

**EAST GOSHEN TOWNSHIP
PLANNING COMMISSION
Meeting Agenda
Wednesday, May 6, 2020
VIA Telephone / Video Conference
7:00 PM**

During this tele-conference Planning Commission meeting, public comment will be handled as follows:

- Participants are asked to call in by 6:55 pm.
- Participants will be asked to identify themselves when being accepted into the meeting
- The public will be muted during the meeting when the Commission is talking.
- The Chairman will ask for public comment on agenda items and participants will be unmuted and given an opportunity to ask questions and make comments.
- Participants wishing to comment must state their name and address and must speak one at a time.
- Participants are asked to turn down the volume if they are livestreaming the meeting on YouTube.

- A. Call to Order / Pledge of Allegiance and Moment of Silence
- B. Chairman will ask if anyone is going to record the meeting
- C. Review of Tracking Log / Determine need for Workshop Meeting**
- D. Public Comment on Non-Agenda Items
- E. Approval of Minutes**
 - 1. March 4, 2020**
- F. Subdivision and Land Development Applications
 - 1. Synthes USA / 1303 Goshen Parkway (Land Development)** - Click here to read plans
- G. Conditional Uses and Variances
- H. Ordinance Amendments - Click here to read Stormwater Report
- I. Old Business
 - 1. Zoning Ordinance Review
 - 2. Review Model ordinances for Pipelines
- J. New Business
- K. Any Other Matter
- L. Liaison Reports
- M. Correspondence
- N. Announcements

Bold Items indicate new information to review or discuss.

East Goshen Township Planning Commission
Application Tracking Log

May 6, 2020 PC Meeting

Application Name	Application (CU,LD,ZO, SD,V, SE, CA)	Type (Sk, P, F)	Date Filed	Start Date	Date to Township Engineer	Date to CCPC	Date to Abutting Prop. / ABC's	Extension	PC NLT Action Date	BOS NLT Action Date	Hearing Date	Drop Dead date	Comments
Synthes USA / 1303 Goshen Parkway	LD	P/F	4/27/2020	5/6/2020	4/28/2020	4302020	4/30/2020	1	7/15/2020	8/4/2020	NA	8/4/2020	extension not included in these dates

Bold = New Application or PC action required

Completed in 2019

Paoli Pike TND Overlay District Ord.	ZO	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	12/17/2019	NA	Continued
ZEKS, 1302 Goshen Parkway	CU	Sk	8/27/2019	8/27/2019	NA	NA	8/29/2019		10/2/2019	10/29/2019	10/15/2019	10/25/2019	APPVD.
ESKE Development / Ducklings	LD	P/F	1/18/2019	2/6/2019	2/23/2019	2/23/2019	2/29/2019		4/3/2019	4/9/2019	NA	5/6/2018	APPVD.
PECO Gas Gate	CU	Sk	2/26/2019	2/26/2019	2/28/2019	NA	2/28/2019	1	4/3/2019	6/5/2019	5/14/2019	6/25/2019	APPVD.
CZ Woodworking / 1422 Ardleigh Cir.	CU	Sk	3/29/2019	3/29/2019	NA	NA	4/22/2019	1	6/5/2019	6/18/2019	6/18/2019	6/27/2019	APPVD. W Conds.
1351 Paoli Pike / The Hankin Group	ZO	SK	5/31/2019	NA	NA	NA	5/31/2019	NA	NA	NA	NA	NA	DENIED
1339 Enterprise Drive	CU	Sk	5/30/2019	5/30/2019	NA	NA	6/11/2019		7/10/2019	7/16/2019	7/16/2019	7/29/2019	APPVD.

DRAFT
EAST GOSHEN TOWNSHIP
PLANNING COMMISSION MEETING
March 4, 2020

The East Goshen Township Planning Commission held a regular meeting on Wednesday, March 4, 2020 at 7:00 p.m. at the East Goshen Township building.

Members present are highlighted:

Chair – Ernest Harkness

Vice Chair – John Stipe

Dan Daley

Edward Decker

Michael Koza

Mark Levy

Michael Pagnanelli

Also present were:

Mark Gordon, Zoning Officer

Martin Shane, Township Supervisor

Mike Lynch, Township Supervisor

Christina Morley & Gerald Sexton & Judy DiFonzo– Pipeline Task Force Members

Dan Truitt, Resident

COMMON ACRONYMS:

BOS – Board of Supervisors

CPTF – Comprehensive Plan Task Force

BC – Brandywine Conservancy

CVS – Community Visioning Session

CB – Conservancy Board

SWM – Storm Water Management

CCPC – Chester Co Planning Commission

ZHB – Zoning Hearing Board

A. FORMAL MEETING – 7 p.m.

1. Ernie called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and a moment of silence to remember our first responders and military.
2. Ernie asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
3. Ernie checked the log.
4. The minutes of the February 8, 2020 meeting were approved.

B. OLD BUSINESS

1. Zoning Ordinance Review – Incubator Ordinance - Ernie commented that this will be discussed next month. He received some comments and will share them next month. Dan mentioned that June 2011 was the last time the Commission reviewed the business plan.

C. NEW BUSINESS

1. Review Model Ordinances for Pipelines – Christina Morley mentioned that sample documents are on the CATO and CCPC websites. The blank spaces can be filled in as each municipality wants. It is recommended language, but you can tailor it to your municipality’s needs.

Ernie mentioned that he read that ACT 13 sec 33/34 were too restrictive on local municipalities.

Christina explained that the current Draft is dated Dec. 2014. Pipeline safety is a shared responsibility by local, state and the pipeline. This is designed to create safety zones to separate development from pipelines. One section is regulating pipelines and the other is regulating development.

Dan Daley commented that the zoning section is putting regulations on the pipeline. As long as the Township Solicitor okays it he has no problem with it. This regulates pipeline above ground facilities.

Mark Gordon commented that the municipality can regulate any structure.

1 Dan Daley doesn't feel that the Land Development is for East Goshen because we are all developed. We
2 have multiple pipelines coming through East Goshen. Dan provided a map for everyone that shows the
3 pipelines and the area on the sides of each line are about 1,000 feet. It restricts homeowners from putting
4 additions, sheds on their property near a pipeline. All setbacks are currently in the Zoning Ordinance.
5 Christina commented that the intent is not to restrict homeowners. It is to prevent future construction
6 such as another Wellington near the pipeline that is difficult for people to exit or a childcare opening in a
7 home near a pipeline.
8 Dan Daley recommended a review be made of the parcels still available for development to see how they
9 would be impacted by this restriction.
10 Gerald mentioned that properties and structures can be repurposed, so you have to be careful of what they
11 want to use it for.
12 Mike Koza feels there is nothing left to develop near a pipeline. He feels this is very restrictive.
13 Ernie mentioned that the concept of a "consultation zone" should be looked at.
14 Mark Gordon commented that the Ducklings is a new high on-site population zone.
15 Ernie is concerned about the length of setbacks. An above ground valve is high risk compared to a pipe
16 below ground. He reviewed the risk assessments.
17 Christina recommended that the Commission contact Eric Freedman to come to a meeting to discuss this.
18 In all of her research what was remarkable was that many cities who want to do these setbacks couldn't
19 because they didn't have the necessary data and couldn't afford it. However, East Goshen has been one
20 of the area townships that had risk assessments done so we have the data. The assessments were done by
21 Quest and you can use canary software to review it.
22 Dan Daley explained what the canary software can do. No one has done an assessment with specific
23 locations.
24 Ernie pointed out some things covered in the Quest report.
25 Christina commented that the probability of something happening along the pipeline is 1 in 7 years.
26 Gerald spoke about the acceptable risk. The Planning Commission should send their ideas to the Pipeline
27 Task Force so they can get answers for them. He feels we definitely need setbacks in consultation zones.
28 Mike Lynch mentioned that John Gaadt was the consultant that helped with East Bradford's ordinances.
29 East Bradford adopted a Land Development ordinance 5 years ago. They have 2 or 3 pipelines. They do
30 have a lot of open space.
31 Marty mentioned that he has been on both County boards and isn't aware of this. All pipelines have to be
32 included. The township staff will have to determine what properties would be affected. This could
33 diminish residential property value and owners could sue because of the restriction that wasn't on their
34 property when they purchased it. This is referred to as a "taking". He spoke about corporate parks and
35 their value to the community. The risk assessments are all different. Is it worth doing? Has everything
36 from a safety perspective been done for the safety of the residents.
37 Christina commented that if this was enacted 40-50 years ago, developments wouldn't be on the
38 easements because there would have been setback and buffers. But development was done without this.
39 She feels this has to be part of the onward ordinance. It is where we live, shop, and go to school.
40 She is asking that this be done so we can have a safe community.
41 Dan Truitt commented that public safety is a first priority. He would encourage the Commission to think
42 about what happens after an explosion. Evacuation. It is unwise to keep packing people in a high risk
43 area. He spoke about his neighborhood and how they would have to get out. He suggested that this be
44 crafted so there is no increase in density but someone can add to their house.
45 Mark Gordon mentioned that they should identify any developmental tracts and options for evacuation
46 have to be part of the plan. He gave some examples.
47 Gerald commented that the values for setbacks have to be based on what is going through the pipeline.
48 Mark Gordon pointed out that existing lines can be repurposed.
49 Gerald suggested using the worse case.
50 Christina mentioned maintenance of the pipeline which they are finding the pipeline companies are not
51 doing.
52 Judy commented that all pipelines eventually leak. She spoke about the different materials and how they
53 impact the soil and air when there is a leak.

1 Dan Truitt asked what Board would be responsible for evacuation plans.
2 Mark Gordon responded the Board of Supervisors.
3 Ernie closed the discussion asking that Mark Gordon have the solicitor look at this and check the
4 properties that could be impacted.
5
6

7 **C. LIASION REPORTS**

8 None
9

10 **D. ANY OTHER MATTER**

11 None
12
13

14 **E. ADJOURNMENT**

15 There being no further business, Dan Daley made a motion to adjourn the meeting. Ed Decker
16 seconded the motion. The meeting was adjourned at 8:40 pm. The next regular meeting will be held on
17 Wednesday, April 1, 2020 at 7:00 p.m.
18

19
20 Respectfully submitted, _____
21 *Ruth Kiefer, Recording Secretary*

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Voice: 610-692-7171

Fax: 610-692-8950

E-mail: mgordon@eastgoshen.org

Date: 4/30/2020

To: Planning Commission

From: Mark Gordon, Township Zoning Officer



Re: Synthes USA / JABIL / Land Development Application

Dear Commissioners,

The Township has received a Land Development Application from Synthes USA for their facility at 1303 Goshen Parkway. Synthes received Conditional Use Approval in 2017, to add an addition to the existing facility as well as associated parking lot and pedestrian walkway modifications.

Due to COVID Contingency operations, the Township requested a 60 day extension for the Land Development review period for this plan, the applicant provided it. I do not anticipate needing all the extra time, however we wanted to cover our bases should the conditions of the Emergency Declaration change.

The applicant now seeks Land Development approval for the proposed improvements.

Staff Recommendation:

At this time the Township has not received review comments from the Township Engineer or the County Planning Commission. The meeting this evening is primarily to provide the PC with an overview of the plan and answer any general questions. The Township Engineer, the Conservancy Board, and the Chester County Planning Commission all need to review the plan and forward comments.

This is the first presentation to the Planning Commission for this application. It is premature to forward a recommendation to the Board at this time.

BOARD OF SUPERVISORS
EAST GOSHEN TOWNSHIP

CHESTER COUNTY
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

October 18, 2017

Mr. Kyle Turner
Synthes USA Inc.
1302 Wrights Lane East
West Chester, PA. 19380

Re: Synthes USA CU Application
Impervious Coverage Increase
1303 Goshen Parkway TPN 53-3-1.12

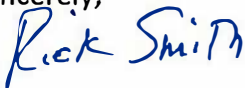
Dear Kyle:

At the public hearing on October 17, 2017 the Board of Supervisors approved the conditional use application of Synthes USA to increase the impervious cover on their property at 1303 Goshen Parkway to 60% with the following conditions.

1. All outstanding comments from the Township Engineer are addressed on the Land Development plan.
2. The applicant return to the Conservancy Board during the Land Development review process to present their landscape plan.
3. The applicant adjusts the proposed plantings on the plan in order to meet the requirements of the Airport Zoning for landscape plantings within the airport approach zone of the property.
4. The applicant considers implementing a variety of best practice methods to deal with storm water runoff from the increased impervious coverage.
5. The applicant shall screen the outdoor storage facility as required by §240-24E.(2)., of the East Goshen Township Zoning Ordinance, with a fence that will conceal it from adjacent properties.
6. The applicant shall follow all applicable Federal, State and Local laws and ordinances.

Please give me a call at 610-692-7171 or e-mail me at rsmith@eastgoshen.org if you have any questions or need additional information.

Sincerely,



Louis F. Smith, Jr.
Township Manager

cc: Brenden P. Burke, Esquire

BOARD OF SUPERVISORS
EAST GOSHEN TOWNSHIP

CHESTER COUNTY
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

FYI

April 30, 2020

Dear Property Owner:

The purpose of this letter is to inform you that Synthes USA has submitted a Land Development application for their facility at 1303 Goshen Parkway, West Chester, PA 19380. Synthes is proposing to add additional walkways, parking and an addition to their building. The applicant was granted Conditional Use approval for these proposed improvements to the property in 2017, and is now applying for Land Development approval.

The applicant proposes to add a +/- 1,200 square foot addition to the existing manufacturing facility, future equipment pads, future parking spaces, and future sidewalks on the property.

Pursuant to Township policy, property owners within 1000 feet of the subject property are notified of Land Development applications. **The meeting dates for this matter are listed below and subject to change without further written notice:**

May 6, 2020 – Planning Commission (7:00 PM)

May 13, 2020 – Conservancy Board (7:00 PM)

June 3, 2020 – Planning Commission (7:00 PM)

June 16, 2020 – Board of Supervisors (7:00 PM)

During Covid-19 Contingency Operations, all public meetings are being held via Video / Telephone Conferencing. Members of the public can participate in the May meeting via telephone only. **To access the May 6th Planning Commission meeting using your telephone, call (929) 205-6099, use access code 893 5918 6610.** The Planning Commission meeting will be live streamed via YouTube with a 20 second delay and will be available for rebroadcast. Future call in numbers for meetings will be provided on the Township Website prior to the meeting dates.

The Land Development Plan and Application will be available for review on the Township Website beginning Friday, May 1, 2020 no later than 5 PM. Use the following link; <https://eastgoshen.org/boards/planning-commission/> and click on the May 6th meeting agenda to access the plans and application materials.

Please give me a call if you have any questions or need additional information.

Sincerely,



Mark A. Gordon
Township Zoning Officer

CC: All Authorities, Boards and Commissions

April 23, 2020

East Goshen Township
Mr. Mark A. Gordon, CFM
Director of Code Enforcement / Zoning Officer
1580 Paoli Pike
West Chester, PA 19380
(610) 692-7171
mgordon@eastgoshen.org

RE: 1303 Goshen Parkway – Preliminary / Final Land Development
JABIL Plant Expansion
APN 53-003-001.1200 – SYNTHES USA HQ, INC. (Record Owner)
MEG Reference No. 19360

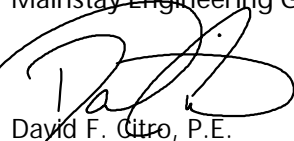
Mr. Gordon:

With respect to the above-referenced parcel, we are submitting the following items in support of the land development application for the 1,900 square foot (±) building addition at 1303 Goshen Parkway:

- Eleven (11) copies of Preliminary / Final Land Development Plans;
- Three (3) copies of a Stormwater Narrative;
- One (1) East Goshen Township Subdivision and/or Land Development Application;
- One (1) List of Requested Waivers from Chapter 205;
- One (1) Act 247 County Referral;
- One (1) Application Review Period Extension Form;
- One (1) Township Application fee (\$450 payable to East Goshen Township);
- One (1) Township Escrow fee (\$2,000 payable to East Goshen Township);
- One (1) County Application fee (\$540 payable to Chester County Planning Commission);

Please process the enclosed for review. Should you have any questions or require any additional information, please do not hesitate to reach out to me directly. Thank you for your time in this matter.

Best Regards,
Mainstay Engineering Group, Inc.



David F. Citro, P.E.
Civil Engineering Department Manager

CC: Mr. Todd McVoy (JABIL)
Mr. John Neilson (Johnsrud/Bergmann)
Mr. Brendan Burke, Esq.

1303 GOSHEN PARKWAY – JABIL PLANT EXPANSION LAND DEVELOPMENT
SYNTHES USA HQ INC.
WAIVERS REQUESTED FROM
CHAPTER 205 (SUBDIVISION & LAND DEVELOPMENT ORDINANCE)

SECTION 205-40: A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A WATER STUDY. NO NEW WATER SERVICES ARE PROPOSED.

SECTION 205-39: A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A TRAFFIC IMPACT STUDY. THERE WILL BE NO INCREASE / DECREASE IN THE NUMBER OR LOCATION OF SITE DRIVEWAYS.

SECTION 205-37C.(7): A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A MINIMUM INSIDE DIAMETER OF 15 INCHES. PIPES ARE SIZED APPROPRIATELY ACCORDING TO FLOW WITH A MINIMUM OF 6 INCHES.

BOARD OF SUPERVISORS
EAST GOSHEN TOWNSHIP
CHESTER COUNTY
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

Date: 23 APRIL 2020

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
Plan: JABIL PLANT EXPANSION - 1303 GOSHEN PARKWAY

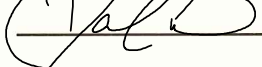
East Goshen Township Board of Supervisors
1580 Paoli Pike
West Chester PA 19380

Re: **Application Review Period Extension**

Dear Board of Supervisors,

In regard to the above noted plan I authorize the Township a 60 day extension to the application review period. I understand that this extension doesn't mean that the application referenced will be approved within this period; it solely allows East Goshen Township additional time to review the application.

Applicant (Print): MAINSTAY ENGINEERING / DAVID F. CITRO, P.E. ON BEHALF OF THE APPLICANT

Applicant (Sign):  _____



EAST GOSHEN TOWNSHIP
CHESTER COUNTY, PA

SUBDIVISION AND / OR LAND DEVELOPMENT APPLICATION

Date Filed: 04/20/2020

Application for (Circle one):

Subdivision Land Development Subdivision & Land Development

A. Application is hereby made by the undersigned for approval of a Subdivision and or Land Development Plan, more particularly described below.

1. Applicant's name: SYNTHES USA HQ, INC.

Address: 1302 WRIGHTS LANE EAST Phone: _____

Fax: _____ Email: Todd McVoy <Christopher_McVoy@jabil.com>

2. Name and address of present owner (if other than 1. above)

Name: _____

Address: _____ Phone: _____

Fax: _____ Email: _____

3. Location of plan: 1303 GOSHEN PARKWAY

4. Proposed name of plan: 1303 GOSHEN PARKWAY LAND DEVELOPMENT

5. County Tax Parcel No.: 53-003-0001.1200 Zoning District: I-1

6. Area of proposed plan (ac.): 8.60 Number of lots: 1

7. Area of open space (ac.): 0

8. Type of structures to be constructed: Manufacturing Facility Expansion

9. What provisions are to be made for water supply and sanitary sewer? Use of existing fire, water, domestic water, and sanitary discharge facilities. No new facilities required.

10. Linear feet of road to be constructed: 0

11. Name of Engineer: Mainstay Engineering Group, Inc. (David F. Citro, P.E.)

Phone Number: 215-646-5595 x115 Fax: 215-857-0540

Email address: dcitro@megr.com

EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

12. Name of Land Planner: N/A

Phone Number: _____ Fax: _____

Email address: _____

- B. I/We agree to reimburse the Township of East Goshen for such fees and expenses the Township may incur for the services of an Engineer(s) in investigations, tests, and review in relation to the Subdivision Plan.
- C. I/We agree to post financial security for the improvements depicted on the Subdivision and or land Development Plan pursuant to the Subdivision and Land Development Ordinance.
- D. I/We agree to reimburse the Township of East Goshen for all inspection fees at the actual cost to Township.

NOTICE

The Township requires an Occupancy Permit before any building can be occupied; no Occupancy Permit will be issued until final inspection and approved by the Zoning Officer and Building Inspector.


Owner Signature


Applicant Signature

Administrative Use

Fees received from applicant \$ _____ basic fee, plus \$ _____ per lot

For _____ lots = \$ _____.

Application and plan received by: _____ Date: _____
(Signature)

Application accepted as complete on: _____
(Date)

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

SUBDIVISION AND/OR LAND DEVELOPMENT CHECKLIST

This checklist outlines the steps and items needed to insure completeness of the application and to insure the application follows the process and conforms to the timeframe outlined by the State of Pennsylvania and East Goshen Township. This checklist is broken into two parts, the Application Process and the Review Process. The application process must be completed in its entirety prior to the advancement into the Review Process.

*** Review the formal Planning Commission review procedure on page five.**

Application for (Circle all appropriate): Subdivision Land Development

Applicant Information:

Name of Applicant: SYNTHES USA HQ, INC.

Address: 1302 WRIGHTS LANE EAST

Telephone Number: 1-610-622-7784 Fax: _____

Email Address: todd_mcvoy@jabil.com

Property Address: 1303 GOSHEN PKWY, WEST CHESTER, PA 19380

Property Information:

Owner's Name: SYNTHES USA HQ, INC.

Address: 1302 WRIGHTS LANE EAST

Tax Parcel Number: 53-003-0001.1200 Zoning District: I-1 Acreage: 8.60

Description of proposed subdivision and or land Development:

New 1,902 SF building addition, with access sidewalk and stairs. Utility relocation and new construction involving storm, sanitary sewer, electric, lighting and fiber optic. Modifications to existing surface detention basin to attenuate increase flow.

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

Application Process Checklist (Administrative use only):

<u>Item</u>	<u>Date Complete</u>
1. Completed Township Application Form:	_____
2. Township application and review fees paid:.....	_____
3. County Act 247 Form complete:	_____
4. Appropriate County Fees included:	_____
5. 11 Copies of sealed Sub / LD plans:	_____
6. 11 copies of other required plans:	
a. Landscape: (sealed).....	_____
b. Conservancy: (sealed).....	_____
c. Stormwater Management: (sealed).....	_____
7. Three copies of the stormwater report and calculations:	_____
8. Copies of supplementary studies, if required:	
a. Traffic Impact Study:.....	_____
b. Water Study:	_____

Application accepted on _____ by _____

Official Signature _____ Title _____

Review Process Checklist (Administrative use only)

<u>Item</u>	<u>Date Complete</u>
1. Date of first formal Planning Commission Meeting following complete submission of application, (Day 1):.....	_____
Date Abutting property letter sent:	_____
2. Date presented to Planning Commission:	_____
3. Date submitted to CCPC:	_____
4. Date submitted to Township Engineer:	_____
5. Date by which the PC must act, (Day 70):	_____
6. Date by which Board of Supervisors must act, (Day 90):	_____
7. Date sent to CB:	_____
8. Date sent To MA:	_____
9. Date sent to HC:	_____
10. Date sent to PRB:	_____
11. Date sent to TAB:	_____

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

**East Goshen Township Planning Commission
Procedure for processing Subdivision, Land Development, Conditional Use,
Variance, and Special Exception Applications**

August 19, 2002

1st Revision: September 22, 2003

2nd Revision: March 2, 2006

1. In order for any application to be considered by the Planning Commission it must be submitted to the Township with all required documentation as per the Township Code and with all applicable fees paid. The Township will use a checklist to verify all required documentation has been submitted. Until the application is complete the application will not be considered "filed" by the Township staff. The Planning Commission will acknowledge receipt of the application at their next regularly scheduled meeting.
2. All materials to be considered at the next regular meeting of the Planning Commission must be submitted with at least eleven (11) copies to the Township Staff by not later than close of business the previous Tuesday. Any materials submitted after that time will be held for the following meeting and not provided to the Commission at the upcoming meeting.
3. The application review cycle for Subdivision and Land Development Applications shall begin with the next regular meeting of the Commission after the complete application is filed. The application review cycle for Conditional Use, Variance, and Special Exception Applications shall begin the day a complete application is filed with the Township.
4. Applicants should not distribute material to the Commission during a meeting unless it is directly related to the initial presentation of the application. All materials for the Planning Commission, including any material to be used at a meeting, must be delivered to the Township Staff not later than close of business the previous Tuesday.
5. The burden of supplying necessary materials to the Planning Commission in a timely manner is on the applicant. Late delivery of material may require an extension on the part of the applicant or a recommendation for denial of the application by the Planning Commission.
6. Formal application presentations to the Planning Commission will only be made at the regular meeting after the complete application is submitted and accepted by the Township staff.
7. The application will remain on the Planning Commission's agenda until such time as the Commission has made its recommendation to the Board of Supervisors and or Zoning Hearing Board.
8. Applicants are encouraged to attend each Planning Commission meeting in order to answer questions or address issues concerning their application.
9. Applications will be voted on only during the regular Planning Commission meetings.
10. The Chairman, in his sole discretion, may waive or modify any of this procedure.



Return to: Chester County Planning Commission
 601 Westtown Road–Suite 270
 P.O. Box 2747
 West Chester, PA 19380-0990

Act 247 County Referral

To: Chester County Planning Commission

Subject: Request for review of a subdivision, land development proposal, ordinances, or comprehensive plans pursuant to the Pennsylvania Municipalities Planning Code, Act 247. This application must be completed by the applicant, and submitted by the municipality to the above address, along with one (1) complete set of plans and accompanying documents and the required fee for review (see reverse side)

TO BE COMPLETED BY THE MUNICIPALITY

From: (Municipality) _____
 Date: _____
 Official's Name: _____
 Position: _____
 Official's signature: _____

Applications with **ORIGINAL** signatures must be submitted to CCPC.

TO BE COMPLETED BY THE APPLICANT

Development name (if applicable): 1303 GOSHEN PARKWAY LAND DEVELOP Location: 1303 GOSHEN PARKWAY
 Owner's name: SYNTHES USA HQ, INC. Phone #: 1-610-622-7784
 Owner's address: 1302 WRIGHTS LANE EAST
 Applicant's name: (Same as owner) Phone #: _____
 Applicant's address: _____
 Architect/Engineer/Surveyor name: MAINSTAY ENGINEERING (DAVID CITRO) Phone #: 215-646-5595 X115

TYPE OF REVIEW REQUESTED

(Check all appropriate boxes)

- Unofficial sketch plan (**no fee**)
- Subdivision plan
- Land development plan
- Planned residential development
- Zoning ordinance (**no fee**)
- Curative amendment (**no fee**)
- Subdivision ordinance (**no fee**)
- Comprehensive plan (**no fee**)
- Other _____

REVIEW FEE

(Fee schedule on other side)

- Attached \$ 540
- Not applicable

TYPE OF PLAN

- Unofficial sketch
- Preliminary
- Final

TYPE OF SUBMISSION

- New proposal
- Revision to a prior proposal
- Phase of a prior proposal
- Amendment/revision to recorded plan is a new proposal

Tax parcel(s): # 53-003-0001.1200
 # _____
 # _____

Total area (gross acres): 8.6

PLAN INFORMATION

Length of new roads: 0
 Number of new parking spaces: 0
 Ownership of roads:
 Public Private
 Open space:
 Public Private
 Acres: _____ Acres: _____
 HOA responsible for common facilities/areas:
 Yes No
 HOA documents provided:
 Yes No
 Traffic study included:
 Yes No Not conducted

LAND USE

of lots/units

Agriculture	
Single family	
Townhouses	
Twin units	
Apartments	
Mobile homes	
*Commercial	
<input checked="" type="checkbox"/> *Industrial	1
*Institutional	
Other	

ZONING DISTRICT OF PROPOSAL

Existing: I-1
 Proposed: _____
 Variances/
 Special exception
 granted: YES

PROPOSED UTILITIES

(Check appropriate boxes)

	Water	Sewer
Public	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
On-site	<input type="checkbox"/>	<input type="checkbox"/>
Package	<input type="checkbox"/>	<input type="checkbox"/>

No new sewage disposal or water supply proposed

ADDITIONAL INFORMATION (This plan has been submitted to):

- County Health Department Date _____
- PennDOT Date _____
- DEP Date _____
- Other _____ Date _____

***Information to be filled in for Commercial, Industrial or Institutional land use ONLY**

*Total square footage of addition to existing building: 1920
 *Total square footage of new building(s): _____

THE TERM "LOTS"

The term "**LOTS**" includes conveyance, tracts or parcels of land for the purpose, whether immediate or future, of lease, transfer of ownership or building or development, as well as residue parcels, annexations, or the correction of lot lines.

FEE SCHEDULE

The following fees shall apply to each land subdivision or land development submitted to the Chester County Planning Commission for review in accordance with Article V, Section 502, Pennsylvania Municipalities Planning Code, Act 247, as amended.

If a plan for a non-residential use is to be subdivided and developed, the fee is the total of Category II plus Category III.

CATEGORY I RESIDENTIAL SUBDIVISION OR LAND DEVELOPMENT

These fees apply to residential projects for sale, condominium ownership, or rental; any type of buildings, either as a subdivision or single tract land development; or an agricultural subdivision (except for guidelines in Article I, Section 107, Subdivision, Pennsylvania Municipal Planning Code, Act 247, as amended). This category does not include institutional living facilities.

Number of lots and dwelling units	Base fees	Fees for each lot and/or unit*
1-2 lots/dwelling units	\$165.00	None
3-5 lots/dwelling units	\$165.00	Plus \$28.00/lot/unit
6-20 lots/dwelling units	\$220.00	Plus \$25.00/lot/unit
21-75 lots/dwelling units	\$400.00	Plus \$22.00/lot/unit
76 lots/dwelling units and over	\$800.00	Plus \$17.00/lot/unit

CATEGORY II NON-RESIDENTIAL SUBDIVISIONS

These fees apply to applications for subdivision and conveyance of land for non-residential uses, not proposed for land development as defined in Section 107 of the Planning Code.

Number of lots or units	Base fees	Fees for each lot and/or unit*
1-2 lots/units	\$275.00	Plus \$55.00/lot/unit
3-10 lots/units	\$550.00	Plus \$55.00/lot/unit
11 lots/units and over	\$800.00	Plus \$50.00/lot/unit
Financial subdivisions	\$275.00	Plus \$55.00/lot/unit

CATEGORY III NON-RESIDENTIAL LAND DEVELOPMENT

These fees apply to all projects or sections of mixed projects which are for non-residential use for sale, condominium, lease or rent in any type of building on a single tract of land.

Building square footage (gross)	Base fees	Fees for gross floor area
0 to 5,000 sq. ft.	\$450.00	Plus \$45.00/1,000 sq. ft. of gross floor area
5,001 to 25,000 sq. ft.	\$550.00	Plus \$40.00/1,000 sq. ft. of gross floor area
25,001 to 75,000 sq. ft.	\$900.00	Plus \$40.00/1,000 sq. ft. of gross floor area
75,001 sq. ft. and over	\$1,350.00	Plus \$28.00/1,000 sq. ft. of gross floor area

CATEGORY IV SECOND REVIEWS

These fees apply to each review conducted after the first review (within a three (3) year period of the initial review) and only if requested by the municipality.

- Flat fee of \$165.00 for residential subdivisions/land developments
- Flat fee of \$220.00 for non-residential subdivisions/land developments
- **Maximum fee: \$10,000**

***NOTE:**

Fee applies to total number of lots/units after subdivision. Subdivisions include lot line revisions and lot consolidations.

CHECKS OR MONEY ORDERS SHOULD BE PAYABLE TO: County of Chester

(cash will not be accepted) All fees are to be submitted to the Chester County Planning Commission (CCPC) through the appropriate township or borough at the time of application; and in accordance with the administrative guidelines established by CCPC. Upon written request from the municipality, CCPC may waive the fees for plan reviews associated with municipally-owned subdivisions or land developments.

INFORMAL REVIEWS AND ADDITIONAL WORK:

An informal review request to CCPC (such as meetings and discussions prior to the formal development application) shall be free of charge if said written request is from the municipality, or from an applicant with the knowledge and written consent of the municipality. In no case will informal review by CCPC replace the need for a formal review which would include the submission of the required fee listed above pursuant to the Municipalities Planning Code.

TIME LIMITATIONS:

The review time period will begin from the date of receipt by CCPC of the application requesting a review by CCPC. CCPC has thirty (30) days within which to review subdivision and land development applications and submit review comments. The review period may be extended if requested by the applicant or a time extension has been granted by the municipality with the concurrence of the applicant. When the time period has been stopped due to an incomplete application package, incorrect fee submittal or other reasons, the time period will continue from the day in which the application package is complete. CCPC has thirty (30) days within which to review ordinance amendments, and forty-five (45) days within which to review comprehensive plans, official maps, and complete ordinances.

CIVIL INDEX SHEET

PRELIMINARY / FINAL LAND DEVELOPMENT

JABIL FINISHING PLANT EXPANSION

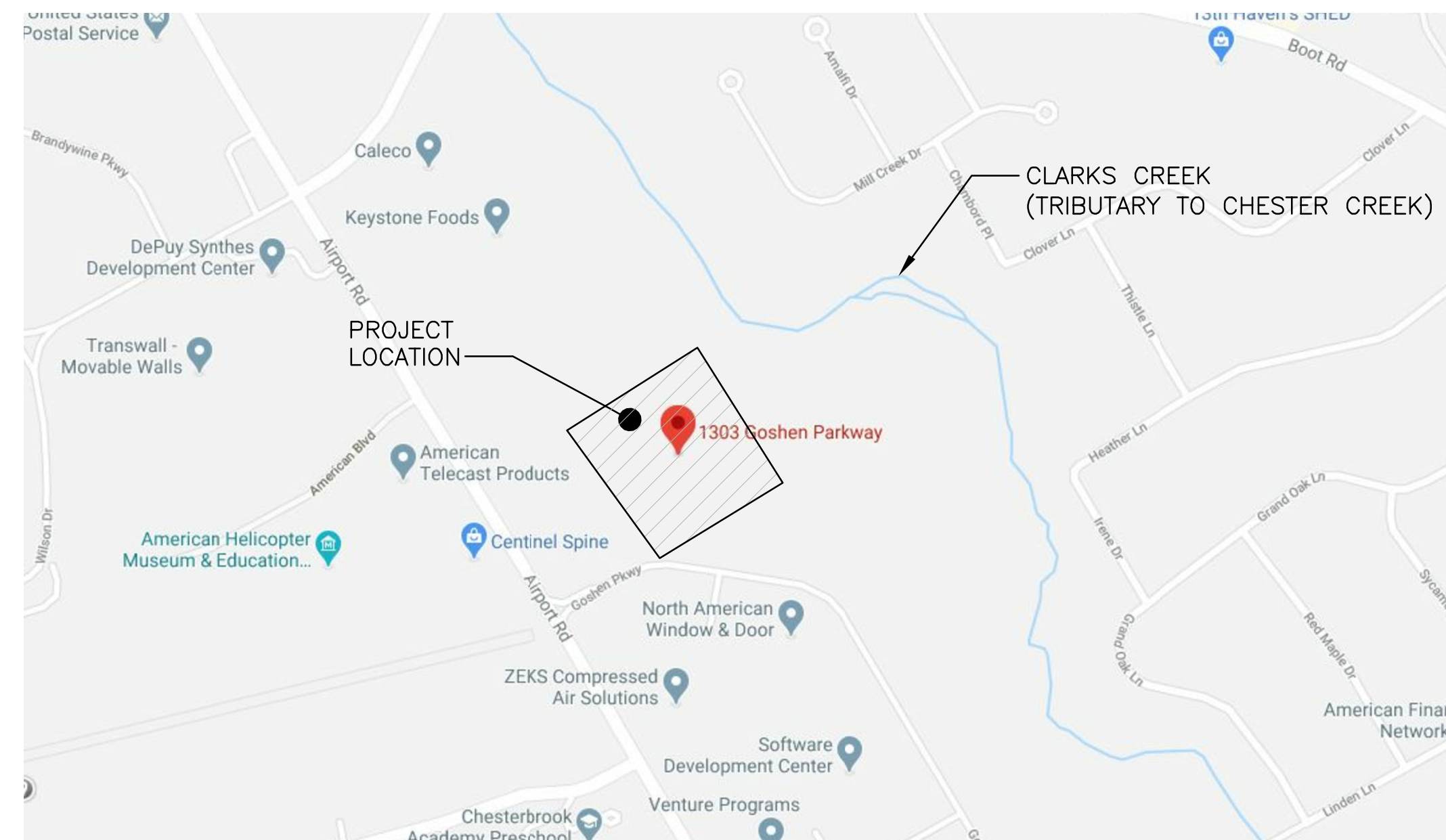
1303 GOSHEN PARKWAY

RECORD OWNER/APPLICANT:
SYNTHES USA HQ INC
1302 WRIGHTS LANE E
WEST CHESTER, PA 19380

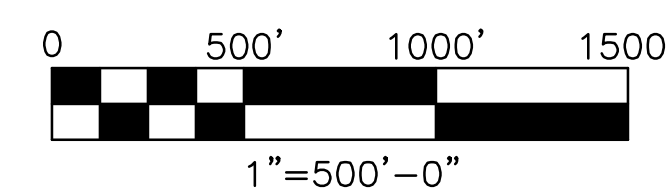
ARCHITECT:
JOHNSRUD ARCHITECTS, A BERGMANN COMPANY
2700 INTERPLEX DRIVE
TREVOSE, PA 19053

MEP ENGINEER:
GENESIS ENGINEERS
1 SENTRY PARKWAY, SUITE 100
BLUE BELL, PA 19422

CIVIL & STRUCTURAL ENGINEER:
MAINSTAY ENGINEERING GROUP, INC.
1750 WALTON ROAD
BLUE BELL, PA 19422

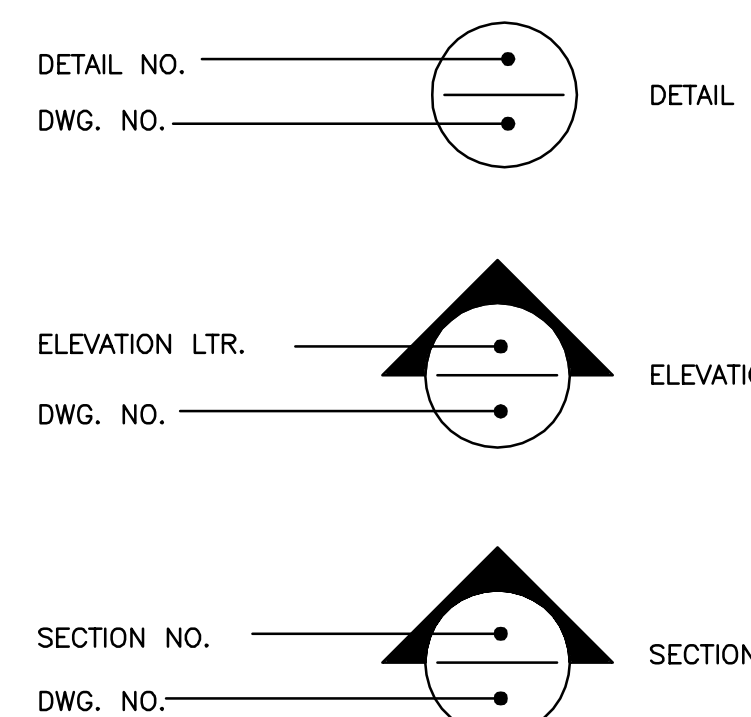


SITE LOCATION MAP
SCALE 1"=500'



ABBREVIATIONS

⊙	AT	(N)	NEW NUMBER
BC	BOTTOM CURB	NO	ON CENTER (S)
BG	BELOW GRADE	OC	ON CENTER (S)
BLDG	BUILDING	PC	POINT OF CURVATURE
BW	BOTTOM OF WALL	PSI	POUNDS PER SQUARE INCH
CAL	CALIPER	PVC	POLYVINYL CHLORIDE
CO	CLEAN OUT	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	S	SLOPE
CONT	CONTINUOUS OR CONTINUE	SAN	SANITARY SEWER
DI	DIAMETER	SF	SQUARE FOOT
DWG	DRAWING	SPEC	SPECIFICATION (S)
DYL	DOUBLE YELLOW LINE	SWL	SINGLE WHITE LINE
(E)	EXISTING	TC	TOP CURB
EL	ELEVATION	TG	TOP OF GRATE
EP	EDGE OF PAVEMENT	TOP	TOP OF PAVEMENT
EX	EXISTING	TSLAB	TOP OF SLAB
F.E.S.	FLARED END SECTION	TYP	TYPICAL
FFE	FINISHED FLOOR ELEVATION	TW	TOP OF WALL
GALV	GALVANIZED	UG	UNDERGROUND
INV	INVERT	UON	UNDERGROUND UNLESS OTHERWISE NOTED
LF	LINEAL FOOT	VIF	VERIFY IN FIELD
MAX	MAXIMUM	W	WEST
ME	MATCH EXISTING	W/	WITH
NEW	MIDDLE EACH WAY	WV	WATER VALVE
MH	MANHOLE	WWF	WELDED WIRE FABRIC
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MON	MONUMENT		



WAIVERS REQUESTED FROM
CHAPTER 205 (SUBDIVISION & LAND DEVELOPMENT ORDINANCE)

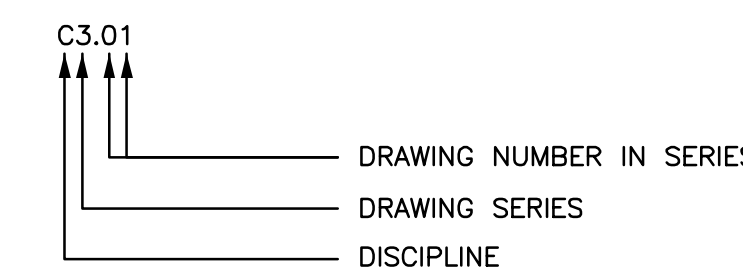
SECTION 205-40: A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A WATER STUDY. NO NEW WATER SERVICES ARE PROPOSED.

SECTION 205-39: A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A TRAFFIC IMPACT STUDY. THERE WILL BE NO INCREASE / DECREASE IN THE NUMBER OR LOCATION OF SITE DRIVEWAYS.

SECTION 205-37C(7): A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A MINIMUM INSIDE DIAMETER OF 15 INCHES. PIPES ARE SIZED APPROPRIATELY ACCORDING TO FLOW WITH A MINIMUM OF 6 INCHES.

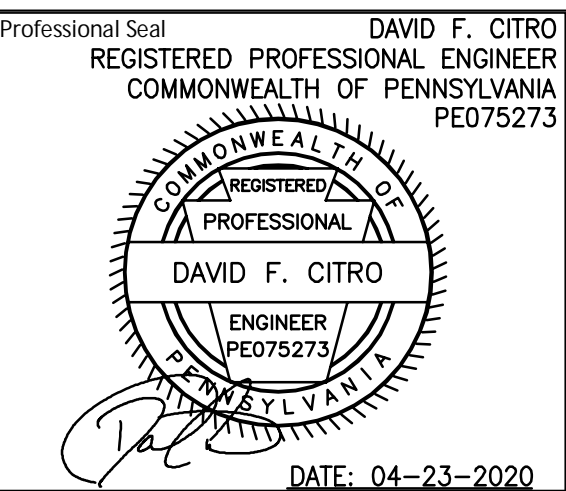
DRAWING SCHEDULE CIVIL

DRAWING NUMBER NOMENCLATURE



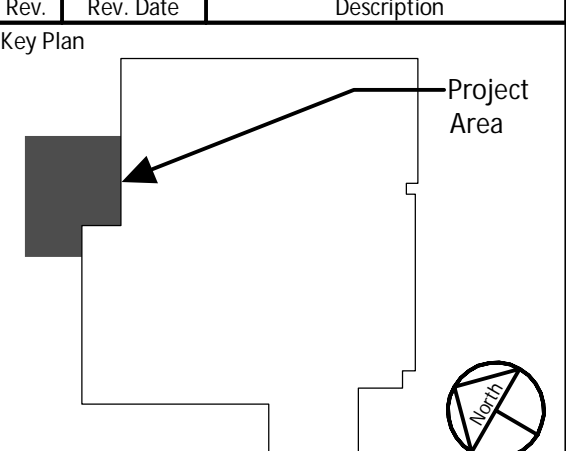
DRAWING NUMBER	DRAWING TITLE	DATE ISSUED	ISSUE DESCRIPTION	DATE
C0.01	CIVIL INDEX SHEET	04-23-2020	LAND DEVELOPMENT ISSUE	
C0.11	CONDITIONAL USE PLAN*			
C0.12	LAND DEVELOPMENT PLAN			
C1.01	EXISTING FEATURES AND DEMOLITION PLAN			
C1.11	CONSERVATION PLAN			
C3.01	SITE IMPROVEMENTS PLAN			
C3.11	SITE GRADING PLAN			
C3.21	SITE UTILITIES PLAN (1 OF 2)			
C3.22	SITE UTILITIES PLAN (2 OF 2)			
C4.01	STORM UTILITIES PROFILE			
C5.01	LANDSCAPE PLAN			
C6.01	PRE-DEVELOPMENT DRAINAGE PLAN			
C6.02	POST-DEVELOPMENT DRAINAGE PLAN			
C6.03	STORMWATER MANAGEMENT PLAN			
C7.01	CIVIL DETAILS SHEET (1 OF 2)			
C7.02	CIVIL DETAILS SHEET (2 OF 2)			
C7.11	CONSERVATION DETAILS SHEET			

* REFERENCE DOCUMENT



THESE DRAWINGS SHALL NOT BE UTILIZED FOR CONSTRUCTION UNLESS EXPLICITLY NOTED AS "CONSTRUCTION ISSUE". THE INTENDED USE OF THESE DRAWINGS SHALL BE ONLY AS INDICATED IN THE ISSUANCE DESCRIPTION OF THE DRAWING TITLE BLOCK. MAINSTAY ENGINEERING GROUP, INC. SHALL ASSUME NO LIABILITY FOR DRAWINGS THAT ARE USED FOR ANY PURPOSE OTHER THAN INDICATED ON THESE DRAWINGS.

Rev.	Rev. Date	Description
B	04-23-2020	LAND DEVELOPMENT ISSUE
A	03-31-2020	ISSUE FOR OWNER REVIEW



Project Title:
FINISHING PLANT EXPANSION

JA Project No. 064-WC-02-006
Drawing Title: CIVIL INDEX SHEET

Drawn By: AFH
Load: DFC
Checked By: MEH

Drawing No. **C0.01**



- GENERAL NOTES:**
1. SITE SERVICED BY PUBLIC SANITARY SEWER AND PUBLIC WATER SUPPLY.
 2. SOIL DATA TAKEN FROM SOIL SURVEY OF CHESTER AND DELAWARE COUNTIES AND PER PLAN REFERENCED IN NOTE #1.
 3. ALL INLET GRATES ARE TO BE SUMPED TWO INCHES.
 4. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EAST GOSHEN TOWNSHIP DESIGN SPECIFICATIONS.
 5. ALL SIGNS SHALL CONFORM WITH SECTION 240-22 OF E.G.T.

CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. BEFORE THE START OF WORK, BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776

UTILITIES TO BE NOTIFIED

- AQUA PA (CLEAR - NO FACILITIES)
- AT & T (CLEAR - NO FACILITIES)
- COMCAST CABLE (DID NOT RESPOND)
- CROWN CASTLE (FACILITIES PRESENT)
- DEPUY SYNTHES (FACILITIES PRESENT)
- EAST GOSHEN TWP MUNICIPAL AUTH
- LEVEL 3 COMMUNICATIONS (CLEAR - NO FACILITIES)
- PECO ENERGY (FACILITIES PRESENT)
- SUNOCO PIPELINE/ATLANTIC PIPELINE/CHEVRON (CLEAR - NO FACILITIES)
- TRANSCONTINENTAL GAS PIPELINE CORP. (CLEAR - NO FACILITIES)
- VERIZON PENNSYLVANIA (DID NOT RESPOND)

CERTIFICATE OF CONFORMANCE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS.

David F. Citro
 DAVID F. CITRO, P.E.

OWNER/APPLICANT
 SYNTHES USA HQ INC
 1302 WRIGHTS LANE EAST
 WEST CHESTER PA 19380-3417

USE	DESCRIPTION	GFA (SF)	REQUIRED
PRODUCTION	1 space per 1,000 sq. ft. of gross floor area or 1 space per employee on the largest shift, whichever is greater	58,700	59
OFFICE	4 spaces per 1,000 sq. ft. of gross floor area or 1 space per each employee on the largest shift, whichever is greater	5,000	20
REQUIRED PARKING BASED ON EMPLOYEE COUNT			
EMPLOYEE COUNT @ MAXIMUM SHIFT CHANGE		192	192
PARKING TOTAL		192	252
		192	288

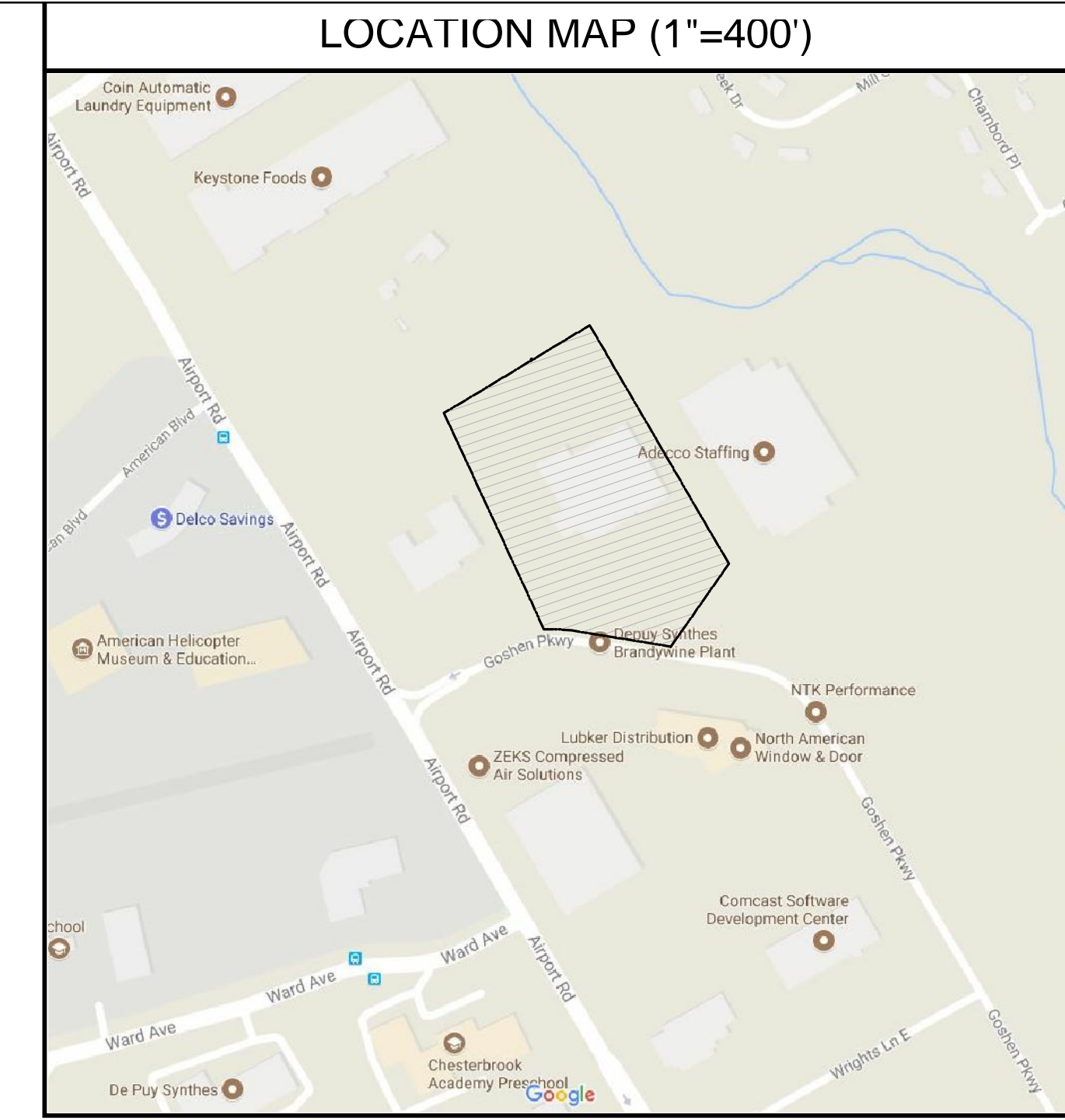
ZONING SUMMARY
 1303 GOSHEN PARKWAY, EAST GOSHEN, PA
 COUNTY OF CHESTER

ZONING DISTRICT	LAND USE	PRODUCTION	FLOOD HAZARD ZONE
I-1 LIGHT INDUSTRIAL	PRODUCTION		X, A

BULK REQUIREMENTS

CATEGORY	REQUIRED	EXISTING	PROPOSED
LOT AREA	174,240 SF	376,010 SF	376,010 SF
LOT WIDTH	200 FT	345 FT	345 FT
BUILDING COVERAGE	16.59%	62.385 SF	17.03% 64,031 SF
MAX IMPERVIOUS COVERAGE	60% 225,806 SF	55% 206,806 SF	59.61% 224,132 SF
MAX BUILDING HEIGHT	35 FT	28 FT	28 FT
FRONT YARD	50 FT	172.24 FT	172.24 FT
REAR YARD	100 FT	242.40 FT	242.40 FT
SIDE YARD	50 FT	50 FT	50 FT

*60% TOTAL IMPERVIOUS COVER ALLOWED BY CONDITIONAL USE [SECTION 240-31.C.(3).(qq)]. STORMWATER MANAGEMENT WILL BE DESIGNED FOR THE MAXIMUM ALLOWABLE IMPERVIOUS COVER (60%).



COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER
 ON THE _____ DAY OF _____ A.D. 20____ BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____ PERSONALLY APPEARED _____ WHO ACKNOWLEDGES HIMSELF TO BE THE _____ OF _____ A CORPORATION, AND THAT AS SUCH TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THE NAME OF THE SAID CORPORATION BY HIMSELF AS _____ THAT THE SAID CORPORATION IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT THE SAID CORPORATION DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____

- EXISTING FEATURES LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - SETBACK LINE
 - EASEMENT LINE
 - FLOODPLAIN LINE
 - BUILDING
 - RETAINING WALL
 - CURB
 - DEPRESSED CURB
 - CONCRETE PAD
 - CONCRETE WALK
 - RIPRAP
 - PAVEMENT
 - CHAIN LINK FENCE
 - LIGHT POLE
 - FIRE HYDRANT
 - UG STORM
 - UG SWM
 - SURFACE SWM

REVIEWED BY THE PLANNING COMMISSION OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA, THIS _____ DAY OF _____ 20____

CHAIRMAN _____ MEMBER _____

VICE-CHAIRMAN _____ MEMBER _____

MEMBER _____ MEMBER _____

MEMBER _____

APPROVED BY THE BOARD OF SUPERVISORS OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA, THIS _____ DAY OF _____ 20____

CHAIRMAN _____ SUPERVISOR _____

VICE-CHAIRMAN _____ SUPERVISOR _____

SUPERVISOR _____

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____ 20____

SECRETARY _____

APPROVED BY THE EAST GOSHEN TOWNSHIP ENGINEER;
 _____ DATE _____

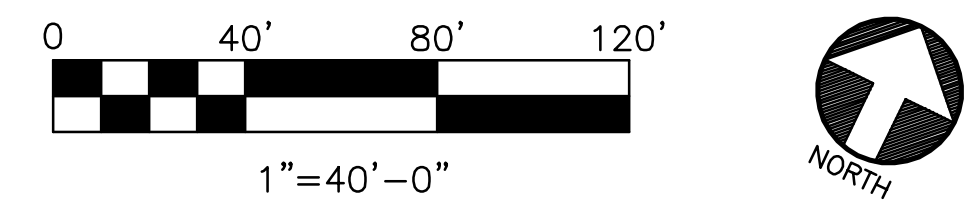
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____ ON THE _____ DAY OF _____ 20____

(DEPUTY) RECORDER OF DEEDS _____

- NEW WORK LEGEND**
- BUILDING ADDITION
 - CONC STAIRS
 - CONC WALK
 - CONC PAD
- FUTURE WORK LEGEND**
- CONC WALK
 - CONC CURB
 - CONC WALL
 - CONC PAD
 - STRIPING

- SITE DATA**
1. PROPERTY IS KNOWN AS UPI 53-3-1.12 IN THE TOWNSHIP OF EAST GOSHEN, CHESTER COUNTY, PENNSYLVANIA.
 2. LOT AREA = 376,010 S.F. OR 8.6320 AC.
 3. NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR; NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
 4. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
 5. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
 6. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.
 7. TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY FIRST ORDER, LLC.
 8. DATE OF FIELD SURVEY = MARCH 16, 2017 BY FIRST ORDER, LLC.

CONDITIONAL USE
 CO.11 SCALE: 1" = 40'-0"

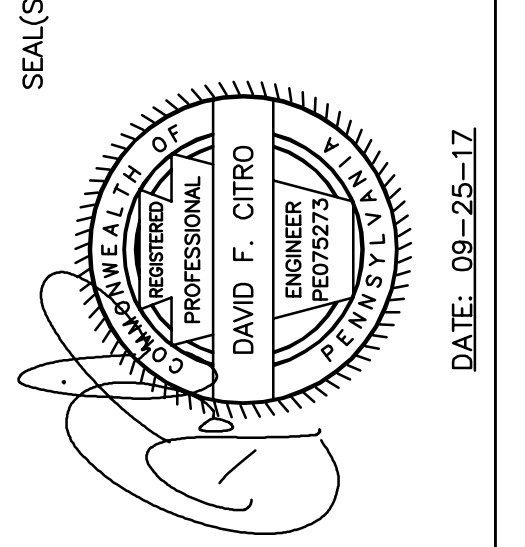


NOTE: THIS PLAN SHALL SUPERSEDE ALL PLANS PREVIOUSLY APPROVED AND RECORDED FOR THIS PROPERTY.

THIS PROPOSED CONDITIONAL USE PLAN IS SUBMITTED FOR ADDITIONAL IMPERVIOUS COVERAGE AND PARKING IN ACCORDANCE WITH THE EAST GOSHEN TOWNSHIP ZONING ORDINANCE [SECTION 240-31.C.(3).(qq)].

PRELIMINARY NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION
A	08-28-17	CONDITIONAL USE APPLICATION
B	09-25-17	PER TOWNSHIP ENGR LETTER AND PC COMMENTS
DFC		DFC
DFC		DFC
BY		BY

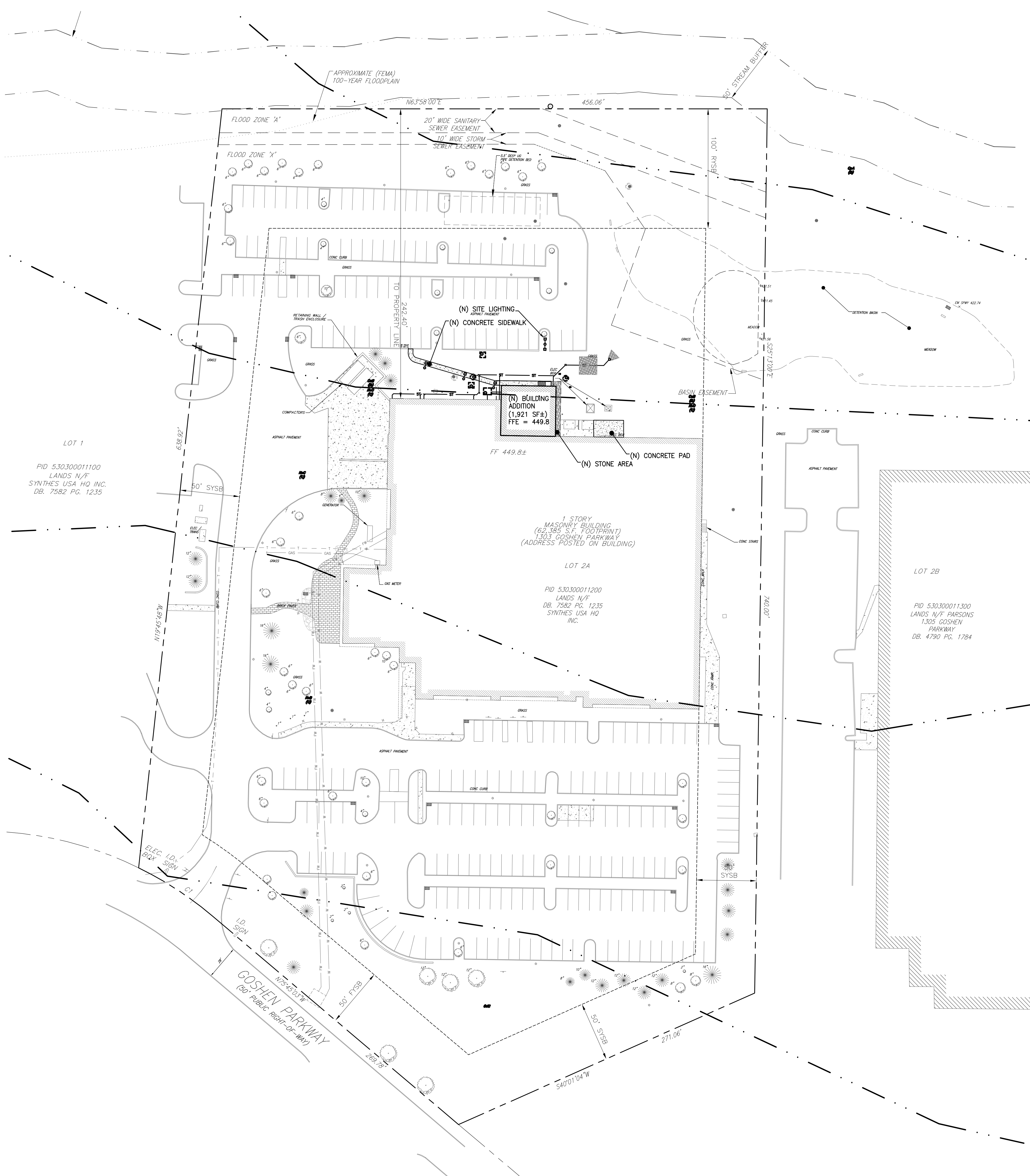


Mainstay ENGINEERING GROUP, INC.
 CIVIL & STRUCTURAL ENGINEERS
 212 North Main Street
 North Wales, PA 19454
 Tel: (215) 646-5588
 Fax: (215) 646-5588
 www.mesgr.com

CONDITIONAL USE PLAN
 DEPUY SYNTHES BRANDWINE PLANT UPGRADE WESTER CHESTER CHESTER COUNTY, PA

DATE: 08/25/2017
 DRAWN: JPD
 REVIEWED: DFC
 SCALE: AS NOTED
 PROJECT ID: 16466.1

CO.11



A LAND DEVELOPMENT PLAN
C0.12 SCALE: 1" = 40'-0"

SOILS SUMMARY - 100% OF AREA OF INTEREST

SYMBOL	SOIL NAME	DEPTH TO WEATHERED ROCK (IN)	DEPTH TO WATER (IN)	HYDRIC SOIL	SURFACE RUNOFF	HYDROLOGIC SOIL GROUP
CgB	CALIFON LOAM, 3-8% SLOPES	>20	>6	NO	HIGH	D
CpA	COKEBURY SILT LOAM, 0-3% SLOPES	>20	>0	YES	HIGH	C/D
GdC	GLADSTONE GRAVELLY LOAM, 8-15% SLOPES	>65	>80	NO	N/A	B
NvB	NESHAMINY SILT LOAM, 3-8% SLOPES	>60	>80	NO	LOW	C
NvC	NESHAMINY SILT LOAM, 8-15% SLOPES	>60	>80	NO	MED	C

PER SECTION 84-111A(1) OF THE WEST GOSHEN TOWNSHIP CODE, NO TREE SHALL BE ALLOWED TO GROW TO WITHIN THE NONPRECISION INSTRUMENT RUNWAY APPROACH ZONE, SLOPING 20 FEET OUTWARD FOR EACH FOOT UPWARD BEGINNING AT THE END OF AND AT THE SAME ELEVATION AS THE PRIMARY SURFACE AND EXTENDING TO A HORIZONTAL DISTANCE OF 5,000 FEET ALONG THE EXTENDED RUNWAY CENTER LINE.

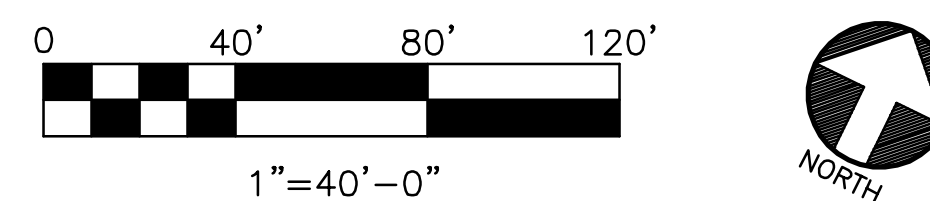
APPROXIMATE ELEVATION OF THE AIRPORT RUNWAY: 465.00
DISTANCE FROM RUNWAY TO PROPERTY LINE: 547 LF
MAXIMUM ALLOWABLE TREE HEIGHT @ PROPERTY LINE: 492.00
DISTANCE FROM "HIGHEST TREE" TO RUNWAY (PROJECTED): 932 LF
MAXIMUM ALLOWABLE TREE HEIGHT @ PLANTING LOCATION: 511.00
MATURE HEIGHT OF PROPOSED TREES: 486.00

CHAPTER 205 (SUBDIVISION & LAND DEVELOPMENT ORDINANCE)

SECTION 205-40: A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A WATER STUDY. NO NEW WATER SERVICES ARE PROPOSED.

SECTION 205-38: A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A TRAFFIC IMPACT STUDY. THERE WILL BE NO INCREASE / DECREASE IN THE NUMBER OR LOCATION OF SITE DRIVEWAYS.

SECTION 205-37C(2): A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A MINIMUM INSIDE DIAMETER OF 15 INCHES. PIPES ARE SIZED APPROPRIATELY ACCORDING TO FLOW WITH A MINIMUM OF 6 INCHES.



GENERAL NOTES:
1. SITE SERVICED BY PUBLIC SANITARY SEWER AND PUBLIC WATER SUPPLY.
2. SOIL DATA TAKEN FROM SOIL SURVEY OF CHESTER AND DELAWARE COUNTIES AND PER PLAN REFERENCED IN NOTE #1.
3. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EAST GOSHEN TOWNSHIP DESIGN SPECIFICATIONS.

CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. BEFORE THE START OF WORK, BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776

UTILITIES TO BE NOTIFIED

AQUA PA (CLEAR - NO FACILITIES)
AT & T (CLEAR - NO FACILITIES)
COMCAST CABLE (DID NOT RESPOND)
CROWN CASTLE (FACILITIES PRESENT)
DEPUY SYNTHES (FACILITIES PRESENT)
EAST GOSHEN TWP MUNICIPAL AUTH LEVEL 3 COMMUNICATIONS (CLEAR - NO FACILITIES)
PECO ENERGY (FACILITIES PRESENT)
SUNOCO PIPELINE/ATLANTIC PIPELINE/CHEVRON (CLEAR - NO FACILITIES)
TRANSCONTINENTAL GAS PIPELINE CORP (CLEAR - NO FACILITIES)
VERIZON PENNSYLVANIA (DID NOT RESPOND)

CERTIFICATE OF CONFORMANCE
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS.

DAVID F. CITRO, P.E.
OWNER/APPLICANT
SYNTHES USA HQ INC
1302 WRIGHTS LANE EAST
WEST CHESTER PA 19380-3417

REQUIRED PARKING BASED ON GROSS FLOOR AREA

USE	DESCRIPTION	GFA (SF) REQUIRED	REQUIRED	EXISTING
PRODUCTION	1 space per 1,000 sq. ft. of gross floor area or 1 space per employee on the largest shift, whichever is greater	59,289	60	
OFFICE	4 spaces per 1,000 sq. ft. of gross floor area or 1 space per each employee on the largest shift, whichever is greater	5,000	20	
REQUIRED PARKING BASED ON EMPLOYEE COUNT				
EMPLOYEE COUNT @ MAXIMUM SHIFT CHANGE		192	192	
PARKING TOTAL		192	252	

ZONING SUMMARY
1303 GOSHEN PARKWAY, EAST GOSHEN, PA
COUNTY OF CHESTER

ZONING DISTRICT: I-1 LIGHT INDUSTRIAL
LAND USE: PRODUCTION
FLOOD HAZARD ZONE: X, A

BULK REQUIREMENTS

CATEGORY	REQUIRED	EXISTING	PROPOSED
LOT AREA	174,240 SF	376,010 SF	376,010 SF
LOT WIDTH	300 FT	345 FT	345 FT
BUILDING COVERAGE	16.59%	62.38%	17.10%
MAX IMPERVIOUS COVERAGE	60%	225,606 SF	55%
MAX BUILDING HEIGHT	35 FT	28 FT	28 FT
FRONT YARD	50 FT	172.24 FT	172.24 FT
REAR YARD	100 FT	242.40 FT	242.40 FT
SIDE YARD	50 FT	50 FT	50 FT

COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER

ON THE _____ DAY OF _____ A.D. _____
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____ PERSONALLY APPEARED _____ WHO ACKNOWLEDGES HIMSELF TO BE THE _____ OF _____ A CORPORATION, AND THAT AS SUCH TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THE NAME OF THE SAID CORPORATION BY HIMSELF AS _____ THAT THE SAID CORPORATION IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT THE SAID CORPORATION DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

REVIEWED BY THE PLANNING COMMISSION OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA., THIS _____ DAY OF _____, 20____.

CHAIRMAN _____ MEMBER _____
VICE-CHAIRMAN _____ MEMBER _____
MEMBER _____ MEMBER _____
MEMBER _____

APPROVED BY THE BOARD OF SUPERVISORS OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA., THIS _____ DAY OF _____, 20____.

CHAIRMAN _____ SUPERVISOR _____
VICE-CHAIRMAN _____ SUPERVISOR _____
SUPERVISOR _____

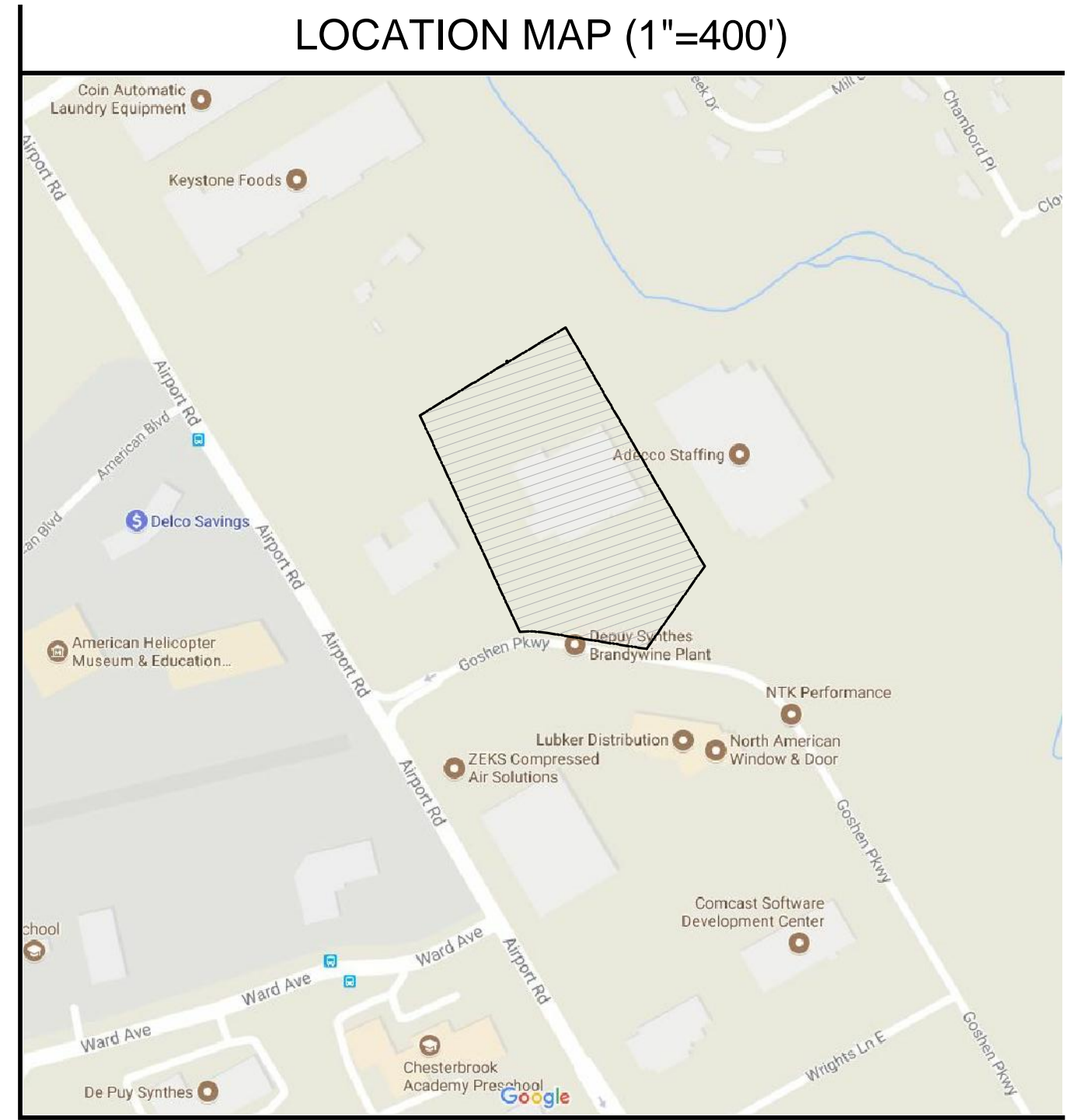
REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

SECRETARY _____

APPROVED BY THE EAST GOSHEN TOWNSHIP ENGINEER: _____ DATE _____

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____ ON THE _____ DAY OF _____, 20____.

(DEPUTY) RECORDER OF DEEDS _____



EXISTING FEATURES LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- FLOODPLAIN LINE
- BUILDING
- RETAINING WALL
- CURB
- DEPRESSED CURB
- CONCRETE PAD
- CONCRETE WALK
- RIPRAP
- PAVEMENT
- CHAIN LINK FENCE
- LIGHT POLE
- FIRE HYDRANT
- UG STORM
- UG SWM
- SURFACE SWM
- NRCS SOILS BOUNDARY

NEW WORK LEGEND

- BUILDING ADDITION
- CONC STAIRS
- CONC WALK
- CONC PAD
- SURFACE SWM

FUTURE WORK LEGEND

- CONC WALK
- CONC CURB
- CONC WALL
- CONC PAD
- STRIPING

SITE DATA

- PROPERTY IS KNOWN AS LPI 53-3-1.12 IN THE TOWNSHIP OF EAST GOSHEN, CHESTER COUNTY, PENNSYLVANIA.
- LOT AREA = 376,010 S.F. OR 8,6320 AC.
- NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGON, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.
- TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY FIRST ORDER, LLC.
- DATE OF FIELD SURVEY = MARCH 16, 2017 BY FIRST ORDER, LLC.

DAVID F. CITRO
REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF PENNSYLVANIA
PE075273

DATE: 04-23-2020

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A Bergmann Company
Johnsrud & Associates Architects, LLC
2700 Interplex Drive, Tevose, PA 19053
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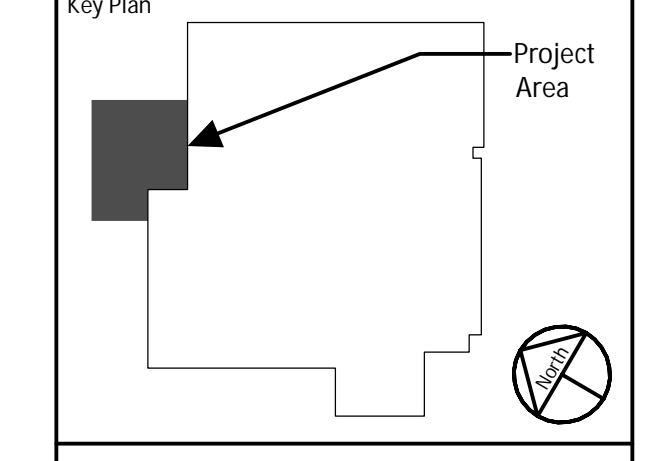
GENESIS ENGINEERS
One Sandy Parkway Suite 100 Blue Bell, Pennsylvania 19022
Tel 610-952-0300 Fax 610-952-0308 www.genesiseng.com

Mainstay ENGINEERING GROUP, INC.
CIVIL & STRUCTURAL ENGINEERS
1750 WALTON ROAD, BLUE BELL, PA 19422
www.mainstayeng.com

MEG PROJECT NO. 19360

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A	03-31-2020	ISSUE FOR OWNER REVIEW

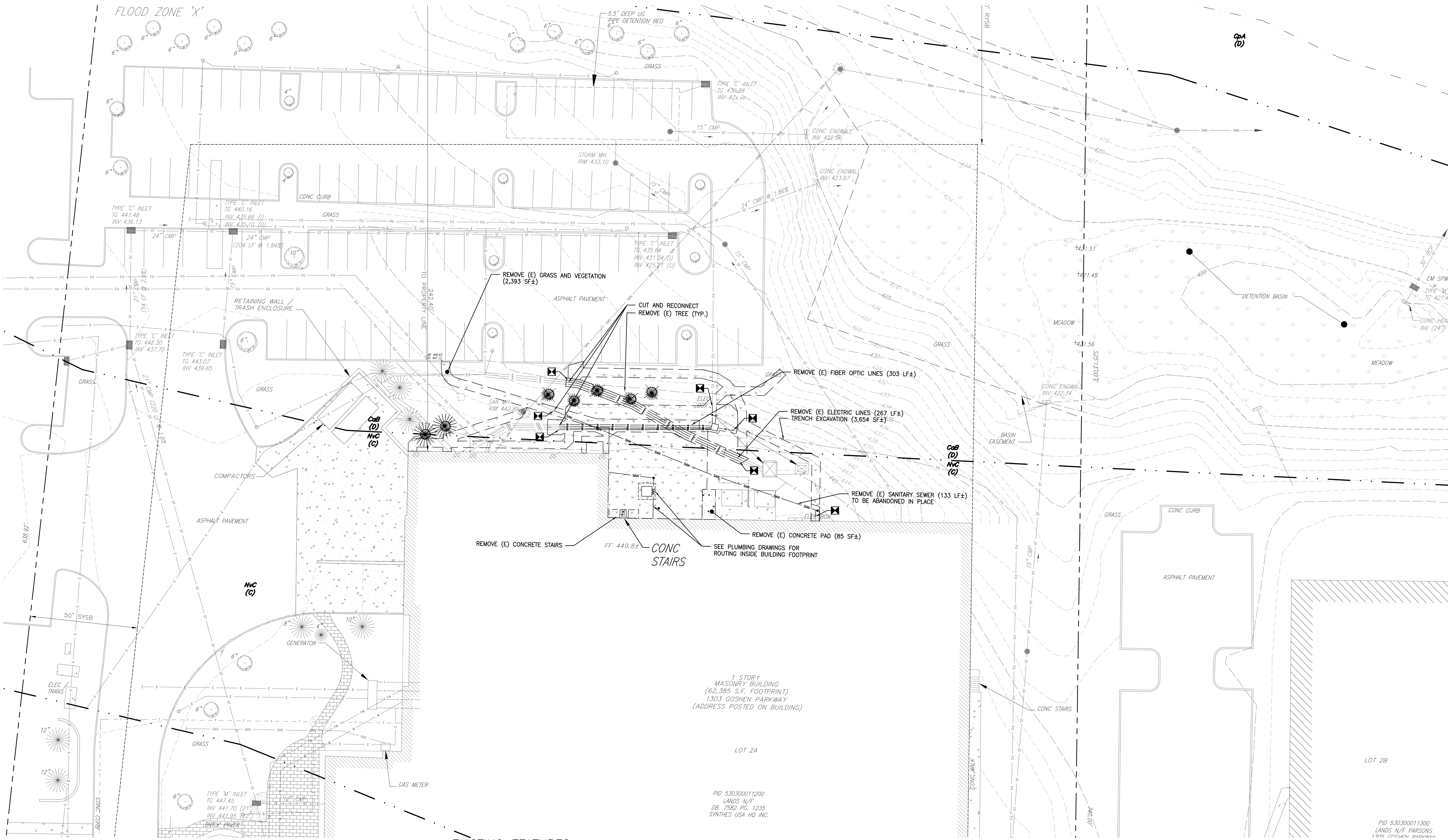


JABIL
1303 Goshen Parkway
West Chester, PA 19380

Project Title:
FINISHING PLANT EXPANSION

JA Project No. 064-WC-02-006 Drawn By: AFH Load: DFC Checked By: MEH
Drawing Title:
LAND DEVELOPMENT PLAN
Drawing No.:
C0.12

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EXISTING FEATURES AND DEMOLITION PLAN
 SCALE: 1" = 20'-0"

EXISTING FEATURES LEGEND

---	RIGHT-OF-WAY
---	PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE
---	FLOODPLAIN LINE
---	BUILDING
---	RETAINING WALL
---	CURB
---	DEPRESSED CURB
---	CONCRETE PAD
---	CONCRETE WALK
---	RIPRAP
---	PAVEMENT
---	CHAIN LINK FENCE
---	LIGHT POLE
---	FIRE HYDRANT
---	UG ELECTRIC
---	UG GAS
---	UG STORM
---	UG SANITARY
---	UG TELECOMM
---	UG WATER
---	UG SWM

DEMOLITION WORK LEGEND

---	CONCRETE PAD
---	CONCRETE STAIRS
---	CONCRETE CURB
---	UG STORM
---	UG ELECTRIC
---	UG SANITARY
---	UG FIBER OPTIC
---	SHADE TREE
---	PINE TREE
---	VEGETATION
---	LIMIT OF DEMOLITION

MEANS AND METHODS/DEMOLITION

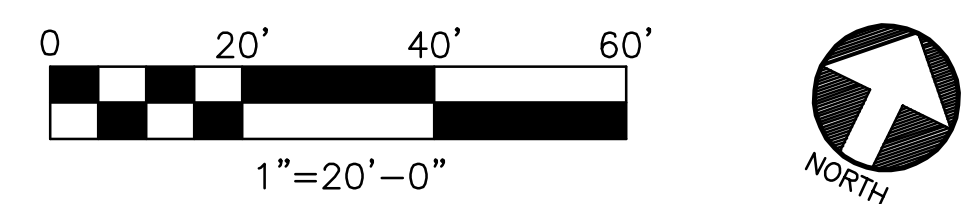
1. THE CONTRACTOR SHALL PROVIDE MEANS AND METHODS NECESSARY TO COMPLETE THE DEMOLITION SCOPE. IF NECESSARY, THE CONTRACTOR SHALL ENGAGE A MEANS AND METHODS PROFESSIONAL ENGINEER TO PROVIDE MEANS AND METHODS PROFESSIONAL ENGINEERING NECESSARY TO COMPLETE THE DEMOLITION AND CONSTRUCTION INDICATED IN THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL INSPECT, ASSESS AND VERIFY THE EXISTING CONDITIONS AND EXTENT OF WORK PRIOR TO COMMENCING DEMOLITION AND CONSTRUCTION.
3. THE CONTRACTOR SHALL COORDINATE WORK WITH MISCELLANEOUS TRADES.
4. THE CONTRACTOR SHALL COORDINATE CUTTING, WELDING AND RIGGING REQUIREMENTS WITH THE CONSTRUCTION MANAGER AND MEANS AND METHODS PROFESSIONAL ENGINEER. CONSTRUCTION AND DEMOLITION WORK SHALL BE PERFORMED IN STRICT ACCORDANCE FEDERAL, STATE AND LOCAL RULES, REGULATIONS, CODES AND LAWS.
5. DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH OWNERS GUIDELINES AND SAFETY STANDARDS.

EXCAVATION AND BACKFILL NOTES

1. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA 811 SYSTEM TO FIELD VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES. ALL UTILITIES AND UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION. **CALL 811** FOR ACCESS TO ALL ONE CALL AGENCIES.
2. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A PROFESSIONAL GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF PENNSYLVANIA. ALL BACKFILL OPERATIONS AND TESTING SHALL BE MONITORED BY THE GEOTECHNICAL ENGINEER.
3. THE CONTRACTOR SHALL PROVIDE LABORATORY COMPACTION TESTS FOR ALL BEDDING AND BACKFILL MATERIAL. EXCAVATION SPOILS MAY BE USED AS BACKFILL IF PROVEN TO BE SUITABLE WITH RESPECT TO COMPOSITION AND COMPACTION REQUIREMENTS.
4. ALL BEDDING AND BACKFILL MATERIAL SHALL BE PLACED IN 6" LOOSE LIFTS AND COMPACTED BY MECHANICAL MEANS TO 95% MAXIMUM UNIT WEIGHT IN ACCORDANCE WITH ASTM D 1557. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A QUALIFIED TESTING AGENCY TO TEST COMPACTION OF BACKFILL MATERIAL IN ACCORDANCE WITH ASTM D 1556, D 2167, D 2922 AND D 2937 AS APPLICABLE. PERFORM TESTS AT THE FOLLOWING LOCATIONS AND FREQUENCIES:
 - A. PAVED AND BUILDING SLAB AREAS: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER. AT LEAST ONE TEST FOR EACH 1,000 SQ FT OF AREA, BUT IN NO CASE FEWER THAN THREE TESTS.
5. THE CONTRACTOR SHALL REMOVE AND REPLACE MATERIAL THAT FAILS TO MEET COMPACTION TEST CRITERIA.
6. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF AN UNDERGROUND UTILITY LOCATION SERVICE TO SURVEY THE ENTIRE PROJECT AREA PRIOR TO EXCAVATION TO DETERMINE ANY UNFORESEEN CONFLICTS WITH EXISTING UTILITIES. ANY CONFLICTS ENCOUNTERED SHOULD BE REPORTED TO THE ENGINEER FOR REVIEW.
7. ANY TRENCH, EXCAVATION OR UNDERGROUND STRUCTURE THAT IS TO BE LEFT UNCOVERED FOR MORE THAN 8 HOURS SHALL BE PROTECTED WITH BARRICADES IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) OR OSHA STANDARDS.

EARTHWORK NOTES

1. UNAUTHORIZED EXCAVATION CONSISTS OF REMOVING MATERIALS BEYOND INDICATED SUBGRADE ELEVATIONS OR DIMENSIONS WITHOUT DIRECTION BY ENGINEER. UNAUTHORIZED EXCAVATION AND REMEDIAL WORK SHALL BE AT CONTRACTOR'S EXPENSE.
2. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY OWNER.
3. SATISFACTORY SOIL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM; FREE OF ROCK OR GRAVEL LARGER THAN 2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, OR OTHER DELETERIOUS MATTER.
4. UNSATISFACTORY SOIL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GC, SC, ML, MH, CL, CH, OL, OH, AND PT.
5. BACKFILL AND FILL: SATISFACTORY SOIL MATERIALS.
6. COMPACTED AGGREGATE: AS NOTED.
7. PIPE BEDDING: AS NOTED.
8. PROTECT SUBGRADES AND FOUNDATION SOILS FROM SOFTENING AND DAMAGE BY WATER, FREEZING TEMPERATURES, OR FROST.
9. EXPLOSIVES: DO NOT USE EXPLOSIVES.
10. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF CHARACTER OF MATERIALS AND OBSTRUCTIONS ENCOUNTERED.
11. EXCAVATE FOR STRUCTURES, PAVEMENTS, AND WALKWAYS. TRIM SUBGRADES TO REQUIRED LINES AND GRADES.
12. UTILITY TRENCHES: EXCAVATE TRENCHES TO INDICATED SLOPES, LINES, DEPTHS, AND INVERT ELEVATIONS. MAINTAIN WORKING CLEARANCE ON EACH SIDE OF PIPE OR CONDUIT AS INDICATED.
13. PLACE, COMPACT, AND SHAPE BEDDING COURSE TO PROVIDE CONTINUOUS SUPPORT FOR PIPES AND CONDUITS OVER ROCK AND OTHER UNYIELDING BEARING SURFACES AND TO FILL UNAUTHORIZED EXCAVATIONS.
14. PLACE AND COMPACT INITIAL BACKFILL OF SATISFACTORY SOIL MATERIAL OR SUBBASE MATERIAL, FREE OF PARTICLES LARGER THAN 1/4 INCH, TO A HEIGHT OVER THE UTILITY PIPE OR CONDUIT AS INDICATED. PLACE AND COMPACT FINAL BACKFILL OF SATISFACTORY SOIL MATERIAL TO FINAL SUBGRADE.
15. FLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 5 HORIZONTAL TO RECEIVE FILL.
16. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL, AND RECOMPACT.
17. PLACE BACKFILL AND FILL IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH AT OPTIMUM MOISTURE CONTENT. COMPACT EACH LAYER UNDER STRUCTURES, PAVEMENTS, AND WALKWAYS TO 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698; ELSEWHERE TO 90 PERCENT.
18. GRADE AREAS TO A SMOOTH SURFACE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. GRADE LAWNS, WALKWAYS, AND UNPAVED SUBGRADES TO TOLERANCES OF ±1-1/4 INCH AND PAVEMENTS AREAS TO ±1/2 INCH. UNDER PAVEMENTS AND WALKWAYS, PLACE SUBBASE COURSE MATERIAL ON PREPARED SUBGRADES AND COMPACT AT OPTIMUM MOISTURE CONTENT TO REQUIRED GRADES, LINES, CROSS SECTIONS, AND THICKNESSES.
19. ALLOW TESTING AGENCY TO INSPECT AND TEST EACH SUBGRADE AND EACH FILL OR BACKFILL LAYER AND VERIFY COMPLIANCE WITH REQUIREMENTS.
20. REMOVE SURPLUS SATISFACTORY SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF OWNER'S PROPERTY.
21. TOPSOIL AND SUBGRADE TREATMENT AND STABILIZATION PER SOIL EROSION AND SEDIMENT CONTROL NOTES.
22. STRUCTURAL FILL: PLACE AND COMPACT IN STRIP PER RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
23. MATERIALS REFERENCED AS FPMODOT SHALL BE IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF TRANSPORTATION - "STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES", JANUARY 2018 (LATEST EDITION).



Professional Seal
 REGISTERED PROFESSIONAL ENGINEER
 COMMONWEALTH OF PENNSYLVANIA
 PE075273
 DAVID F. CITRO
 DATE: 04-23-2020

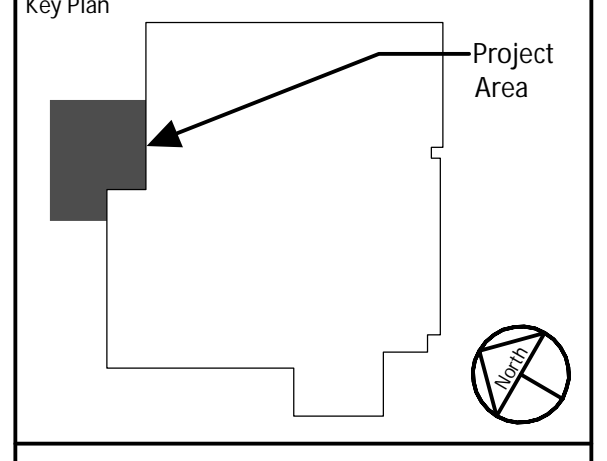
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 One Sandy Park Drive, 100 Blue Bell, Pennsylvania 19002
 Tel: 610-262-0200 Fax: 610-262-0208 www.genesiseng.com

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 CIVIL & STRUCTURAL ENGINEERS
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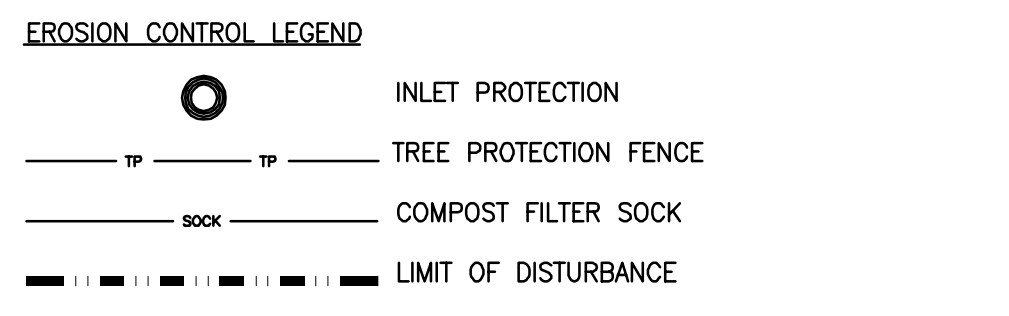
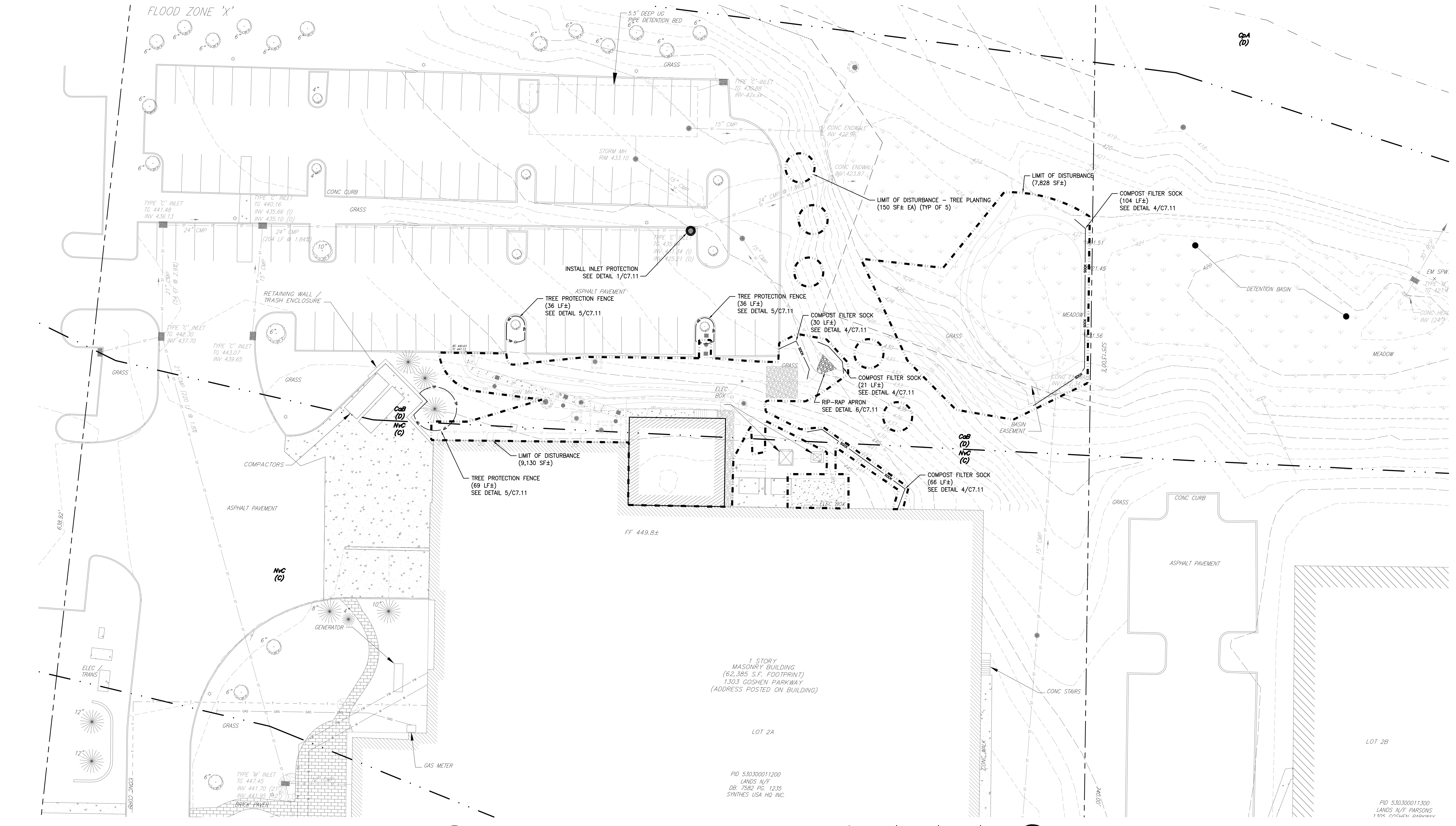


JABIL
 1303 Goshen Parkway
 West Chester, PA 19380

Project Title
FINISHING PLANT EXPANSION

IA Project No. Drawn By Load Checked By
 064-WC-02-006 AFH DFC MEH
 Drawing Title
EXISTING FEATURES AND DEMOLITION PLAN

Drawing No.
C1.01



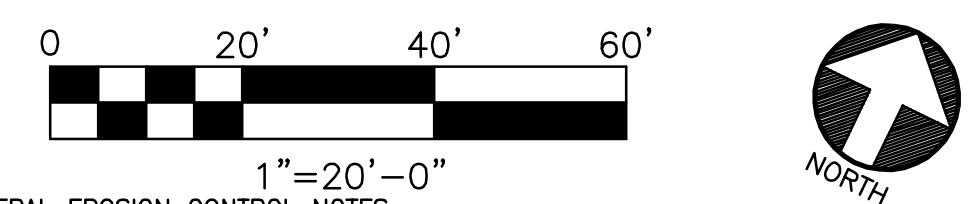
CONSERVATION PLAN

A C1.11 SCALE: 1" = 20'-0"

SOILS SUMMARY - 100% OF AREA OF INTEREST		DEPTH TO WEATHERED ROCK (IN)	DEPTH TO WATER (IN)	HYDRIC SOIL	SURFACE RUNOFF	HYDROLOGIC SOIL GROUP
CaB	CALIFON LOAM, 3-8% SLOPES	>20	>6	NO	HIGH	D
CpA	COKESBURY SILT LOAM, 0-3% SLOPES	>20	>0	YES	HIGH	C/D
GdC	GLADSTONE GRAVELLY LOAM, 8-15% SLOPES	>65	>80	NO	N/A	B
NvB	NESHAMINY SILT LOAM, 3-8% SLOPES	>60	>80	NO	LOW	C
NvC	NESHAMINY SILT LOAM, 8-15% SLOPES	>60	>80	NO	MED	C

- #### TEMPORARY STABILIZATION AND PERMANENT STABILIZATION:
- HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
 - MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 4:1 OR STEEPER.
 - STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
 - UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RESEEDING, REMULCHING, AND RESETTING, MUST BE DONE IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS TO THOSE INSTALLED WILL BE REQUIRED.
 - SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPE AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
 - FERTILIZER: FERTILIZER SHALL BE APPLIED AT A RATE OF 320 POUNDS PER ACRE DURING OR PRECEDING SEEDING. WHEN THE GRASS SEEDING GROWTH HAS ATTAINED A HEIGHT OF 6 INCHES, THE SPECIFIED AREAS DESIGNATED HEREIN SHALL BE MOWED TO A HEIGHT 3 INCHES. FOLLOWING MOWING, ALL SEEDED GRASS AREAS SHALL RECEIVE A UNIFORM APPLICATION OF FERTILIZER HYDRAULICALLY PLACED AT A RATE OF 320 POUNDS PER ACRE. FERTILIZER SHALL BE COMMERCIAL GRADE GRANULAR 10-20-20 FERTILIZER. THE FERTILIZER SHALL BE DELIVERED TO THE SITE IN NEW, CLEAN, SEALED CONTAINERS WHICH BEAR A LABEL FULLY DESCRIBING THE CONTENTS, THE CHEMICAL ANALYSIS OF EACH NUTRIENT, THE FERTILIZER GRADE, THE NET BULK, THE BRAND AND THE NAME AND ADDRESS OF THE MANUFACTURER, THE FERTILIZER AND LABELS SHALL CONFORM TO ALL EXISTING STATE AND FEDERAL REGULATIONS.
 - MULCH: THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE MULCH TO PROTECT THE NEWLY SEEDED AREAS FROM THE EFFECTS OF DRYING, FROST OR OTHER ADVERSE WEATHER CONDITIONS PRIOR TO GERMINATION. ALL MULCH SHALL BE HAY WHICH IS FREE OF WEEDS AND SEEDS, NOT MOLDY OR ROTTEN, AND SHALL BE APPLIED IMMEDIATELY TO ALL SEEDED AREAS AT A RATE OF 1,000 POUNDS PER 1,000 SQ YARDS (3.0 TONS PER ACRE).
 - ANCHORING: MULCH SHALL BE ANCHORED USING LIGHTWEIGHT FIBER OR PAPER NETS, TO BE STAPLED OVER MULCH ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - GUARANTEE: ALL LAWN AREAS SHALL BE GUARANTEED UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THE LAWN MUST BE IN A VIGOROUS, HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ANY AREAS OF THE LAWN NOT IN EXCELLENT CONDITION WILL BE OVER-SEEDED BY THE CONTRACTOR WITH THE SPECIFIED SEED MIX.

- #### SEEDING NOTES:
- EXCAVATE OR SCARIFY AREAS SUBJECT TO COMPACTION BY CONSTRUCTION ACTIVITIES. FINISH GRADE AND RAKE ALL AREAS TO BE TOPSOIL/SEEDED. REMOVE ALL DEBRIS, STONES AND CLOSERS LARGER THAN 1" TO A DEPTH OF SIX (6") INCHES. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL DEBRIS AND STONES. AT THE SOLE DISCRETION OF THE OWNER, THE CONTRACTOR MAY DISPOSE OF STONE AND NATURAL DEBRIS ON SITE.
 - TOPSOIL SHALL BE PLACED TO A MINIMUM OF 4 INCHES IN THICKNESS AND PROPERLY PREPARED FOR SEEDING. ALL AREAS TO BE SEEDED SHALL BE REASONABLY FREE FROM WEEDS TALLER THAN 3 INCHES.
 - GRASS AREAS ARE TO BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING EARTH MOVING PROCEDURES. SEEDING SHALL BE ACCOMPLISHED AS WEATHER PERMITS.
 - HAY OR STRAW MULCH MUST BE APPLIED AT AFTER SEEDING.
 - ESTABLISH PERMANENT SEEDING AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETE. ESTABLISHED GRASS AREA SHALL BE TURF GRASS AT A HEIGHT OF 6 INCHES CONSISTING OF A MINIMUM OF 100 PLANTS PER SQUARE FOOT THROUGHOUT THE SEEDED AREAS. WHEN TURF GRASS HAS ATTAINED THIS HEIGHT, IT SHALL BE MOWED TO A HEIGHT OF 3 INCHES.
 - GRASS/SEED: ALL SEED SHALL BE FRESH, NEW GROUND SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE'S RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT IN EFFECT ON THE DATE OF INVITATION FOR BIDS. ALL SEED SHALL BE FURNISHED IN SCALED STANDARD CONTAINERS, BEARING THE WARRANTY OF THE SUPPLIER AND CERTIFYING THE KIND, PERCENT BY WEIGHT, PURITY, GERMINATION AND WEED SEED. SPREAD AT A RATE OF 175 POUNDS PER ACRE MINIMUM.
- #### GRASS SEED PERCENTAGE TABLE
- | NAME | PROPORTION BY WEIGHT | MIN LIVE % PURITY | MINIMUM % GERMINATION |
|-------------------------------------|----------------------|-------------------|-----------------------|
| KENTUCKY BLUE (POA PRATENSIS)* | 50% | 97% | 80% |
| PERENNIAL RYEGRASS (LOLIUM PERENNE) | 20% | 98% | 90% |
| RED FESCUE (FESTUCA RUBRA)* | 30% | 98% | 85% |
- *MULTIPLE VARIETIES, NO ONE TO EXCEED 25% OF PROPORTIONED MIXTURE.
7. SEEDING SEASON: MARCH 15 TO JUNE 1 OR AUGUST 1 TO OCTOBER 15.



TOTAL LIMIT OF DISTURBANCE:
17,758 SF± (0.408 Ac.)

Professional Seal
REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF PENNSYLVANIA
DAVID F. CITRO
PE075273
DATE: 04-23-2020

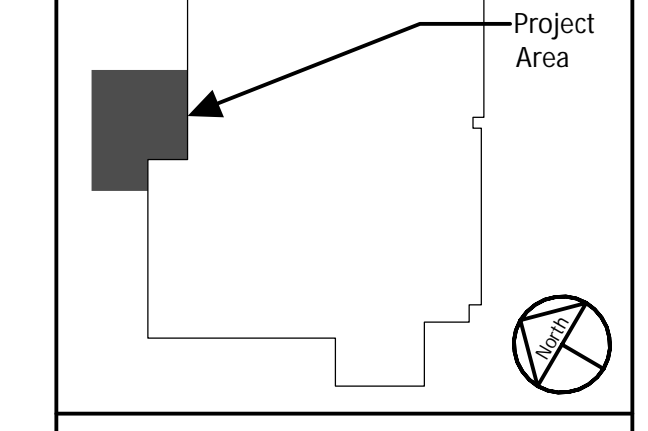
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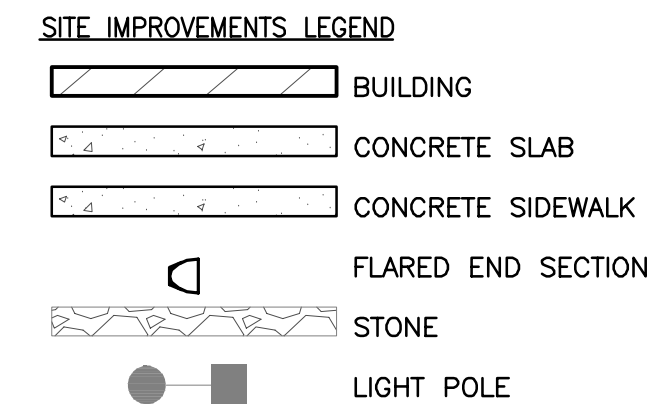
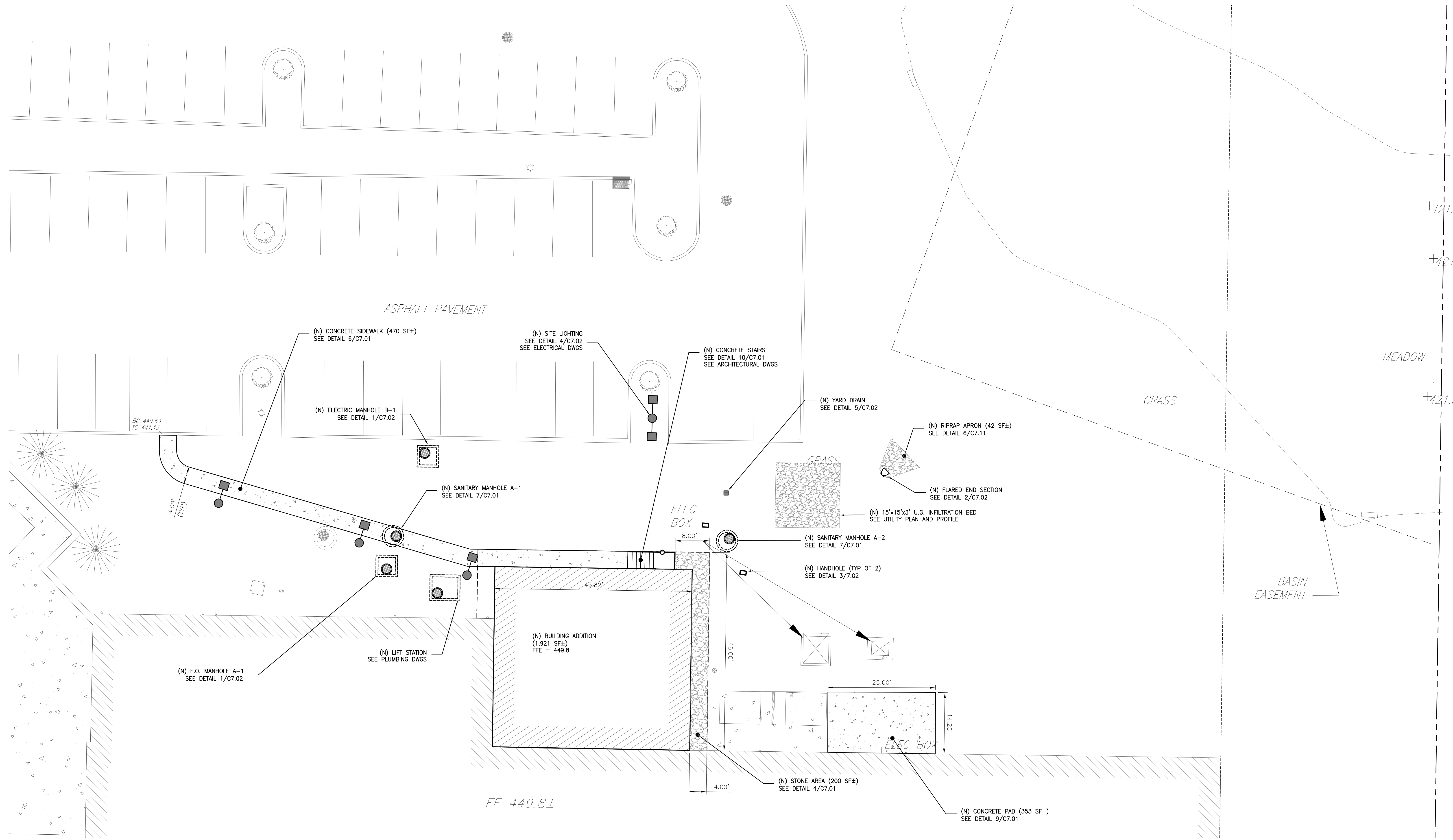
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1303 Goshen Parkway
West Chester, PA 19380

FINISHING PLANT EXPANSION

JA Project No. Drawn By Load Checked By
064-WC-02-006 AFH DFC MEH

CONSERVATION PLAN

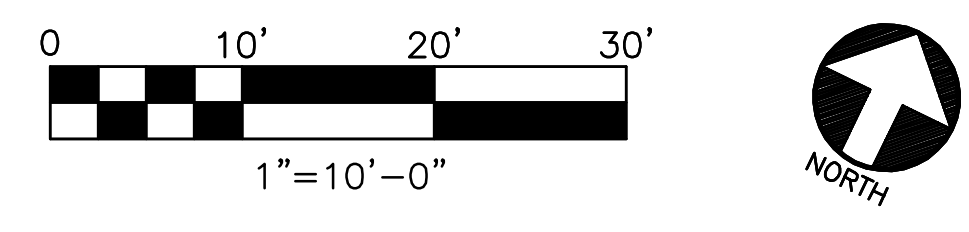
C1.11



CAST-IN-PLACE CONCRETE

- CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318), THE ACI DETAILING MANUAL (ACI 315), AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301).
- CONCRETE SHALL BE READY MIX IN COMPLIANCE WITH ASTM C94. MANUFACTURER SHALL BE CERTIFIED ACCORDING TO THE NATIONAL READY MIXED CONCRETE ASSOCIATION'S CERTIFICATION.
- CONCRETE EXPOSED TO FREEZE-THAW CYCLES (WEATHER) SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AT 28 DAYS AND CONTAIN AN AIR-ENTRAINING ADMIXTURE TO PRODUCE AN AIR-ENTRAINMENT OF 6 PERCENT (MAX). OMIT AIR-ENTRAINMENT FOR CONCRETE TO RECEIVE A TROWELED FINISH. CONCRETE CONTRACTOR SHALL FOLLOW ACI RECOMMENDATIONS FOR PLACEMENT OF CONCRETE IN COLD WEATHER PER ACI 306.1 AND/OR HOT WEATHER PER ACI 306.2.
- CONCRETE MIX MATERIALS SHALL MEET THE FOLLOWING:
CEMENT: PORTLAND TYPE I/II ASTM C150
BLENDED HYDRAULIC CEMENT PER ASTM C595 IS PROHIBITED.
FLY ASH: ASTM C618 CLASS C OR F (25% MAX)
NORMAL WEIGHT AGGREGATE: 3/4 INCH ASTM C33 (UNIFORMLY GRADED) CLASS 35
- WATER: POTABLE COMPLYING WITH ASTM C94
ADMIXTURES:
AIR ENTRAINING: ASTM C260
WATER REDUCING: ASTM C494 TYPE A
HIGH RANGE WATER REDUCING: ASTM C494 TYPE F
WATER REDUCING AND ACCELERATING: ASTM C494 TYPE E
WATER REDUCING AND RETARDING: ASTM C494 TYPE D
CORROSION-INHIBITING: ASTM C494 TYPE C (WHERE INDICATED)
DCI MANUFACTURED BY W.R. GRACE & CO. (OR APPROVED EQUIVALENT)
- WATER CEMENT RATIO: 0.42
INITIAL SLUMP: 3 INCHES MAX
SLUMP WITH SUPER PLASTICIZER: 8 INCHES MAX
AIR CONTENT: 3% MAX (SUB-ON-GRADE)
AIR CONTENT: 6% MAX WITH AIR ENTRAINING ADMIXTURE (EXTERIOR CONCRETE)
UNIT WEIGHT: 150 PCF MAX (NORMAL WEIGHT)

A SITE IMPROVEMENTS PLAN
SCALE: 1" = 10'-0"



- CONCRETE MIX DESIGNS AND ASSOCIATED PRODUCT DATA, IN ACCORDANCE WITH ACI 301, ACI 211.1, AND ACI 211.2, SHALL BE SUBMITTED FOR REVIEW PRIOR TO PLACEMENT. SUBMITTAL SHALL INCLUDE COMPRESSIVE STRENGTH TEST RESULTS, MIX PROPORTIONS, AND PRODUCT DATA. PRODUCT DATA SHALL INCLUDE CEMENT MILL TEST CERTIFICATE, AGGREGATE GRADATION RESULTS, AND ADMIXTURE MANUFACTURER DATA SHEETS AND COMPATIBILITY LETTER. ADMIXTURES SHALL BE FROM A SINGLE SOURCE MANUFACTURER.
- REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM A615, GRADE 60. EPOXY-COATED REINFORCING (WHERE INDICATED) SHALL CONFORM TO ASTM A775. WELDED WIRE FABRIC (FLAT SHEETS) SHALL COMPLY WITH ASTM A1064 (FORMER ASTM A185).
- LAP BARS A MINIMUM 48 DIAMETERS. LAP WELDED WIRE FABRIC A MINIMUM OF 6 INCHES.
- REINFORCING STEEL SHALL BE PLACED WITHIN TOLERANCES IN ACCORDANCE WITH ACI 117 AND SHALL HAVE CLEAR COVER PER ACI 318.
- REINFORCING SHOP DRAWINGS, IN CONFORMANCE WITH ACI 315 AND ACI SP-66, INCLUDING BAR AND WELDED WIRE FABRIC REINFORCING, SHALL BE SUBMITTED FOR REVIEW PRIOR TO PLACEMENT.
- THE CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS AND MISCELLANEOUS TRADES FOR OPENINGS, INSERTS, EMBEDMENTS, SLEEVES, ETC. REQUIRED TO BE CAST-IN-PLACE.
- EXPOSED CONCRETE WALLS SHALL HAVE CONTROL JOINTS AT 30 FEET MAX ON CENTER UNLESS OTHERWISE NOTED.
- CONCRETE SHALL BE MOIST CURED FOR SEVEN DAYS. PROVIDE MOISTURE RETAINING COVERS WITH EDGES LAPPED 12 INCHES AND SEALED WITH WATERPROOF TAPE OR ADHESIVE. CONCRETE CONTRACTOR SHALL COORDINATE CONCRETE FINISHES WITH ARCHITECTURAL DRAWINGS AND FINISH SCHEDULE.
- BONDING AGENT SHALL BE EPOXY ADHESIVE PER ASTM C881, TYPE V, GRADE 2.
- GROUT SHALL BE NON-METALLIC, NON-SHRINK, 5000 PSI GROUT CONFORMING TO ASTM C1107.
- JOINT FILLER SHALL BE ASPHALT-SATURATED CELLULOSIC FIBER CONFORMING TO ASTM D1751.
- JOINT SEALANT FOR ASPHALT PAVING SHALL BE HOT-APPLIED, SINGLE-COMPONENT POLYMERIC COMPOUND CONFORMING TO ASTM D6690 TYPES I/II. JOINT SEALANT FOR CONCRETE SHALL BE COLD-APPLIED, SINGLE-COMPONENT ELASTOMERIC MATERIAL CONFORMING TO ASTM C920-T.

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PE075273
DAVID F. CITRO
DATE: 04-23-2020

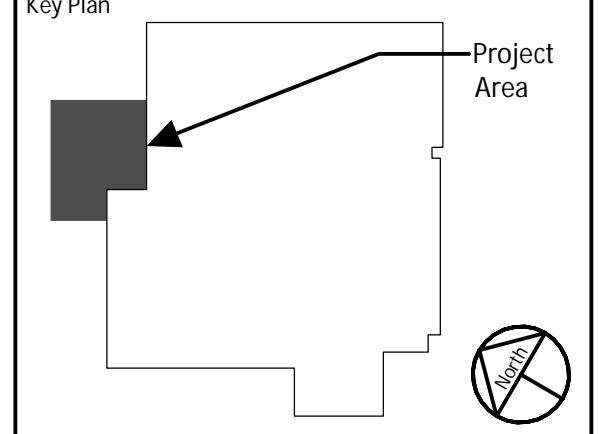
JOHNSRUD ARCHITECTS
A Bergmann Company
Johnsrud & Associates Architects, LLC
2700 Interplex Drive, Treose, PA 19053
Phone 215-639-4200 ■ www.Johnsrud.com

GENESIS ENGINEERS
One Sandy Parkway Suite 100 Blue Bell, Pennsylvania 19422
Tel 610-382-0280 Fax 610-382-0288 www.genesiseng.com

Mainstay ENGINEERING GROUP, INC.
CIVIL & STRUCTURAL ENGINEERS
1750 WALTON ROAD, BLUE BELL, PA 19422
215-646-9900
MEG PROJECT NO. 19360

THESE DRAWINGS SHALL NOT BE UTILIZED FOR CONSTRUCTION UNLESS EXPLICITLY NOTED AS "CONSTRUCTION ISSUE". THE INTENDED USE OF THESE DRAWINGS SHALL BE ONLY AS INDICATED IN THE ISSUANCE DESCRIPTION OF THE DRAWING TITLE BLOCK. MAINSTAY ENGINEERING GROUP, INC. SHALL ASSUME NO LIABILITY FOR DRAWINGS THAT ARE USED FOR ANY PURPOSE OTHER THAN INDICATED ON THESE DRAWINGS.

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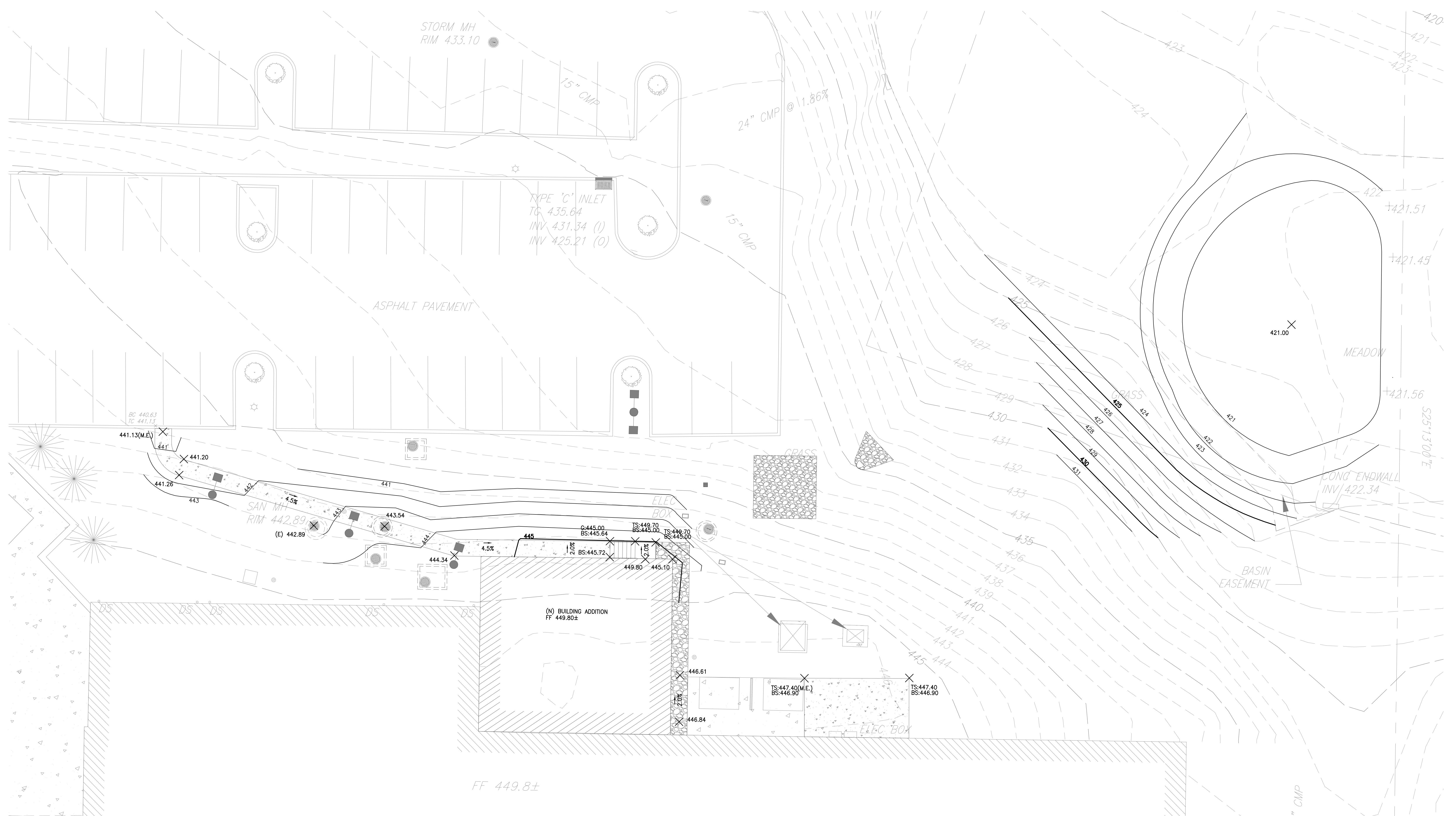
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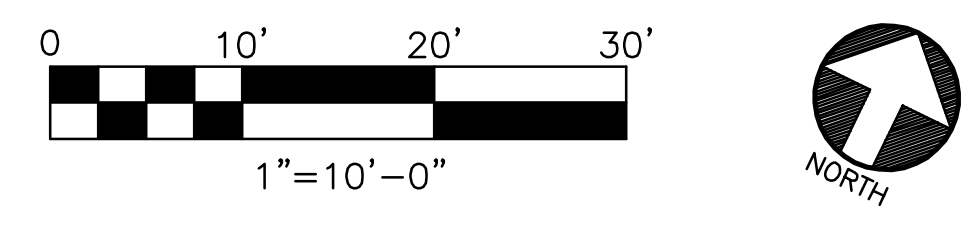
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Drawn By: AFH
Load: DFC
Checked By: MEH

Drawing Title
SITE IMPROVEMENTS PLAN

Drawing No.
C3.01



A SITE GRADING PLAN
 C3.11 SCALE: 1" = 10'-0"



- EXISTING GRADING LEGEND**
- 375 — MAJOR CONTOUR
 - 374 — MINOR CONTOUR
 - x 350.50 SPOT ELEVATION
- PROPOSED GRADING LEGEND**
- 375 — MAJOR CONTOUR
 - 374 — MINOR CONTOUR
 - x 350.50 SPOT ELEVATION
 - TS: TOP OF STAIR
 - BS: BOTTOM OF STAIR
 - TC: TOP OF CURB
 - BC: BOTTOM OF CURB
 - (ME): MATCH EXISTING
 - TG: TOP OF GRATE

- GRADING CONSTRUCTION NOTES**
1. PROPOSED GRADES SHALL BE THE SAME AS EXISTING GRADES UNLESS OTHERWISE INDICATED.
 2. PREPARE FINISHED SUBGRADES AND SURFACES PER EARTHWORK, SEEDING, STABILIZATION, PAVING AND OTHER APPLICABLE NOTES & DETAILS.
 3. HANDICAP RAMP SHALL BE PROVIDED AT ALL SIDEWALK INTERSECTIONS AT DRIVEWAYS, PARKING AREAS, ETC., AND SHALL COMPLY WITH A.D.A. REQUIREMENTS.
 4. NO DRIVEWAY/CURB APRON SLOPE SHALL BE GREATER THAN 12:1 (±6%)
 5. NO PARKING LOT SLOPE SHALL BE GREATER THAN 17:1 (±6%)
 6. NO YARD SLOPE SHALL BE GREATER THAN 5:1 (20%) OR PER THE MAXIMUM PERMITTED GRADE PERMITTED BY MUNICIPAL STANDARDS.
 7. SIDEWALK SLOPE/CROSS-SLOPES, ADA RAMP REQUIREMENTS AND CURB REVEALS SHALL BE AS SHOWN ON THE APPLICABLE DETAILS.
 8. MINIMUM SLOPE FOR ALL FINISHED PAVEMENTS SHALL BE 0.05 FT/FT (2%). ALL LOW SPOTS TO OCCUR OFFSITE OR AT AN EXISTING DRAINAGE STRUCTURE.

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 DAVID F. CITRO
 ENGINEER
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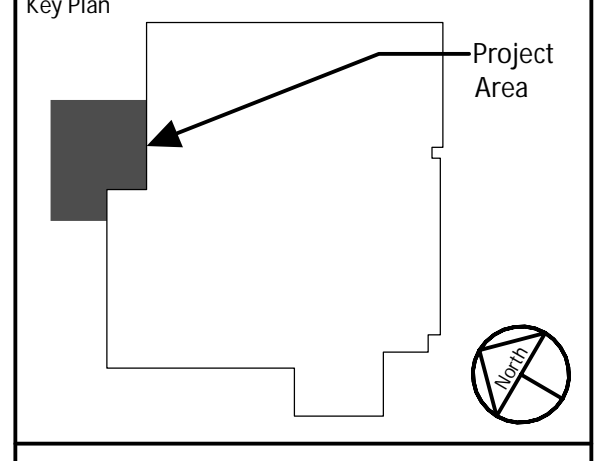
JOHNSRUD ARCHITECTS
 A Bergmann Company
 Johnsруд & Associates Architects, LLC
 2700 Interplex Drive, Trevese, PA 19053
 Phone 215-639-4200 ■ www.Johnsруд.com

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 One Sunny Parkway Suite 100 Blue Bell, Pennsylvania 19022
 Tel: 610-382-0200 Fax: 610-382-0208 www.genesiseng.com

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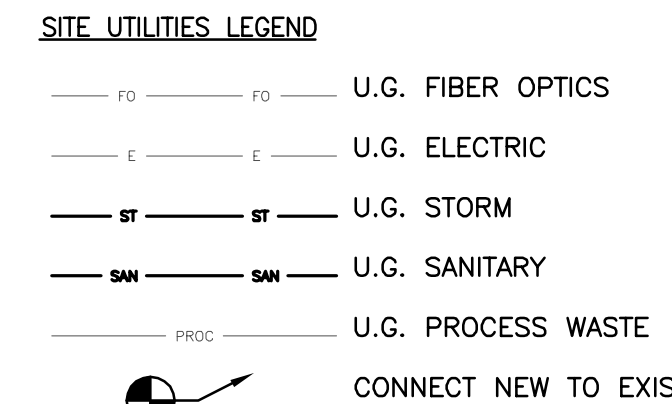
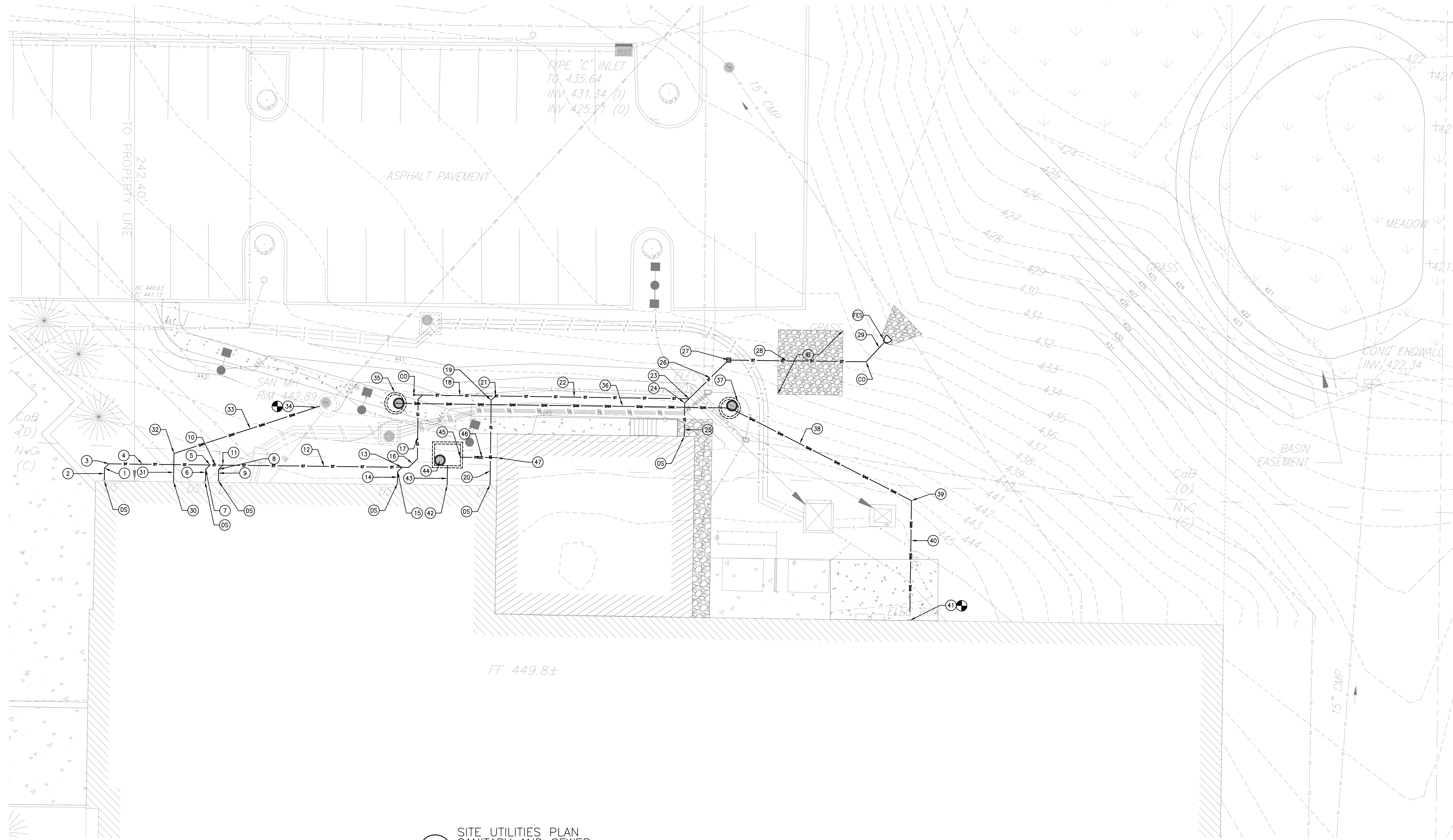
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JA Project No. 064-WC-02-006 Drawn By: AFH Load: DFC Checked By: MEH
 Drawing Title:

SITE GRADING PLAN

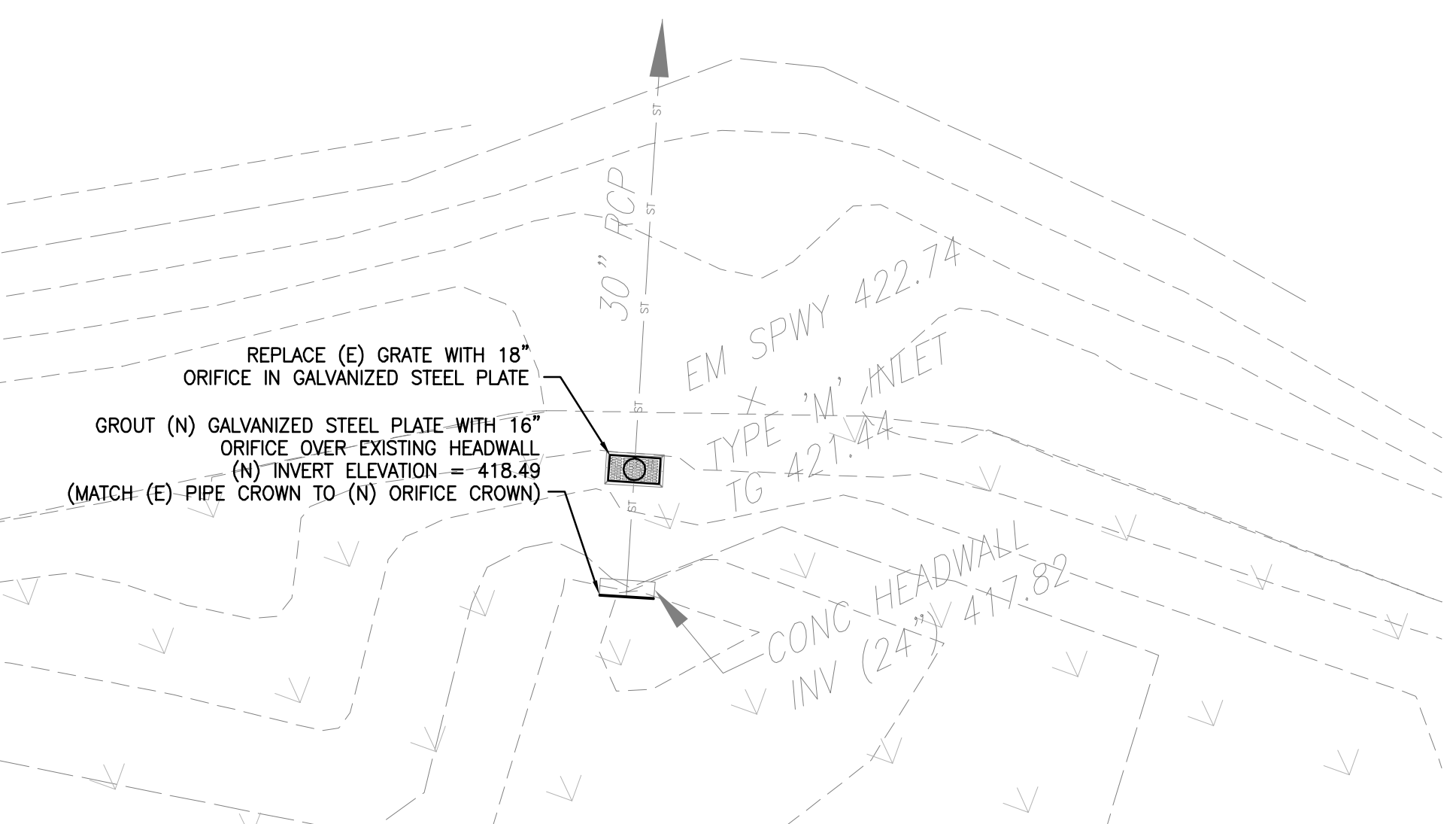
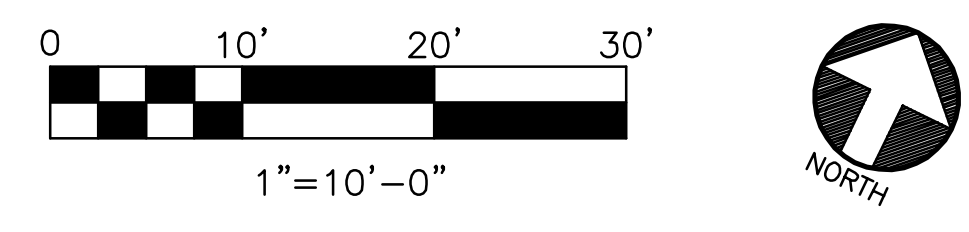
Drawing No.
C3.11



- STORMWATER UTILITY**
- DS INV. 442.00 - CONNECT (E) DOWNSPOUT / SEE PLUMBING DWGS & NEW BUILDING CONNECTION
 - 1 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
 - 2 (N) 6" HDPE (3 LF± @ 15.00%)
 - 3 INV. 438.32 @ (N) WYE CONNECTION
 - 4 (N) 6" HDPE (23 LF± @ 1.00%)
 - 5 INV. 438.09 - (N) WYE CONNECTION
 - 6 (N) 6" HDPE (3 LF± @ 15.00%)
 - 7 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
 - 8 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
 - 9 (N) 6" HDPE WYE CONNECTION (3 LF± @ 15.00%)
 - 10 (N) 6" HDPE (3 LF± @ 1.00%)
 - 11 INV. 438.06 - (N) WYE CONNECTION
 - 12 (N) 6" HDPE (42 LF± @ 1.00%)
 - 13 INV. 437.64 - (N) WYE CONNECTION
 - 14 (N) 6" HDPE (3 LF± @ 15.00%)
 - 15 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
 - 16 (N) 6" HDPE 45° CONNECTION (2 LF± @ 1.00%)
 - 17 (N) 6" HDPE (15 LF± @ 1.00%)
 - 18 (N) 6" HDPE (19 LF± @ 1.00%)
 - 19 INV. 439.23 @ BEND-2 LF± TO (N) WYE CONNECTION
 - 20 (N) 6" HDPE (19 LF± @ 14.97%)
 - 21 INV. 437.24 - (N) WYE CONNECTION
 - 22 (N) 6" HDPE (45 LF± @ 1.00%)
 - 23 INV. 436.79 - (N) WYE CONNECTION & CLEANOUT
 - 24 INV. 441.23 @ BEND-2 LF± TO (N) WYE CONNECTION
 - 25 (N) 6" HDPE (7 LF± @ 14.92%)
 - 26 (N) 6" HDPE (13 LF± @ 1.01%)
 - 27 (N) YARD DRAIN - T.G. 439.45 INV. 436.66 (IN), INV. 435.38 (OUT)

- SANITARY UTILITY**
- 30 SEE PLUMBING INV. 441.50
 - 31 (N) 6" HDPE (7 LF± @ 6.00%)
 - 32 (N) CLEANOUT
 - 33 (N) 6" HDPE (36 LF± @ 5.60%)
 - 34 CONNECT (N) TO (E) INV IN. 437.87 INV OUT. 435.81
 - 35 CONNECT (N) TO (E) MH RIM 443.50 INV IN 434.15 VERIFY EXISTING INVERT OUT PRIOR TO CONSTRUCTION
 - 36 (N) 6" DI (76 LF± @ 3.00%)
 - 37 (N) MH RIM 442.00 INV IN 436.94 INV OUT 439.69
 - 38 (N) 6" DI (48 LF± @ 5.40%)
 - 39 (N) CLEANOUT - INV 439.50
 - 40 (N) 6" DI (28 LF± @ 5.40%)
 - 41 APPROX. INV. 441.00 (CONNECT (N) TO (E)) SEE PLUMBING FOR CONTINUATION
 - 42 INV. 452.00 (A.G.) - SEE PLUMBING FOR CONTINUATION
 - 43 (N) SANITARY FORCE MAIN 3" DI (5 LF± @ 0.00%) (ABOVE GRADE)
 - 44 (N) LIFT STATION - RIM ELEVATION 444.50
 - 45 INV. 439.40 SEE PLUMBING FOR CONTINUATION
 - 46 (N) 4" DI (9 LF± @ 6.66%)
 - 47 INV. 440.00 SEE PLUMBING FOR CONTINUATION

UTILITY NOTES
1. SEE SHEET C3.22 FOR UTILITY CONSTRUCTION NOTES AND SPECIFICATIONS.



BASIN A - OUTLET STRUCTURE
SCALE: 1" = 10'-0"

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DAVID F. CITRO
ENGINEER
REG. NO. PE075273
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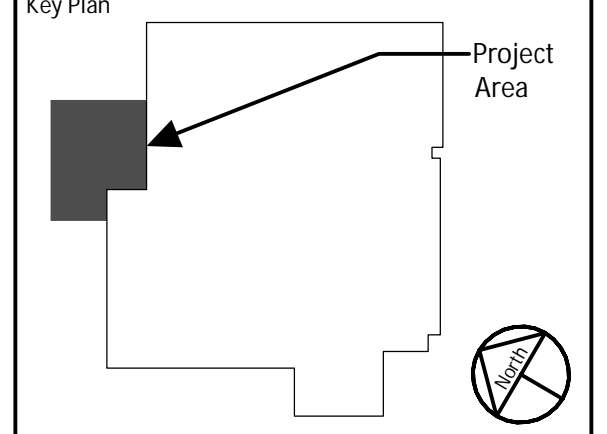
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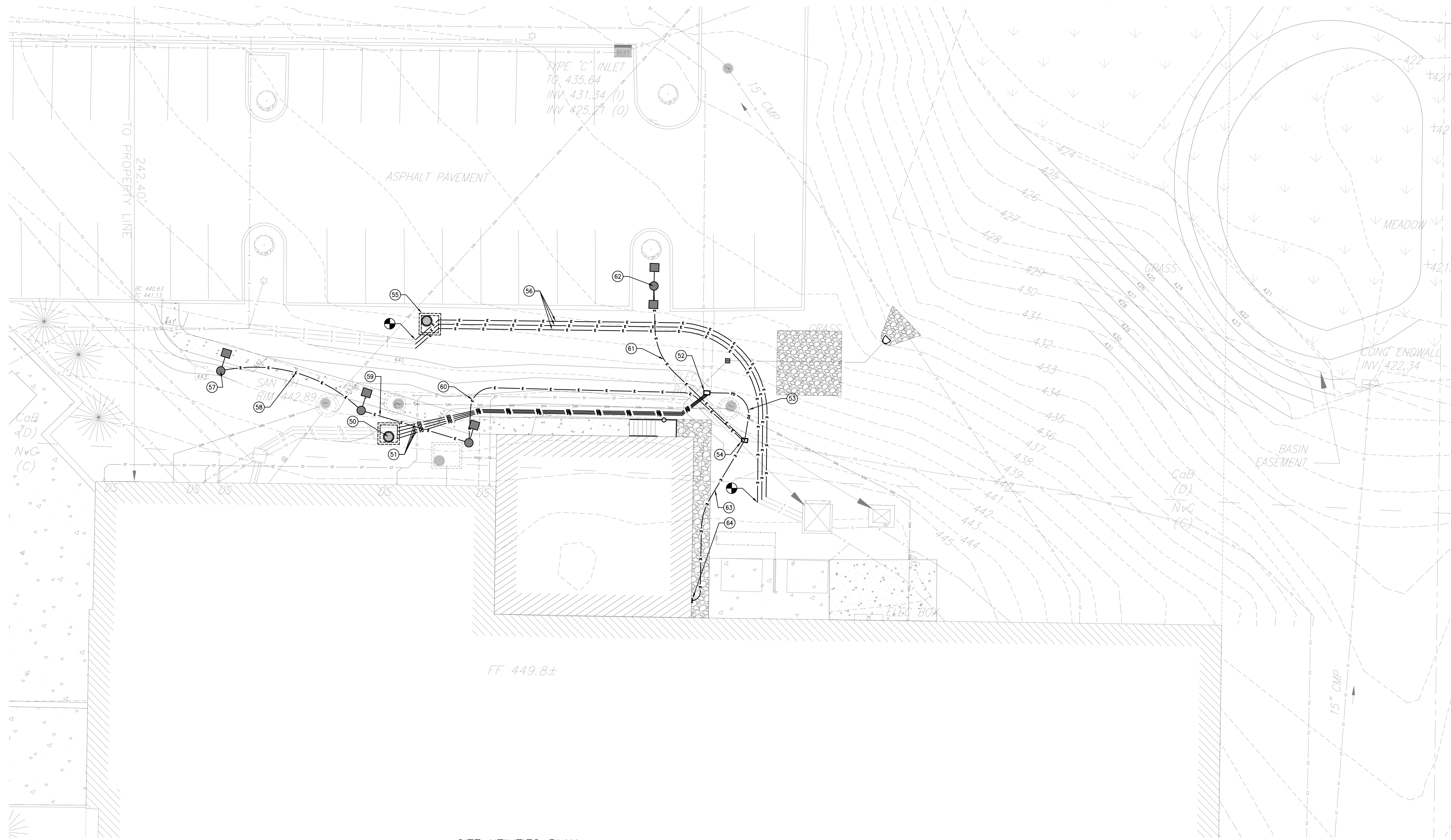
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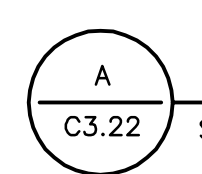
JA Project No. 064-WC-02-006
Drawing Title:

SITE UTILITIES PLAN (1 OF 2)

Drawing No.
C3.21



**SITE UTILITIES PLAN
ELECTRIC AND FIBER OPTIC**



SCALE: 1" = 10'-0"

SITE UTILITIES LEGEND

	U.G. FIBER OPTICS
	U.G. ELECTRIC
	U.G. STORM
	U.G. SANITARY
	U.G. PROCESS WASTE
	CONNECT NEW TO EXIST

- (50) (N) FIBER OPTICS MANHOLE
RIM: 444.25
- (51) (N) FIBER OPTICS FEED (75 LF±)
- (52) (N) HANDHOLD
- (53) (N) FIBER OPTICS (45 LF±)
- (54) (N) FIBER OPTICS PULL BOX
- (55) (N) ELECTRICAL MANHOLE
RIM: 439.00
- (56) (N) ELECTRICAL FEED (114 LF±)
- (57) (N) PATHWAY SITE LIGHTING (TYP OF 3)
SEE DETAIL 4/C7.02 & ELECTRICAL DWGS
- (58) (N) ELECTRICAL FEED (35 LF±)
- (59) (N) ELECTRICAL FEED (26 LF±)
- (60) (N) ELECTRICAL FEED (78 LF±)
- (61) (N) ELECTRICAL FEED (44 LF±)
- (62) (N) AREA SITE LIGHTING
SEE DETAIL 4/C7.02 & ELECTRICAL DWGS
- (63) (N) ELECTRICAL FEED (41 LF±)
- (64) (N) PULL BOX
SEE ELECTRICAL DWGS

UTILITY CONSTRUCTION NOTES

1. ALL WATER PIPING AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE UTILITIES AUTHORITY/COMPANY AND PADEP REQUIREMENTS AND STANDARDS.
2. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS/HER SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
3. THE CONTRACTOR SHALL CALL THE STATE "ONE-CALL" SYSTEM (DIAL 811), NOT LESS THAN 72 HOURS NOR MORE THAN 10 WORKING DAYS PRIOR TO PLANNED WORK TO NOTIFY UTILITY OWNERS OF THE INTENT TO START WORK. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING NON-MEMBER OR NON-RESPONSIVE UTILITY OWNERS INDIVIDUALLY. ALL WORK SHALL BE COORDINATED WITH UTILITY OWNERS INCLUDING, BUT NOT LIMITED TO, ELECTRIC, GAS, COMMUNICATIONS, WATER, SANITARY AND STORM SEWER OWNERS, PRIOR TO THE START OF CONSTRUCTION.
4. SANITARY SEWER AND WATER MAIN TO BE SEPARATED BY A MINIMUM DISTANCE OF 10.0' HORIZONTALLY WHEN PARALLEL OR 18" VERTICALLY (WATER OVER SEWER) WHEN HORIZONTAL SEPARATION IS LESS THAN 10.0'. CONCRETE ENCASEMENT SHALL BE PROVIDED FOR UTILITY CROSSINGS THAT ARE SEPARATED BY LESS THAN 18".
5. WATER MAIN VALVES SHALL BE PROVIDED AS REQUIRED.
6. MINIMUM PIPE COVER SHALL BE PER MANUFACTURER'S RECOMMENDATIONS OR MUNICIPAL REQUIREMENTS, WHICHEVER IS GREATER.
7. PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
8. ALIGNMENT OF UTILITIES WHICH CROSS EXISTING VEGETATION SHALL BE ADJUSTED IN ORDER TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION SUBJECT TO PROPER SPACING AND EASEMENT REQUIREMENTS.
9. EXISTING TREES SHALL BE PRESERVED WHEREVER POSSIBLE. FIELD ADJUSTMENTS TO PROPOSED GRADING, UTILITY STRUCTURE LOCATIONS, ETC. WILL BE MADE IN AN EFFORT TO PRESERVE EXISTING TREES.
10. ALL UTILITY TRENCHES LOCATED IN PUBLIC ROADWAYS SHALL BE REPAIRED IN ACCORDANCE WITH APPLICABLE STANDARDS.
11. METERING DEVICES AND OTHER UTILITY APPURTENANCES, INCLUDING BUT NOT LIMITED TO WATER, SEWER, ELECTRIC, CABLE, TELEPHONE, AND NATURAL GAS SHALL BE INSTALLED WHERE AND AS REQUIRED BY MUNICIPAL OR UTILITY COMPANY STANDARDS.
12. NEW ELECTRIC AND TELEPHONE UTILITIES TO BE INSTALLED UNDERGROUND.
13. PRECAST OR CAST-IN-PLACE REINFORCED CONCRETE STRUCTURES MAY BE UTILIZED FOR DRAINAGE, AND SANITARY SEWER SYSTEMS INCLUDING DETENTION OUTLET STRUCTURES UPON SUBMISSION TO AND APPROVAL OF SHOP DRAWINGS BY ENGINEER. ALL SHOP DRAWINGS ARE TO BE CERTIFIED BY A STATE-LICENSED PROFESSIONAL ENGINEER.
14. ALL PRECAST AND CAST-IN-PLACE STRUCTURES ARE TO BE DESIGNED TO AASHTO HS-20 LOADING REQUIREMENTS.

UTILITY PIPE SPECIFICATIONS

1. ALL STORM SEWERS, PRECAST STORM SEWER STRUCTURES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PENNDOT STANDARD SPECIFICATIONS, LATEST REVISION.
2. HIGH DENSITY POLYETHYLENE PIPE (4"+): AASHTO M252, TYPE S AND AASHTO M294. WATERTIGHT PER ASTM D2321. POLYISOPRENE GASKETS PER ASTM F477.
3. DUCTILE IRON (DI) PIPE AND FITTINGS: ASTM A 746 SERVICE CLASS, FLEXIBLE LINED, FASTITE JOINTS.
4. PVC PIPE (SIZES 4" - 12" IN DIAMETER): C-900 "BLUE BRUTE" PIPING PER AWWA C900-07 AND FM1612. PRESSURE CLASS 165 PSI (DR25), 235 PSI (DR18); 305 PSI (DR14). GASKETS PER ASTM F477 AND JOINTS PER ASTM D3139. FM APPROVED FOR PRESSURE CLASS 150 PSI (DR18) AND 200 PSI (DR14).
5. INSTALL PIPING BEGINNING AT LOW POINT OF SYSTEMS, TRUE TO GRADES AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. PLACE BELL ENDS OF PIPING FACING UPSTREAM.
6. INSTALL PIPING PITCHED DOWN IN DIRECTION OF FLOW, AT SLOPES AND COVER SHOWN.
7. ALL PRECAST DRAINAGE STRUCTURES SHALL CONTAIN REINFORCING STEEL AND BE DESIGNED FOR AASHTO HS-20 LOADING.
8. STATE CERTIFIED PE SIGNED AND SEALED SHOP DRAWINGS OF ALL PRECAST DRAINAGE STRUCTURES SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
9. PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
10. ALL RCP JOINTS SHALL BE MORTARED WITH 2:1 SAND MORTAR UNLESS OTHERWISE NOTED ON THE PLANS.
11. CONDUIT OUTLET PROTECTION SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF ANY PIPE RUN.
12. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS CONSTRUCTION OF STORM SEWER PROGRESSES IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION.
13. INFILTRATION/ DETENTION BEDS/PIPING TO BE INSTALLED WITH NO SLOPE (S=0.00%).
14. ALL PROPOSED CLEANOUTS TO BE SET FLUSH WITH FINISHED GRADE.
15. FINAL GRATE ELEVATIONS OF ALL MANHOLE CASTINGS TO BE FLUSH WITH FINISHED PAVEMENT GRADE (PAVED AREAS) AND SIX-INCHES (6") ABOVE FINISHED GRADE IN ALL LAWN AREAS.
16. PRECAST OR CAST-IN-PLACE REINFORCED CONCRETE STRUCTURES MAY BE UTILIZED FOR DRAINAGE, AND SANITARY SEWER SYSTEMS INCLUDING DETENTION OUTLET STRUCTURES UPON SUBMISSION OF AND APPROVAL OF SHOP DRAWINGS BY ENGINEER. ALL SHOP DRAWINGS ARE TO BE CERTIFIED BY A STATE-LICENSED PROFESSIONAL ENGINEER.
17. ALL PRECAST AND CAST-IN-PLACE STRUCTURES ARE TO BE DESIGNED TO AASHTO HS-25 LOADING REQUIREMENTS.

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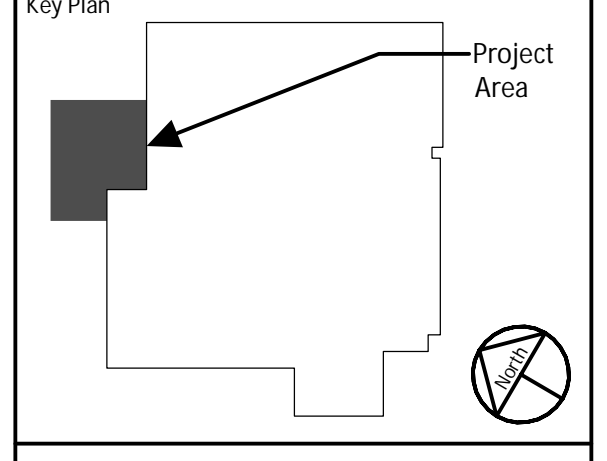
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One Sunny Parkway Suite 100 Blue Bell, Pennsylvania 19022
Tel 610-882-0200 Fax 610-882-0208 www.genesiseng.com

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CIVIL & STRUCTURAL ENGINEERS
1750 WALTON ROAD, BLUE BELL, PA 19422
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MEG PROJECT NO. 19360

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B	04-23-2020	LAND DEVELOPMENT ISSUE
A	03-31-2020	ISSUE FOR OWNER REVIEW



JABIL
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West Chester, PA 19380

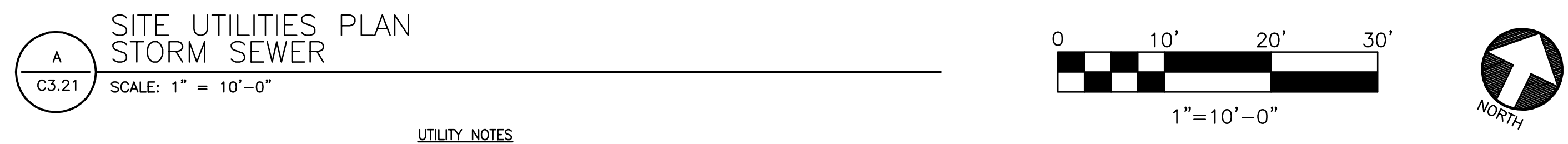
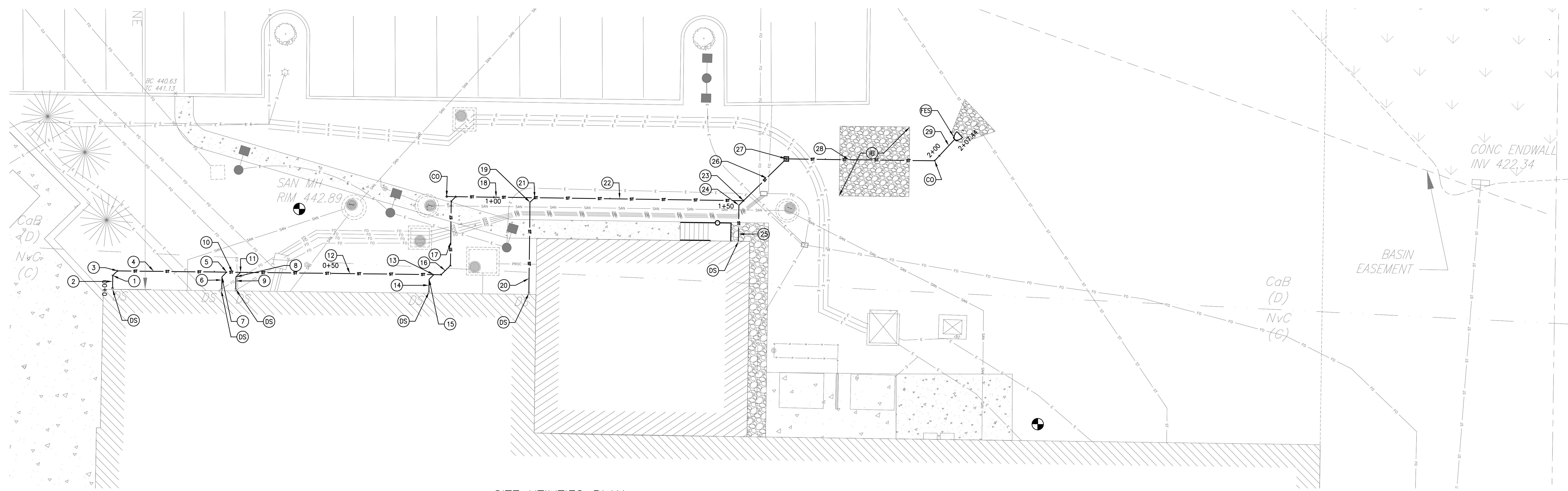
Project Title:
FINISHING PLANT EXPANSION

JA Project No. 064-WC-02-006
Drawing Title:
SITE UTILITIES PLAN (2 OF 2)

Drawing No.
C3.22

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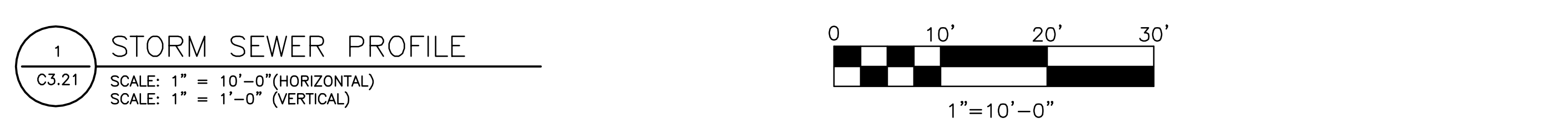
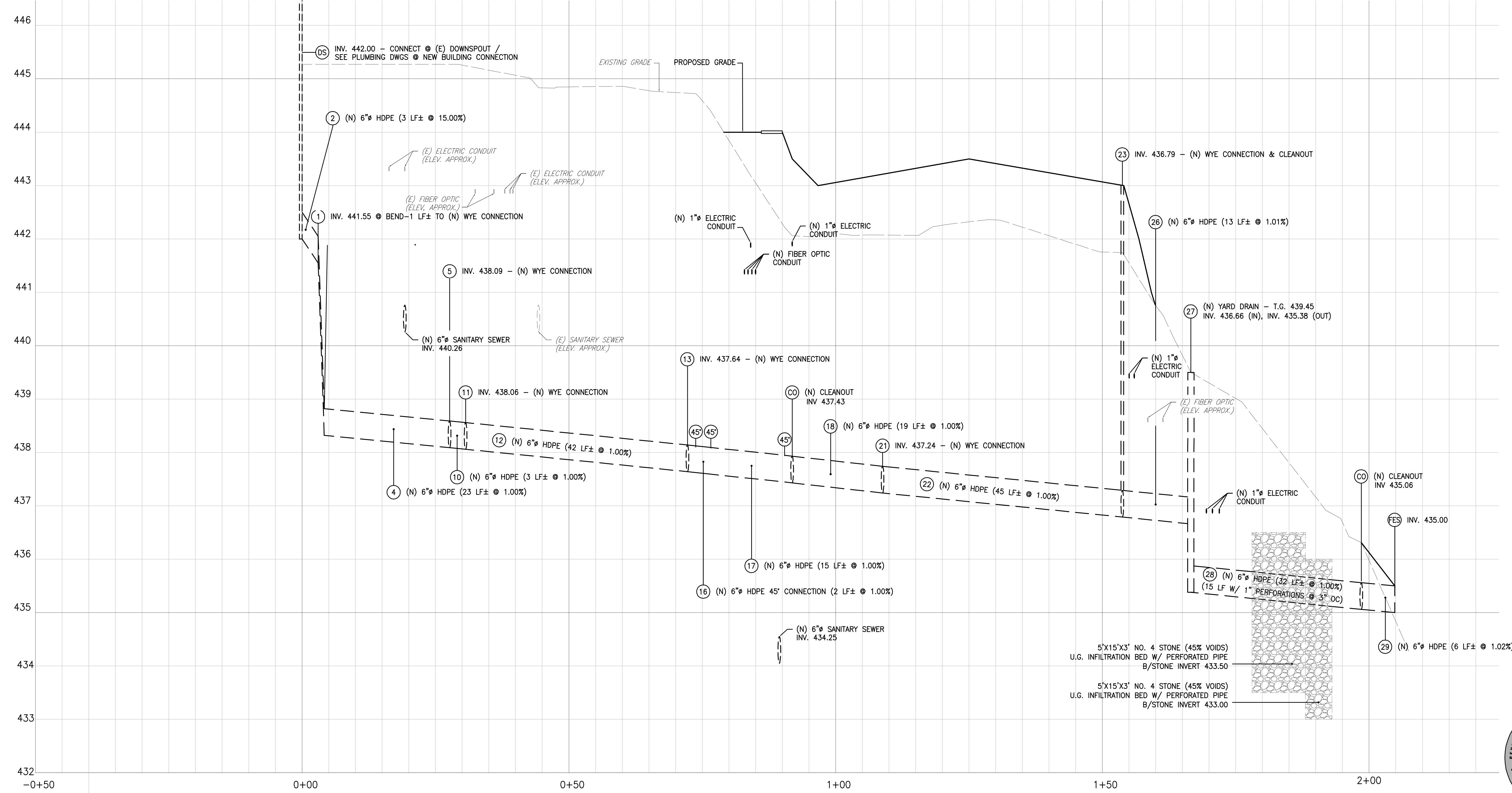


- SITE IMPROVEMENTS LEGEND**
- BUILDING
 - CONCRETE SLAB
 - CONCRETE SIDEWALK
 - UNDERDRAIN
 - U.G. FIBER OPTICS
 - U.G. ELECTRIC
 - U.G. STORM
 - U.G. SANITARY

UTILITY NOTES
 1. SEE SHEET C3.22 FOR UTILITY CONSTRUCTION NOTES AND SPECIFICATIONS.

STORMWATER UTILITY

- DS INV. 442.00 - CONNECT @ (E) DOWNSPOUT / SEE PLUMBING DWGS @ NEW BUILDING CONNECTION
- 1 INV. 441.55 @ BEND-1 LF± @ (N) WYE CONNECTION
- 2 (N) 6" HDPE (3 LF± @ 15.00%)
- 3 INV. 438.32 @ (N) WYE CONNECTION
- 4 (N) 6" HDPE (23 LF± @ 1.00%)
- 5 INV. 438.09 - (N) WYE CONNECTION
- 6 (N) 6" HDPE (3 LF± @ 15.00%)
- 7 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
- 8 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
- 9 (N) 6" HDPE WYE CONNECTION (3 LF± @ 15.00%)
- 10 (N) 6" HDPE (3 LF± @ 1.00%)
- 11 INV. 438.06 - (N) WYE CONNECTION
- 12 (N) 6" HDPE (42 LF± @ 1.00%)
- 13 INV. 437.64 - (N) WYE CONNECTION
- 14 (N) 6" HDPE (3 LF± @ 15.00%)
- 15 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
- 16 (N) 6" HDPE 45° CONNECTION (2 LF± @ 1.00%)
- 17 (N) 6" HDPE (15 LF± @ 1.00%)
- 18 (N) 6" HDPE (19 LF± @ 1.00%)
- 19 INV. 439.23 @ BEND-2 LF± TO (N) WYE CONNECTION
- 20 (N) 6" HDPE (19 LF± @ 14.97%)
- 21 INV. 437.24 - (N) WYE CONNECTION
- 22 (N) 6" HDPE (45 LF± @ 1.00%)
- 23 INV. 436.79 - (N) WYE CONNECTION & CLEANOUT
- 24 INV. 441.23 @ BEND-2 LF± TO (N) WYE CONNECTION
- 25 (N) 6" HDPE (7 LF± @ 14.92%)
- 26 (N) 6" HDPE (13 LF± @ 1.01%)
- 27 (N) YARD DRAIN - T.G. 439.45 INV. 436.66 (IN), INV. 435.38 (OUT)
- 28 (N) 6" HDPE (32 LF± @ 1.00%)
- 29 (N) 6" HDPE (6 LF± @ 1.02%)
- FES INV. 435.00
- CO (N) CLEANOUT
- U.G. INFILTRATION BED - #4 STONE, 45% VOIDS 10'X15'X3'-INV. 433.50 & 5'X15'X3'-INV.433.00 1" PERFORATIONS @ 3" OC, FOR 15 LF



1 STORM SEWER PROFILE
 SCALE: 1" = 10'-0" (HORIZONTAL)
 SCALE: 1" = 1'-0" (VERTICAL)

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 ENGINEER
 PE075273
 DATE: 04-23-2020

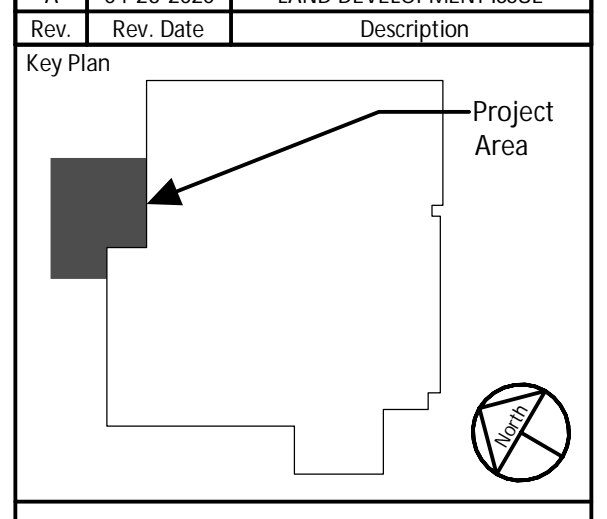
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 A Bergmann Company
 Johnsrud & Associates Architects, LLC
 2700 Interplex Drive, Trevese, PA 19053
 Phone 215-639-4200 www.Johnsrud.com

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 Tel 610-982-0200 Fax 610-982-0208 www.genesiseng.com

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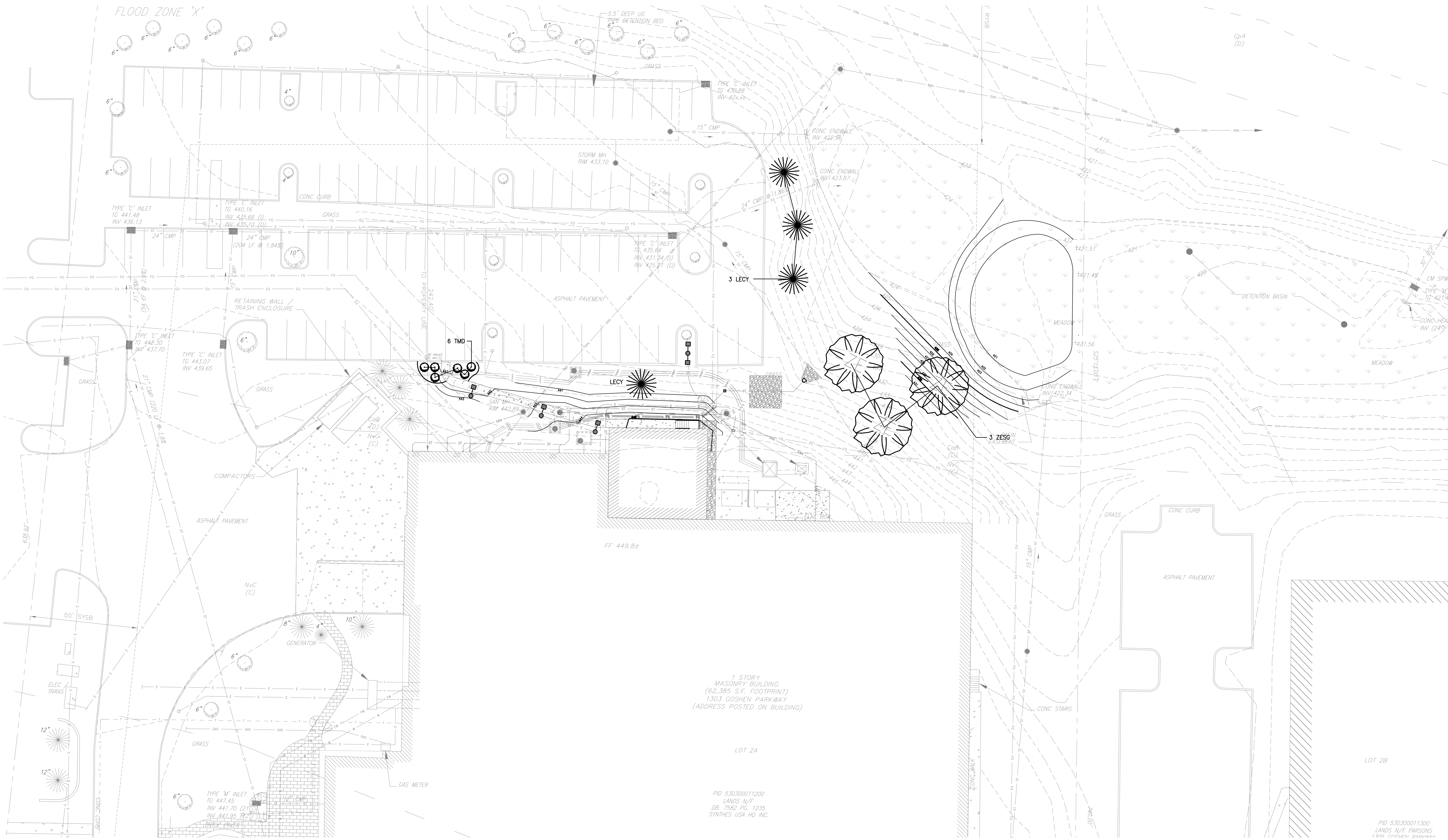
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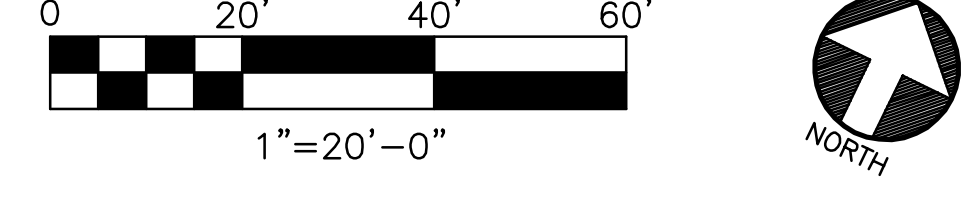
JA Project No. Drawn By: Load Checked By:
 064-WC-02-006 AFH DFC MEH

Drawing Title:
STORM UTILITIES PROFILE

Drawing No.
C4.01



LANDSCAPING PLAN
SCALE: 1" = 20'-0"



- LANDSCAPE LEGEND**
- (E) PINE TREE
 - (N) DECIDUOUS TREE
 - (N) PINE TREE
 - (N) DECIDUOUS SHRUB

GENERAL LANDSCAPING NOTES

1. ALL PLANTS SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS, AND DISEASE, AND SUITABLE FOR PARK USE AND DURABLE UNDER THE MAINTENANCE CONTEMPLATED. NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE FINISHED GRADING OF THE PARK HAS BEEN COMPLETED. ALL MATERIALS, INSTALLATION AND MAINTENANCE PROVISIONS SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERMEN.
2. MAINTAIN PROPER SEPARATION BETWEEN TREES AND UTILITIES. TREES MUST BE PLANTED A MINIMUM DISTANCE OF 3' (THREE FEET) FROM CURBS AND SIDEWALKS, 15' (FIFTEEN FEET) FROM OVERHEAD UTILITIES, AND 6' (SIX FEET) FROM UNDERGROUND UTILITIES.
3. LOCATIONS OF UTILITIES SHOWN ON THE DRAWINGS MIGHT NOT COINCIDE PRECISELY WITH ACTUAL LOCATIONS IN THE FIELD. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO COMMENCING PLANTING OPERATIONS.
4. MAINTENANCE: ALL REQUIRED PLANTINGS, INCLUDING BUT NOT NECESSARILY LIMITED TO BUFFER AND SCREENING PLANTS, STREET TREES, AND PERIMETER LANDSCAPING, SHALL BE PERPETUALLY MAINTAINED. THE OWNER OR OWNER'S LANDSCAPE INSTALLER SHALL BE RESPONSIBLE FOR MAINTAINING PLANTINGS FOR A PERIOD OF EIGHTEEN (18) MONTHS FOLLOWING COMPLETION OF THE IMPROVEMENTS DURING THE MAINTENANCE/GUARANTEE PERIOD. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE AFTER THIS PERIOD HAS EXPIRED.
5. GUARANTEE: ALL PLANTS SHALL BE GUARANTEED FOR EIGHTEEN (18) MONTHS AFTER FINAL PROJECT CLOSEOUT. PLANTS SHALL BE REPLACED DURING THIS PERIOD IF THEY DIE, FAIL TO EXHIBIT TYPICAL GROWTH DURING THE FOLLOWING GROWING SEASON OR BECOME DISFIGURED. THE REPLACEMENT PLANT SHALL MATCH THE ORIGINAL PLANT IN SIZE AND SPECIES. AT THE END OF THE 18 MONTH MAINTENANCE/GUARANTEE PERIOD, ANY MATERIAL THAT, IN THE OPINION OF THE ENGINEER OR OWNER REPRESENTATIVE, IS SIGNIFICANTLY DISFIGURED OR 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE BY THE LANDSCAPE INSTALLER. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR THERE IS 25% OR MORE OF THE CROWN DEAD.
6. ALL TREE WRAP AND STAKING MATERIALS MUST BE REMOVED BY THE CONTRACTOR AT THE CONCLUSION OF THE 18 MONTH MAINTENANCE/GUARANTEE PERIOD.

PLANTING NOTES

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS, AS SPECIFIED, AND IN QUANTITIES INDICATED ON THE PLANT LIST. WHEN A DISCREPANCY ARISES IN QUANTITY, THE ACTUAL NUMBER OF PLANTS SHOWN ON THE DRAWINGS SHALL GOVERN.
2. ALL PLANTS SHALL BE QUALITY NURSERY GROWN MATERIAL COMPLYING WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN AND ANSI Z60.1. THEY SHALL BE FRESHLY DUG AND SUPPLIED TO THE SITE FREE OF HARMFUL INSECTS, DISEASE, DISFIGUREMENT, OR DAMAGE TO ROOT BALLS, BARK, STEMS, OR BRANCHES. THREE PLANTS OF EACH SPECIES SHALL BEAR A LABEL LISTING THE FULL BOTANICAL NAME OF THE PLANT AND SHALL BE CERTIFIED BY THE SUPPLIER TO BE THE SPECIES LABELED.
3. ANY PLANT FOUND TO BE DAMAGED, DISEASED, DISFIGURED, OR IN NON-COMPLIANCE WITH ANSI SPECIFICATIONS, SPECIES, OR QUALITY WILL BE REJECTED AND SHALL BE REMOVED FROM THE SITE.
4. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
5. ALL PLANT MATERIAL SHALL MINIMALLY BE HARDY WITHIN THE USDA HARDNESS ZONE 6B.
6. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OR GROWTH. THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE CERTIFIED BY APPROPRIATE STATE AND FEDERAL AUTHORITIES TO BE FREE OF DISEASE AND INSECT PESTS, EGGS OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS.
7. ALL DIGGING HAZARD: ANY SPECIES LISTED BELOW, IF INCLUDED ON THE PLANT LIST, MUST NOT BE DUG IN THE FALL (OCTOBER THROUGH DECEMBER) BECAUSE OF RISK TO THE TREE'S SURVIVAL. SPECIAL EXCEPTIONS MAY BE GRANTED IF THE OWNER IS NOTIFIED AND AN EXTENDED WARRANTY ON THESE PLANTS IS AGREED UPON PRIOR TO DIGGING. THE FOLLOWING VARIETIES SHOULD NOT BE DUG IN FALL: BETULA, CARRANUS, CELTIS, CERCOIDOPHYLLUM, CRATAEGUS, CRYPTOMERIA, FAGUS, HALESA, LEX (TREE FORM VARIETIES), KOELREUTERIA, LIQUIDAMBAR, LIRODENDRON, NYSSA, OSTRYA, PRUNUS, PYRUS, QUERCUS (EXCEPT QUERCUS PALUSTRIS), SALIX (WEeping VARIETIES), SORBUS, TAXODIUM, TILIA, TOMENTOSA, AND ULMUS. DIGGING FOR WALLS AND ZELKOVA VARIETIES SHOULD BE AVOIDED IN FALL ONLY WHEN IN LEAF. SUBSTITUTIONS: WHEN PLANTS OF A SPECIFIED KIND OR SIZE ARE NOT AVAILABLE WITHIN A 150 MILE RADIUS OF PROJECT SITE, SUBSTITUTIONS MAY BE MADE UPON REQUEST BY THE CONTRACTOR, IF APPROVED BY THE ENGINEER AND OWNER. NOTIFY OWNER IN WRITING WITH ALL SUBSTITUTION REQUESTS TO OBTAIN APPROVALS.
8. SIZE: ALL PLANTS SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE PLANT LIST, UNLESS AUTHORIZED IN WRITING BY THE OWNER.
9. MEASUREMENT: DIMENSIONS OF TREES AND SHRUBS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1, LATEST EDITION.
10. SHADE TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SEVEN (7) FEET ZERONES ABOVE THE GROUND AS GROWN IN THE NURSERY. MAJOR PRUNING OF LOWER BRANCHES MIGHT BE NECESSARY. HOWEVER, TREES WITH DISFIGURED HEADS CAUSED BY THE NEED FOR SIGNIFICANT REMOVAL OF LOWER BRANCHES WILL NOT BE ACCEPTED AND MUST BE REPLACED IMMEDIATELY.
11. TREES IN LEAF, INCLUDING EVERGREENS, WHEN PLANTED SHALL BE TREATED WITH ANTI-DESICCANT (WILT-PROOF OR EQUAL) IF PLANTED DURING THE MONTHS OF JUNE THROUGH SEPTEMBER, NOVEMBER, AND DECEMBER.
12. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH, OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
13. ROOT BALLS OF ALL PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST.
14. PLANTS WITH BROKEN ROOT BALLS OR EXCESSIVE DAMAGE TO THE CROWN, STEM OR HEAD SHALL BE REPLACED PRIOR TO PLANTING. ANY PLANT SIGNIFICANTLY DAMAGED AFTER PLANTING SHALL BE REPLACED PRIOR TO PROJECT CLOSEOUT. THE REPLACEMENT PLANT SHALL MAINTAIN A FULL GUARANTEE FOR THE DURATION SPECIFIED FOR THE PROJECT.
15. ALL PLANT MATERIAL TO BE INSTALLED IN ACCORDANCE WITH THE PLANTING PRACTICES STATED IN CHAPTER 3 OF "TREE MAINTENANCE" BY R.F. PRUNE (LATEST EDITION).
16. TAKE EXTREME CARE IN HANDLING AND INSTALLING ALL PLANTS TO PREVENT DAMAGE TO BARK, BRANCHES, AND ROOT BALLS.
17. PREPARE TREE AND SHRUB PLANTING PITS WITH PROPER SIZE EXCAVATIONS AND BACKFILL DURING PLANTING WITH

18. PREPARED BACKFILL MIXTURE. BACKFILL IN LAYERS, WATER THOROUGHLY TO ALLOW SETTLEMENT AND REMOVE AIR POCKETS.
19. PLANT ROOT BALLS AT THE SAME RELATION TO GRADE AS PREVIOUSLY GROWN AT THE NURSERY. HIGH OR LOW ROOT BALLS SHALL NOT BE ACCEPTED.
20. BACKFILL PLANTING SOIL OF 50% TOPSOIL AND 50% PEAT MOSS SHALL BE MIXED WITH EXISTING SOIL AT A RATE OF 1/3 PLANTING SOIL AND 2/3 EXISTING SOIL.
21. FERTILIZE ALL PLANTS WITH APPROPRIATE STARTER FERTILIZER AT TIME OF PLANTING.
22. ALL PLANTINGS MUST BE THOROUGHLY WATERED WITHIN THE FIRST 12 HOURS OF INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING WATER FOR THIS OPERATION.
23. CONTACT HERBICIDE SPRAYS SHOULD ONLY BE USED AS REQUIRED AND ALL MANUFACTURER'S SPECIFICATIONS FOLLOWED.
24. ALL SHRUBS ARE TO BE MULCHED IN GROUPS, NO SINGULARLY MULCHED SHRUBS WILL BE ACCEPTED, UNLESS A SINGULAR SPECIMAN SHRUB IN LAWN HAS BEEN SHOWN ON THE DRAWINGS. A CONTINUOUS MULCH BED SHALL BE PROVIDED FOR EACH GROUPING OR CLUSTER OF SHRUBS TO THE EXTENT OF THEIR COLLECTIVE BRANCH DRY LINE, UNLESS OTHERWISE SPECIFIED ON THE PLANS.
25. WEED CONTROL: ALL PLANTING AREAS SHALL BE FREE FROM WEEDS PRIOR TO THE BEGINNING OF PLANTING OPERATION. CONTACT HERBICIDE SPRAYS SHOULD ONLY BE USED AS REQUIRED AND ALL MANUFACTURER'S SPECIFICATIONS FOLLOWED.
26. TREES SHALL BE STAKED AND GUYED AS SHOWN ON THE PLANTING DETAILS.
27. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERMEN STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. REMOVE DEAD, DYING OR DAMAGED BRANCHES, WEAK CROTCHES, AND POTENTIAL DOUBLE LEADERS BY REMOVING WHOLE BRANCH SECTIONS BACK TO A BRANCH UNION USING PROPER HORTICULTURAL PRACTICES. DO NOT TIP-OR STUB-OUT BRANCHES. THE FORM OF THE PLANT SHALL REMAIN TYPICAL OF ITS SPECIES. PRUNING OF THE CENTRAL LEADER, SHEARING, OR END-CUTTING OF BRANCHES SHALL RENDER THE PLANT "DISFIGURED" AND IT SHALL BE REJECTED.
28. ALL PLANTING SHALL BE AT THE LOCATIONS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADES, ALIGNMENT, AND TO THE INDICATED LAYOUT OF THE PLANTING BEDS.
29. LAYOUT OF PLANTING: THE CONTRACTOR SHALL LAY OUT WITH IDENTIFIABLE STAKES THE LOCATION OF ALL PLANTING BEDS AS INDICATED ON DRAWINGS. THE LAYOUT OF PLANTINGS SHALL BE APPROVED BY THE OWNER OR OWNER REPRESENTATIVE PRIOR TO ANY EXCAVATION OF PLANT PITS OR PLANTING BEDS.
30. MINOR ADJUSTMENTS TO TREE LOCATIONS MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR SHALL NOTIFY THE OWNER IF MAJOR ADJUSTMENTS ARE REQUIRED.
31. CONDITIONS DETRIMENTAL TO PLANTS: THE CONTRACTOR SHALL NOTIFY THE PROJECT REPRESENTATIVE IN WRITING OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS. THE CONTRACTOR SHALL STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS, INCLUDING ANY CHANGE IN COST, FOR REVIEW AND ACCEPTANCE BY THE PROJECT REPRESENTATIVE.
32. ALL PLANTING BEDS SHALL BE DELINEATED BY THE INSTALLATION OF A DURABLE EDGING AND SHALL BE INSTALLED FLUSH WITH THE FINISHED GRADE.
33. ALL LAWN AREAS DISTURBED BY CONSTRUCTION, WHETHER OR NOT OTHERWISE NOTED, ARE TO BE PREPARED AND SEEDED AS PER THE SEEDING NOTES.
34. VEHICLES SHALL NOT TRAVEL ON TOPSOIL.
35. ALL DECIDUOUS TREES SHALL BE AT A MINIMUM 1 1/2" CALIPER UNLESS OTHERWISE NOTED.
36. ALL EVERGREEN TREES SHALL HAVE AT LEAST SIX FEET PLANTED HEIGHT, UNLESS OTHERWISE NOTED.
37. ALL SHRUBS SHALL HAVE AT LEAST TWO FOOT PLANTED HEIGHT OR DIAMETER - WHICHEVER IS GREATER, UNLESS OTHERWISE NOTED.
38. ALL TREES AND SHRUBS SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED.
39. ALL TREES SHALL BE STAKED AND PROTECTED FROM ANIMALS AND PESTS, UNLESS OTHERWISE NOTED.

LANDSCAPE PLANTING SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	QTY.
SHADE TREES						
(N)	ZELKOVA SERRATA	JAPANESE ZELKOVA	3"-3.5" DBH	BALLED & BURLAPPED	SEE PLAN	3
(N)	X CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	3"-3.5" DBH	BALLED & BURLAPPED	SEE PLAN	4
SHRUBS						
(N)	TAXUS X MEDIA DENSIFORMIS	ANGLO-JAPANESE YEW	36" - 48" HT	BALLED & BURLAPPED	SEE PLAN	6

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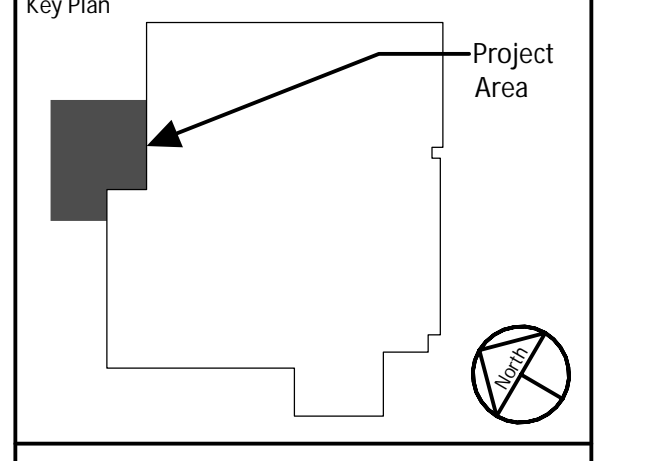
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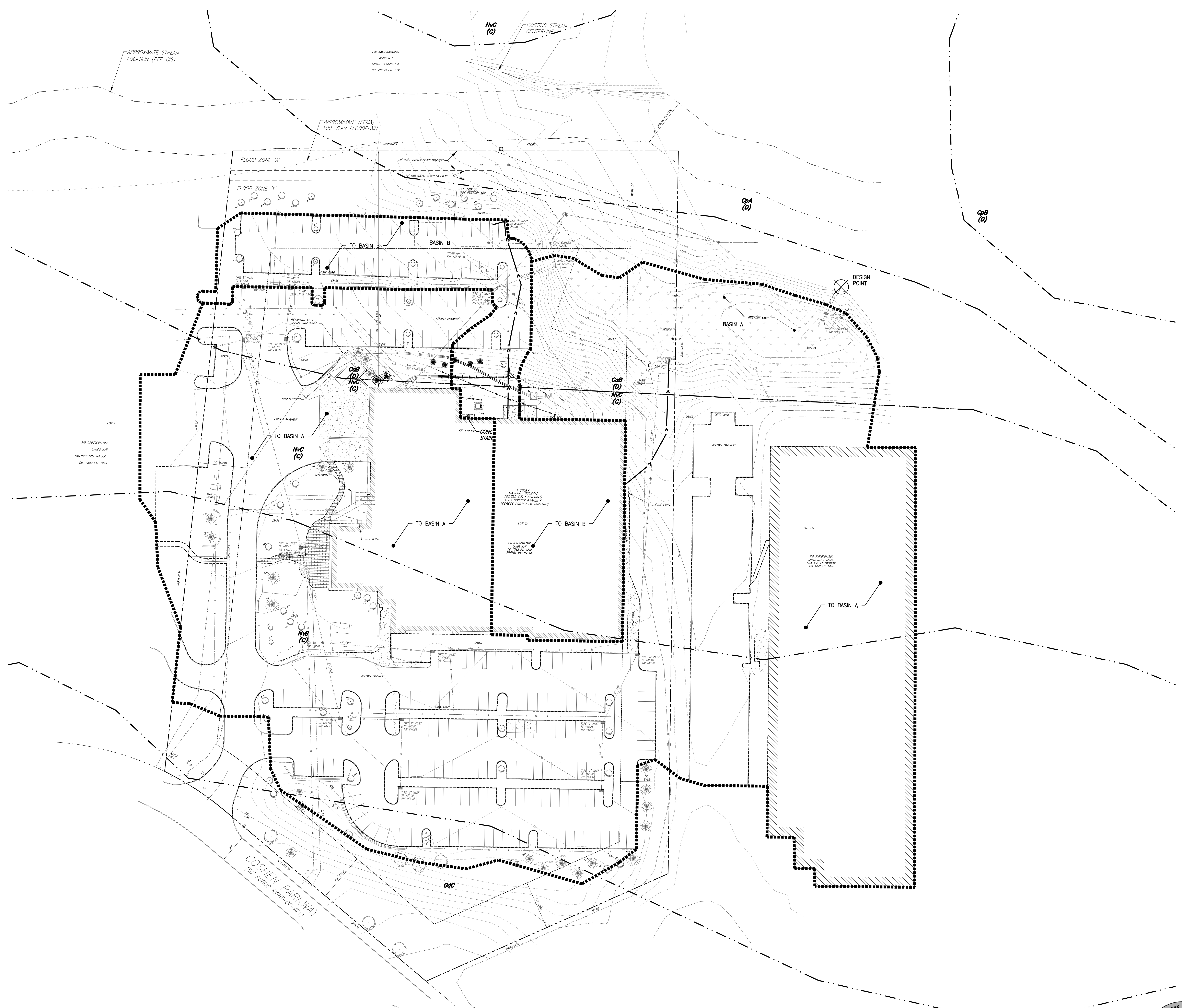
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FINISHING PLANT EXPANSION

Project Title
LANDSCAPING PLAN

Drawing Title
C5.01

Drawing No.
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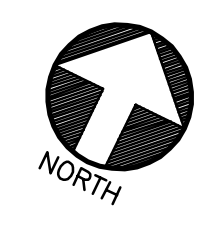
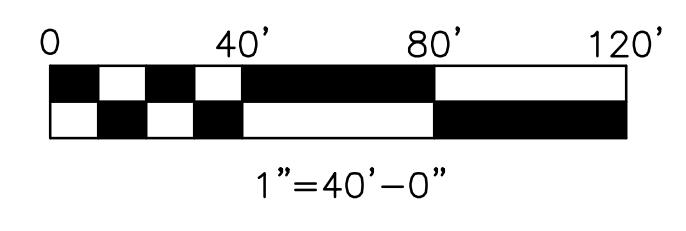


- EXISTING FEATURES LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - SETBACK LINE
 - EASEMENT LINE
 - FLOODPLAIN LINE
 - BUILDING
 - RETAINING WALL
 - CURB
 - DEPRESSED CURB
 - CONCRETE PAD
 - CONCRETE WALK
 - RIPRAP
 - PAVEMENT
 - CHAIN LINK FENCE
 - LIGHT POLE
 - FIRE HYDRANT
 - UG ELECTRIC
 - UG GAS
 - UG STORM
 - UG SANITARY
 - UG TELECOMM
 - UG WATER
 - UG SWM

- NEW WORK LEGEND**
- CONCRETE WALK
 - CONC PAD
 - TOTAL IMPERVIOUS COVER

DRAINAGE AREA	AREA (SF)	TIME OF CONCENTRATION
BASIN A	378,132	5 MINUTES
BASIN B	61,981	5 MINUTES

A PRE-DEVELOPMENT DRAINAGE PLAN
 SCALE: 1" = 40'-0"



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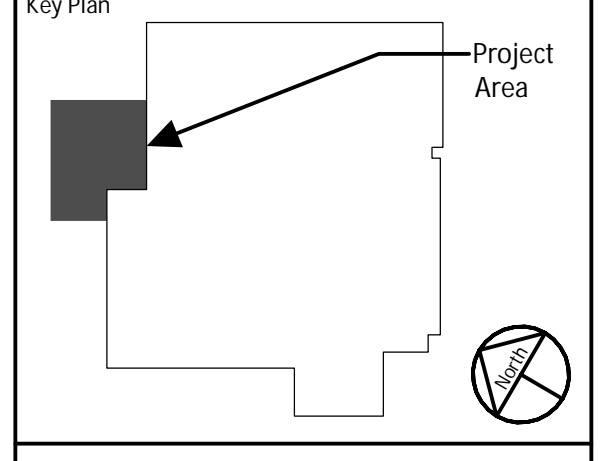
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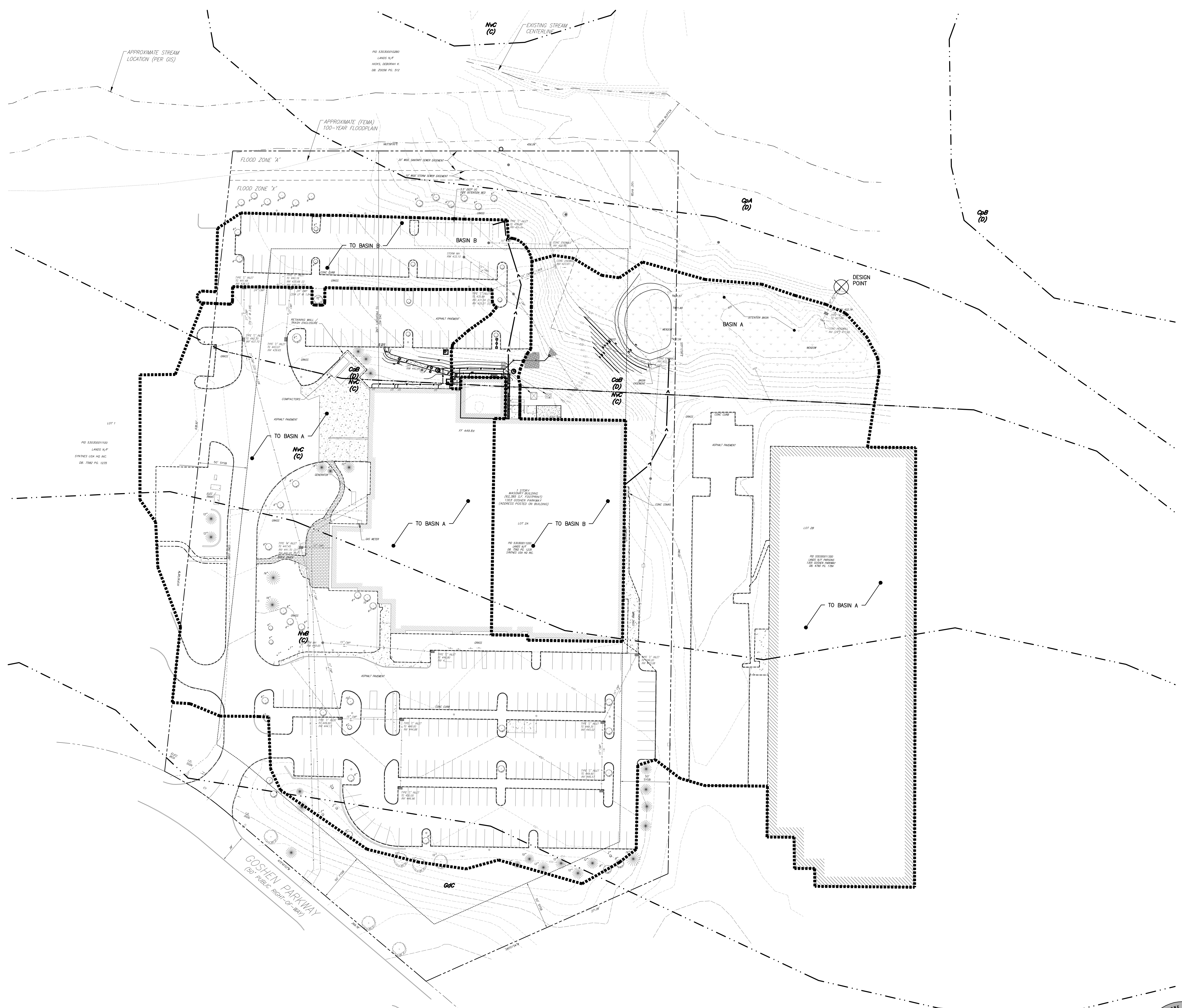
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Drawing Title:
PRE-DEVELOPMENT DRAINAGE PLAN

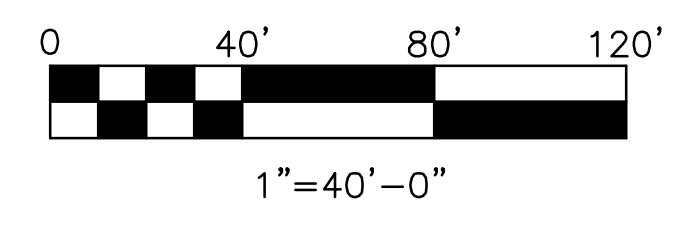
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 - SETBACK LINE
 - EASEMENT LINE
 - FLOODPLAIN LINE
 - BUILDING
 - RETAINING WALL
 - CURB
 - DEPRESSED CURB
 - CONCRETE PAD
 - CONCRETE WALK
 - RIPRAP
 - PAVEMENT
 - CHAIN LINK FENCE
 - LIGHT POLE
 - FIRE HYDRANT
 - UG ELECTRIC
 - UG GAS
 - UG STORM
 - UG SANITARY
 - UG TELECOMM
 - UG WATER
 - UG SWM
- NEW WORK LEGEND**
- CONCRETE WALK
 - CONC PAD
 - TOTAL IMPERVIOUS COVER

DRAINAGE AREA	AREA (SF)	TIME OF CONCENTRATION
BASIN A	38,046	5 MINUTES
BASIN B	60,067	5 MINUTES

A POST-DEVELOPMENT DRAINAGE PLAN
 SCALE: 1" = 40'-0"



Professional Seal
 REGISTERED PROFESSIONAL ENGINEER
 COMMONWEALTH OF PENNSYLVANIA
 PE075273
 DAVID F. CITRO
 ENGINEER
 PE075273
 DATE: 04-23-2020

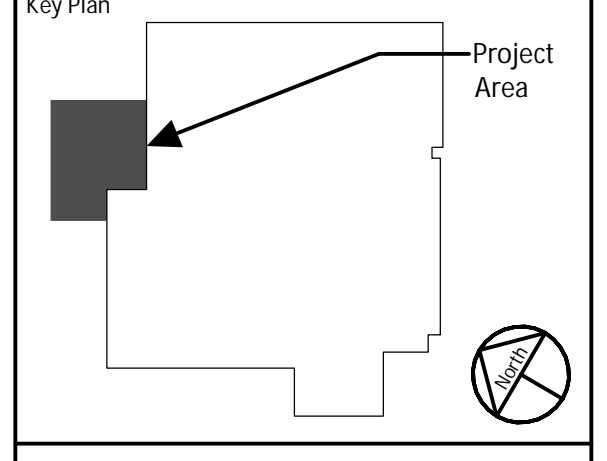
JOHNSRUD ARCHITECTS
 A Bergmann Company
 Johnsrud & Associates Architects, LLC
 2700 Interplex Drive, Trevese, PA 19053
 Phone 215-639-4200 ■ www.johnsrud.com

GENESIS ENGINEERS
 One Sandy Parkway Suite 100 Blue Bell, Pennsylvania 19422
 Tel: 610-382-0200 Fax: 610-382-0208 www.genesiseng.com

Mainstay ENGINEERING GROUP, INC.
 CIVIL & STRUCTURAL ENGINEERS
 1750 WALTON ROAD, BLUE BELL, PA 19422
 610-644-8800
 MEG PROJECT NO. 19360

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Rev.	Rev. Date	Description
B	04-23-2020	LAND DEVELOPMENT ISSUE
A	03-31-2020	ISSUE FOR OWNER REVIEW



JABIL
 1303 Goshen Parkway
 West Chester, PA 19380

Project Title:
FINISHING PLANT EXPANSION

JA Project No. Drawn By: Load Checked By:
 064-WC-02-006 AFH DFC MEH

Drawing Title:
POST DEVELOPMENT DRAINAGE PLAN

Drawing No.
C6.02

RESPONSIBLE PARTY FOR THE OPERATIONS AND MAINTENANCE PROGRAM.
 NAME: SYNTHES USA HQ INC
 PHONE: 610-662-7784 (TODD MCVOY)
 1302 WRIGHTS LANE E
 WEST CHESTER, PA 19380

LAND OWNER, ITS SUCCESSORS OR ASSIGNS, WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER FACILITIES OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, INCLUSIVE OF THE UNDERGROUND STORMWATER FACILITIES. THE STORMWATER FACILITIES ARE PERMANENT STRUCTURES AND SHALL NOT BE REMOVED OR ALTERED. THE OWNER, ITS SUCCESSORS OR ASSIGNS, SHALL HAVE THE RESPONSIBILITY FOR THE PERPETUAL MAINTENANCE OF THE STORMWATER FACILITIES WHICH ARE LOCATED THEREIN. NO CHANGES SHALL BE MADE TO THE STRUCTURES, PIPES OR FINISH GRADING WITHOUT PRIOR WRITTEN APPROVAL FROM THE TOWNSHIP. THE TOWNSHIP HAS THE RIGHT TO ENTER ALL STORMWATER FACILITY AREAS AND ONTO THE LANDS IN WHICH THEY ARE SITUATE TO PERFORM ANY REQUIRED MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED OR CARRIED OUT IN A TIMELY MANNER. THE OWNER, ITS SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP. THE TOWNSHIP SHALL LIEN THE PROPERTY FOR SAID COSTS UNTIL THE TOWNSHIP HAS BEEN REIMBURSED. THE OPEN SPACE AREAS SHALL BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION. FUTURE DEVELOPMENT OF THE OPEN SPACE SHALL BE PROHIBITED.

PCSM FINAL CERTIFICATION
 THE PERMITEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHOSE NAME IS AS FOLLOWS:
 I, (NAME), ON THIS DATE (DATE OF SIGNATURE), HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE EAST GOSHEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE (ORDINANCE NO. _____).

- THE PERMITEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.
- THE PERMITEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS.

PCSM NOTICE OF TERMINATION
 UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER CHAPTER 102.22(A)(2) (RELATING TO PERMANENT STABILIZATION) AND INSTALLATION OF BMPS IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH CHAPTERS 102.4 AND 102.8 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS), THE PERMITEE OR CO-PERMITEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT.

- THE NOTICE OF TERMINATION MUST INCLUDE:**
- THE FACILITY NAME, ADDRESS, AND LOCATION
 - THE OPERATOR NAME AND ADDRESS
 - THE PERMIT NUMBER
 - THE REASON FOR PERMIT TERMINATION
 - IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATIONS AND MAINTENANCE OF THE PCSM BMPS IN ACCORDANCE WITH CHAPTER 102.8(M) AND PROOF OF COMPLIANCE WITH CHAPTER 102.8(M)(2).

PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION.

- PCSM NOTES**
- POST CONSTRUCTION RUNOFF FROM THE PROPOSED IMPROVEMENTS WILL BE ROUED THROUGH BMPS REDUCING VOLUME AND PEAK RATES FOR THE OVERALL SITE. BY REDUCING PEAK RATES AND RUNOFF VOLUMES THE PROJECT PRESERVES THE INTEGRITY OF THE RECEIVING WATERWAYS.
 - POST CONSTRUCTION RUNOFF AND PEAK RATES WILL BE REDUCED TO LESS THAN THE PRE-CONSTRUCTION RUNOFF VOLUMES AND RATES, RESPECTIVELY FOR THE OVERALL SITE THROUGH THE USE OF INFILTRATION BASINS.
 - SOIL COMPACTION WILL BE MINIMIZED TO THE EXTENT PRACTICAL.
 - ALL BUILDING MATERIALS AND PCSM WASTES (SEDIMENT, ETC) SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED IN ACCORDANCE WITH PADEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 280.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNSUED MATERIALS SHALL BE BURIED, BURNED, DUMPED, OR DISCHARGED AT THE SITE.
 - ALL STORM SEWER JOINTS AND PIPE PENETRATIONS INTO BMP FACILITIES SHALL BE WATERTIGHT.

PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS
 THE LANDOWNER SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS. THE OWNER SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ENSURE DISCLOSURE OF THE BMPS, AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM BMPS, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION FOR BMPS, AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF BMPS IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEEES.

THE LANDOWNER MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING A CONSERVATION DISTRICT, NON-PROFIT ORGANIZATION MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION, OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSM BMPS OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE TOWNSHIP.

OPERATIONS AND MAINTENANCE NOTES UNDERGROUND DETENTION SYSTEMS

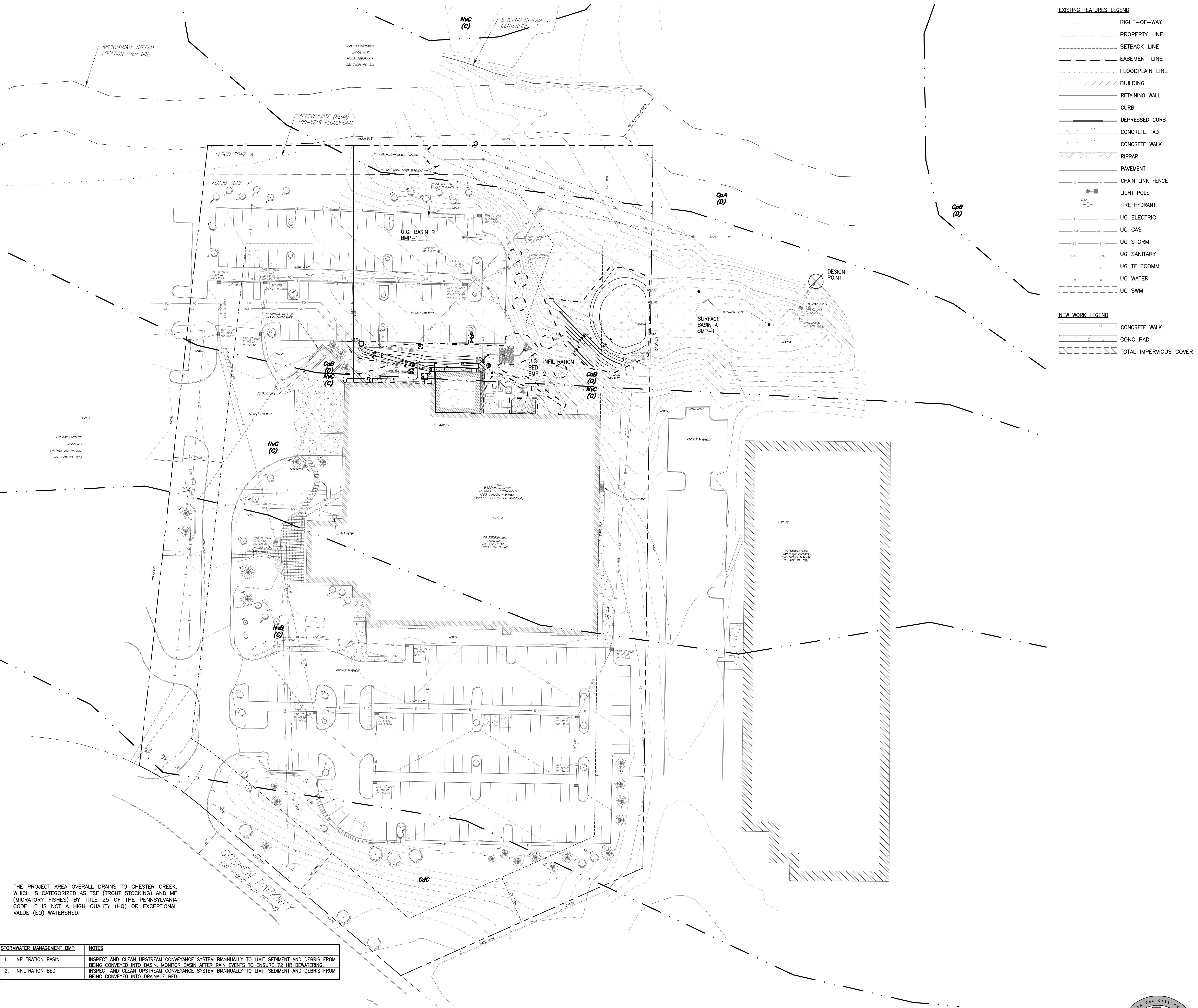
- PRECAUTIONS:**
- PRIOR TO & DURING CONSTRUCTION - SILTATION PREVENTION OF THE STORMWATER SYSTEM.**
 - CONFORM TO ALL LOCAL, STATE AND FEDERAL REGULATIONS FOR SEDIMENT AND EROSION CONTROL DURING CONSTRUCTION.
 - INSTALL SITE EROSION AND SEDIMENT BMP'S (BEST MANAGEMENT PRACTICES) REQUIRED TO PREVENT SILTATION OF THE STORMWATER SYSTEM.
 - INSPECT AND MAINTAIN EROSION AND SEDIMENT BMP'S DURING CONSTRUCTION.
 - POST CONSTRUCTION - PRIOR TO COMMISSIONING THE SYSTEM.**
 - REMOVE AND PROPERLY DISPOSE OF CONSTRUCTION EROSION AND SEDIMENT BMP'S PER ALL LOCAL, STATE AND FEDERAL REGULATIONS. CARE SHOULD BE TAKEN DURING REMOVAL OF THE BMP'S AS NOT TO ALLOW COLLECTED SEDIMENT OR DEBRIS INTO THE STORMWATER SYSTEM.
 - FLUSH THE SYSTEM TO REMOVE ANY SEDIMENT OR CONSTRUCTION DEBRIS IMMEDIATELY AFTER REMOVAL OF BMP'S. FOLLOW THE MAINTENANCE PROCEDURE OUTLINED.

INSPECTIONS:
 FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS REGARDING STORMWATER BMP INSPECTION REQUIREMENTS.

- FREQUENCY**
 - DURING THE FIRST SERVICE YEAR A VISUAL INSPECTION SHOULD BE COMPLETED DURING AND AFTER EACH MAJOR RAINFALL EVENT, IN ADDITION TO SEMI-ANNUALLY TO ESTABLISH A PATTERN OF SEDIMENT AND DEBRIS BUILDUP.
 - BASINS MUST BE INSPECTED IMMEDIATELY AFTER 10 YEAR FREQUENCY STORM
 - EACH STORMWATER SYSTEM IS UNIQUE AND MULTIPLE CRITERIA CAN AFFECT MAINTENANCE FREQUENCY SUCH AS:
 - SYSTEM DESIGN: PRE-TREATMENT/NO-PRE-TREATMENT, INLET PROTECTION, STAND ALONE DEVICE.
 - SURFACE AREA COLLECTING FROM: HARDCAPE, GRAVEL, SOIL.
 - ADJACENT AREA: SOIL RUNOFF, GRAVEL, TRASH.
 - SEASONAL CHANGES: FALL-LEAVES, WINTER-SALT/CINDERS.
 - SECOND YEAR PLUS; ESTABLISH AN ANNUAL INSPECTION FREQUENCY BASED ON THE INFORMATION COLLECTED DURING THE FIRST YEAR. AT A MINIMUM AN INSPECTION SHOULD BE PERFORMED SEMI-ANNUALLY.
 - SEASONAL CHANGE; REGIONAL AREAS AFFECTED BY SEASONAL CHANGE (SPRING, SUMMER, FALL, WINTERS) MAY REQUIRE ADDITIONAL INSPECTIONS AT THE CHANGE OF SEASONS IN ADDITION TO SEMI-ANNUALLY.
- INSPECT:**
 - INSPECTION PORTS.
 - INFLOW AND OUTFLOW POINTS INCLUDING THE INLET/MANHOLE AND PIPES.
 - DISCHARGE AREA.
- IDENTIFY AND REPORT MAINTENANCE REQUIRED:**
 - SEDIMENT AND DEBRIS ACCUMULATION.
 - SYSTEM BACKING UP.
 - FLOW RATE CHANGE.

MAINTENANCE PROCEDURES:

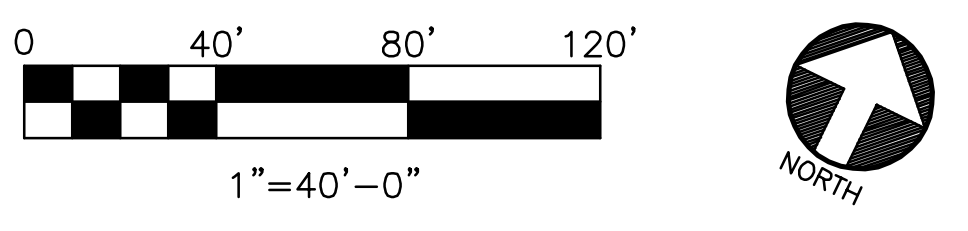
- CONFORM TO ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- DETERMINE IF MAINTENANCE IS REQUIRED. IF A PRE-TREATMENT DEVICE IS INSTALLED, FOLLOW MANUFACTURER RECOMMENDATIONS.
- USING A VACUUM PUMP TRUCK EVACUATE DEBRIS FROM THE INFLOW AND OUTFLOW POINTS.
- FLUSH THE SYSTEM WITH CLEAN WATER FORCING DEBRIS FROM THE SYSTEM. TAKE CARE TO AVOID EXTREME DIRECT WATER PRESSURE WHEN FLUSHING THE SYSTEM.
- REPEAT STEPS 3 AND 4 UNTIL NO DEBRIS IS EVIDENT.



THE PROJECT AREA OVERALL DRAINS TO CHESTER CREEK, WHICH IS CATEGORIZED AS TSP (TROUT STOCKING) AND WF (MIGRATORY FISHES) BY TITLE 25 OF THE PENNSYLVANIA CODE. IT IS NOT A HIGH QUALITY (HQ) OR EXCEPTIONAL VALUE (EQ) WATERSHED.

STORMWATER MANAGEMENT BMP	NOTES
1. INFILTRATION BASIN	INSPECT AND CLEAN UPSTREAM CONVEYANCE SYSTEM BIANNIALLY TO LIMIT SEDIMENT AND DEBRIS FROM BEING CONVEYED INTO BASIN. MONITOR BASIN AFTER RAIN EVENTS TO ENSURE 72 HR DEWATERING
2. INFILTRATION BED	INSPECT AND CLEAN UPSTREAM CONVEYANCE SYSTEM BIANNIALLY TO LIMIT SEDIMENT AND DEBRIS FROM BEING CONVEYED INTO DRAINAGE BED.

A STORMWATER MANAGEMENT PLAN
 C6.03 SCALE: 1" = 40'-0"



SOILS SUMMARY - 100% OF AREA OF INTEREST

SYMBOL	SOIL NAME	DEPTH TO WEATHERED ROCK (IN)	DEPTH TO WATER (IN)	HYDRIC SOIL	SURFACE RUNOFF	HYDROLOGIC SOIL GROUP
CbB	CALIFON LOAM, 3-8% SLOPES	>20	>6	NO	HIGH	D
CpA	COKEBURY SILT LOAM, 0-3% SLOPES	>20	>0	YES	HIGH	C/D
GdC	GLADSTONE GRAVELLY LOAM, 8-15% SLOPES	>65	>80	NO	N/A	B
NvB	NESHAMINY SILT LOAM, 3-8% SLOPES	>60	>80	NO	LOW	C
NvC	NESHAMINY SILT LOAM, 8-15% SLOPES	>60	>80	NO	MED	C

- EXISTING FEATURES LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - SETBACK LINE
 - EASEMENT LINE
 - FLOODPLAIN LINE
 - BUILDING
 - RETAINING WALL
 - CURB
 - DEPRESSED CURB
 - CONCRETE PAD
 - CONCRETE WALK
 - RIPRAP
 - PAVEMENT
 - CHAIN LINK FENCE
 - LIGHT POLE
 - FIRE HYDRANT
 - UG ELECTRIC
 - UG GAS
 - UG STORM
 - UG SANITARY
 - UG TELECOMM
 - UG WATER
 - UG SWM
- NEW WORK LEGEND**
- CONCRETE WALK
 - CONC PAD
 - TOTAL IMPERVIOUS COVER

Professional Seal: DAVID F. CITRO, REGISTERED PROFESSIONAL ENGINEER, COMMONWEALTH OF PENNSYLVANIA, PE075273

DATE: 04-23-2020

JOHNSRUD ARCHITECTS
 A Bergmann Company
 Johnsруд & Associates Architects, LLC
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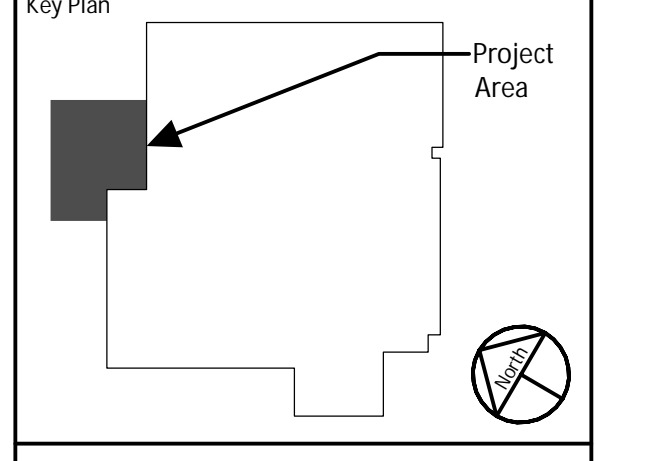
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 One Energy Park Drive, 100 Blue Bell, Pennsylvania 19062
 610-912-2202 / 610-912-2208 ■ www.genesiseng.com

Mainstay ENGINEERING GROUP, INC.
 CIVIL & STRUCTURAL ENGINEERS
 1750 WALTON ROAD, BLUE BELL, PA 19422
 610-662-0900

MEG PROJECT NO. 19360

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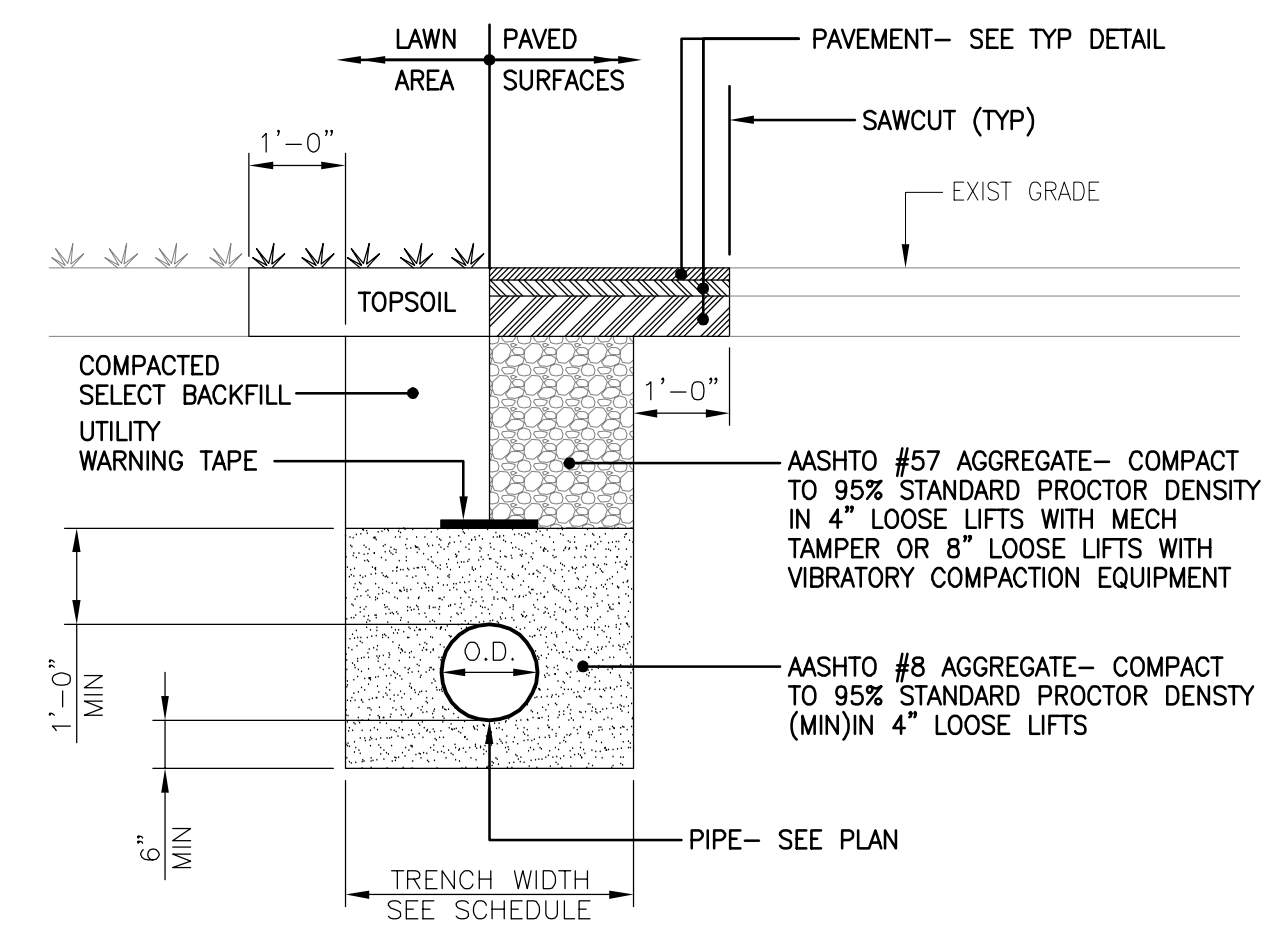
Project Title:
FINISHING PLANT EXPANSION

JA Project No. Drawn By: Load Checked By:
 064-WC-02-006 AFH DFC MEH

Drawing Title:
STORMWATER MANAGEMENT PLAN

Drawing No.
C6.03

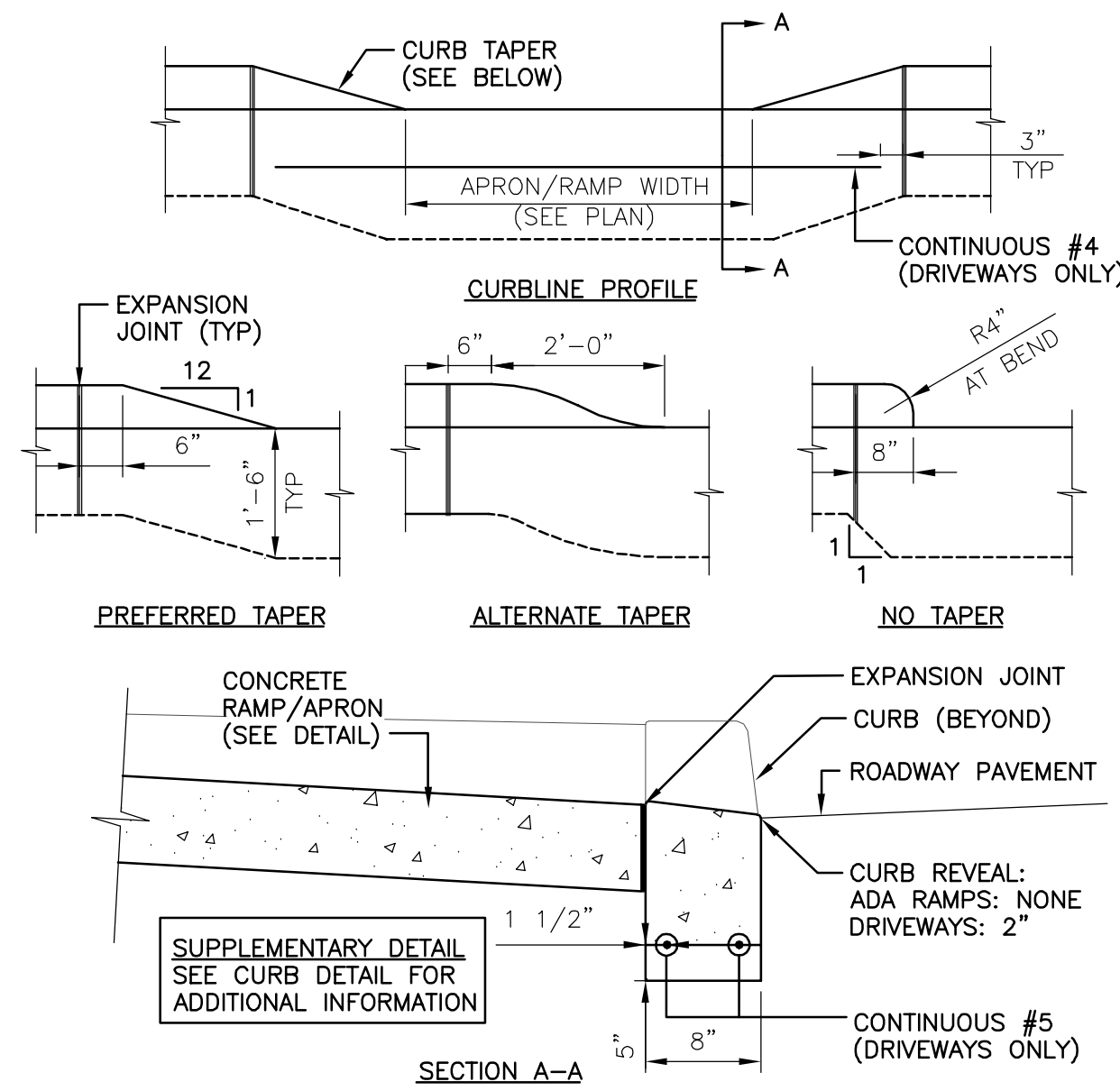
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- NOTES:
- EXPOSED VERTICAL AND HORIZONTAL SURFACES, IN PAVED AREAS, SHALL BE PREPARED AS PER STATE DOT SPECIFICATIONS.
 - LAWN AREAS SHALL BE SEEDED IN ACCORDANCE WITH THE GENERAL NOTES.
 - GRADE BOTTOM OF PIPE TRENCH, AND NOTCH UNDER PIPE BELL, PROVIDE SOLID BEARING FOR ENTIRE BODY OF PIPE.

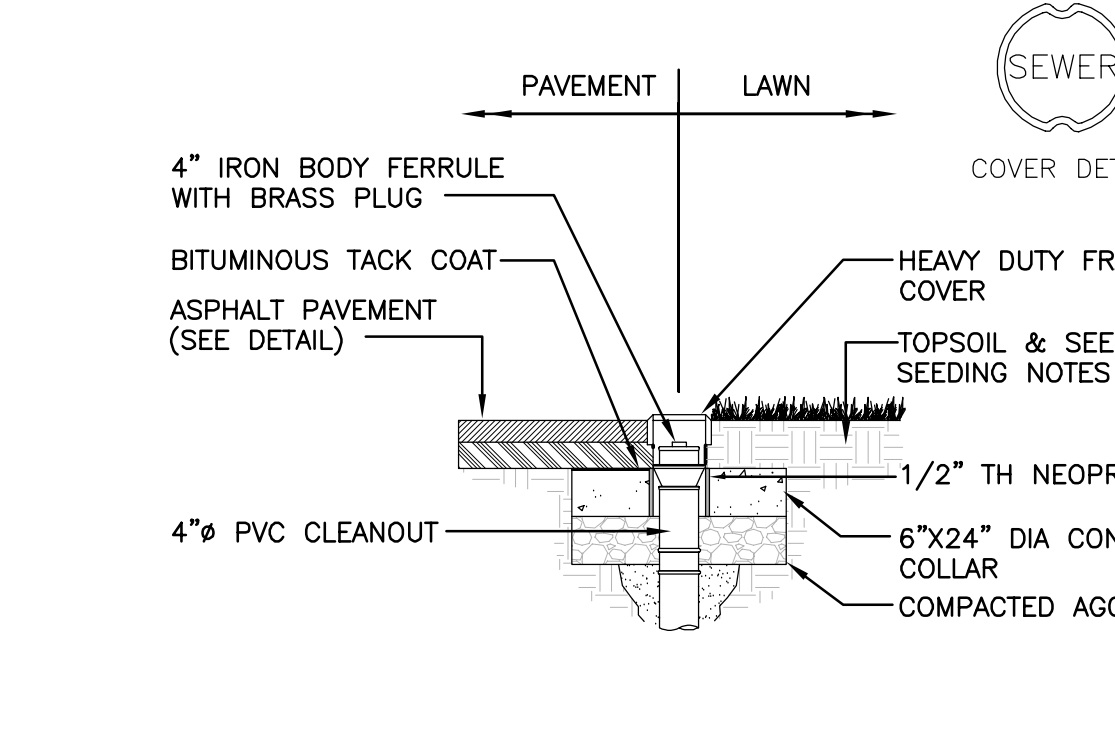
TRENCH WIDTH SCHEDULE												
NPS	3"	4"	6"	8"	10"	12"	18"	20"	24"	30"	36"	48"
WIDTH	3'-4"	3'-4"	3'-8"	3'-8"	4'-0"	4'-0"	4'-8"	4'-8"	5'-4"	5'-8"	6'-2"	7'-2"

1 TYPICAL DETAIL TRENCH RESTORATION
SCALE: NTS

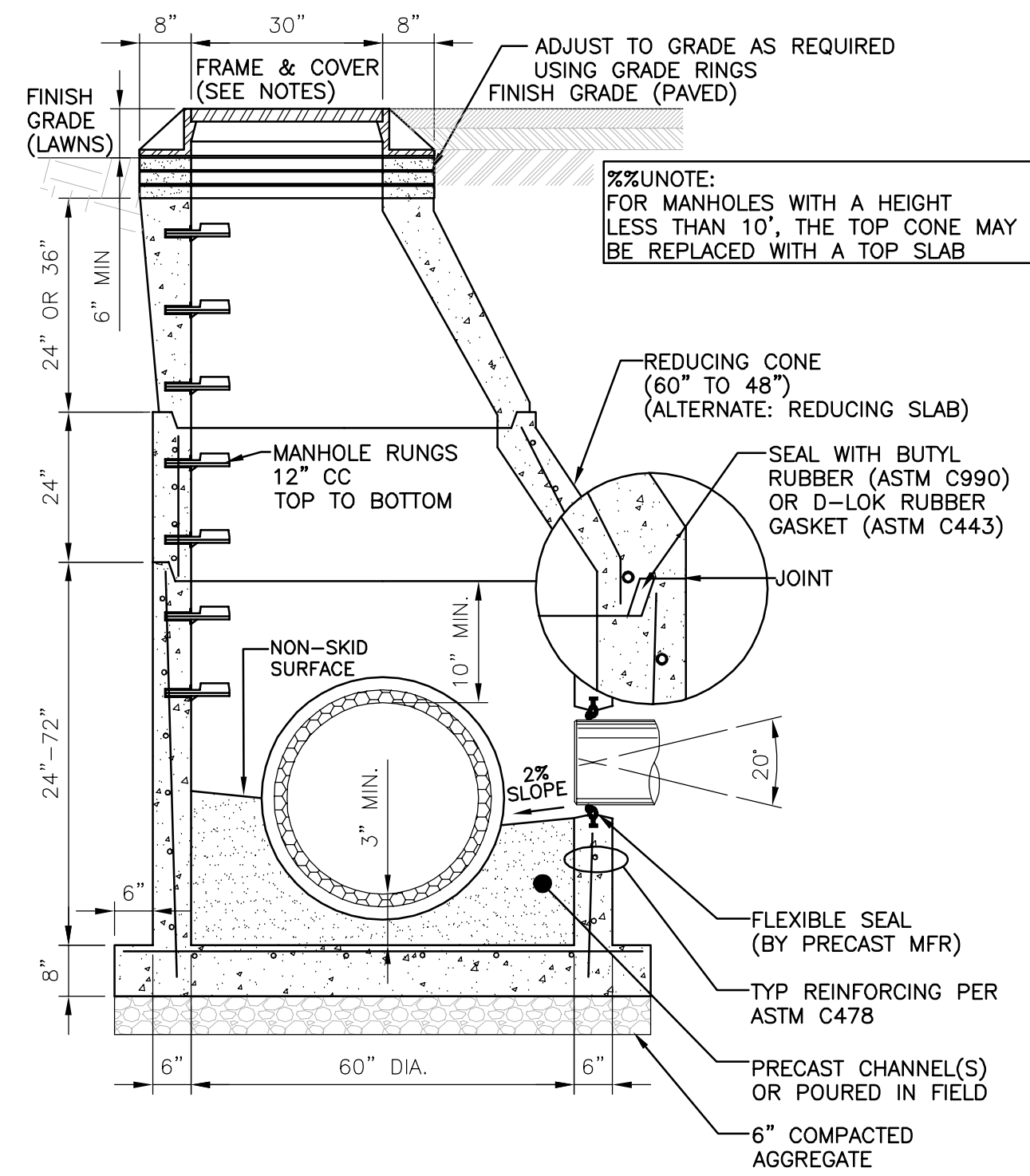


2 TYPICAL DETAIL DEPRESSED CURB
SCALE: NTS

- NOTES:
- SDR-35 PVC SEWER PIPE AND FITTINGS IN CONFORMANCE WITH ASTM D3034.
 - VALVE BOX TO BE RATED FOR H-20 LOADING AND INCLUDE ADJUSTABLE RISER.
 - TOP OF VALVE BOX TO BE FLUSH WITH FINISH GRADE.
 - 1/2" NEOPRENE FOAM TO BE WRAPPED AROUND PVC RISER PRIOR TO PLACEMENT OF CONCRETE.

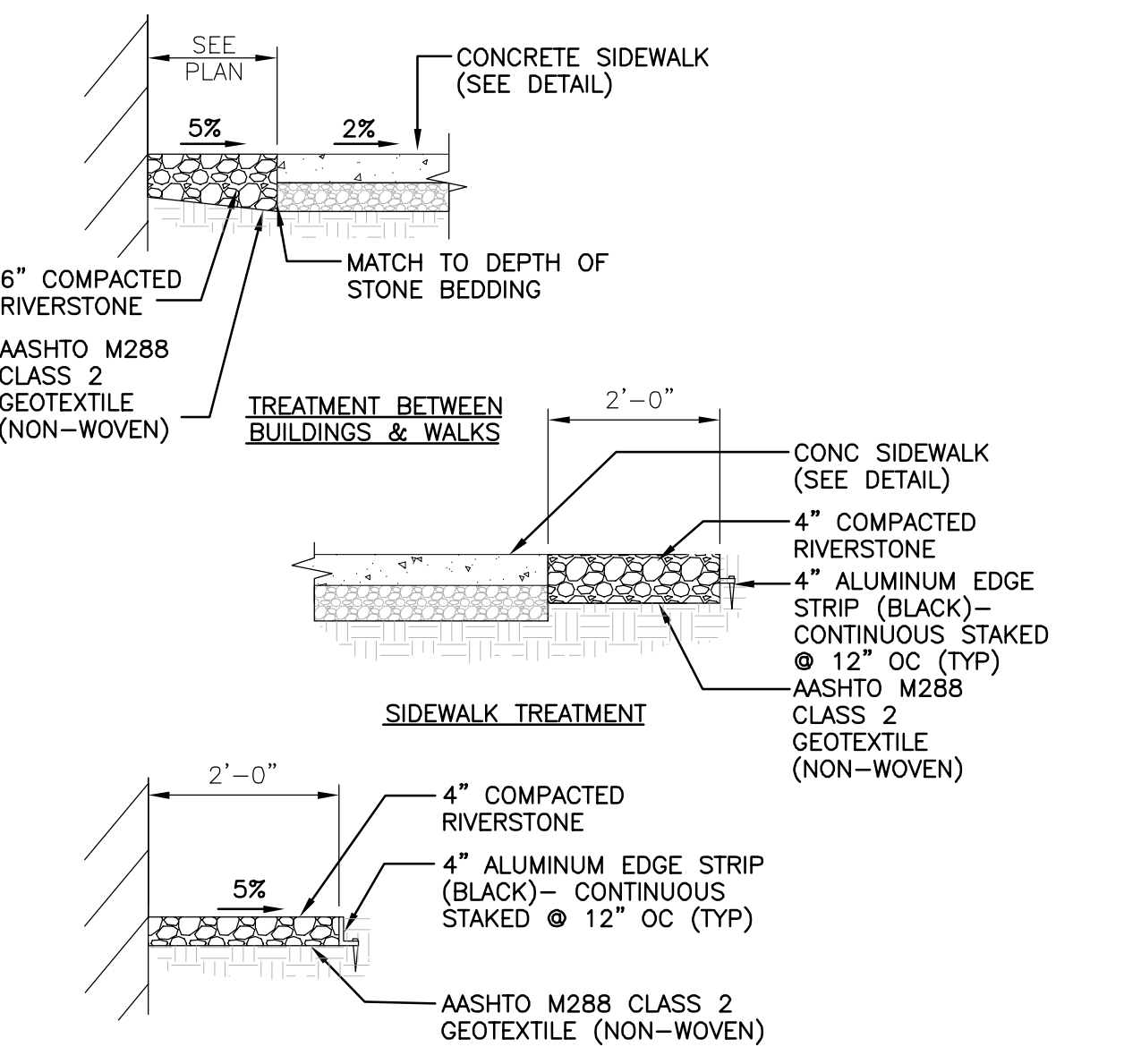


3 TYPICAL DETAIL CLEANOUT
SCALE: NTS

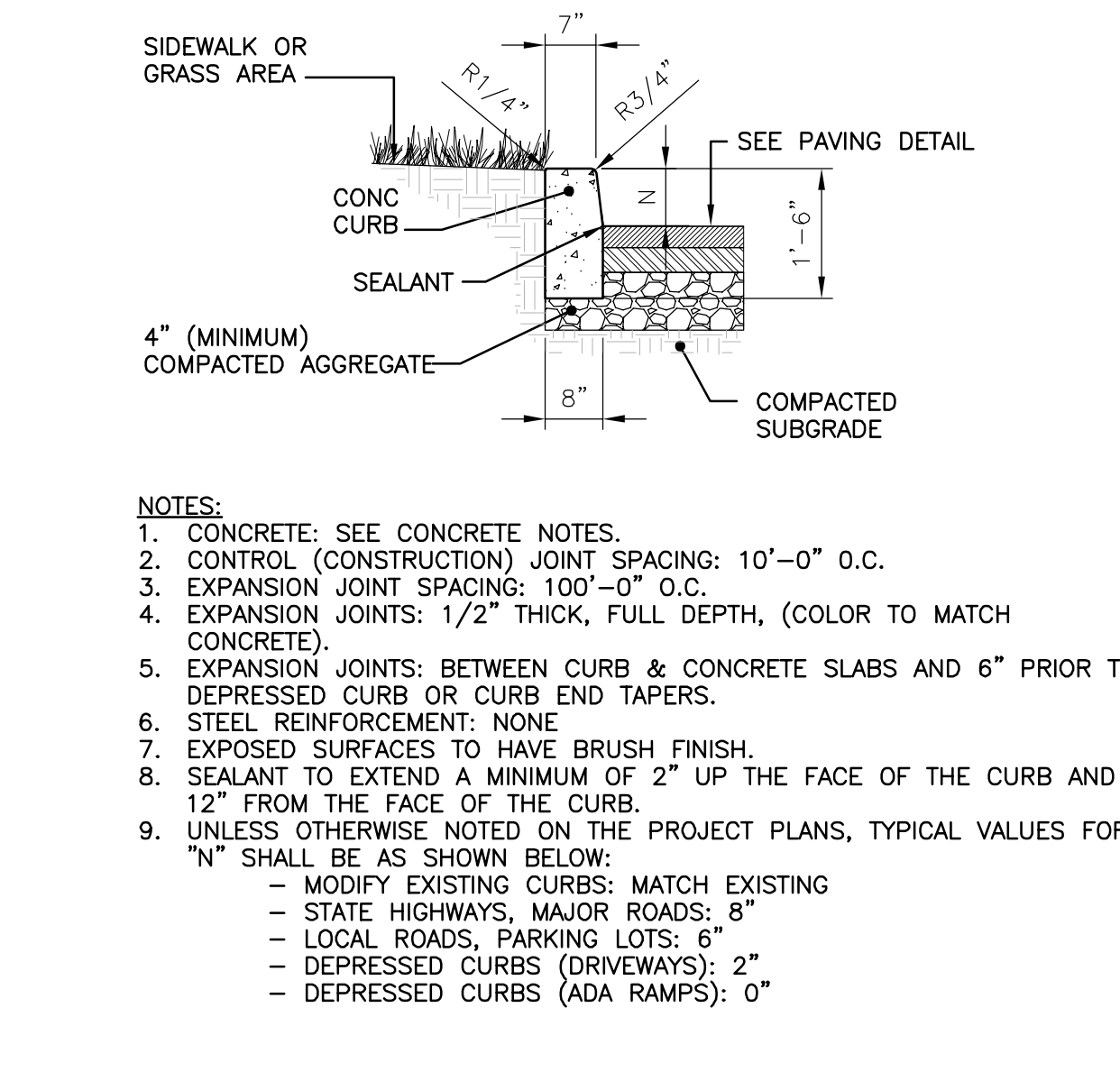


- NOTES:
- FRAME, COVER AND GRADE ADJUSTMENT RINGS TO BE MADE WATER-TIGHT USING WATER-LOK MANHOLE SLEEVE AS SUPPLIED BY ATLANTIC CONCRETE PRODUCTS OR APPROVED EQUAL.
 - MANHOLE RUNGS: DROP FRONT, 12" OC, TOP TO BOTTOM, REINFORCED PLASTIC STEPS: 3/8" INCH STL, ASTM A815, COMPLETELY ENCAPSULATED IN A POLYPROPYLENE COPOLYMER, ASTM D4104, (MA INDUSTRIES#004-500 OR 501).
 - (4) 3/4" FRAME BOLT SLOT INSERTS @ 180°, ALIGNED WITH FRAME AND GRADE RINGS.
 - GRAY IRON, ASTM A48, CLASS 35B, OR DUCTILE IRON, ASTM A536; WATER TIGHT FRAME AND COVER: COVER SHALL HAVE TACTILE FINISH AND DENOTE UTILITY SERVED BY MANHOLE (LABEL "STORM", "SANITARY" OR AS OTHERWISE NOTED), LIGHT DUTY (NON-TRAFFIC): NENAH R-1749-B1, EAST JORDAN IRON WORKS 1136 HEAVY DUTY (HS-20): NENAH R-1740-B, EAST JORDAN IRON WORKS 1322 EXTRA HEAVY DUTY (HS-25): NENAH R-3492-A.
 - ADJUST FRAME AND COVER TO GRADE AS REQUIRED USING PRECAST CONCRETE GRADE ADJUSTMENT RINGS, (4) COURSES MAXIMUM.
 - JOINTS TO BE SEALED USING D-LOK GASKET, ASTM C443, AS SUPPLIED BY ATLANTIC CONCRETE PRODUCTS OR APPROVED EQUAL.
 - PIPE TO MANHOLE SEAL TO BE BUTYL RUBBER, ASTM C990, OR A-LOK GASKET, ASTM C1478 (STORM) OR C923, BY ATLANTIC CONCRETE PRODUCTS OR APPROVED EQUAL.
 - EACH PRECAST MANHOLE SECTION TO HAVE (2) WATER-TIGHT LIFT POINTS (NO THROUGH HOLES).
 - EXTERIOR TO BE COATED WITH BITUMINOUS COATING.
 - MANHOLE DESIGN AND REINFORCEMENT TO CONFORM TO "SPECIFICATION FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS" (ASTM C478, LATEST REVISION).
 - CONCRETE COMPRESSIVE STRENGTH 4500 PSI.
 - PRECAST CONCRETE STRUCTURE TO BE WET CAST WITH MONOLITHIC BASE SECTION, AS MANUFACTURED BY ATLANTIC CONCRETE PRODUCTS, OR APPROVED EQUAL.
 - REDUCING SLAB: 8" (MIN) THICK REINFORCED CONCRETE, ASTM C478, PRECAST AND JOINTED TO FIT WITH CONNECTING SECTIONS. SLAB SHALL BE RATED FOR HS-20 LOADING UNLESS OTHERWISE NOTED.
 - THE REINFORCED CONCRETE BASE SLAB IS DETAILED FOR A MAXIMUM DEPTH OF 30 FT (DEPTH = FINISH GRADE TO TOP OF BASE SLAB).

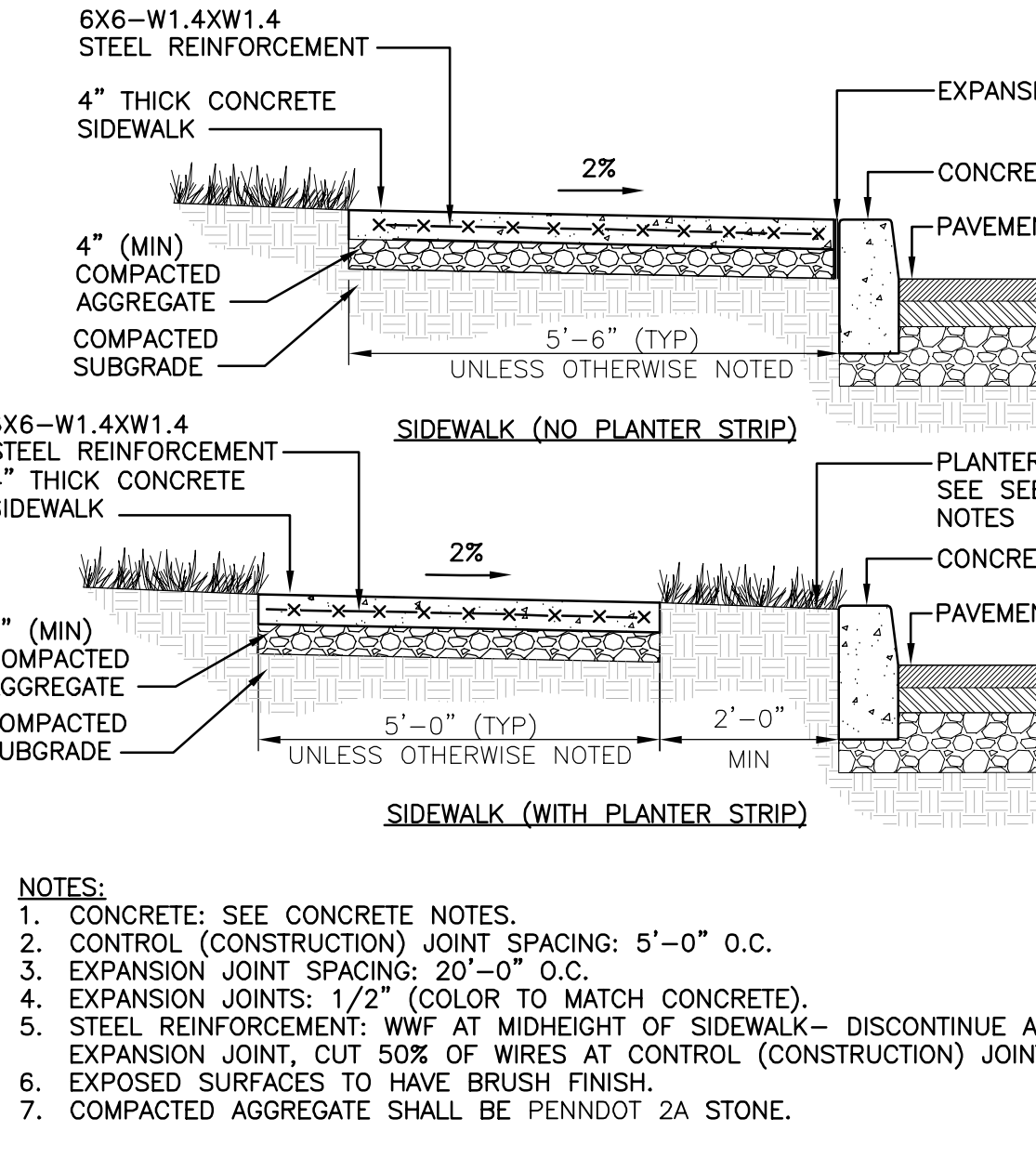
MANHOLE NUMBER	MANHOLE DIAMETER (IN)	FRAME AND COVER (LIGHT/HEAVY/EXTRA HEAVY DUTY)
SAN A-1	60	HEAVY
SAN A-2	60	HEAVY



4 TYPICAL DETAIL STONE STRIP
SCALE: NTS



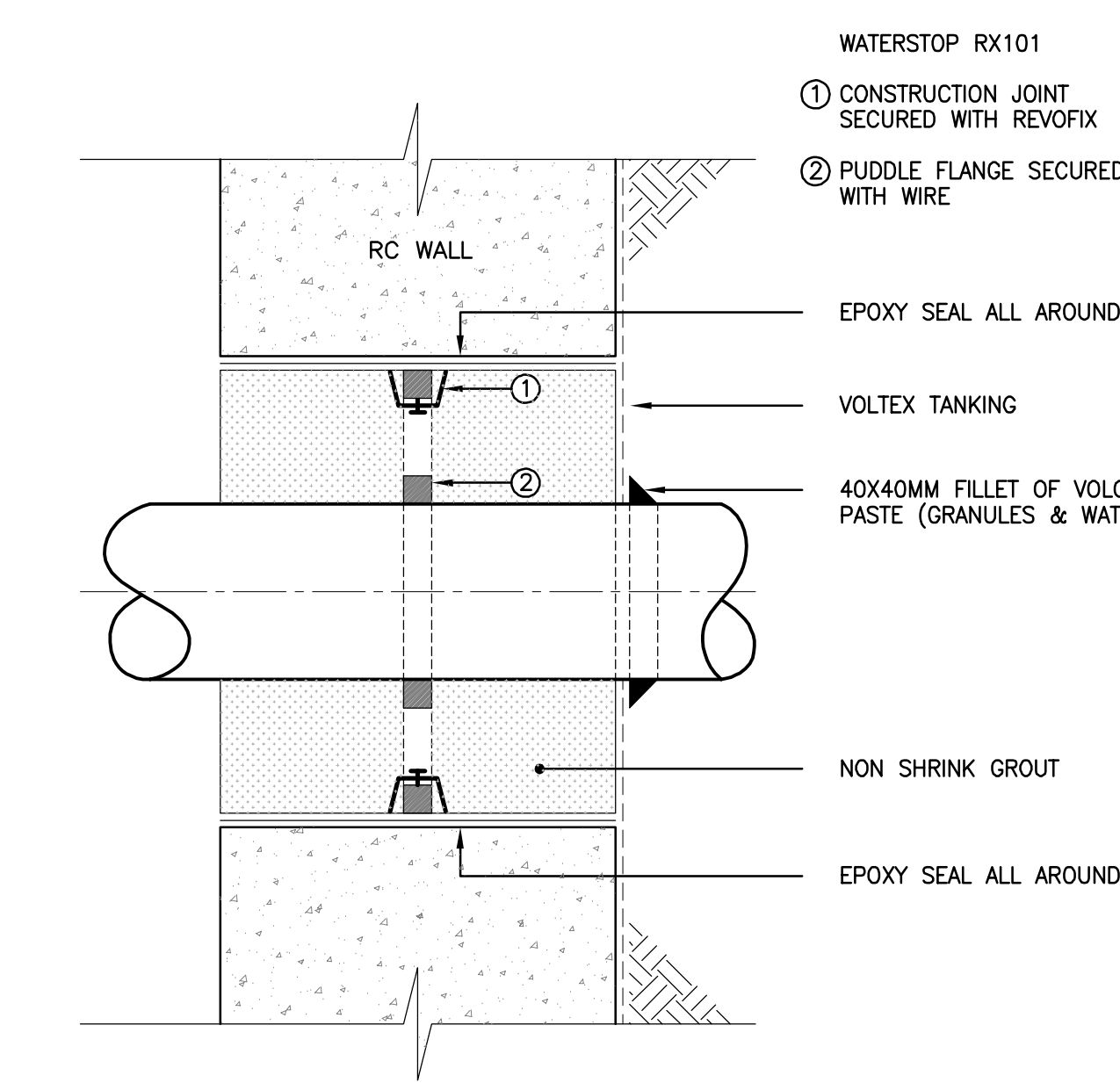
5 TYPICAL DETAIL CONCRETE CURB
SCALE: NTS



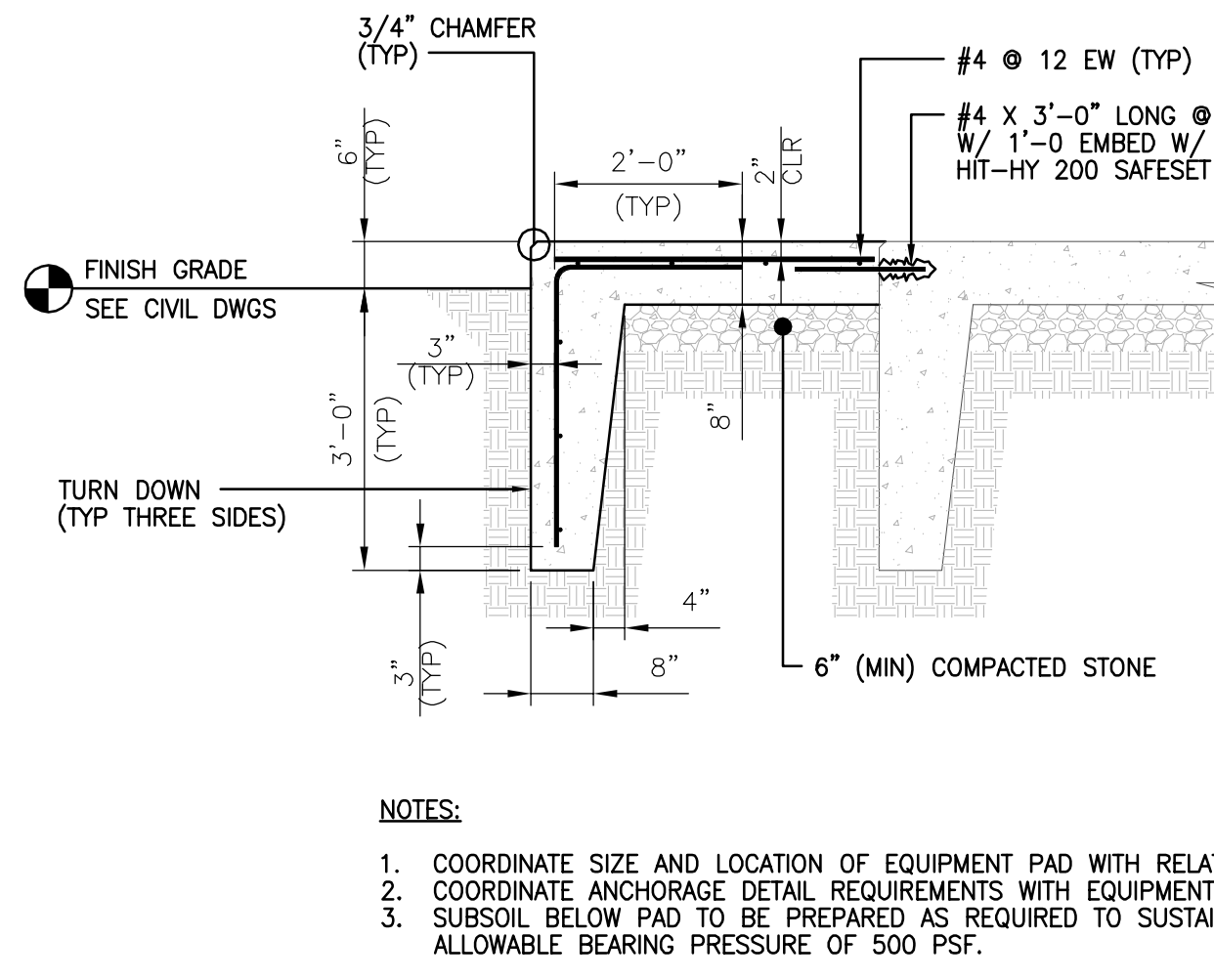
6 TYPICAL DETAIL CONCRETE SIDEWALK
SCALE: NTS

- NOTES:
- CONCRETE: SEE CONCRETE NOTES.
 - CONTROL (CONSTRUCTION) JOINT SPACING: 5'-0" O.C.
 - EXPANSION JOINT SPACING: 20'-0" O.C.
 - EXPANSION JOINTS: 1/2" THICK, FULL DEPTH, (COLOR TO MATCH CONCRETE).
 - STEEL REINFORCEMENT: NONE
 - EXPOSED SURFACES TO HAVE BRUSH FINISH.
 - SEALANT TO EXTEND A MINIMUM OF 2" UP THE FACE OF THE CURB AND 12" FROM THE FACE OF THE CURB.
 - UNLESS OTHERWISE NOTED ON THE PROJECT PLANS, TYPICAL VALUES FOR "N" SHALL BE AS SHOWN BELOW:
 - MODIFY EXISTING CURBS: MATCH EXISTING
 - STATE HIGHWAYS, MAJOR ROADS: 8"
 - LOCAL ROADS, PARKING LOTS: 6"
 - DEPRESSED CURBS (DRIVEWAYS): 2"
 - DEPRESSED CURBS (ADA RAMPS): 0"
 - COMPACTED AGGREGATE SHALL BE PENNDOT 2A STONE.

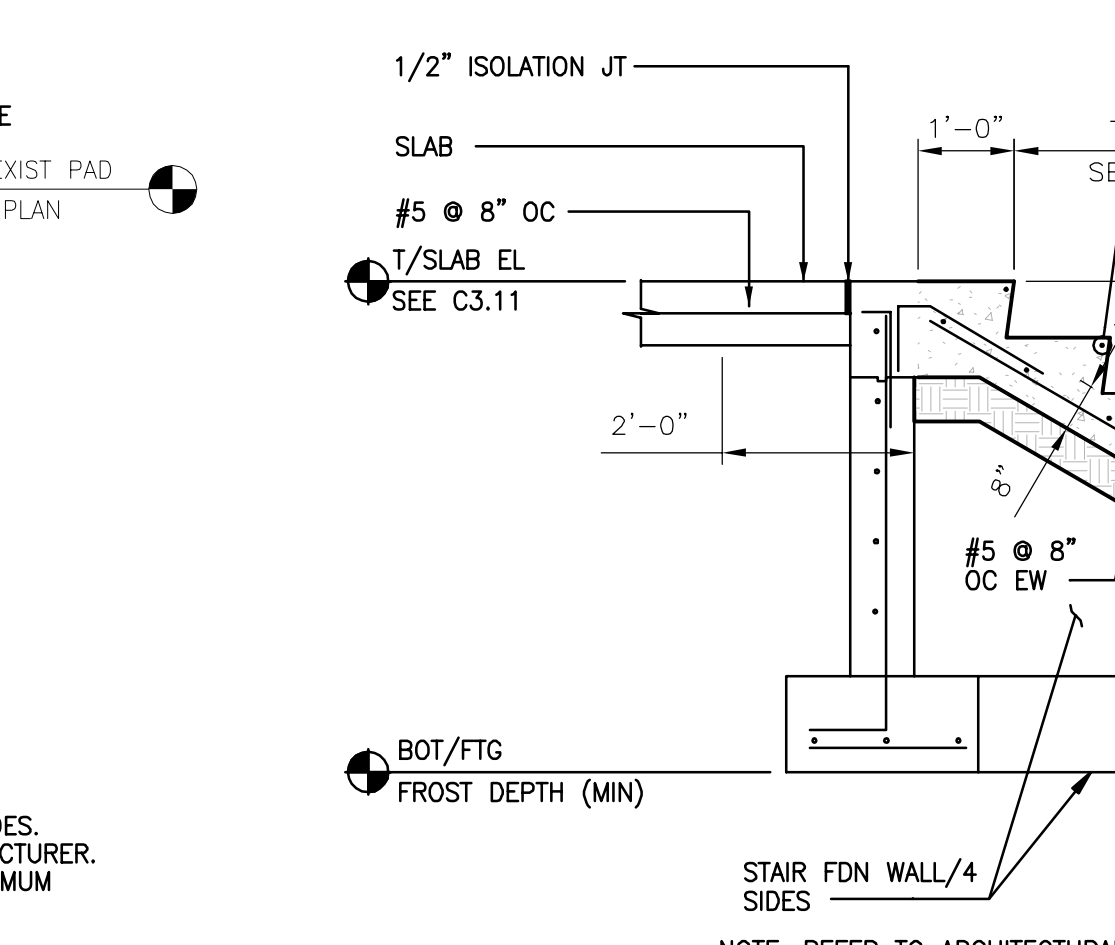
7 TYPICAL DETAIL STORM/SANITARY MANHOLE
SCALE: NTS



8 TYPICAL DETAIL CONNECT TO EXISTING STRUCTURE
SCALE: NTS



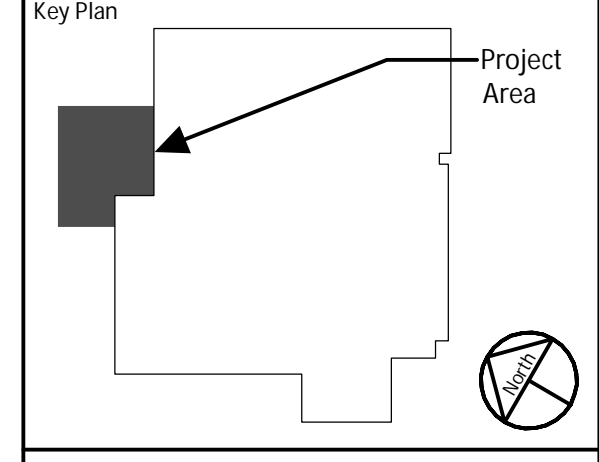
9 TYPICAL DETAIL CONCRETE EQUIPMENT PAD
SCALE: NTS

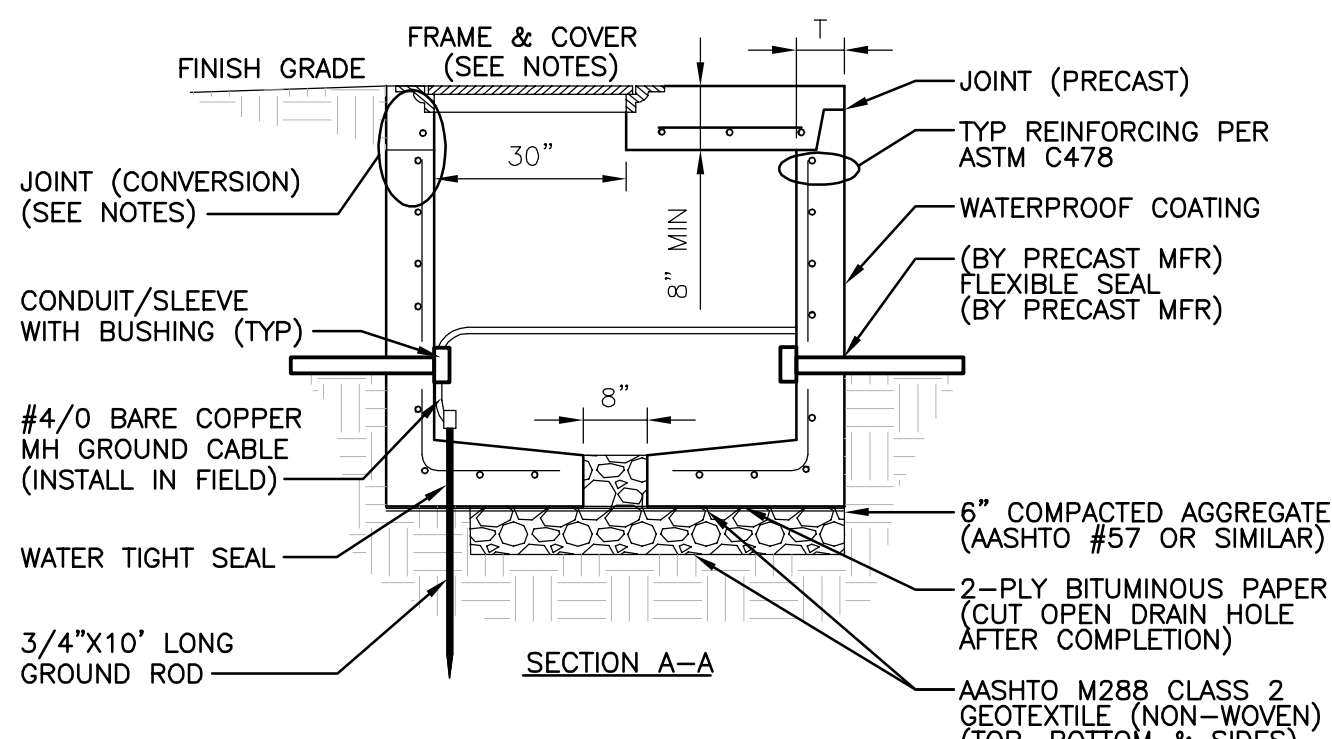
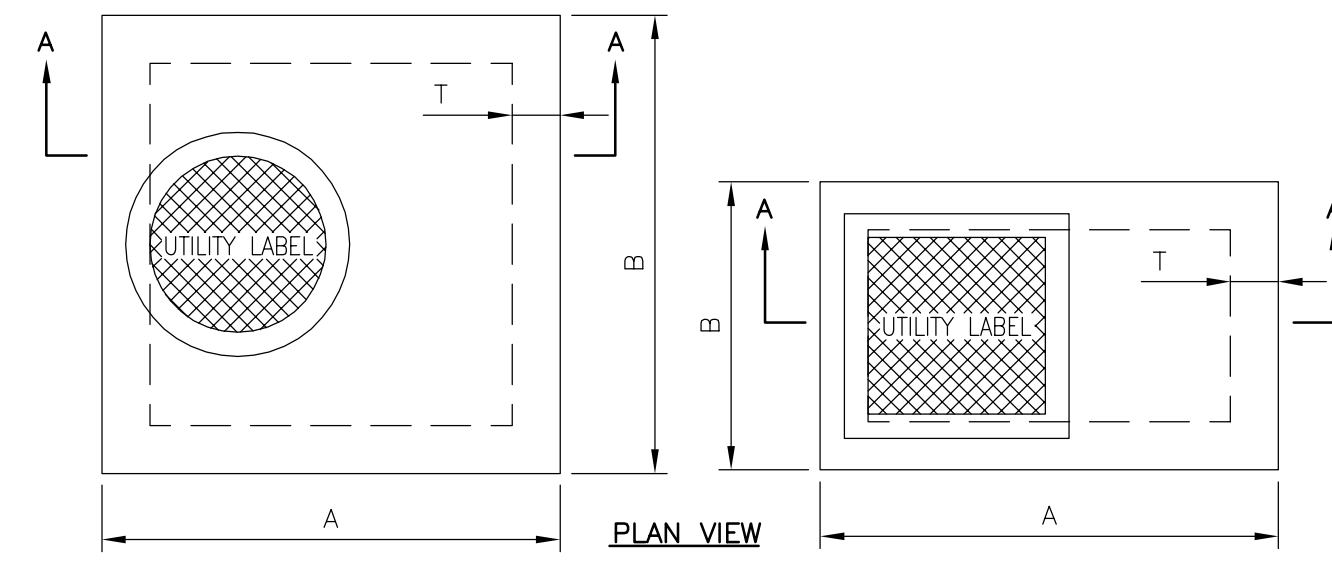


10 TYPICAL DETAIL CONCRETE STAIRS
SCALE: NTS

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MANHOLE NOTES

- FRAME & COVER FLUSH WITH TOP SLAB AND MADE WATER-TIGHT.
- MANHOLE RUNGS (MANHOLES > 4' DEEP): DROP FRONT, 12" CC, TOP TO BOTTOM:
 - A. ALUMINUM STEPS: ALUMINUM ALLOY 6061-T6, WITH FLEX-LOCK PLASTIC STEP INSERTS.
 - B. REINFORCED PLASTIC STEPS: 3/8" INCH STL. ASTM A615, COMPLETELY ENCAPSULATED IN A POLYPROPYLENE COPOLYMER, ASTM D4104, (MA INDUSTRIES#004-900 OR 501).
- GRAY IRON, ASTM A48, CLASS 35B, OR DUCTILE IRON, ASTM A-536; WATER TIGHT FRAME AND COVER COVER SHALL HAVE TACTILE FINISH AND DENOTE UTILITY SERVED BY MANHOLE LABEL "ELECTRIC," "COMMUNICATION" OR AS OTHERWISE NOTED.
 - LIGHT DUTY (NON-TRAFFIC): NEENAH R-6077 (ROUND), R-6660-6661 SERIES (RECTANGULAR).
 - HEAVY DUTY (HS-20): NEENAH R-6078 (ROUND), R-6662-6663 SERIES (RECTANGULAR).
 - EXTRA HEAVY DUTY (HS-25): NEENAH R-3491-JL (ROUND), R-3498 SERIES (RECTANGULAR).
- PIPE JOINTS TO BE WATER TIGHT GASKET, ASTM C443, BY PRECAST MANUFACTURER.
- PIPE TO MANHOLE SEAL TO BE BUTYL RUBBER, ASTM C990, OR A-LOK GASKET, ASTM C923, AS SUPPLIED BY ATLANTIC CONCRETE PRODUCTS OR APPROVED EQUAL.
- EACH PRECAST SECTION TO HAVE (2) WATER-TIGHT LIFT POINTS (NO THROUGH HOLES).
- EXTERIOR TO BE COATED WITH BITUMINOUS COATING.
- MANHOLE DESIGN AND REINFORCEMENT TO CONFORM TO "SPECIFICATION FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS" (ASTM C478, LATEST REVISION).
- CONCRETE COMPRESSIVE STRENGTH 4500 PSI.
- PRECAST CONCRETE STRUCTURE TO BE WET CAST WITH MONOLITHIC BASE SECTION, AS MANUFACTURED BY ATLANTIC CONCRETE PRODUCTS, OR APPROVED EQUAL.
- TOP SLAB: 8" (MIN) THICK REINFORCED CONCRETE, ASTM C478, PRECAST AND JOINTED TO FIT WITH CONNECTING SECTIONS. SLAB SHALL BE RATED FOR HS-20 LOADING UNLESS OTHERWISE NOTED.
- GROUND EXPOSED METAL PARTS OF JUNCTION BOXES DO NOT CONNECT GROUND WIRE DIRECTLY TO LID (CONNECT TO FRAME).
- PROVIDE POSITIVE DRAINAGE: 1-1/2" TO 2" DIAMETER NONMETALLIC CONDUIT, FOR JUNCTION BOXES, WHEN FEASIBLE. PROVIDE RODENT PROOF DRAIN.
- PROVIDE 4 CF (MIN) AASHTO #57 COARSE AGGREGATE, WRAPPED IN CLASS 1 (NON-WOVEN) GEOTEXTILE. REPLACE SOILS UNSUITABLE FOR DRAINAGE WITH COARSE SAND TO A DEPTH OF 6 INCHES, AS AND WHEN NEEDED, PRIOR TO PLACING STONE.
- CONVERSION MANHOLES: INSPECT, ADVISE OWNER IF REPAIR IS NOT FEASIBLE OR REPAIR & SEAL AS NEEDED. STRUCTURES WITH VISIBLE LEAKS SHALL BE SEALED OUTSIDE WITH BITUMINOUS SEALANT. INSPECT SUMP DRAINAGE, REPAIR AS NEEDED.
- CONVERSION MANHOLES: SAW CUT CONCRETE WALL LEVEL, MOUNT 3/8" THREADED GALVANIZED ROD, GROUDED 12" DEEP, CENTER WALL, EACH CORNER. SEAL JOINT WITH BUTYL RUBBER SEAL. SET SLAB WITH GALVANIZED WASHER & NUTS, BOLTED TIGHT & CAPPED FLUSH WITH TOP OF SLAB. PLASTIC CAP OR GROUT PLUG (2" DEEP).

MANHOLE	INLET BOX TYPE	A (IN)	B (IN)	T (IN)	FRAME AND COVER (LIGHT/HEAVY/EXTRA HEAVY DUTY)
FIBER OPTIC	NJ (B/C/E)	60	54	6	LIGHT
ELECTRIC	NJ (B/C/E)	60	54	6	LIGHT

1 TYPICAL DETAIL ELECTRICAL/F.O. MANHOLE

C7.02 SCALE: NTS

ADS FLARED END SECTION SPECIFICATION

THIS SPECIFICATION DESCRIBES 12- THROUGH 36-INCH (300 TO 900MM) ADS FLARED END SECTIONS FOR USE IN CULVERT AND DRAINAGE OUTLET APPLICATIONS.

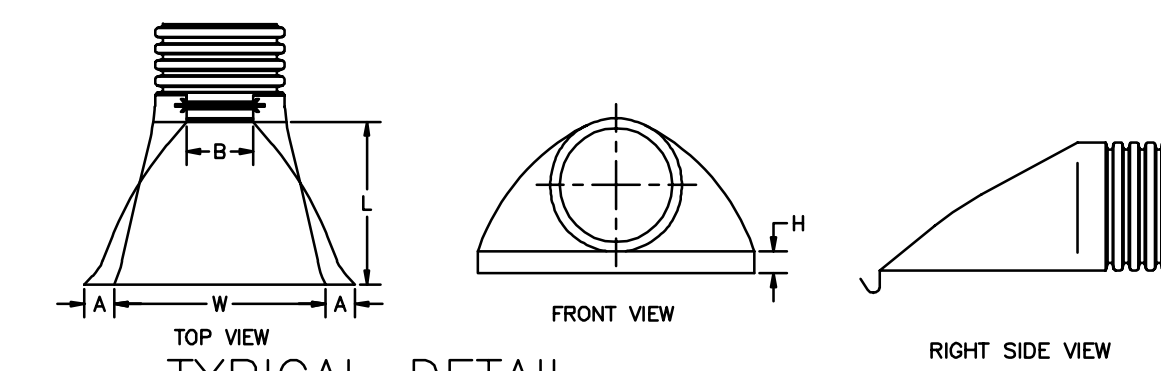
REQUIREMENTS:

THE INVERT OF THE PIPE AND THE END SECTION SHALL BE AT SAME ELEVATION. THE ADS FLARED END SECTION SHALL BE HIGH DENSITY POLYETHYLENE MEETING ASTM D3350 MINIMUM CELL CLASSIFICATION 213320C; CONTACT MANUFACTURER FOR ADDITIONAL CELL CLASSIFICATION INFORMATION, WHEN PROVIDED, THE METAL THREADED FASTENING ROD SHALL BE STAINLESS STEEL.

INSTALLATION:

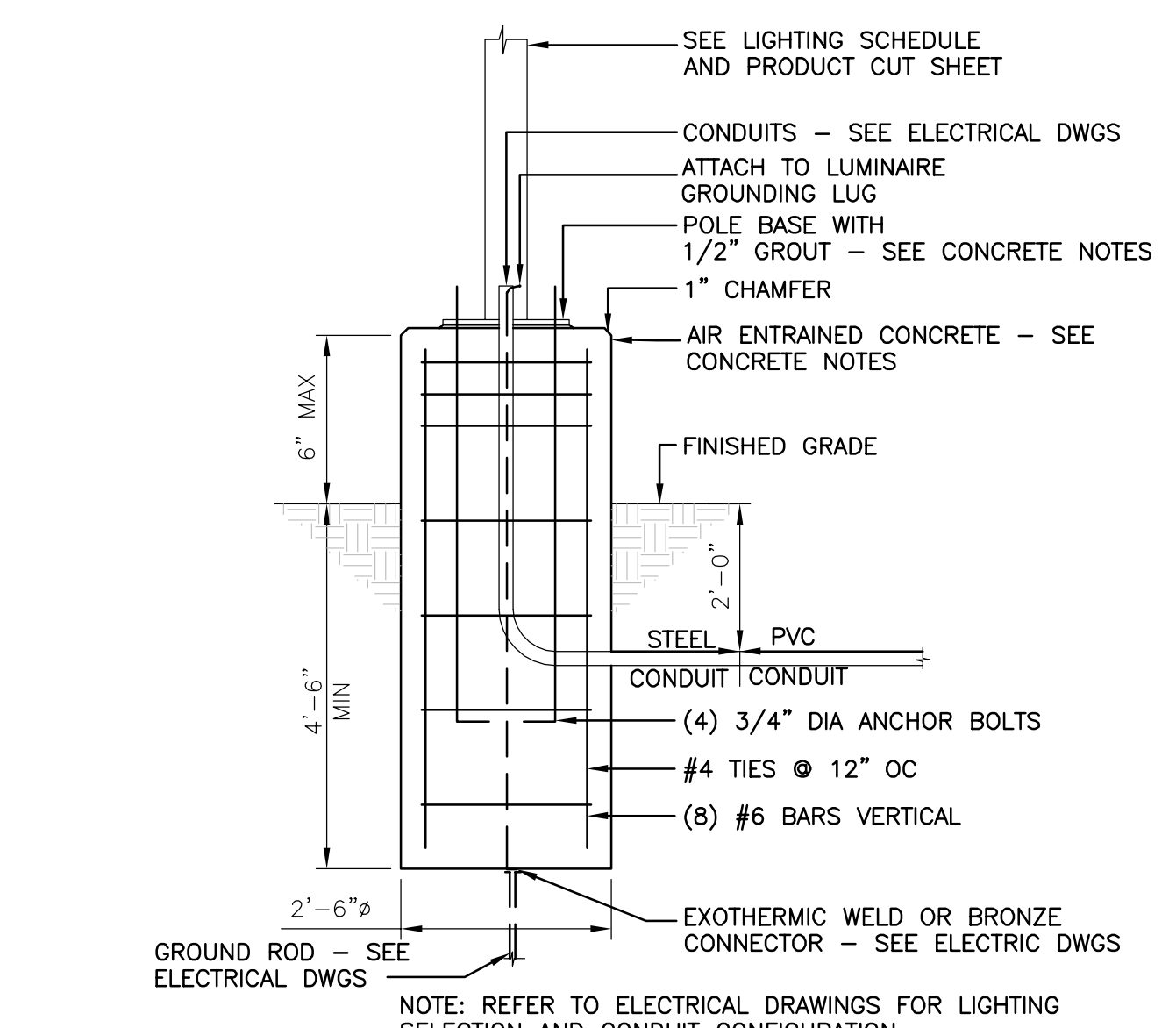
INSTALLATION SHALL BE IN ACCORDANCE WITH ADS INSTALLATION INSTRUCTIONS AND WITH THOSE ISSUED BY STATE OR LOCAL AGENCIES

PIPE DIAMETER, in (mm)		12 (300)		15 (375)		18 (450)		24 (600)		30 (750)		36 (900)	
A	in (mm)	6.5 (165)	6.5 (165)	7.5 (191)	7.5 (191)	7.5 (191)	7.5 (191)	7.5 (191)	7.5 (191)	7.5 (191)	7.5 (191)	7.5 (191)	7.5 (191)
B (max)	in (mm)	10.0 (254)	10.0 (254)	10.0 (254)	10.0 (254)	10.0 (254)	10.0 (254)	10.0 (254)	10.0 (254)	10.0 (254)	10.0 (254)	10.0 (254)	10.0 (254)
H	in (mm)	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)
L	in (mm)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)
W	in (mm)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)	29.0 (737)



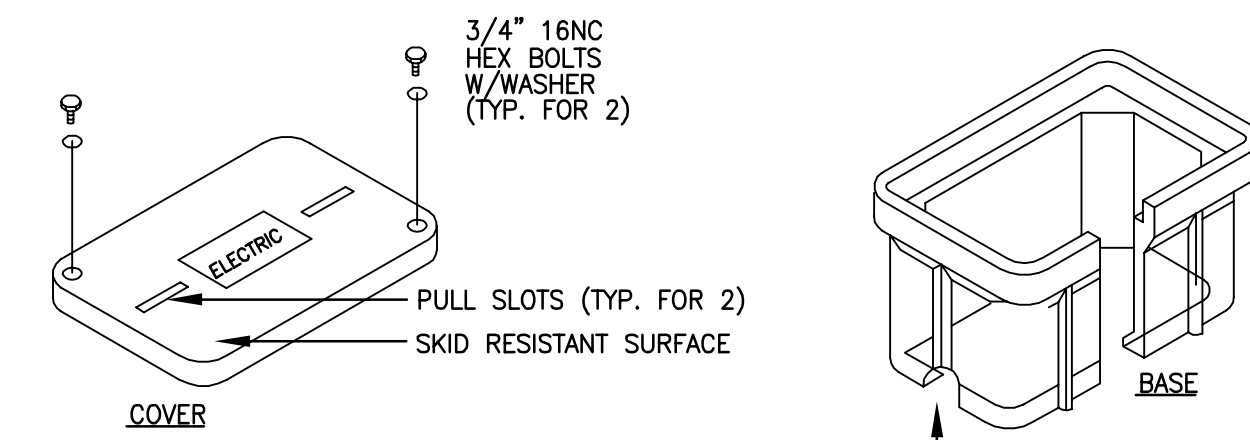
2 TYPICAL DETAIL FLARED END SECTION

C7.02 SCALE: NTS



4 TYPICAL DETAIL LIGHT POLE BASE

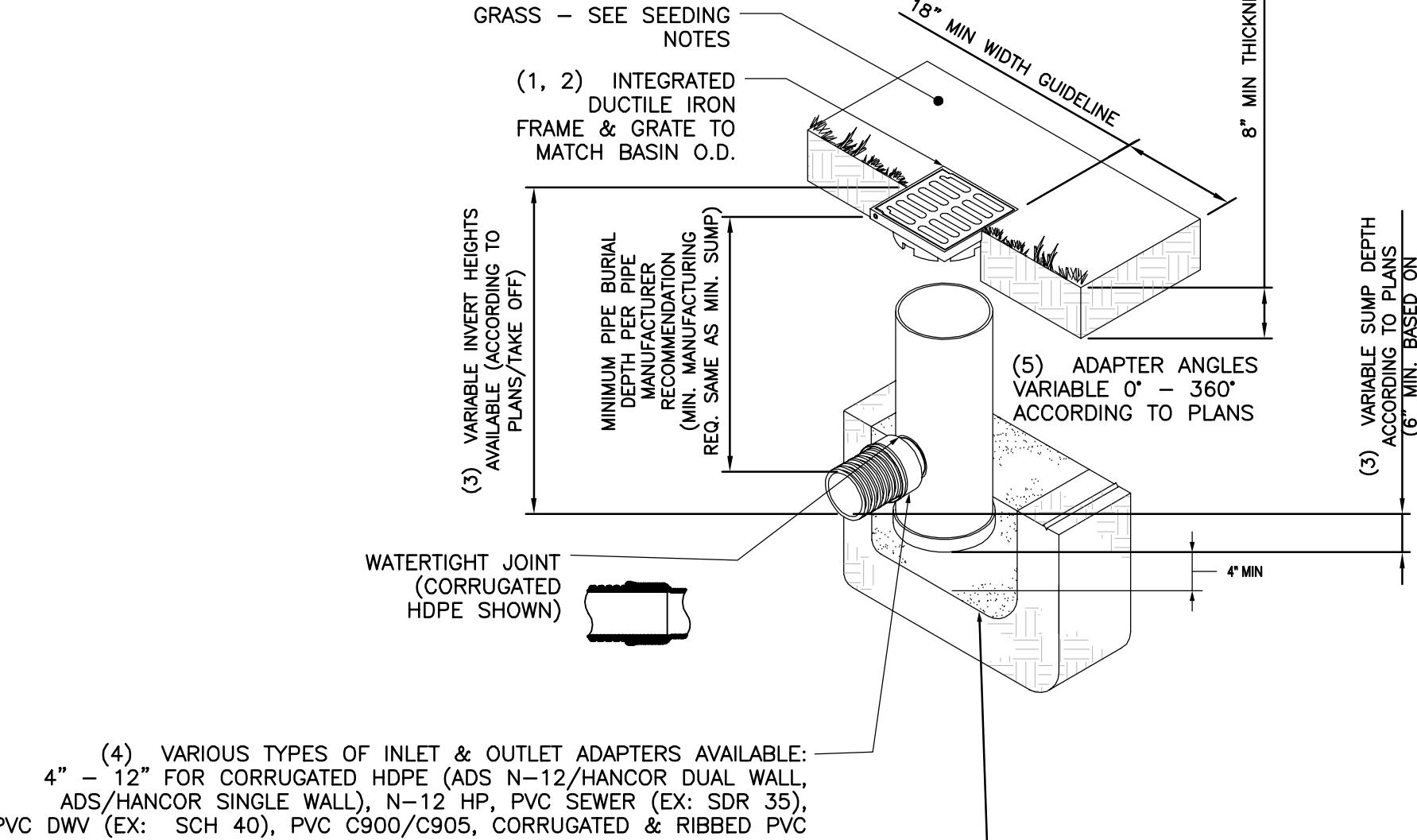
C7.02 SCALE: NTS



- NOTES:**
- PROVIDE QUAZITE/COMPOSITE #PG STYLE WITH MOUSEHOLES.
 - COORDINATE DEPTH OF HANDHOLES WITH EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL PROVIDE EXTENSION BOXES AS REQUIRED.
 - PROVIDE CRUSHED STONE BELOW HANDHOLE FOR DRAINAGE.

3 TYPICAL DETAIL HANDHOLE

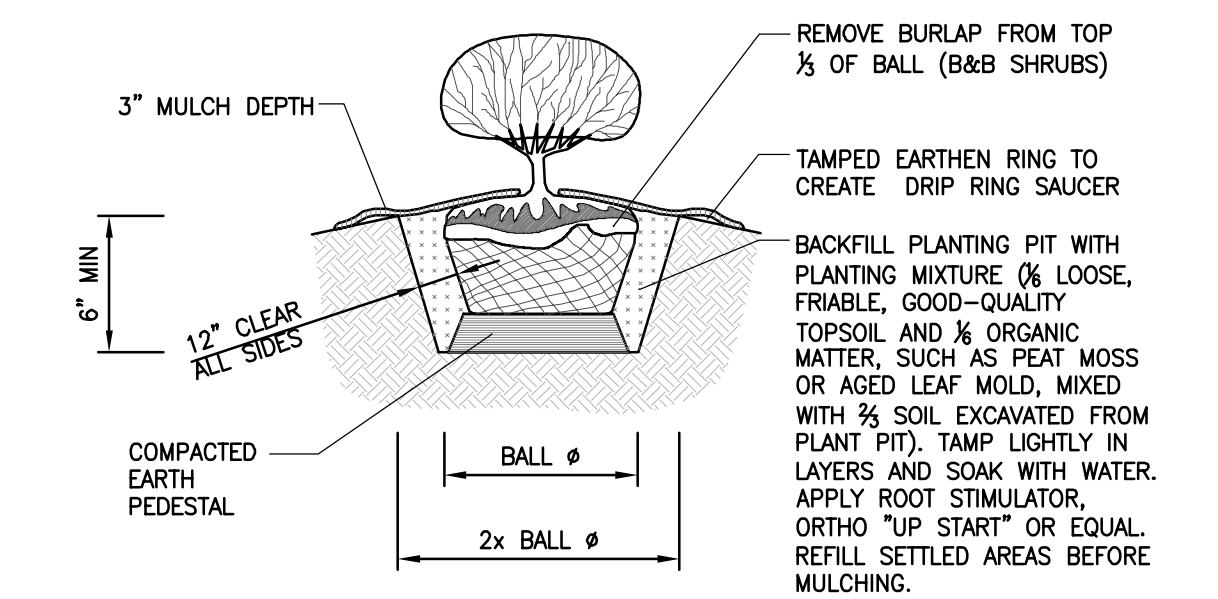
C7.02 SCALE: NTS



- NOTES:**
- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-085
 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°, TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

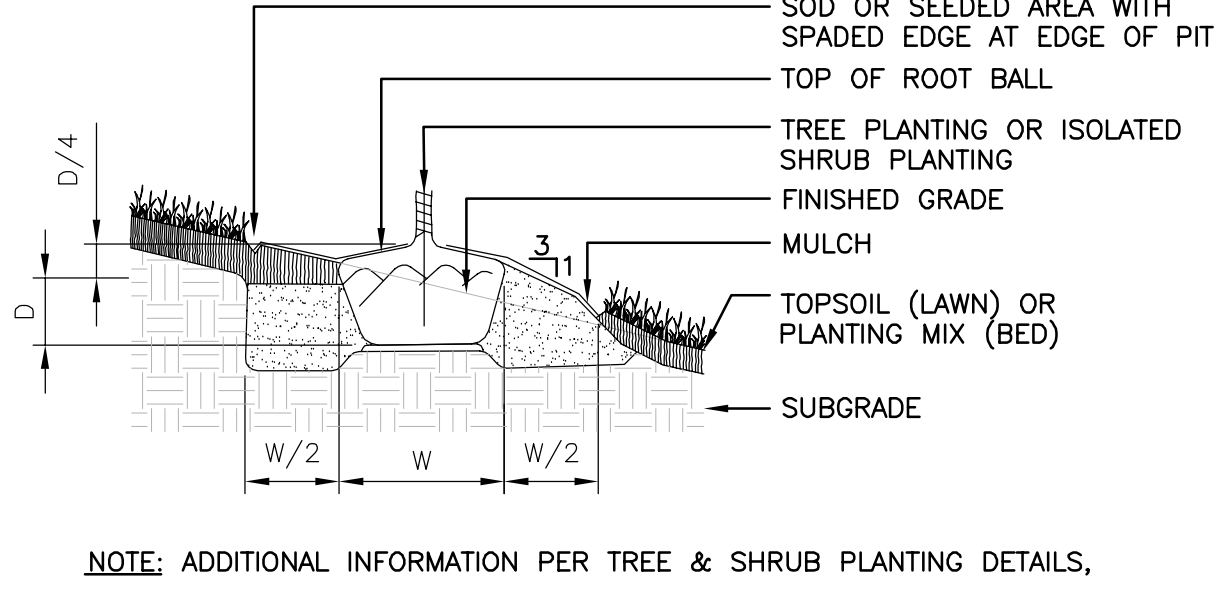
5 TYPICAL DETAIL YARD DRAIN

C7.02 SCALE: NTS



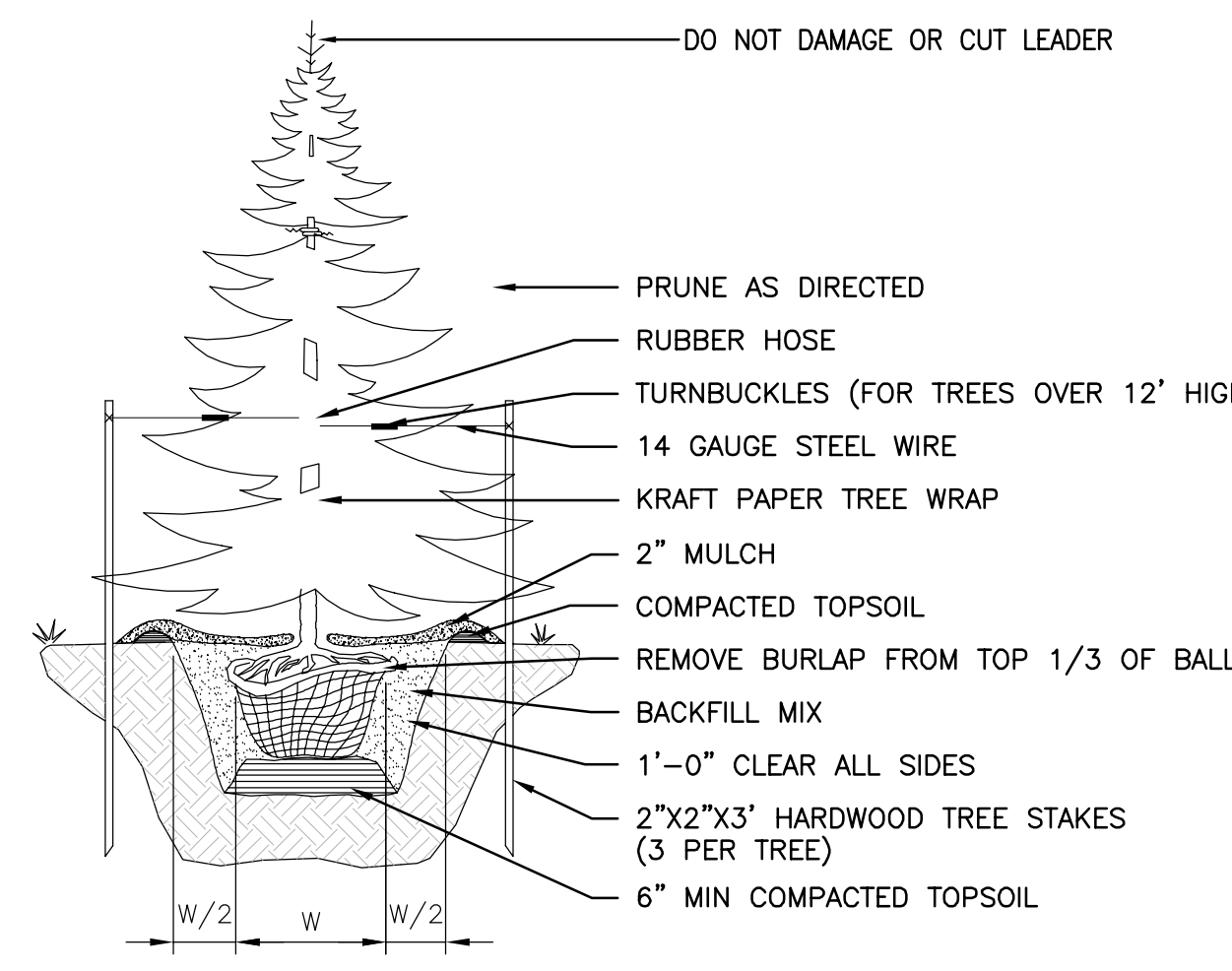
6 TYPICAL DETAIL SHRUB PLANTING

C7.02 SCALE: NTS



7 TYPICAL DETAIL SLOPED PLANTING

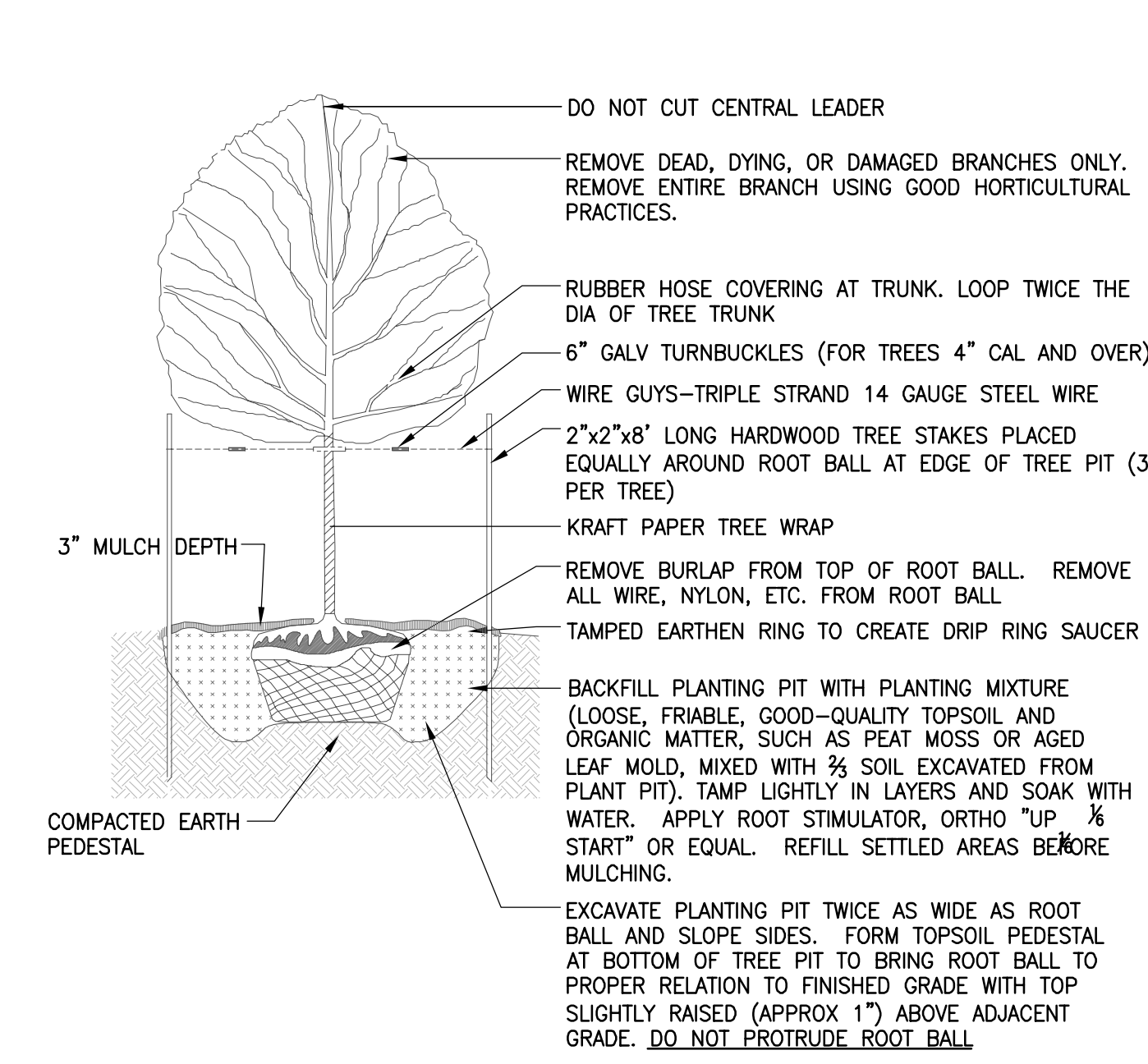
C7.02 SCALE: NTS



- NOTES:**
- BASE OF TREE TO BE AT FINISHED GRADE; DO NOT PROTRUDE ROOT BALL.
 - WHERE DEER ARE KNOWN TO BE PRESENT, PROTECT EACH NEW TREE FROM DEER RUB WITH A SINGLE LENGTH OF 6" CORRUGATED HDPE PIPE. SLIT ALONG ONE SIDE AND TRIMMED TO FIT FROM GROUND LEVEL TO 6" BELOW LOWEST BRANCH. INSTALL AUGUST 31, REMOVE AFTER JANUARY 1.
 - PLANTING PITS SHALL BE TWELVE (12) INCHES WIDER AND SIX (6) INCHES DEEPER THAN THE ROOT SPREAD, BUT NOT LESS THAN 33" BY 20"

8 TYPICAL DETAIL EVERGREEN PLANTING

C7.02 SCALE: NTS



9 TYPICAL DETAIL DECIDUOUS PLANTING

C7.02 SCALE: NTS

DAVID F. CITRO
REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF PENNSYLVANIA
PE075273

DATE: 04-23-2020

JOHNSRUD ARCHITECTS
A Bergmann Company
Johnsrud & Associates Architects, LLC
2700 Interplex Drive, Trevoze, PA 19053
Phone 215-639-4200 ■ www.johnsrud.com

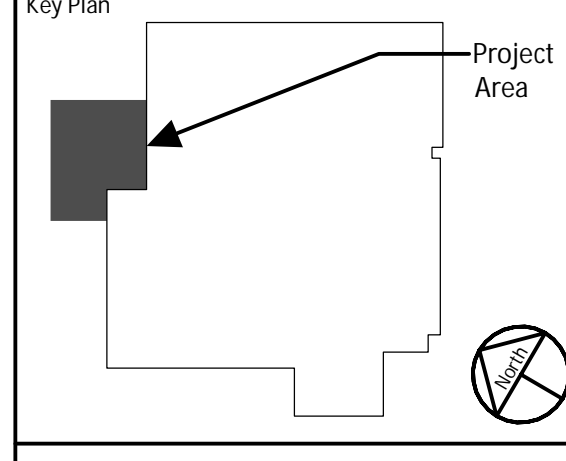
GENESIS ENGINEERS
One Gateway Parkway Suite 100 Blue Bell, Pennsylvania 19062
Tel: 610-352-0300 / Fax: 610-352-0308 ■ www.genesiseng.com

Mainstay ENGINEERING GROUP, INC.
CIVIL & STRUCTURAL ENGINEERS
1750 WALTON ROAD, BLUE BELL, PA 19422
www.mstay.com

MEG PROJECT NO. 19360

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Rev.	Rev. Date	Description
B	04-23-2020	LAND DEVELOPMENT ISSUE
A	03-31-2020	ISSUE FOR OWNER REVIEW



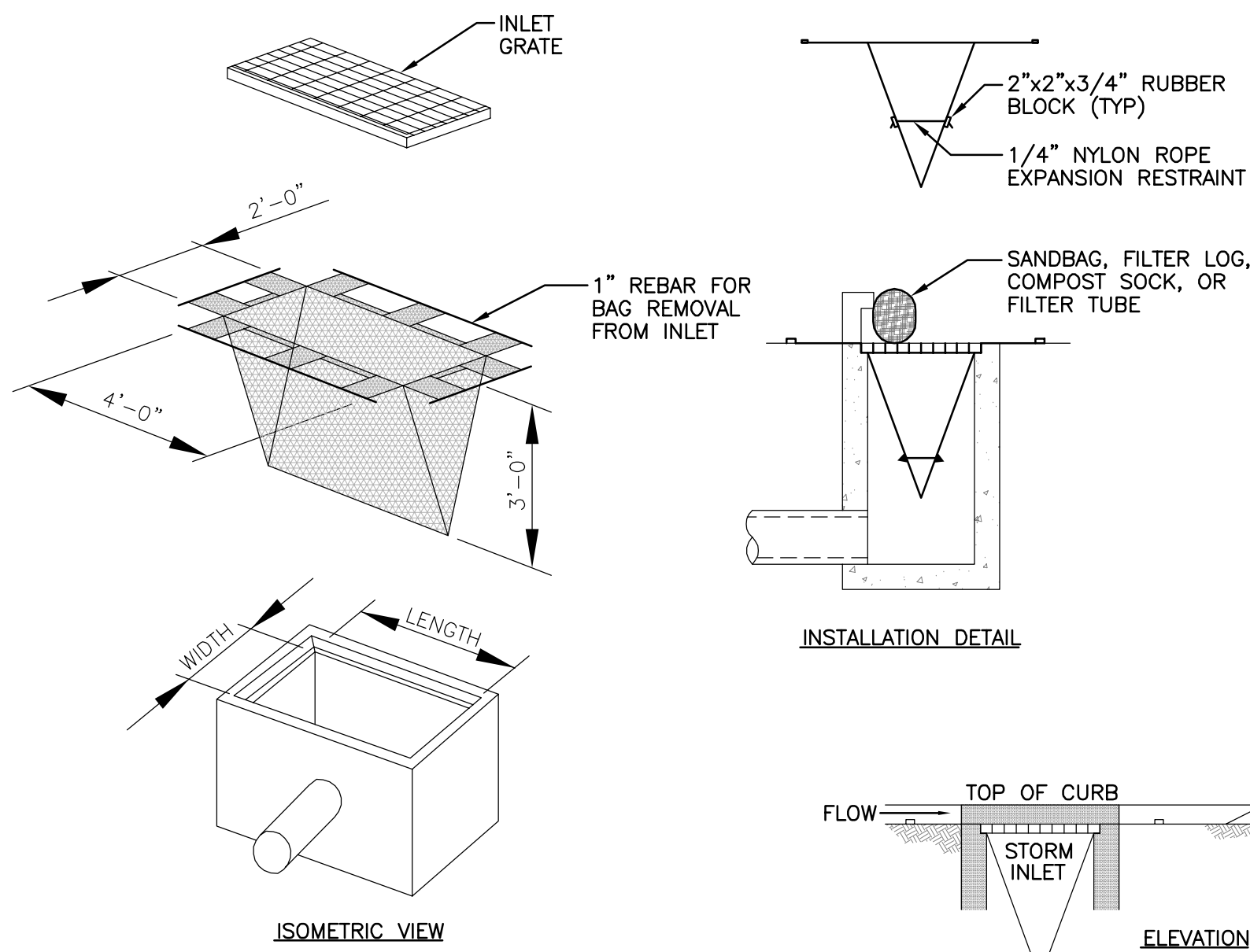
JABIL
1303 Goshen Parkway
West Chester, PA 19380

FINISHING PLANT EXPANSION

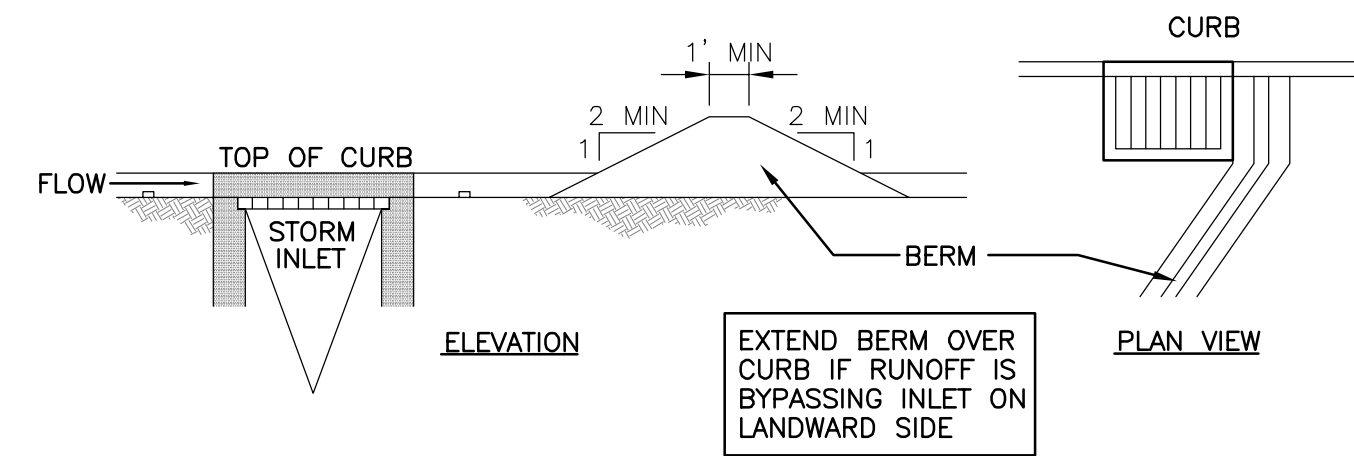
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064-WC-02-006	AFH	DFC	MEH

CIVIL DETAILS SHEET (2 OF 2)

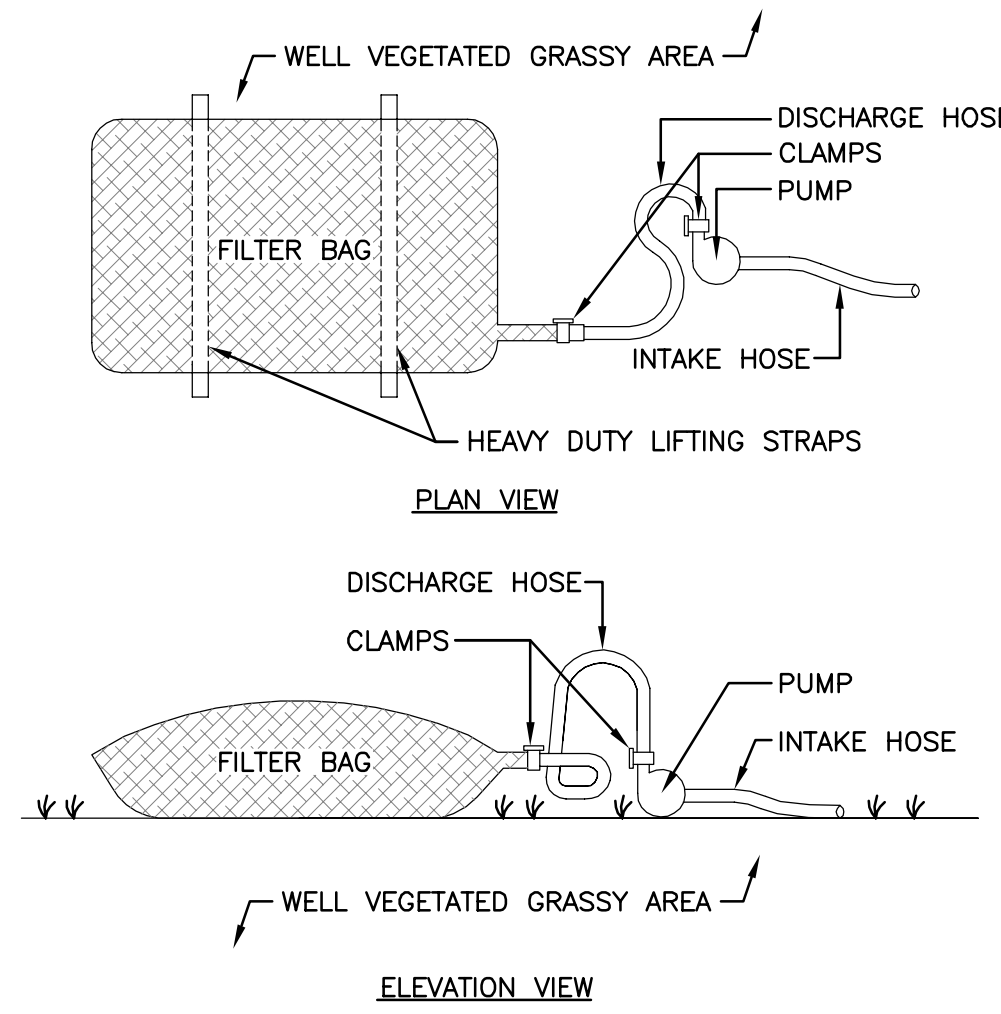
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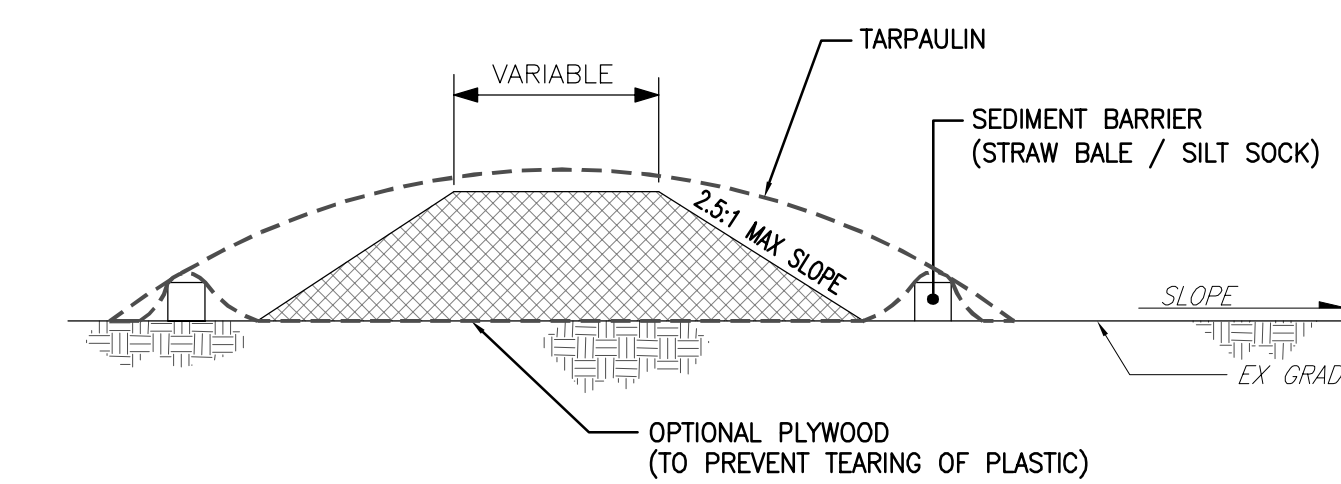
- NOTES:**
1. MAXIMUM DRAINAGE AREA = 1/2 ACRE
 2. INLET PROTECTION SHALL NOT BE REQUIRED FOR TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS REQUIRED FOR ALL INSTALLATIONS.
 3. ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
 4. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING NO. 40 SIEVE.
 5. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED FILTER BAGS ACCORDING TO THE E&S PLAN NOTES.
 6. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.



1
TYPICAL DETAIL
INLET PROTECTION
SCALE: NTS



- NOTES:**
1. LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE-STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:
- | PROPERTY | TEST METHOD | MINIMUM STANDARD |
|--------------------------|-------------|------------------|
| AVG. WIDE WIDTH STRENGTH | ASTM D-4884 | 60 LB/IN |
| GRAB TENSILE | ASTM D-4632 | 205 LB |
| PUNCTURE | ASTM D-4833 | 110 LB |
| MULLEN BURST | ASTM D-3786 | 350 PSI |
| UV RESISTANCE | ASTM D-4355 | 70% |
| MO% RETAINED | ASTM D-4761 | #80 SIEVE |
2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
 3. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREAS AND DISCHARGE ONTO STABLE, EROSION-RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
 4. NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EY WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER, OR WHERE GRASSY AREA IS NOT AVAILABLE.
 5. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE SHALL BE USED FOR THIS PURPOSE.
 6. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
 7. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.



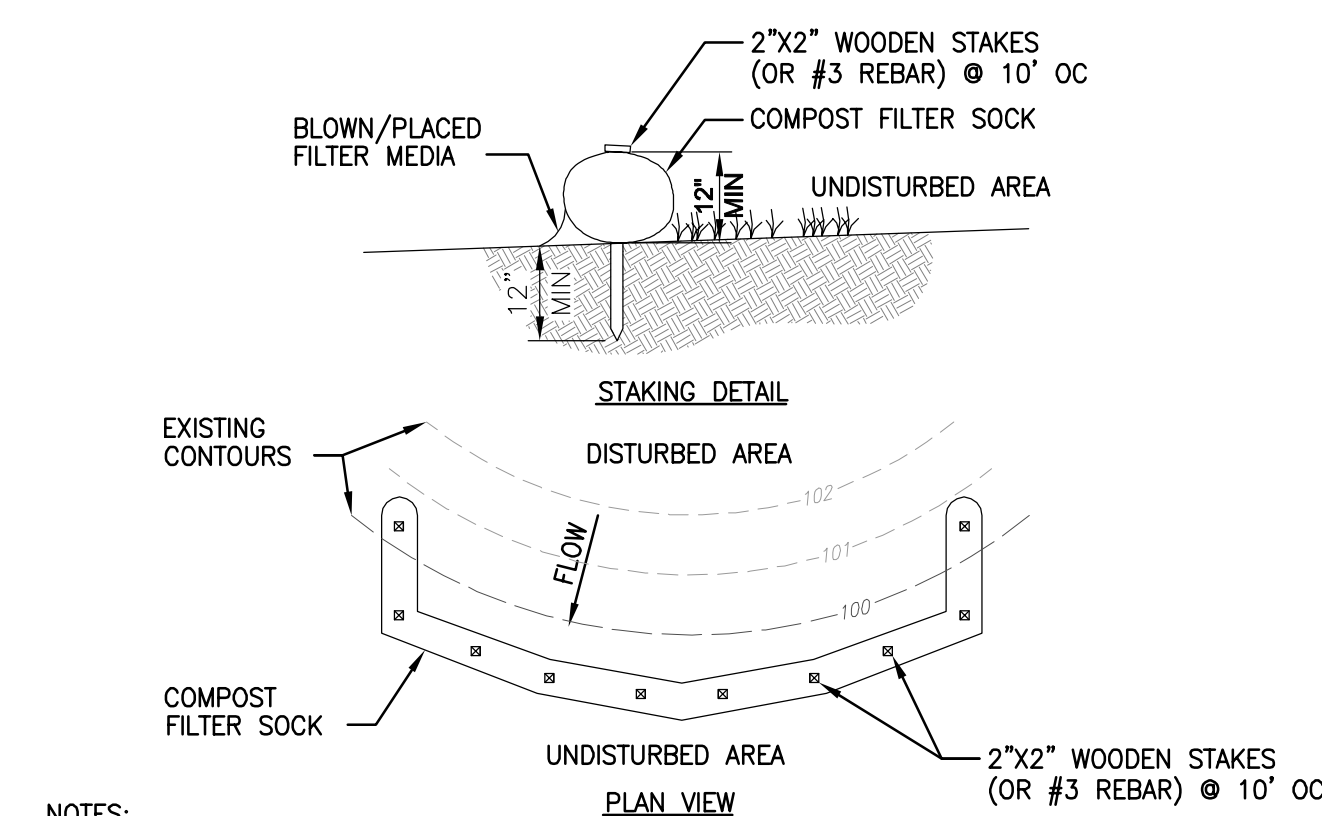
STOCKPILE MANAGEMENT:
STOCKPILE MANAGEMENT PROCEDURES AND PRACTICES ARE DESIGNED TO REDUCE OR ELIMINATE AIR AND STORMWATER POLLUTION FROM SOIL STOCKPILES. IMPLEMENT IN ALL PROJECTS THAT STOCKPILE SOIL AND OTHER MATERIALS.

- GENERAL**
- LOCATE STOCKPILES A MINIMUM OF 50 FT AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES, AND INLETS.
 - PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING A TEMPORARY PERIMETER SEDIMENT BARRIER (SEE DETAIL ABOVE).

- PROTECTION OF STOCKPILES**
- ALL STOCKPILES SHOULD BE PROTECTED WITH A TARPULIN COVER.
 - PROVIDE BOTTOM PLASTIC LINER ON ALL STOCKPILES.

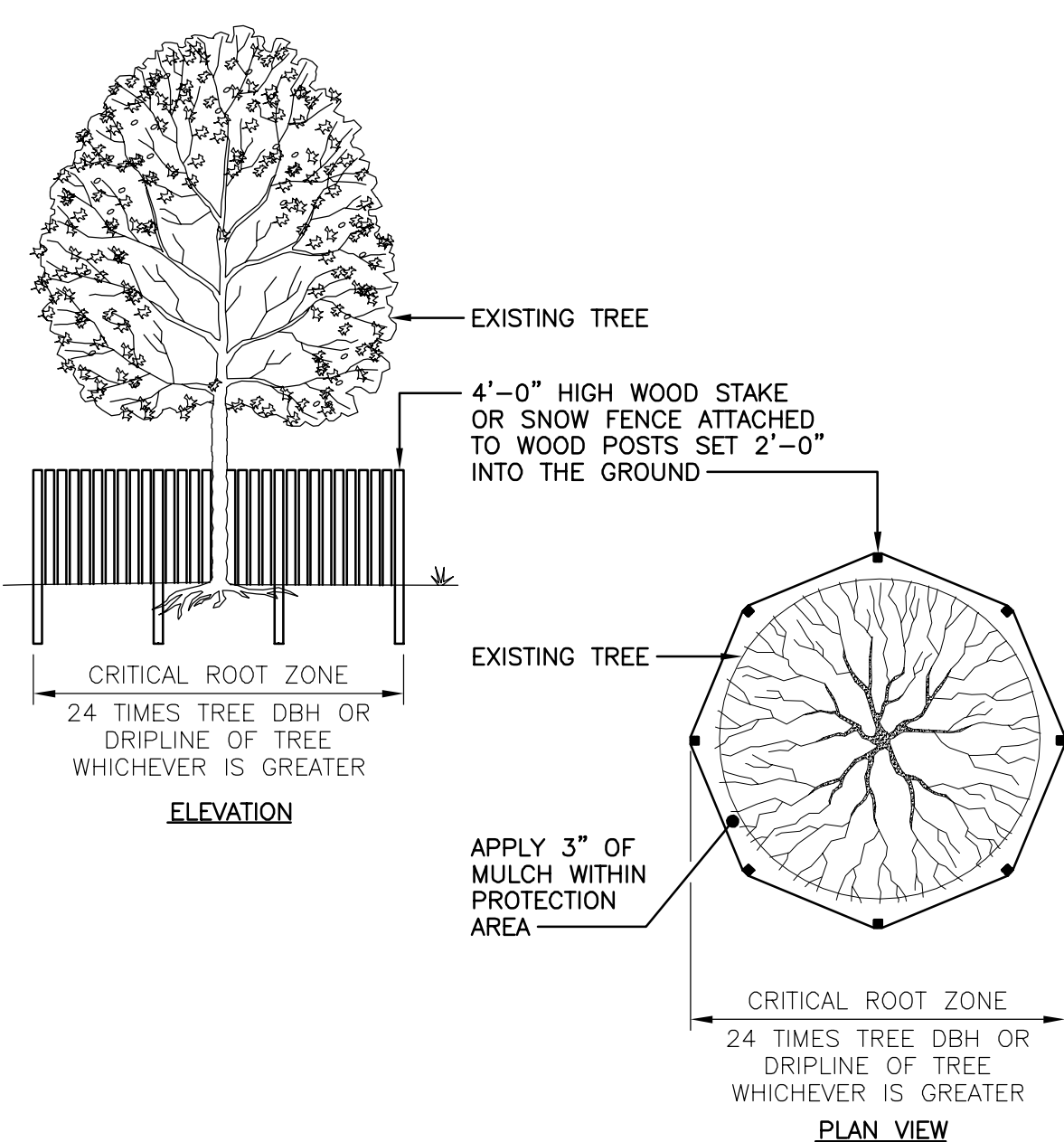
- MAINTENANCE**
- INSPECT AND VERIFY THAT BMPs ARE IN PLACE PRIOR TO THE COMMENCEMENT OF ASSOCIATED ACTIVITIES. WHILE ACTIVITIES ASSOCIATED WITH THE BMP ARE UNDERWAY, INSPECT WEEKLY TO VERIFY CONTINUED BMP IMPLEMENTATION.
 - REPAIR AND/OR REPLACE PERIMETER CONTROLS AND COVERS AS NEEDED TO KEEP THEM FUNCTIONING PROPERLY.

3
TYPICAL DETAIL
SOIL STOCKPILE
SCALE: NTS



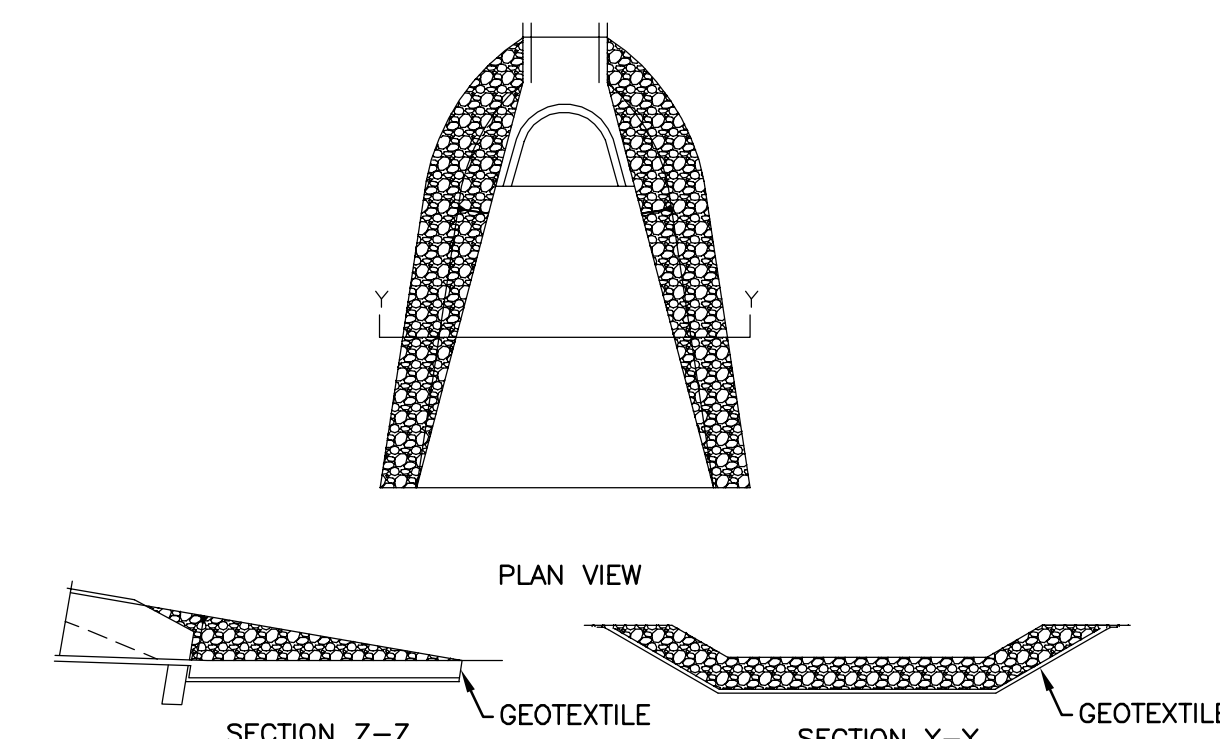
- NOTES:**
1. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREE TO THE MAIN SOCK ALIGNMENT. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
 2. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
 3. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN A MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 4. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 5. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 6. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

4
TYPICAL DETAIL
COMPOST FILTER SOCK
SCALE: NTS



5
TYPICAL DETAIL
TREE PROTECTION FENCE
SCALE: NTS

2
TYPICAL DETAIL
PUMPED WATER FILTER BAG
SCALE: NTS



OUTLET NO.	PIPE DIA (IN)	RIPRAP			APRON	
		SIZE (R-)	THICK. (IN)	LENGTH (FT)	INITIAL WIDTH (FT)	TERMINAL WIDTH (FT)
1	6	4	18	8	4	9.5

6
TYPICAL DETAIL
RIPRAP APRON
SCALE: NTS

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