

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING THE EAST GOSHEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AS AMENDED, WHICH IS CODIFIED IN CHAPTER 205 OF THE EAST GOSHEN TOWNSHIP CODE, SECTION 205-7 TITLED, 'DEFINITIONS' TO ADD DEFINITIONS RELATED TO THE TND OVERLAY DISTRICTS AND TO ADOPT A NEW SECTION 205-71.1 TITLED, "TRADITIONAL NEIGHBORHOOD DEVELOPMENT OVERLAY DISTRICTS".**

BE IT ENACTED AND ORDAINED by the Board of Supervisors of East Goshen Township, that the East Goshen Township Subdivision and Land Development, which is codified in Chapter 205 of the East Goshen Township Code, shall be amended as follows:

**SECTION 1.** Section 205-7, titled, "Definitions", shall be amended to add the following definitions:

**MANUAL OF WRITTEN AND GRAPHIC DESIGN GUIDELINES** - A document that provides written and graphic design guidelines for the TND Overlay Districts, consistent with the Design Standards in Sections 240-61.F. and 240-62.F. of the Zoning Ordinance and Section 205-71.1.A. of this Ordinance.

**PEDESTRIAN GATHERING AREA** - A plaza, courtyard, pocket park, square, tot lot, playground, walkway, promenade, or other like type facility in which features such as pavers, benches, gazebos, pergolas, arbors, trellises, planters, plantings, lighting, and sculpture are installed and maintained.

**SERVICE LANE** - A thoroughfare type, similar to a common driveway or alley, that provides vehicular access for non-residential development, typically for deliveries, loading and unloading, and parking.

**SHARED PARKING** - Off-street parking that two (2) or more landowners or tenants share in accordance with the regulations derived from the ULI-Urban Land Institute publication titled "Shared Parking Second Edition", 2005.

**STREETSCAPE** - The space formed between buildings and the adjoining street, which is embellished with sidewalks, street trees, and street lights. The Streetscape is framed by buildings, which create the "outdoor room" character of the street as shown in the Design Standards in Section 205-71.1.A.

**STREET WALL** - The wall of a building adjoining a sidewalk at the edge of the street right-of-way, as in the case of a non-residential use, or adjoining a porch, portico, stoop, or front yard landscaped area as in the case of a residential use; or approved architectural or landscaping elements at least 30 inches but not more than 42 inches in height such as piers, benches, and hedges, in lieu of a building wall. A Street Wall shall extend the entire length of the edge of the street right-of-way, except where curb cuts, driveways and pedestrian access is provided.

**TND OPEN SPACE** - TND Open Space shall include active Open Space and Passive Open Space, including such features as recreational areas, parks, Pedestrian Gathering Areas, dog parks, and playfields.

**TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND)** - An area of land developed for a compatible mixture of residential and nonresidential uses, including buildings that provide for a mix of uses. Residences, shops, offices, workplaces, public buildings, and parks are interwoven within the neighborhood so that all are within relatively close proximity to each other. Traditional Neighborhood Development is relatively compact, limited in size and oriented toward pedestrian activity. It has an identifiable center and discernible edge. The center of the neighborhood is in the form of a public park, commons, plaza, square, or prominent intersection of two or more major streets. There is a hierarchy of streets laid out in a rectilinear pattern of inter-connecting streets and blocks that provide multiple routes from origins to destinations, designed to serve the needs of pedestrians and vehicles.

**SECTION 2.** A new Section 205-71.1, titled, "Traditional Neighborhood Development -1 and 2 Overlay District" shall be adopted and provide as follows:

**§ 205-71.1. Traditional Neighborhood Development -1 and 2 Overlay District.**

- A. All submissions in the TND-1 and TND-2 Overlay Districts shall be designed to be consistent with the Special Design and Development Standards of Appendix A, which is adopted herein and attached hereto to the extent applicable in the TND-1 District and TND-2 District, which include:
  - (1) Legislative Intent of the Special Design and Development Standards.
  - (2) Overview and Key Design Elements.
  - (3) Building Design & Proportion.
  - (4) Parking Location & Requirements.
  - (5) Curb Cuts.

- (6) Streets Walls.
- (7) Street Trees & Other Landscaping.
- (8) Street Lights.
- (9) Sidewalks/Walkways/Crosswalks.
- (10) Streetscape Features & Street Furniture.
- (11) Pedestrian Gathering Areas.
- (12) Internal Street Network.
- (13) Drive-Thru Facilities.
- (14) Development Strategy Plan.

**SECTION 3. Severability.** If any sentence, clause, section, or part of this Ordinance is for any reason found to be unconstitutional, illegal or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses, sections, or parts hereof. It is hereby declared as the intent of the Board of Supervisors that this Ordinance would have been adopted had such unconstitutional, illegal or invalid sentence, clause, section or part thereof not been included herein.

**SECTION 4. Repealer.** All ordinances or parts of ordinances conflicting with any provision of this Ordinance are hereby repealed insofar as the same affects this Ordinance.

**SECTION 5. Effective Date.** This Ordinance shall become effective in five days from the date of adoption.

ENACTED AND ORDAINED this \_\_\_\_ day of \_\_\_\_\_, 2019.

ATTEST:

**EAST GOSHEN TOWNSHIP  
BOARD OF SUPERVISORS**

\_\_\_\_\_  
Louis F. Smith, Secretary

\_\_\_\_\_  
Janet L. Emanuel, Chair

\_\_\_\_\_  
E. Martin Shane, Vice-Chair

\_\_\_\_\_  
Carmen R. Battavio, Member

\_\_\_\_\_  
Michael P. Lynch, Member

\_\_\_\_\_  
David E. Shuey, Member

# *Appendix A*

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Chapter 205-75.A.

Subdivision & Land Development Ordinance

## **ARTICLE IX. DESIGN STANDARDS.**

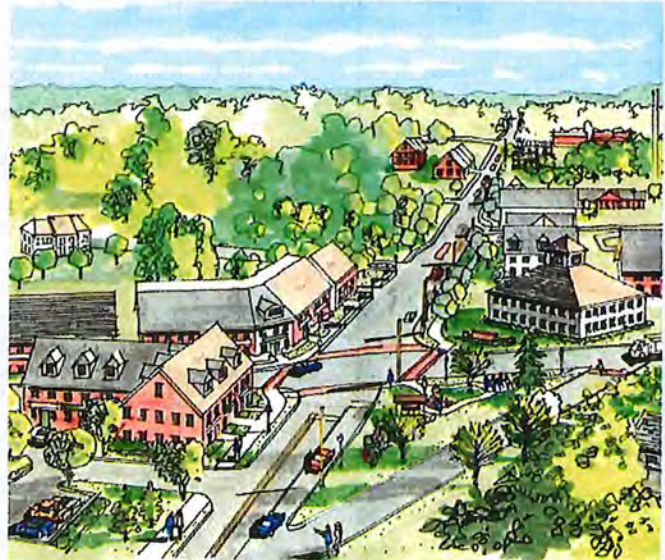
**General Manual of Written and Graphic Design Standards  
Special Design and Development Standards for:**

***Traditional Neighborhood Development - 1 & 2  
Overlay Districts (TND 1 & 2)***

**East Goshen Township - Chester County, PA**

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- (1) Legislative Intent of the Special Design & Design Standards**
- (2) Overview and Key Design Elements**
- (3) Building Design & Proportion**
- (4) Parking Location & Requirements**
- (5) Curb Cuts**
- (6) Street Walls**
- (7) Street Trees & Other Landscaping**
- (8) Street Lights**
- (9) Sidewalks/Walkways/Crosswalks**
- (10) Streetscape & Street Furniture**
- (11) TND Open Space: Pedestrian Gathering Areas**
- (12) Internal Street Network**
- (13) Drive-Thru Facilities**
- (14) Development Strategy Plan**





## 205-75.A.(1) Legislative Intent of the Special Design & Development Standards

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Overlay Districts



Paoli Pike Streetscape Concept

### Legislative Intent:

**205-75.A.(1)(a)** These Special Design & Development Standards are intended to comply with Article VII-A: Traditional Neighborhood Development, and in particular Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

**205-75.A.(1)(b)** Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-1 & TND-2 Overlay Districts.

**205-75.A.(3)(c)** These Design Standards shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes of the TND-1 & TND-2 Overlay District.

**205-75.A.(3)(d)** All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Standards.

**205-75.A.(3)(e)** All Applications for Land Development in the TND-1 & TND-2 Overlay Districts shall be accompanied by a Specific Manual of Written and Graphic Design Guidelines prepared by the Applicant, which Manual shall be consistent with this Appendix A.

**205-75.A.(3)(f)** In addition to the Design Standards in this Appendix A, the provisions of Article III-A TND-1 & TND-2 Overlay Districts of the Zoning Ordinance, and the provisions of Article IX. of this Ordinance shall also apply.

If there is a conflict between the provisions of this Appendix A, and those of Article X or Article IX, the strictest provisions shall apply.



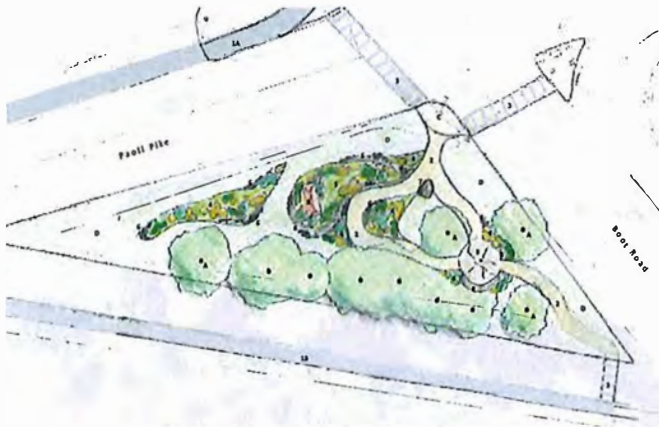
## 205-75.A.(2) Overview and Key Design Elements



## Village Concept



# Overlay District Development Strategy Plan



## Pedestrian Gathering Area Concept

**Legislative Intent:**

**205-75.A.(2)(a)** The Vision and Goals include: activating the corridor; connecting people; calming traffic; and enhancing the Town Center of Goshenville.

**205-75.A.(2)(b)** The TND-1 & TND-2 Overlay Districts is intended to accomplish the Vision and Goals by: encouraging innovation for mixed-use pedestrian-oriented development; extending opportunities for housing; encouraging a more efficient use of land; allowing for integrated, mixed-use, pedestrian-oriented neighborhoods; establishing public space; fostering a sense of place and community; and encouraging a diversity of Uses.

**205-75.A.(2)(c)** The enhancements of will be guided through these Special Design & Development Standards, and will address the following Key Design Elements in order to achieve the desired outcome.

**Balance Growth & Development to maintain a Small Town Character:** to coordinate community development/redevelopment in context with the scale & capacity.

**Maintain & Enhance Diversity:** to enhance the variety of opportunities to live, work, shop, dine, and play.

### Improve & Enhance Attractiveness &

**Vitality:** to promote a variety of commercial uses that add value, and enhance the vibrancy.

**Promote Multi-Modal Transportation:** to enable effective mobility & circulation through an interconnect network for buses, motor vehicles, bicycles, and pedestrian.

**Enhance Streetscapes:** to provide functional, safe, and attractive thoroughfares through interconnect networks for streets, trails/pathways and crosswalks, accented with street trees and street lights,

**Protect Historic, Cultural & Natural Resources:** to encourage adaptive reuse of viable buildings, protect historic and natural features, and promote conservation of energy.

**Enhance the Quality of Life:** to maintain and promote parks, recreational areas, and special civic events.



## 205-75.A.(3) Building Design & Proportion



Facade and Roof Line Articulation



Utilization of stone and wood siding material



Building recesses and projections



Roof Line Variation

### Legislative Intent:

**205-75.A.(3)(a)** Architectural Materials are intended to be durable, long lasting, and sustainable.

**205-75.A.(3)(b)** The use of traditional materials, such as brick, stone, stucco over stone, and wood siding, is intended to provide a historic reference to Goshenville.

**205-75.A.(3)(c)** Facade articulation, variation in roof lines, and vertical expression of buildings, is intended to promote consistency with the scale and proportion of traditional Goshenville buildings and Streetscape.

### Design Standards:

**205-75.A.(3)(d)** Utilize brick, stone, stucco over stone, or wood siding to the maximum extent possible.

**205-75.A.(3)(e)** Create a vertical expression to buildings through the use of crenelation in the form of windows, doors, pilasters, piers, columns, arches, terraces, porches, porticos, stoops, balconies, colonnades, arcades, and the like.

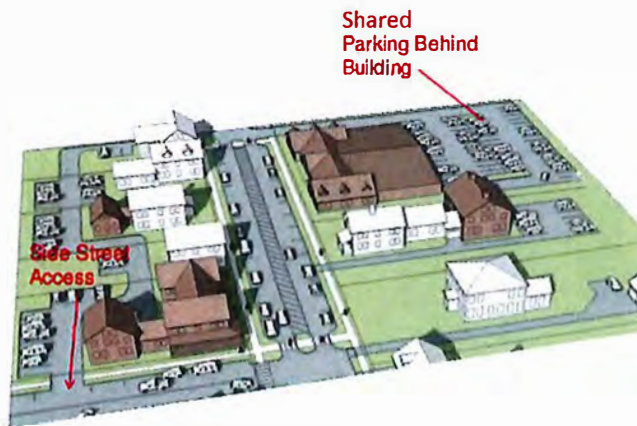
**205-75.A.(3)(f)** Provide recesses or projections to buildings, from one to two feet, whenever the building exceeds 18 feet in width.



## 205-75.A.(4) Parking Location & Requirements



Off-street Parking located to the side of the building



Shared Parking located to the rear or side of the buildings



Pier-Fence-Hedge combination screening visible parking

### Legislative Intent:

**205-75.A.(4)(a)** Off-Street parking lots are intended to be located to the rear of buildings.

**205-75.A.(4)(b)** Existing Parking Lots located in the front of a building are intended to be screened with a pier-fence-hedge combination (see §205-75.A.5.).

**205-75.A.(4)(c)** Shared Parking is intended to reduce the amount of parking needed and impervious surface coverage.

### Design Standards:

**205-75.A.(4)(d)** Off-Street Parking lots shall be located to the side or rear of buildings or in parking courts.

**205-75.A.(4)(e)** Off-Street Parking visible from a street shall be screened with a pier-fence-hedge combination.

**205-75.A.(4)(f)** Shared Parking shall link parking areas on adjoining properties with compatible uses to the maximum extent possible.

**205-75.A.(4)(g)** Shared Parking shall be governed by a written Agreement between property owners.



## 205-75.A.(5) Curb Cuts



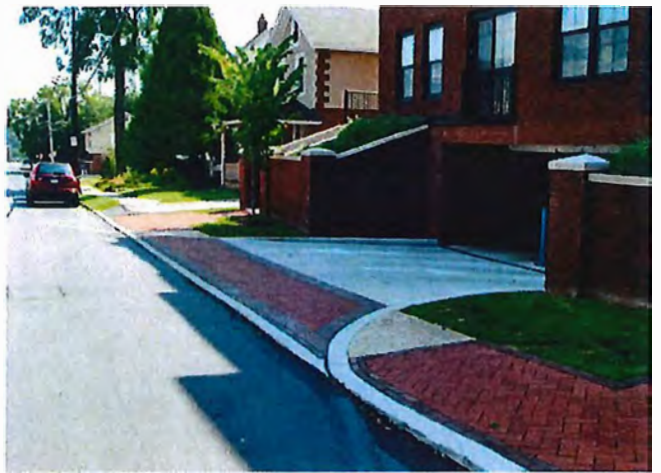
Continuous Street edge with limited Curb Cuts



Curb Cut allowing continuous Pedestrian access



Curb Cut less than 30 feet in width



Curb Cut located along the rear of the lot/building

### Legislative Intent:

**205-75.A.(5)(a)** Curb Cuts are intended to be limited in width, to help control vehicular access.

**205-75.A.(5)(b)** Existing wide Curb Cuts are intended to be “necked-down” to minimize pedestrian conflicts, and to provide space for additional Streetscape amenities

### Design Standards:

**205-75.A.(5)(c)** Curb Cuts shall be minimized to enable uninterrupted pedestrian movement along trails/paths.

**205-75.A.(5)(d)** Existing cross streets or streets along the rear of the lot shall be utilized to access parking to the maximum extent possible.

**205-75.A.(5)(e)** Any new Curb Cut shall not be more than 30 feet in width for two-way traffic, and not more than 18 feet in width for one-way traffic.



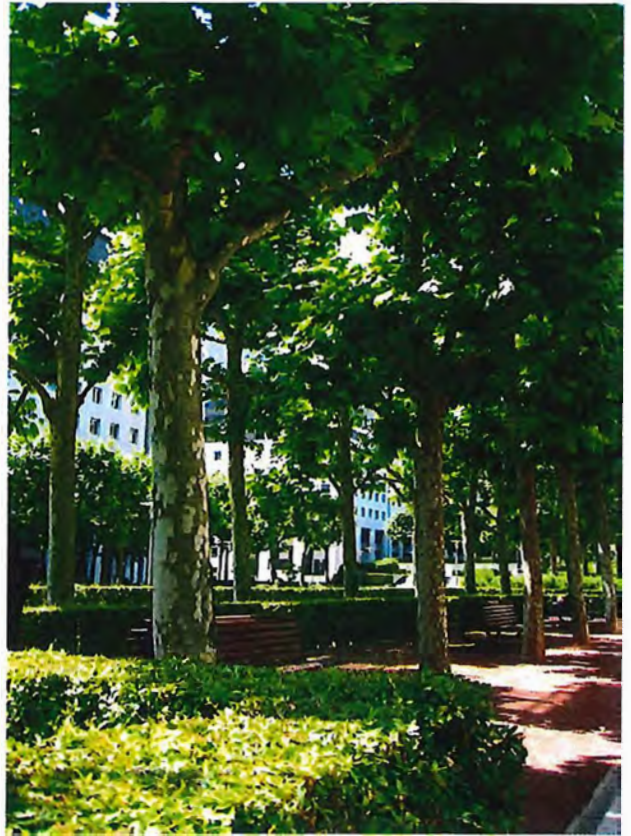
## 205-75.A.(6) Street Walls



Buildings forming the Street Wall



Brick Wall screening off-street parking



Street Trees utilized as Street Wall along Streetscape

### Legislative Intent:

**205-75.A.(6)(a)** Street Walls are intended to be the predominant Street edge feature, or when permitted as a combination of architectural and landscape elements such as but not limited to pier-fence-hedge combination, low walls, and street trees/landscaping.

### Design Standards:

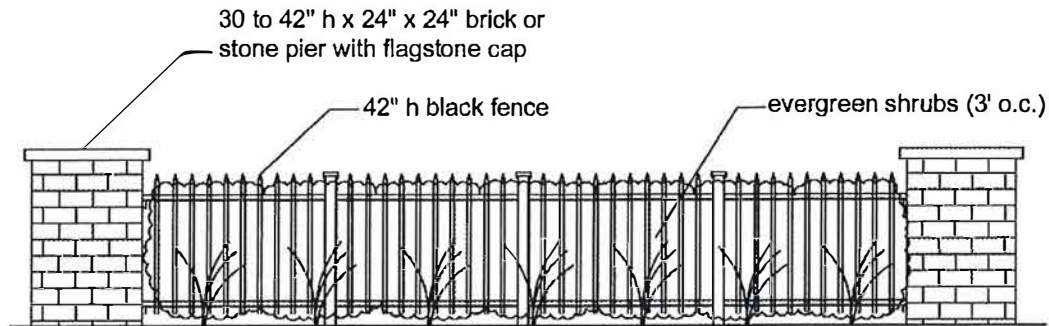
**205-75.A.(6)(b)** Existing Street Walls formed by Buildings shall be maintained.

**205-75.A.(6)(d)** A brick or masonry Street Wall, 30 inches to 42 inches in height, shall be created to create a visual screen to existing off-street parking lots, and proposed off-street parking lots. The wall shall be built and maintained with materials complementary to the principal building and/or structure.

**205-75.A.(6)(e)** Street Trees and other landscaping may be utilized as the Street Wall along portions of the streetscape without buildings.



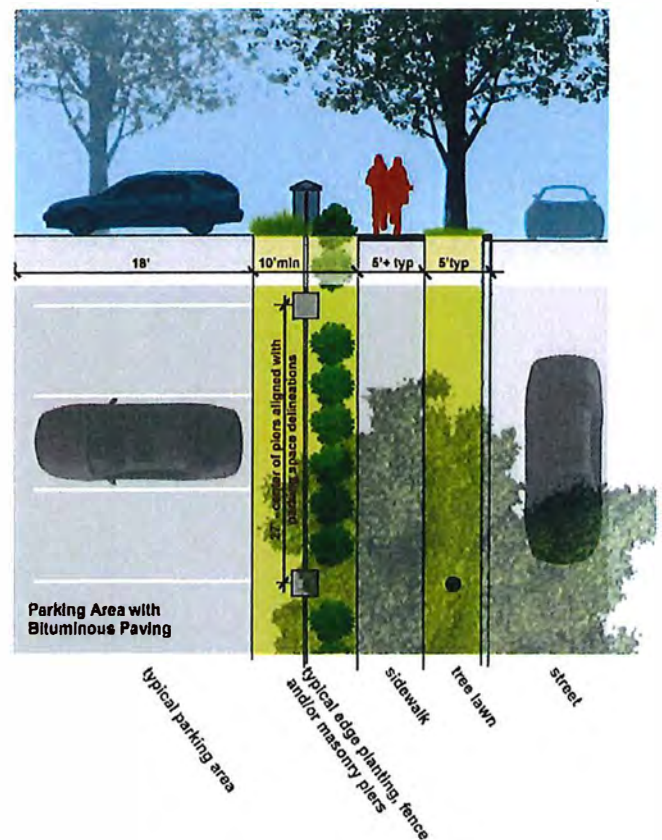
## 205-75.A.(6) Street Walls: Pier-Fence-Hedge



Typical Section of Pier, Fence & Hedge



Pier-Fence-Hedge combination screening off-street parking



### Legislative Intent:

**205-75.A.(6)(f)** A Pier-Fence-Hedge combination is intended to provide an alternative Street Wall type.

**205-75.A.(6)(g)** A Pier-Fence-Hedge combination is intended to be used to delineate the Streetscape edge and to help screen the off-parking located adjacent to the roadway.

### Design Standards:

**205-75.A.(6)(h)** A Pier-Fence-Hedge combinations shall be utilized as a form of Street Wall in order to screen off-street parking areas located adjacent to the roadway.

**205-75.A.(6)(i)** A Pier-Fence-Hedge combinations shall consist of stone/masonry piers, black fence, and evergreen shrubs.



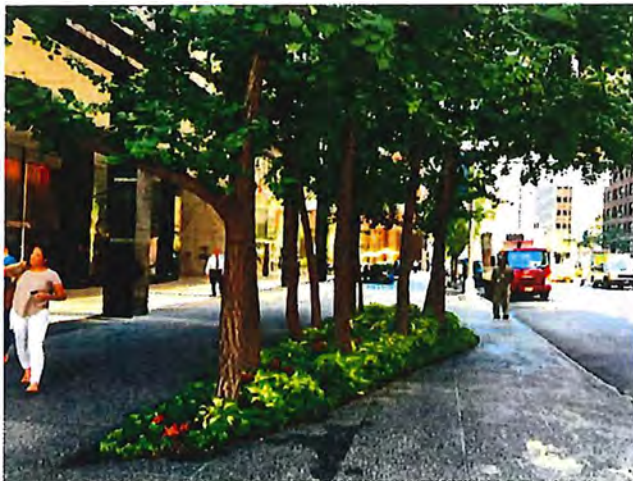
## 205-75.A.(7) Street Trees & Other Landscaping



Street Trees installed and maintained along both sides of street



Landscaping utilized to soften hardscape features



Layered Landscaping

### Legislative Intent:

**205-75.A.(7)(a)** Street Trees are intended to provide shade and screening, and add a graceful element to the streetscape.

**205-75.A.(7)(b)** Street Trees are intended to be placed in a regular alternating alignment along both sides of streets, and are intended to form an Allee effect to the streetscape.

**205-75.A.(7)(c)** Landscaping is intended to provide an attractive edge along the streetscape.

**205-75.A.(7)(d)** Landscaping is intended to be layered, so that there is a progression of scale from the ground plane, to the sidewalk/building scale, to the overhead canopy.

### Design Standards:

**205-75.A.(7)(e)** Street Trees shall be installed and maintained along both sides of all streets at least two feet (2') behind the Trail/Path, and out of the buffer area along Paoli Pike.

**205-75.A.(7)(f)** Street Trees shall be installed and maintained in accordance with Section 205-62 of the Subdivision and Land Development Ordinance.

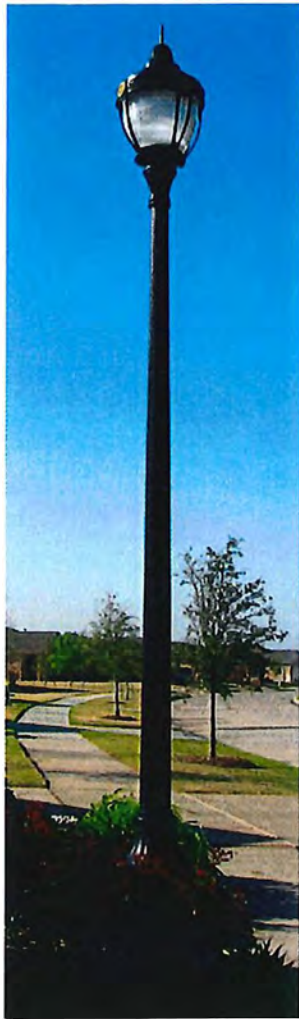
**205-75.A.(7)(g)** Landscaping shall be utilized to soften hardscape features.

**205-75.A.(7)(h)** Walkways, Public Space, and view corridors shall be accentuated with Landscaping.

**205-75.A.(7)(h)** The landscaping shall be diversified through the use of contrasting textures such as: smooth & rough, light & dark, bright & shadow, brilliant & subdued, and natural & man-made.



## 205-75.A.(8) Street Lights



“Traditional” style Street Lights



Street Light with Vertical Banner



Street Lights located to minimize conflict with Street Trees

### **Legislative Intent:**

**205-75.A.(8)(a)** Pedestrian-scaled street lights are intended to provide an attractive component to the Streetscape.

**205-75.A.(8)(b)** Street Lights are intended to provide securing along the trail/paths.

**205-75.A.(8)(c)** Street Lights are intended to be a “Traditional” style in order to create an identity for Goshenville.

**205-75.A.(8)(d)** Landscaping is intended to be layered, so that there is a progression of scale from the ground plane, to the sidewalk/building scale, to the overhead canopy.

### **Design Standards:**

**205-75.A.(8)(e)** Street Lights shall be provided along both sides of streets.

**205-75.A.(8)(f)** Street Lights shall be 10 to 12 feet in height.

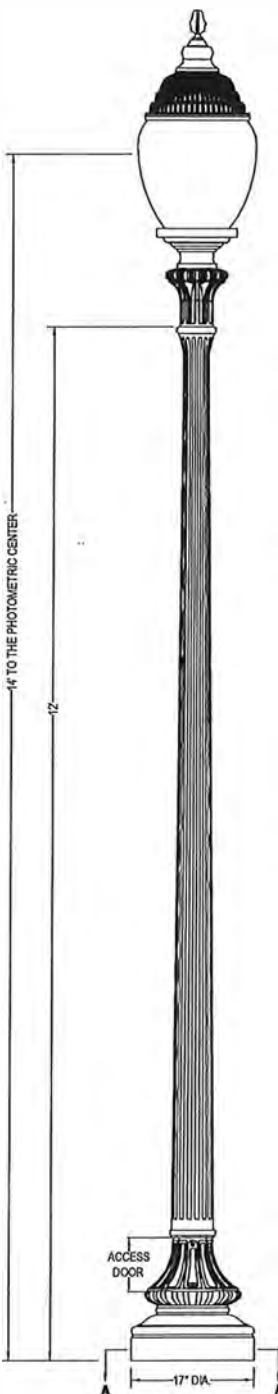
**205-75.A.(8)(g)** One (1) pedestrian scaled, ornamental street light shall be provided at an average interval of forty-five (45) feet.

**205-75.A.(8)(h)** Street Lights shall have vertical banners.

**205-75.A.(8)(i)** Street Lights shall be “Traditional Style” and shall have a black finish as shown on page 8.2.

**205-75.A.(8)(j)** Street Lights shall be located to minimize conflicts with Street Trees.

## 205-75.A.(8) Street Lights



This drawing is property of Spring City Electrical Mfg. Co. and is loaned to the recipient with the understanding that it shall not be copied, duplicated, passed on to unauthorized parties, nor used for any purpose other than that for which it is specifically furnished except with Spring City's written permission.

**LUMINAIRE SPECIFICATIONS**

STYLE: WASHINGTON LED  
 HEIGHT: 44"  
 WIDTH: 16 1/2" DIAMETER  
 MATERIAL: CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95  
 FINISH: POWDER COAT - RIVER TEXTURE GLOSS BLACK  
 GLOBE: CLEAR STIPPLED ACRYLIC  
 LAMPING: 60 WATT LED  
 VOLTAGE: ELECTRONIC 120-277 VOLTS  
 COLOR TEMP: 3000K (WARM WHITE)  
 DISTRIBUTION: TYPE III (ASYMMETRIC)  
 SURGE: 10W

CATALOG NO.: ALMWSH-LE060EVX/M-30-CR3-YS11-FPA-CU

**LAMP POST SPECIFICATIONS**

STYLE: WASHINGTON WITH DC TOP  
 HEIGHT: 12'-0"  
 PHOTO METRIC CENTER: 14'-0"  
 BASE: ONE PIECE, CAST DUCTILE IRON PER A536-84 GRADE 65-45-12  
 FINISH: POWDER COAT - RIVER TEXTURE GLOSS BLACK  
 ACCESS DOOR: ACCESS DOOR LOCATED IN BASE WITH TAMPER PROOF HEX SOCKET SECURITY MACHINE SCREWS  
 GROUND PROVISIONS: DRILL AND TAP INSIDE WALL OF BASE OPPOSITE ACCESS DOOR TO ACCOMMODATE A 1/4"-20 GROUND STUD (STUD SUPPLIED BY OTHERS)  
 ANCHOR BOLTS: (8) 3/4" X 24" X 3" HOOK (FULLY GALVANIZED WITH 1 GALVANIZED NUT AND 1 GALVANIZED WASHER PER BOLT)  
 BOLT PROJECTION: 3" REQUIRED  
 TENON: 3 1/2" DIA. X 3" HIGH (TO ACCEPT LUMINAIRE)  
 CATALOG NO.: DPSWSH-17-12-00-TN13500-00-DC-CU

**WARRANTY INFORMATION:**

ONE PIECE CAST DUCTILE IRON BASE PROTECTED BY SPRING CITY'S 25 YEAR WARRANTY.

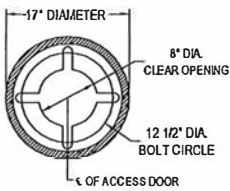
SPRING CITY WARRANTS ITS DUCTILE IRON BASES TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP UNDER NORMAL USE AND OPERATION FOR 25 YEARS. NORMAL USE INCLUDES DAMAGE RESULTING FROM MOTOR VEHICLE COLLISIONS.

LED LUMINAIRE, LED DRIVER, AND LED ARRAYS PROTECTED BY SPRING CITY'S 10 YEAR WARRANTY


SPRING CITY WARRANTS ITS LED LUMINAIRE, LED DRIVER, AND LED ARRAYS TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP UNDER NORMAL USE AND OPERATION FOR 10 YEARS. A SINGLE LED FAILURE SHALL BE REPLACED UNDER THE WARRANTY TERMS.

PLEASE WWW.SPRINGCITY.COM FOR FULL WARRANTY DETAILS.

PLEASE NOTE: PRODUCT MUST MEET PENN DOT PUBLICATION 408 AND BULLETIN 15 STANDARDS AND REQUIREMENTS



SECTION A-A  
BASEPLATE DETAIL



**Spring City Electrical Mfg. Co.**

1441 AND 1443 STREETS - P.O. BOX 118 - SPRING CITY, PA 18101  
 PHONE (610) 844-4800 - FAX (610) 844-8877 - WWW.SPRINGCITY.COM

DESCRIPTION	THE WASHINGTON LED LUMINAIRE WITH CAST ROOF ATOP THE WASHINGTON CAST DUCTILE IRON POST		
CUSTOMER	EAST GOSHEN TOWNSHIP		
DATE	DRAWN BY:	DATE	DRAWING NO.
N.T.S.	W.R.W.	07-05-18	S104301

### Design Standards:

**205-75.A.(8)(k)** Street Lights shall be Washington LED Luminarie with Washington DC Top Lamp Posts from Spring City Electrical Mfg. Co. in a black finish, or approved equal.



## 205-75.A.(9) Trails/Paths/Crosswalks



Crosswalk Striping connecting opposing accessible sidewalk ramps



Crosswalk in driveway throat continuing the Sidewalk system



Trail/Path with grass buffer



Multi-Use Trail and Crosswalk along Paoli Pike

### **Legislative Intent:**

**205-75.A.(9)(a)** Trails/Paths are intended to provide opportunities for continuous pedestrian circulation and connection.

**205-75.A.(9)(b)** Crosswalks are intended to provide pedestrian safety, and continue the Trail/Path system.

### **Design Standards:**

**205-75.A.(9)(e)** An 8'-10' asphalt multi-use trail with a five foot (5') wide (minimum) grass buffer between the curb and path shall be provided and maintained on the south side of Paoli Pike

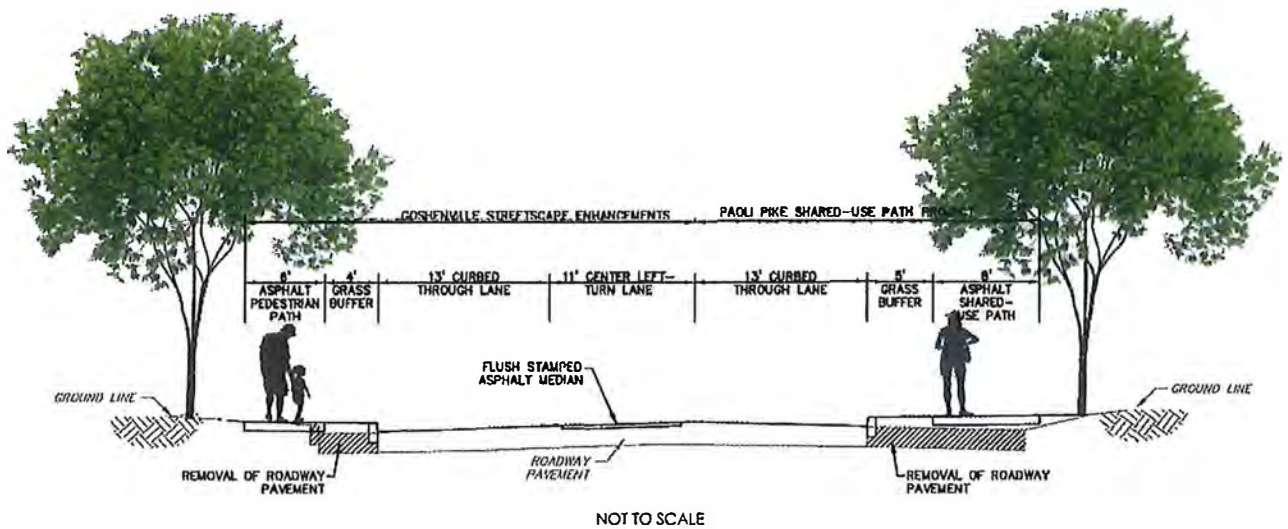
**205-75.A.(9)(f)** A six foot (6') wide asphalt pedestrian path with a four foot (4') wide (minimum) grass buffer between the curb and path shall be provided and maintained on the north side of Paoli Pike.

**205-75.A.(9)(g)** High visibility Crosswalks with ADA compliant curb ramps shall be provided and maintained at signalized intersections and at all street crossings and curb cuts.

**205-75.A.(9)(h)** Crosswalks shall be at least six feet (6'-0") in width when they cross streets.



## 205-75.A.(10) Streetscape & Street Furniture



Paoli Pike Streetscape Section

### Legislative Intent:

**205-75.A.(10)(a)** Streetscapes are intended to be maintained, enhanced, and created to consist of Paths/Trails, Street Trees, Street Lights, Street Furniture, Pedestrian Gathering Spaces, and Cartways.

**205-75.A.(10)(b)** Street Furniture is intended to provide a functional and attractive component to the Streetscape.

**205-75.A.(10)(c)** Streetscape and hardscape paving materials are intended to be referential to Historic Goshenville and promote uniformity and continuity within the Streetscape.

**205-75.A.(10)(d)** Traffic Calming strategies are intended to reduce vehicular travel speeds in order to improve bicycle and pedestrian safety and provide a comfortable environment for walking and biking.

### Design Standards:

**205-75.A.(10)(e)** Streetscapes shall be enhanced with Paths/Trails, Street Trees, Street Lights, Street Furniture, Pedestrian Gathering Spaces, and Traffic Calming Measures.

**205-75.A.(10)(f)** Brick or Stamped Asphalt Brick shall be utilized in the Hardscape Median, Flush Stamped Asphalt Median, and the Pedestrian Gathering Areas.

**205-75.A.(10)(g)** Brick or Stamped Asphalt Brick shall be utilized for the Hardscape Paving in order to provide uniformity and continuity within the Streetscape.

**205-75.A.(10)(h)** Retaining Walls utilized to enable the Trail in narrow areas shall be pre-cast stone wall that is referential to Historic Goshenville.

## 205-75.A.(10) Streetscape & Street Furniture



Stone Wall material referential to Historic Goshenville



Brick utilized in Pedestrian Gathering Area



Paoli Pike Streetscape with Street Trees, Trail/Path, Crosswalk, Traffic Calming Measures, etc.

### Design Standards:

**205-75.A.(10)(i)** Traffic Calming Strategies shall include: Gateway Median/Pedestrian Safety Island, Stamped Asphalt Median, Reduced Lane Widths, Gateway Signage, Street Trees/Landscaping, and Painted Rumble Strips (as described in the Paoli Pike Corridor Master Plan).

**205-75.A.(10)(j)** Street Furniture, such as benches, waste receptacles, street lights, bollards, bicycle racks, fencing etc., shall have a black finish in order to provide uniformity and continuity throughout the Goshenville Streetscape.

**205-75.A.(10)(k)** All Street Trees, Street Lights, Landscaping, and the like shall be in accordance with this Article XI and the Subdivision and Land Development Ordinance.



## 205-75.A.(10) Streetscape & Street Furniture

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Trash Receptacle (Victor Stanley S-42)



Black Bench (Victor Stanley RB-28)

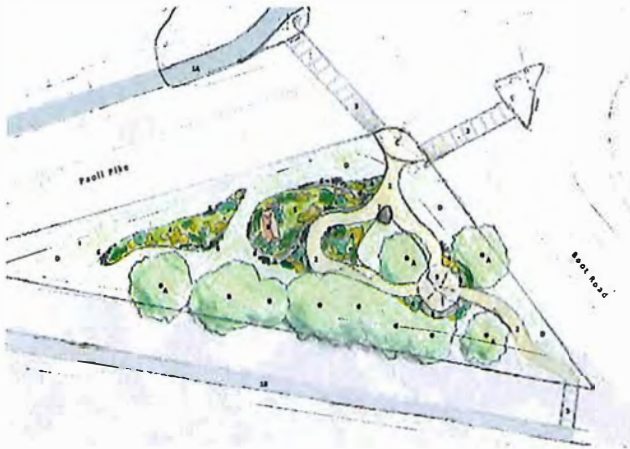
### Design Standards:

**205-75.A.(10)(l)** All Benches shall be Victor Stanley Steelsites RB Collection RB -28 in a black finish, or approved equal.

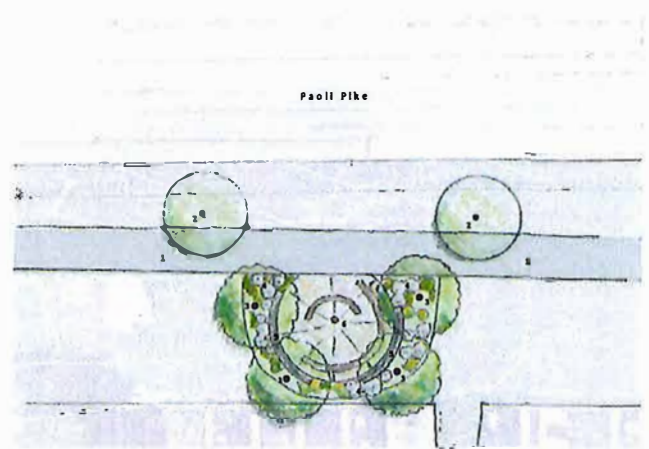
**205-75.A.(10)(m)** All Trash Receptacles shall be Victor Stanley Ironsites Collection S-42 in a black finish, or approved equal.



## 205-75.A.(11) TND Open Space: Pedestrian Gathering Areas



Pedestrian Gathering Area Concept for the intersection of Paoli Pike and Boot Road



Pedestrian Gathering Area Concept along Paoli Pike



Pedestrian Gathering Area with Hardscape, Shade Trees, shrubs, and benches



Pedestrian Gathering Area as central open space amenity, as part of an Internal Street Network

### Legislative Intent:

**205-75.A.(11)(a)** Pedestrian Gathering Areas are intended to provide passive recreational opportunities along the Paoli Pike Corridor.

**205-75.A.(11)(b)** Pedestrian Gathering Areas are intended to provide places to rest, shade, and service as focal points along the Streetscape.

**205-75.A.(11)(c)** Pedestrian Gathering Areas are intended to complement adjoining retail/commercial uses, and be accessible to nearby neighborhoods.

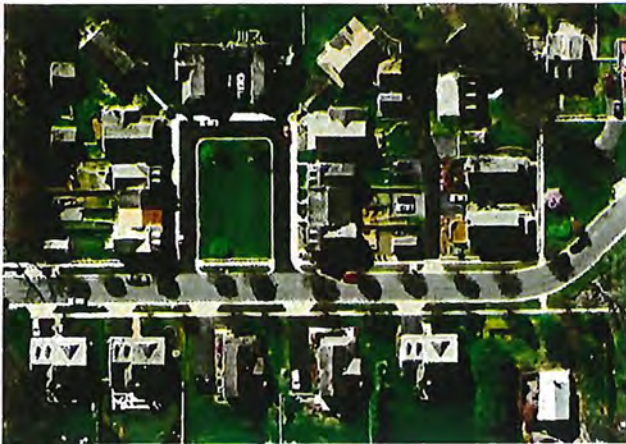
### Design Standards:

**205-75.A.(11)(d)** Pedestrian Gathering Areas shall include a variety of landscape and hardscape features such as shade trees, shrubs, unit pavers, benches, low sitting walls, planters, and pedestrian scaled lighting.

**205-75.A.(11)(e)** Pedestrian Gathering Areas shall also be built and maintained as a central open space amenity in TND-2 Area neighborhoods.



## 205-75.A.(12) Internal Street Network



Internal Street Network at Wyndcrest, Sandy Springs, MD, with On-Street Parallel Parking



Internal Street Network at Lake Forest, IL, with On-Street Angled Parking



Internal Street Network at Louella Court, Wayne, PA



Internal Street Network wrapped around Pedestrian Gathering Areas

### **Legislative Intent:**

**205-75.A.(12)(a)** Internal Street Networks are intended to be interconnected.

### **Design Standards:**

**205-75.A.(12)(b)** Internal Street Networks shall be designed and built as an interconnected network.

**205-75.A.(12)(c)** A new internal street shall be designed, built, and maintained to wrap around a Pedestrian Gathering Area, and to provide a counter-clockwise vehicular route as an alternative to a cul-de-sac.

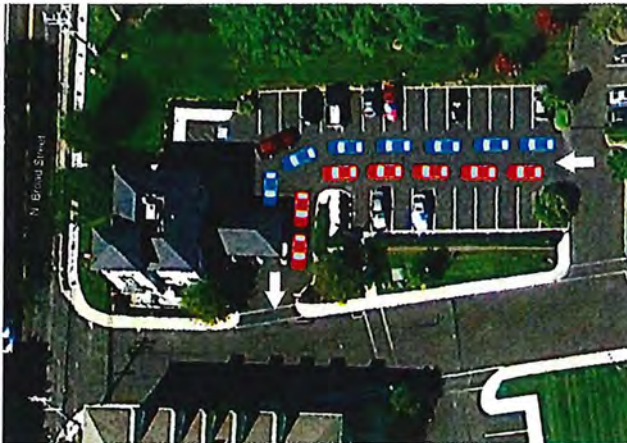
**205-75.A.(12)(d)** Parking Areas, driveways, and adjacent residential uses shall be designed and built as an interconnected network.



## 205-75.A.(13) Drive-Thru Facilities



Bank with Drive-Thru Facility located in the rear



Traffic Stacking at Drive-Thru Facility located in the rear



Bank with Drive-Thru Facility located on the side

### Legislative Intent:

**205-75.A.(13)(a)** Drive-Thru Facilities, such as those at Banks and Pharmacies, are intended to have the Drive-Thru component in the back or side of the facility, not along a primary street frontage.

### Design Standards:

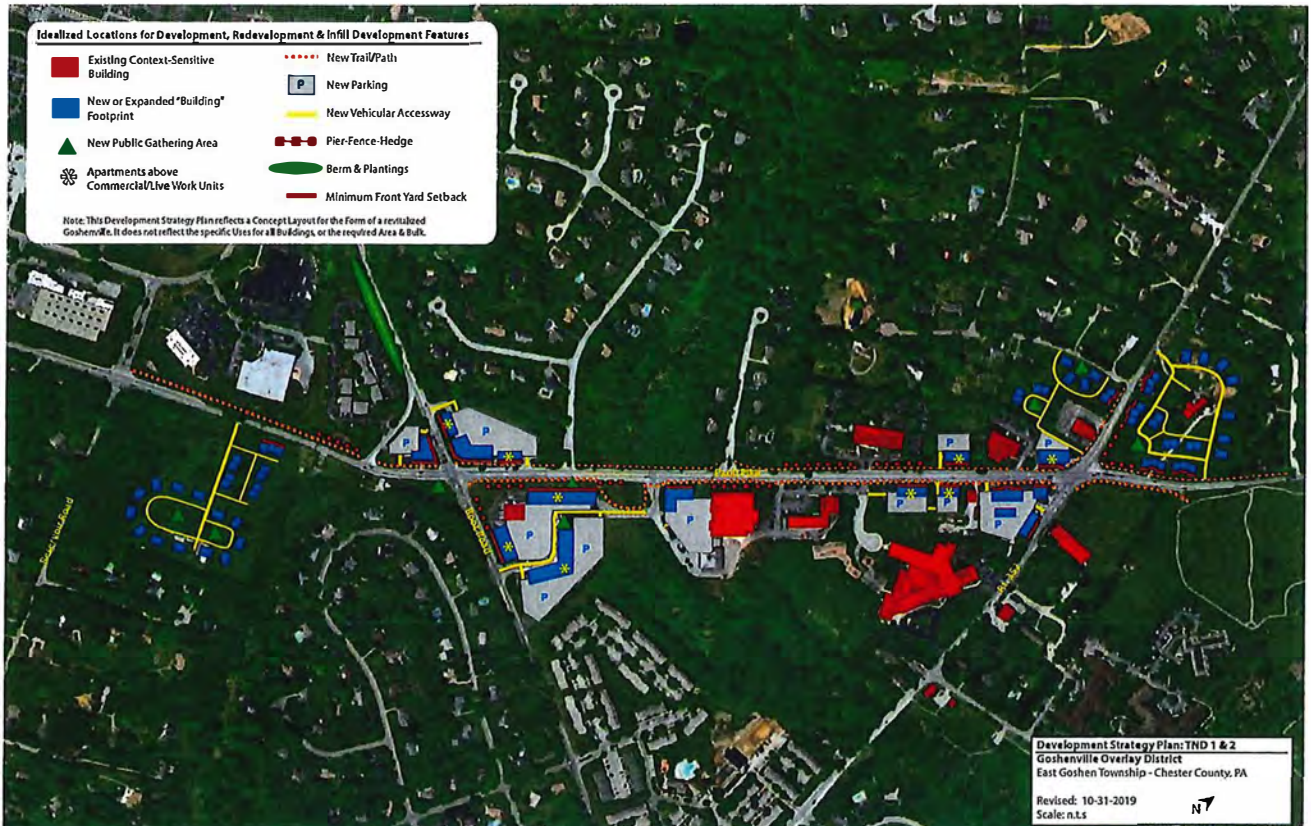
**205-75.A.(13)(b)** Drive-Thru Facilities shall not be located along a primary street frontage.

**205-75.A.(13)(c)** When A Drive-Thru Facility is located on the side of a building, it shall be setback at least 25 feet from the street right-of-way.

**205-75.A.(13)(d)** Drive-Thru Facilities shall have building materials, colors, and form, complementary to the principal building.



## 205-75.A.(14) Development Strategy Plan



Development Strategy Plan (see insert enlargement)

### Legislative Intent:

**205-75.A.(14)(a)** The Development Strategy Plan is intended to guide and inform Development, Redevelopment, and Infill.

### Design Standards:

**205-75.A.(14)(b)** Development, Redevelopment, and Infill development shall be consistent with the Development Strategy Plan to the maximum extent possible, relative to the location of buildings at the minimum Front Yard setback.