

**EAST GOSHEN TOWNSHIP
PLANNING COMMISSION
Meeting Agenda
Wednesday, July 1, 2020
VIA Telephone / Video Conference
7:00 PM**

During this tele-conference Planning Commission meeting, public comment will be handled as follows:

- Participants are asked to call in by 6:55 pm.
- Participants will be asked to identify themselves when being accepted into the meeting
- The public will be muted during the meeting when the Commission is talking.
- The Chairman will ask for public comment on agenda items and participants will be unmuted and given an opportunity to ask questions and make comments.
- Participants wishing to comment must state their name and address and must speak one at a time.
- Participants are asked to turn down the volume if they are livestreaming the meeting on YouTube.

- A. Call to Order / Pledge of Allegiance and Moment of Silence
- B. Chairman will ask if anyone is going to record the meeting
- C. Review of Tracking Log / Determine need for Workshop Meeting**
- D. Public Comment on Non-Agenda Items
- E. Approval of Minutes**
 - 1. June 17, 2020**
- F. Subdivision and Land Development Applications
 - 1. Synthes USA / 1303 Goshen Parkway (Land Development)**
- G. Conditional Uses and Variances
- H. Ordinance Amendments
- I. Old Business
 - 1. Zoning Ordinance Review
 - 2. Review Model ordinances for Pipelines**
- J. New Business
- K. Any Other Matter
- L. Liaison Reports
- M. Correspondence
- N. Announcements

Bold Items indicate new information to review or discuss.

East Goshen Township Planning Commission
Application Tracking Log

July 1, 2020 PC Meeting

Application Name	Application (CU,LD,ZO, SD,V, SE, CA)		Type (Sk, P, F)	Date Filed	Start Date	Date to Township Engineer	Date to CCPC	Date to Abutting Prop. / ABC's	Extension	PC NLT Action Date	BOS NLT Action Date	Hearing Date	Drop Dead date	Comments
Synthes USA / 1303 Goshen Parkway	LD	P/F		4/27/2020	5/6/2020	4/28/2020	4302020	4/30/2020	1	7/15/2020	8/4/2020	NA	8/4/2020	extension not included in these dates

Bold = New Application or PC action required

Completed in 2019

Paoli Pike TND Overlay District Ord.	ZO	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	12/17/2019	NA	Continued
ZEKS, 1302 Goshen Parkway	CU	Sk	8/27/2019	8/27/2019	NA	NA	8/29/2019		10/2/2019	10/29/2019	10/15/2019	10/25/2019	APPVD.	
ESKE Development / Ducklings	LD	P/F	1/18/2019	2/6/2019	2/23/2019	2/23/2019	2/29/2019		4/3/2019	4/9/2019	NA	5/6/2018	APPVD.	
PECO Gas Gate	CU	Sk	2/26/2019	2/26/2019	2/28/2019	NA	2/28/2019	1	4/3/2019	6/5/2019	5/14/2019	6/25/2019	APPVD.	
CZ Woodworking / 1422 Ardleigh Cir.	CU	Sk	3/29/2019	3/29/2019	NA	NA	4/22/2019	1	6/5/2019	6/18/2019	6/18/2019	6/27/2019	APPVD. W Conds.	
1351 Paoli Pike / The Hankin Group	ZO	SK	5/31/2019	NA	NA	NA	5/31/2019	NA	NA	NA	NA	NA	DENIED	
1339 Enterprise Drive	CU	Sk	5/30/2019	5/30/2019	NA	NA	6/11/2019		7/10/2019	7/16/2019	7/16/2019	7/29/2019	APPVD.	

DRAFT
EAST GOSHEN TOWNSHIP
PLANNING COMMISSION MEETING
June 17, 2020

The East Goshen Township Planning Commission’s regular meeting, scheduled for Wednesday, June 3, 2020 was cancelled due to inclement weather conditions, and rescheduled to Wednesday June 17, 2020. Because of the COVID-19 restrictions the meeting was held via teleconference.

Members present are highlighted:

Chair – Ernest Harkness

Vice Chair – John Stipe

Dan Daley

Edward Decker

Michael Koza

Mark Levy

Michael Pagnanelli

Also present were:

Mark Gordon, Zoning Officer

Martin Shane, Township Supervisor

Kristin Camp, Esq., Township Solicitor

Gabrielle Long, Township Intern

Susan D’Amore, Township Staff

Mike Lynch, Township Supervisor

Michele Truitt, Township Supervisor

COMMON ACRONYMS:

BOS – Board of Supervisors

CPTF – Comprehensive Plan Task Force

BC – Brandywine Conservancy

CVS – Community Visioning Session

CB – Conservancy Board

SWM – Storm Water Management

CCPC – Chester Co Planning Commission

ZHB – Zoning Hearing Board

A. FORMAL MEETING – 7 p.m.

1. Ernie called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and a moment of silence to remember our first responders who keep us safe.
2. Ernie asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
3. Ernie checked the log. Synthes is scheduled for July 15, 2020. Mark mentioned that he received the revised plan today.
4. The minutes of the May 6, 2020 meeting were approved.

B. SUBDIVISION AND LAND DEVELOPMENT APPLICATIONS

1. Synthes USA, 1303 Goshen Parkway (Land Development). Mark G. reviewed what documents have been received.

C. OLD BUSINESS

1. Review Model Ordinances for Pipelines - Kristin explained that under common law in Pennsylvania the Public Utilities Commission regulates public utilities. She explained that process for getting permits. She mentioned that a public utility company doesn’t have to comply with local municipal ordinances. Since East Goshen is mostly developed, she is concerned that these proposed ordinances will have dire consequences. She commented that the setbacks are large 750 ft to 1,000 ft. The Commission needs to understand how the ordinance will impact residents.

Comments:

1 John asked if the setbacks are from the pipe or easement. Mark replied from the edge of the easement and
2 the size of easements vary with the pipelines.
3 John asked what other Municipalities have these ordinances. Ernie replied Willistown and East Bradford.
4 Mike P asked if there are any examples in East Goshen now. Mark G. replied that PECO on the Texas
5 Eastern pipeline is an example. East Goshen used their current ordinance to regulate that. He explained
6 the process he went through for that project. Mark also mentioned that Adelphia has a compressor station
7 on the property next to the Township Building. Kristin pointed out that Adelphia is not a Public Utility
8 but is regulated under Federal laws, which is a different layer. There are other considerations that impact
9 where they can go.
10 Ernie mentioned consultation zones. He thinks that is when we ask for documentation, but they don't
11 have to respond. Kristin gave examples.
12
13 Mark G. and Gabrielle presented pipeline analysis maps, which show the existing pipelines and
14 approximate 50 ft. easements. Mark reviewed where county consultation zones are located and their
15 sizes. Then he selected all parcels that would be in a 300 ft. setback. There were 1,587 parcels including
16 the business park. Ernie commented that we can't write an ordinance to specify particular parcels, right?
17 Kristin replied no and buildings already in the easement would be non-conforming. There was discussion
18 about expansion of existing buildings both business and residential.
19 John spoke about storm water depressions on certain parcels.
20 Dan asked to review the map. Mark G. showed the impact of 300 ft. setbacks on one undeveloped parcel.
21
22 Ernie thanked Kristin and Gabrielle for all they did on this project. He mentioned that several risk
23 assessments were done and he wants to get additional information from the Pipeline Authority. Then he
24 feels the PC should send a letter to the BOS explaining what has been done and asking if they want them
25 to continue. He will develop something to review at the next meeting.
26
27

28 **D. NEW BUSINESS**

29 None

30
31 **E. LIASION REPORTS**

32 Board of Supervisors – Marty mentioned that the Township staff is working on possible formats for
33 future meetings.
34

35 **F. ANY OTHER MATTER**

36 John asked if any restaurants have requested outdoor dining. Mark G. replied that there is nothing at this
37 time.
38
39

40 **G.. ADJOURNMENT**

41 There being no further business, Ed made a motion to adjourn the meeting. John seconded the
42 motion. The meeting was adjourned at 7:50 pm. The next regular meeting will be held on Wednesday,
43 July 1, 2020 at 7:00 p.m.
44

45
46 Respectfully submitted, _____
47 *Ruth Kiefer, Recording Secretary*

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Voice: 610-692-7171
Fax: 610-692-8950
E-mail: mgordon@eastgoshen.org

Date: 6/25/2020
To: Planning Commission
From: Mark Gordon, Township Zoning Officer *mlg*
Re: Synthes USA / JABIL / Land Development Application

Dear Commissioners,

As you know, the Township has received a Land Development Application from Synthes USA for their facility at 1303 Goshen Parkway. Synthes received Conditional Use Approval in 2017, to add an addition to the existing facility as well as associated parking lot and pedestrian walkway modifications.

The Land Development application proposes a 1,921 square foot addition to the existing manufacturing facility along with the required storm water management and landscape enhancements.

TOWNSHIP AND CONSULTANT REVIEWS:

Zoning:

- The applicant needs to demonstrate how they will completely screen the proposed rooftop mechanical units IAW §240-19F(2). **This can be provided during the building permit process however a permit will not be issued until the ordinance is met.**
- The Zoning Table indicates that the new addition will be the same height as the existing building however the applicant has presented information showing the new addition to be taller than the existing building. **The applicant needs to clarify the building height for the commission.**

Conservancy Board: The CB reviewed this application at their meeting May 13, 2020. **The CB recommendations have been incorporated in the latest revised plans.**

Pennoni: The Township engineer has reviewed the latest revision of the plans and has issued a review letter dated June 25, 2020. **Only minor comments remain and they are housekeeping and administrative in nature and will be addressed with staff prior to the presentation to the Board of Supervisors.**

Chester County Planning Commission: The CCPC has forwarded their review comments. **The CCPC comments are all administrative in nature.**

Fire Service Review: The Twp. Code Department has conducted a Fire Service review of the plans.

- Comment #3: The Fire Code Requires that buildings protected with fire suppression systems maintain at least two accessible areas to the roof for fire department vehicles. In this case the front of the building is one access point, and the rear of the building is the second access point. The western side of the building does not meet the access requirement because of the distance the building sits from the access drive. The loading dock area along the western side of the building cannot be considered because there could be large vehicles parked in the loading area at the time of an emergency. Since the rear of the building must be used as one of the required access points to the roof, the access drive must not be a "Dead-End access road".

Please review the fire code section and appendix noted in the review letter and provide turning templates for a ladder truck so the PC can discuss this at their meeting on July 1.

- Is there interior access to the roof from the main building?
- The addition needs to have ladder access to the main roof.

WAIVER REQUESTS:

The applicant has requested four waivers from the SALDO:

§205-28: Preliminary plan. The applicant is proposing a Preliminary / Final Plan submission, this waiver request is customary and justified.

§205-37C.(7): Pipe Sizes: the waiver request if for pipe sizes within the private storm water system. This waiver request is acceptable to the Twp. Engineer and justified.

§205-39: Traffic Impact Study: This project does not warrant a Traffic Study do to the limited scope and size of the proposed addition. This waiver request is acceptable and justified.

§205-40: Water Study: This project does not warrant a Water Study do to the limited scope and size of the proposed addition. This waiver request is acceptable and justified.

Staff Recommendation:

At this time, the only significant issue to resolve is the fire apparatus access to the rear of the building. This may entail some reconfiguration to the parking lot and that will need to be reviewed by the Township Engineer. At this time Staff does not support forwarding a recommendation to the Board of supervisor until this issue is resolved.

EAST GOSHEN CONSERVANCY

May 14, 2020

East Goshen Township
Planning Commission
1580 Paoli Pike
West Chester, Pa. 19380

Re: Synthes USA LD Application

Dear Commission Members:

At their meeting on May 13, 2020, the Conservancy Board voted unanimously in favor of the following motion:

Mr. Chairman, I move that we recommend the Planning Commission approve the Synthes USA Land Development application with the following conditions:

- 1. The applicant agrees to add five (5) additional evergreen trees on the north side of the northern parking area.*
- 2. The applicant agrees to amend the plans specifying tree species that are identified in the Township Tree Species list; Resolution 2015-20.*

Sincerely,



Mark A. Gordon
Zoning Officer



One South Church Street
Second Floor
West Chester, PA 19382
T: 610-429-8907
F: 610-429-8918

www.pennoni.com

June 25, 2020

EGOST 00131

Mark Gordon, Zoning Officer
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

**RE: Jabil Finishing Plant Expansion, 1303 Goshen Parkway
Preliminary/Final Land Development Plan – 2nd Submission**

Dear Mark:

As requested, we have reviewed the following information, prepared by Mainstay Engineering Group, Inc. in connection with the referenced project:

- “*Finishing Plant Expansion Plans*” (seventeen sheets), last revised June 12, 2020.
- “*Jabil Finishing Plant Expansion – Land Development Stormwater Narrative*” dated April 23, 2020, revised June 12, 2020; and
- Response letter dated June 12, 2020 and waiver request letter.

The applicant, Synthes USA HQ, Inc., proposes to construct a ±1,926 square foot addition with sidewalk and new utilities at an existing manufacturing facility on UPI #53-003-001.1200 (±8.6 acres) at 1303 Goshen Parkway (T-646). The property is located approximately 460 feet west of the intersection of Airport Road and Goshen Parkway, within the I-1 Light Industrial District. The lot is currently served by public water and public sanitary sewer.

In 2017, the applicant received Conditional Use approval to increase the total impervious coverage to 60%. The proposed expansion was included on the Conditional Use Plan associated with that approval.

The applicant has requested the following four (4) waivers:

1. From §205-28 – requiring a sperate preliminary plan submission;
2. From §205-40 – requiring a water study;
3. From §205-39 – requiring a traffic impact study; and
4. From §205-37.C(7) – requiring a minimum inside pipe diameter of 15 inches.

The following comments from our May 21, 2020 review letter remain outstanding (***new comments in bold/italics***):

ZONING

1. All new structures shall incorporate a complete visual screen for all rooftop structures. (§240-19.F(2))

Pending. The applicant has indicated this requirement will be reflected on the architectural drawings.

2. It is unclear why the required building coverage area in the *Zoning Summary* table is blacked out. Please indicate the required 30% in the table. (§240-19.G)

Resolved. The Zoning Summary table has been updated.

3. The rear yard shall be measured from the property line to the proposed addition and the *Zoning Summary* table updated. (§240-19.G)

Resolved. The Zoning Summary table has been updated.

4. A detail for the proposed lighting shall be provided to confirm the light is completely shielded and/or covered by an appropriate translucent cover. (§240-27.C(7)(b))

Outstanding. It appears the applicant has provided a detail for the lighting adjacent to the walkway however no detail has been provided for the parking lot light.

SUBDIVISION AND LAND DEVELOPMENT

5. The applicant is proposing preliminary/final plan approval, therefore a waiver from §205.1 should additionally be requested.

Resolved. The applicant has requested a waiver.

6. Regarding preliminary and final plan requirements (§205-30 and §205-33), the following should be provided:

- a. The name of all abutting or adjacent property owners in the vicinity of the project including those across Goshen Parkway. (§205-30.B(5))

Resolved. Property owners have been added to the plans.

- b. Location and elevation of the benchmark to which contour elevations refer. (§205-30.B(8))

Resolved. Benchmark information has been added to the plans.

- c. Such private deed restrictions and/or a statement of any restrictions previously imposed in accordance with §205-33.C(2). If no such deed restrictions exist or will be imposed, it is recommended a note stating the same be indicated on the plan.

Resolved. The applicant has added notes to Sheet C0.12.

STORMWATER MANAGEMENT

7. Regarding the Erosion and Sediment Control Plans, please provide the following, including details, if applicable:

- a. Indicate construction fence around the proposed infiltration area.

Resolved. The construction fence has been added to the plans.

- b. Provide a means to prevent sediment from being deposited on public roads, such as a rock construction entrance and/or wash station.

Resolved. The applicant has proposed a wash station.

- c. Indicate a concrete washout area.

Resolved. A concrete washout area is now indicated on the plans.

- d. Indicate a soil stockpile area.

Resolved. A soil stockpile area is now indicated on the plans.

- e. It is unclear how the outlet modifications will be completed without possible additional earth disturbance. Please revise the limit of disturbance accordingly.

Resolved. Work in this area is limited to modifications to the outlet structure; no earth disturbance will be required.

8. Wherever possible, infiltration should be designed to accommodate the entire water quality and runoff volume required in §195-19. (§195-20.A)

Resolved. The applicant provided calculations which demonstrate the requirement is met.

9. The applicant should clearly identify the predeveloped and post-developed areas and specifically BMP drainage area in the report.

Resolved. The applicant has identified the drainage areas on the drainage area plan.

10. Please provide the location of the test pit used for the design of the proposed infiltration facility on the plan. (§195-20.I)

Resolved. The applicant has indicated the test pit location.

11. The applicant should provide Worksheet 4 calculations for the area tributary to the proposed infiltration BMP to demonstrate compliance with §195-19 and §195-20.

Resolved. The applicant has indicated the BMP tributary area on the drainage area plans and has provided calculations demonstrating compliance with §195-19 and §195-20.

12. The proposed BMP does not appear to be included in the *HydroCAD* model. Please provide routing calculations for the proposed infiltration BMP. (§195-19 and §195-20)

Resolved. The applicant has provided calculations for the proposed infiltration bed.

13. The closest infiltration test to the proposed BMP appears to be more than 75 feet away from the proposed location. The applicant should provide a test pit and infiltration test at the proposed infiltration elevation in the area of the proposed BMP. (§195-20J(1))

Resolved. The applicant has provided infiltration testing adjacent to the proposed infiltration bed.

14. Please provide calculations to ensure the system will dewater in 72 hours. (§195-20-J(3))

Resolved. The applicant has provided calculations which demonstrate that the infiltration bed and basin dewater within 72 hours.

15. The plans shall note that during site construction, all infiltration practice components shall be protected from compaction due to heavy equipment operation or storage of fill or construction

material. Infiltration areas shall also be protected from sedimentation. Areas that are accidentally compacted or graded shall be remediated to restore soil composition and porosity. (§195-20-M)

Resolved. The applicant has provided notes on Sheet C1.01 regarding equipment operation within the stormwater BMP areas.

16. Where roof drains are designed to discharge to infiltration practices, they shall have appropriate measures to prevent clogging by unwanted debris (for example, silt, leaves and vegetation). Such measures shall include but are not limited to leaf traps, gutter guards and cleanouts. (§195-20-O)

Resolved. The applicant has indicated leaf separators on the plans and details.

17. All infiltration practices shall have appropriate positive overflow controls. Please provide a detail and routing calculations for the proposed BMP.

Resolved. The applicant has provided an overflow for the infiltration bed.

18. Please provide complete delineation of the flow paths used for calculating the time of concentration (Tc) for the predevelopment and postconstruction conditions. (§195-27.B(14))

Resolved. The applicant provided Tc flow paths on the drainage area plans.

19. Please provide a statement, signed by the applicant, acknowledging that any revision to the approved SWM site plan shall be submitted to and approved by the municipality and that a revised erosion and sediment control plan shall be submitted to, and approved by East Goshen Township for a determination of adequacy prior to construction of the revised features on the PCSM Plan. (§195-27.A(3))

Resolved. The applicant has provided the statement on Sheet C6.03.

20. Please provide the required signature block signed and sealed by the qualified licensed professional responsible for the preparation of the SWM site plan. (§195-27.A(4))

Resolved. The applicant provided the signature block on Sheet C6.03.

21. A detail for the proposed infiltration BMP shall be provided. (§195-27.B(13))

Resolved. The applicant has provided a detail on Sheet C3.21.

22. The PCSM Plan includes notes regarding a Notice of Termination. Since an NPDES permit is not required the notes should be removed.

Resolved. The applicant removed the note.

23. The applicant is reminded that a *Stormwater Management Operation and Maintenance Agreement* shall be completed. (§195-36) This document is available on the Township website. Please sign two copies and return to the Township for authorization by the Board of Supervisors. The Township will then return to the applicant for recording with the plan, at the County. A copy of the time stamped document and proof of recording should then be returned to the Township.

The applicant has acknowledged this requirement.

24. It appears the proposed outlet structure modification may be on the adjacent property, which is noted as under different ownership; please confirm authorization has been provided from the property owner.

The applicant has stated that they will secure the permissions prior to final plan approval.

25. The applicant should provide an easement granting the Township ingress and egress to the stormwater BMP's. Note: a blanket easement is acceptable; see below. (§195-27.B(18)(c))

Resolved. The applicant has offered a blanket easement on a note on Sheet C6.01.

26. Per §195-39, the Township requests that the following be added to the plans regarding stormwater management easement:

"A blanket stormwater management easement is provided over and across the property in favor of East Goshen Township to allow the Township and its agent and designees access to the proposed stormwater management facilities. The Township is granted the right, but not the duty, to access and conduct periodic inspections and to undertake other actions that may be necessary to enforce the requirements of the Township's Stormwater Management Ordinance or of any applicable O&M plan or O&M agreement."

Resolved. The applicant added the note to Sheet C6.01.

GENERAL

27. We recommend the Conditional Use approval be noted on the plans and referenced below the Zoning Summary table (Sheet C0.12) regarding the impervious coverage.

Resolved. The Conditional Use approval as been added to the plans below the Zoning Summary table.

28. The plans should indicate any additional signage proposed.

The applicant has indicated there is no additional signage proposed as part of this land development.

Should you have any further questions or comments, please contact the undersigned.

Sincerely,

PENNONI



Nathan M. Cline, PE
Township Engineer

cc: Rick Smith, Township Manager (via e-mail)
Mark Miller, Director of Public Works (via e-mail)



THE COUNTY OF CHESTER



COMMISSIONERS

Marian D. Moskowitz
Josh Maxwell
Michelle Kichline

Brian N. O’Leary, AICP
Executive Director

PLANNING COMMISSION

Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

May 27, 2020

Louis F. Smith, Jr., Manager
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Re: Preliminary/Final Land Development - 1303 Goshen Parkway
East Goshen Township – LD-05-20-16336

Dear Mr. Smith:

A Preliminary/Final Land Development Plan entitled "1303 Goshen Parkway", prepared by Mainstay Engineering Group, and dated March 31, 2020, and last revised on April 23, 2020, was received by this office on April 28, 2020. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed land development for your consideration.

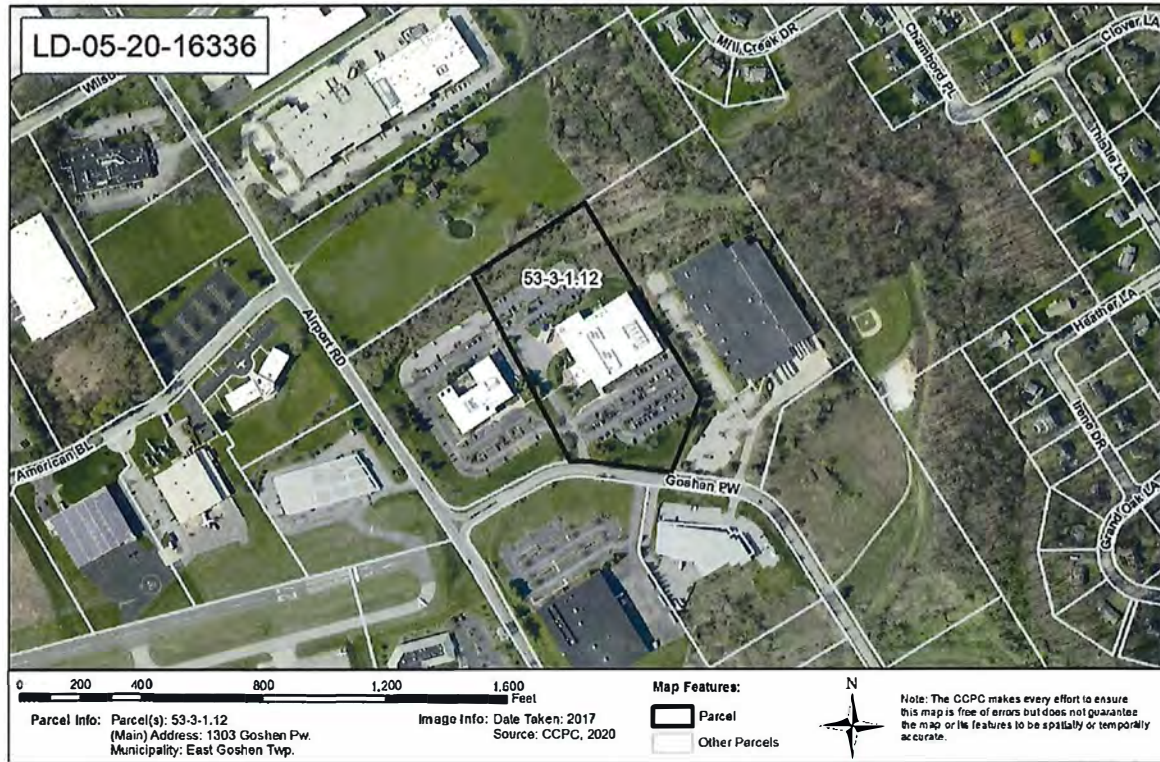
PROJECT SUMMARY:

Location:	the north side of Goshen Parkway, east of Airport Road
Site Acreage:	8.63
Lots/Units:	1 Lot
Non-Res. Square Footage:	1,921
Proposed Land Use:	Addition to Existing Building (Jabil Brandywine Plant)
New Parking Spaces:	0
Municipal Land Use Plan Designation:	Business Park Industrial
UPI#:	53-3-1.12

PROPOSAL:

The applicant proposes the construction of a 1,921 square foot building addition. No new sewage disposal or water supply is proposed as part of this plan submission. The project site is located in the I-1 Light Industrial zoning district.

RECOMMENDATION: The County Planning Commission recommends that the administrative issues raised in this letter should be addressed, and all Township issues should be resolved before action is taken on this land development plan.



COUNTY POLICY:

LANDSCAPES:

1. The project site is located within the **Suburban Center Landscape** and **Natural Landscape** designations of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Center Landscape** is regional economic, population and transportation centers with varying land uses, accommodating substantial future growth of medium to high intensity. As an overlay of all other landscapes, the county's **Natural Landscapes** consist of a network of streams, wetlands, floodplains, and forests that are protected by regulations or should be subject to limited disturbance. Conservation practices should protect and restore these natural resources. The proposed land development is consistent with the objectives of the **Suburban Center Landscape**.

WATERSHEDS:

2. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the Chester Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are: reduce stormwater runoff, restore water quality of "impaired" streams, and protect vegetated riparian corridors. **Watersheds** can be accessed at www.chesco.org/water.

Page: 4

Re: Preliminary/Final Land Development - 1303 Goshen Parkway

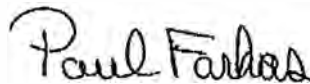
East Goshen Township – LD-05-20-16336

ADMINISTRATIVE ISSUES:

3. While not identified on Sheet C0.11 (Conditional Use Plan), the October 17, 2017 Township Board of Supervisors meeting minutes indicate that conditional use approval was granted to increase the impervious coverage on the property to sixty percent (60%), with six conditions of approval (we note that the Zoning Summary table Sheet C0.12-Land Development Plan indicates that the maximum impervious coverage is proposed to increase from 55 percent to approximately 56 percent). Prior to granting final plan approval, the Township should verify that all applicable conditions of approval are incorporated into the final plan, the details of which should be identified on the plan.
4. Land disturbance and land development activities that occur within Chester County must comply with the *County-wide Act 167 Stormwater Management Plan for Chester County, PA* (July 2013) and the associated Act 167 stormwater management ordinance standards adopted by each municipality.
5. The applicant is requesting three waivers from Article VIII-Supplementary Studies and Plans of the Township Subdivision and Land Development Ordinance. Waiver requests should only be granted following the determination that the proposed project either meets the purpose of these requirements or does not create the impacts that these provisions are intended to manage.
6. A minimum of four (4) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds and the Assessment Office.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of East Goshen Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Paul Farkas
Senior Review Planner

cc: Synthes USA HQ, Inc.
Johnson & Johnson
Mainstay Engineering Group

BOARD OF SUPERVISORS
EAST GOSHEN TOWNSHIP
CHESTER COUNTY
1580 PAOLI PIKE, WEST CHESTER. PA 19380-6199
610-692-7171

Date: June 24, 2020

Address: Jabil 1303 Goshen Parkway, West Chester Pa. 19380

RE: Land development Application / Fire Service site plan review for proposed ~1900 s.f. addition.

The following questions or concerns arose as a result of my plan review for the above referenced project. To expedite the permit approval, please submit the additional information so that this project can proceed:

1. Fire Department Connection (FDC) is located behind a generator on the west wall, is unmarked, and is fashioned as a single 2 ½-inch connection. The FDC needs to be moved to an accessible location (to be determined by the Fire Chief). It also needs to be properly marked (identified) with signage and has to be fashioned as a 5 inch Storz connection on a 30-degree swivel.
2. There is an entrance door on the southwest corner of the building (near the loading docks and near a roll up door). That door (by signage) warns of combustible liquids inside. It needs to be determined what liquids are being stored and if the storage is proper and protected. It must also be determined if they are being stored in the exit way or exit discharge.
3. The turning radius at the end of the parking lot on the north side of the building (in the area where the addition is going) is questionable for the responding fire apparatus. It does not appear sufficient for fire apparatus to turn (and even if it sufficient) the fire apparatus would turn into a dead-end access roadway with no way of turning around. Applicant must demonstrate reconfiguration of that area and satisfy the requirements in **Section 503.2.5** of the 2015 International Fire Code, entitled Dead Ends (below) and Appendix D.

“Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus.”

4. The trees in the traffic island in the north side of the building need to be pruned so that fire apparatus can maneuver without obstruction.

If you have any questions, please feel free to call me via e-mail or by calling one of the numbers provided below.

Respectfully Yours,



Vincent J. Di Martini
Building Inspector / Fire Inspector
East Goshen Township
Office: 610-692-7171

June 12, 2020

East Goshen Township
Mr. Mark A. Gordon, CFM
Director of Code Enforcement / Zoning Officer
1580 Paoli Pike
West Chester, PA 19380

RE: 1303 Goshen Parkway – Preliminary / Final Land Development
Jabil Finishing Plant Expansion
1303 Goshen Parkway, West Chester, PA 19380
Mainstay Project Number: 19360
Pennoni / EGT Reference: EGOST00131

Mr. Gordon:

We have received the Township Engineer's technical review letter, prepared by Mr. Nathan M. Cline, P.E., and dated May 21, 2020 for the above-referenced project, and we offer the following responses:

ZONING

1. *All new structures shall incorporate a complete visual screen for all rooftop structures. (§240-19.F(2))*

Architectural drawings will reflect compliance with this section.

2. *It is unclear why the required building coverage area in the Zoning Summary table is blacked out. Please indicate the required 30% in the table. (§240-19.G)*

The Zoning Summary table has been revised to indicate the building coverage area as 30%.

3. *The rear yard shall be measured from the property line to the proposed addition and the Zoning Summary table updated. (§240-19.G)*

A dimension indicating the proposed rear yard has been added to the plans. The Zoning Summary table (Sheet C0.12) has been updated as well.

4. *A detail for the proposed lighting shall be provided to confirm the light is completely shielded and/or covered by an appropriate translucent cover. (§240-27.C(7)(b))*

A detail has been provided on the Lighting and Landscaping Plan (Sheet C5.01).

SUBDIVISION AND LAND DEVELOPMENT

5. *The applicant is proposing preliminary/final plan approval, therefore a waiver from §205.28 should additionally be requested.*



A waiver is requested from Section 205-28, from the requirement to submit a preliminary plan. The applicant proposes the submission of preliminary/final.

6. *Regarding preliminary and final plan requirements (§205-30 and §205-33), the following should be provided:*

- a. *The name of all abutting or adjacent property owners in the vicinity of the project including those across Goshen Parkway. (§205-30.B(5))*

This information has been added to the plan set.

- b. *Location and elevation of the benchmark to which contour elevations refer. (§205-30.B(8))*

This information has been added to the Land Development Plan (Sheet C0.12).

- c. *Such private deed restrictions and/or a statement of any restrictions previously imposed in accordance with §205-33.C(2). If no such deed restrictions exist or will be imposed, it is recommended a note stating the same be indicated on the plan.*

This information has been added to the Land Development Plan (Sheet C0.12).

STORMWATER MANAGEMENT

7. *Regarding the Erosion and Sediment Control Plans, please provide the following, including details, if applicable:*

- a. *Indicate construction fence around the proposed infiltration area.*

Construction fencing has been added around the infiltration basin area on the Conservation Plan (Sheet C1.11) and a detail has been added on the Conservation Details (Sheet C7.11).

- b. *Provide a means to prevent sediment from being deposited on public roads, such as a rock construction entrance and/or wash station.*

A mobile wash station has been added to the Conservation Plan (Sheet C1.11).

- c. *Indicate a concrete washout area.*

A concrete washout has been added on the Conservation Plan (Sheet C1.11) and a detail has been added on the Conservation Details (Sheet C7.11).

- d. *Indicate soil stockpile area.*

A soil stockpile has been added on the Conservation Plan (Sheet C1.11) referring to the detail located on the Conservation Details (Sheet C7.11).



- e. *It is unclear how the outlet modifications will be completed without possible additional earth disturbance. Please revise the limit of disturbance accordingly.*

The outlet modifications are described on the Site Utilities Plan (Sheet C3.21), being a new galvanized steel plate with 16" orifice to be grouted to the existing headwall and the replacement of the inlet grate with a galvanized steel plate with 18" orifice.

Both modifications are orifice plates to be attached on the face of the structure and on top plane of the structure. No earth disturbance is described or necessary for installation.

8. *Wherever possible, infiltration should be designed to accommodate the entire water quality and runoff volume required in §195-19. (§195-20.A)*

Calculations have been updated to demonstrate compliance with this section.

9. *The applicant should clearly identify the predeveloped and post-developed areas and specifically BMP drainage area in the report.*

The Pre-Development and Post-Development Watershed Plans delineate these areas.

10. *Please provide the location of the test pit used for the design of the proposed infiltration facility on the plan. (§195-20.I)*

Test pit location has been located on the Post-Development Drainage Plan (Sheet C6.01). Refer to infiltration report in the Stormwater Narrative appendix.

11. *The applicant should provide Worksheet 4 calculations for the area tributary to the proposed infiltration BMP to demonstrate compliance with §195-19 and §195-20.*

Worksheet 4 is now a legacy document, and not available readily from PADEP. With that understood, the design of the infiltration BMP has been modified, and inclusion of additional worksheets is not necessary.

12. *The proposed BMP does not appear to be included in the HydroCAD model. Please provide routing calculations for the proposed infiltration BMP. (§195-19 and §195-20)*

The proposed infiltration bed has been added to the HydroCAD model.

13. *The closest infiltration test to the proposed BMP appears to be more than 75 feet away from the proposed location. The applicant should provide a test pit and infiltration test at the proposed infiltration elevation in the area of the proposed BMP. (§195-20)(1)*

Test pit location has been located on the Post-Development Drainage Plan (Sheet C6.01). Refer to infiltration report in the Stormwater Narrative appendix.



14. Please provide calculations to ensure the system will dewater in 72 hours. (§195-20-J(3))

Basin A hydrograph table has been added to the HydroCad Appendix in the Stormwater Narrative to demonstrate compliance with this requirement.

15. The plans shall note that during site construction, all infiltration practice components shall be protected from compaction due to heavy equipment operation or storage of fill or construction material. Infiltration areas shall also be protected from sedimentation. Areas that are accidentally compacted or graded shall be remediated to restore soil composition and porosity. (§195-20-M)

The following notes has been added to the Excavation and Backfill notes located on the Existing Features and Demolition Plans (Sheet C1.01):

9. COMPACTION OF SOILS WITHIN STORMWATER BMP AREAS IS NOT ACCEPTABLE. EQUIPMENT OPERATING WITHIN STORMWATER BMP AREAS SHOULD BE EQUIPPED FOR LOW-PRESSURE OPERATIONS (MAX PRESSURE 7 PSI).
10. DURING SITE CONSTRUCTION, ALL INFILTRATION BMP COMPONENTS SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL. INFILTRATION AREAS SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY."

16. Where roof drains are designed to discharge to infiltration practices, they shall have appropriate measures to prevent clogging by unwanted debris (for example, silt, leaves and vegetation). Such measures shall include but are not limited to leaf traps, gutter guards and cleanouts. (§195-20-O)

A downspout boot detail (11/C7.01) specifying a cleanout has been added to the Civil Details Sheet (Sheet C7.01). Cleanouts are indicated along the trunk line for the roof drain system.

17. All infiltration practices shall have appropriate positive overflow controls. Please provide a detail and routing calculations for the proposed BMP.

A detail of the infiltration facility is provided on C3.21. An overflow pipe with top-third perforations is located near the top of the infiltration facility. Any overflow from the infiltration basin will enter the detention basin.

18. Please provide complete delineation of the flow paths used for calculating the time of concentration (T_c) for the predevelopment and postconstruction conditions. (§195-27.B(14))

The complete delineation of flow paths for the time of concentration (T_c) has been added to the Pre-Development Drainage Plan (Sheet C6.01) and the Post-Development Drainage Plan (Sheet C6.02).



19. *Please provide a statement, signed by the applicant, acknowledging that any revision to the approved SWM site plan shall be submitted to and approved by the municipality and that a revised erosion and sediment control plan shall be submitted to, and approved by East Goshen Township for a determination of adequacy prior to construction of the revised features on the PCSM Plan. (§195-27.A(3))*

The following statement with signature line has been added to the Stormwater Management Plan (Sheet C6.03):

“THE PERMITTEE ACKNOWLEDGES THAT ANY REVISION TO THE APPROVED STORMWATER MANAGEMENT PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY EAST GOSHEN TOWNSHIP FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES ON THE STORMWATER MANAGEMENT PLAN”

20. *Please provide the required signature block signed and sealed by the qualified licensed professional responsible for the preparation of the SWM site plan. (§195-27.A(4))*

The required signature block has been signed and sealed by the engineer of record.

21. *A detail for the proposed infiltration BMP shall be provided. (§195-27.B(13))*

A detail has been added to C3.21.

22. *The PCSM Plan includes notes regarding a Notice of Termination. Since an NPDES permit is not required the notes should be removed.*

The Notice of Termination notes have been removed from the Stormwater Management Plan (Sheet C6.01).

23. *The applicant is reminded that a Stormwater Management Operation and Maintenance Agreement shall be completed. (§195-36) This document is available on the Township website. Please sign two copies and return to the Township for authorization by the Board of Supervisors. The Township will then return to the applicant for recording with the plan, at the County. A copy of the time stamped document and proof of recording should then be returned to the Township.*

The applicant acknowledges this requirement and will provide prior as part of the final plan approval resolution.

24. *It appears the proposed outlet structure modification may be on the adjacent property, which is noted as under different ownership; please confirm authorization has been provided from the property owner.*

The owner shall secure any necessary easements as part of the Final Plan Approval Resolution.



25. *The applicant should provide an easement granting the Township ingress and egress to the stormwater BMP's. Note: a blanket easement is acceptable; see below. (§195-27.B(18)(c))*

A blanket easement as noted below has been added to the Stormwater Management Plan (Sheet C6.01).

26. *Per §195-39, the Township requests that the following be added to the plans regarding stormwater management easement: "A blanket stormwater management easement is provided over and across the property in favor of East Goshen Township to allow the Township and its agent and designees access to the proposed stormwater management facilities. The Township is granted the right, but not the duty, to access and conduct periodic inspections and to undertake other actions that may be necessary to enforce the requirements of the Township's Stormwater Management Ordinance or of any applicable O&M plan or O&M agreement."*

The aforementioned note has been added to the boxed note located in the upper left corner of the Stormwater Management Plan (Sheet C6.01.)

GENERAL

27. *We recommend the Conditional Use approval be noted on the plans and referenced below the Zoning Summary table (Sheet C0.12) regarding the impervious coverage.*

The Conditional Use Approval as stated by East Goshen Township has been added adjacent to the Zoning Summary on C0.12.

28. *The plans should indicate any additional signage proposed.*

No additional signage is proposed as part of this Land Development.

Please process the enclosed for review. If you have any questions, or should you require additional information, please do not hesitate to contact me at (215) 646-5595 x 115 or dcitro@megr.com.

Best regards,
Mainstay Engineering Group, Inc.

David F. Citro, P.E.
Civil Engineering Department Manager

CC: Todd McVoy (JABIL)
Brendan Burke, Esq. (Law Offices of Brendan P. Burke, LLC)
John Neilson, RA (Johnsrud/Bergmann Architects)



Civil Engineering
Structural Engineering
Fall Protection

1303 GOSHEN PARKWAY – JABIL PLANT EXPANSION LAND DEVELOPMENT
SYNTHES USA HQ INC.
WAIVERS REQUESTED FROM
CHAPTER 205 (SUBDIVISION & LAND DEVELOPMENT ORDINANCE)

SECTION 205-40: A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A WATER STUDY. NO NEW WATER SERVICES ARE PROPOSED.

SECTION 205-39: A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A TRAFFIC IMPACT STUDY. THERE WILL BE NO INCREASE / DECREASE IN THE NUMBER OR LOCATION OF SITE DRIVEWAYS.

SECTION 205-37C.(7): A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A MINIMUM INSIDE DIAMETER OF 15 INCHES. PIPES ARE SIZED APPROPRIATELY ACCORDING TO FLOW WITH A MINIMUM OF 6 INCHES.

SECTION 205-28: A WAIVER IS REQUESTED FROM THE PROVISION TO SUBMIT A PRELIMINARY PLAN. THE APPLICANT PROPOSES THE SUBMISSION OF PRELIMINARY / FINAL.

CIVIL INDEX SHEET PRELIMINARY / FINAL LAND DEVELOPMENT

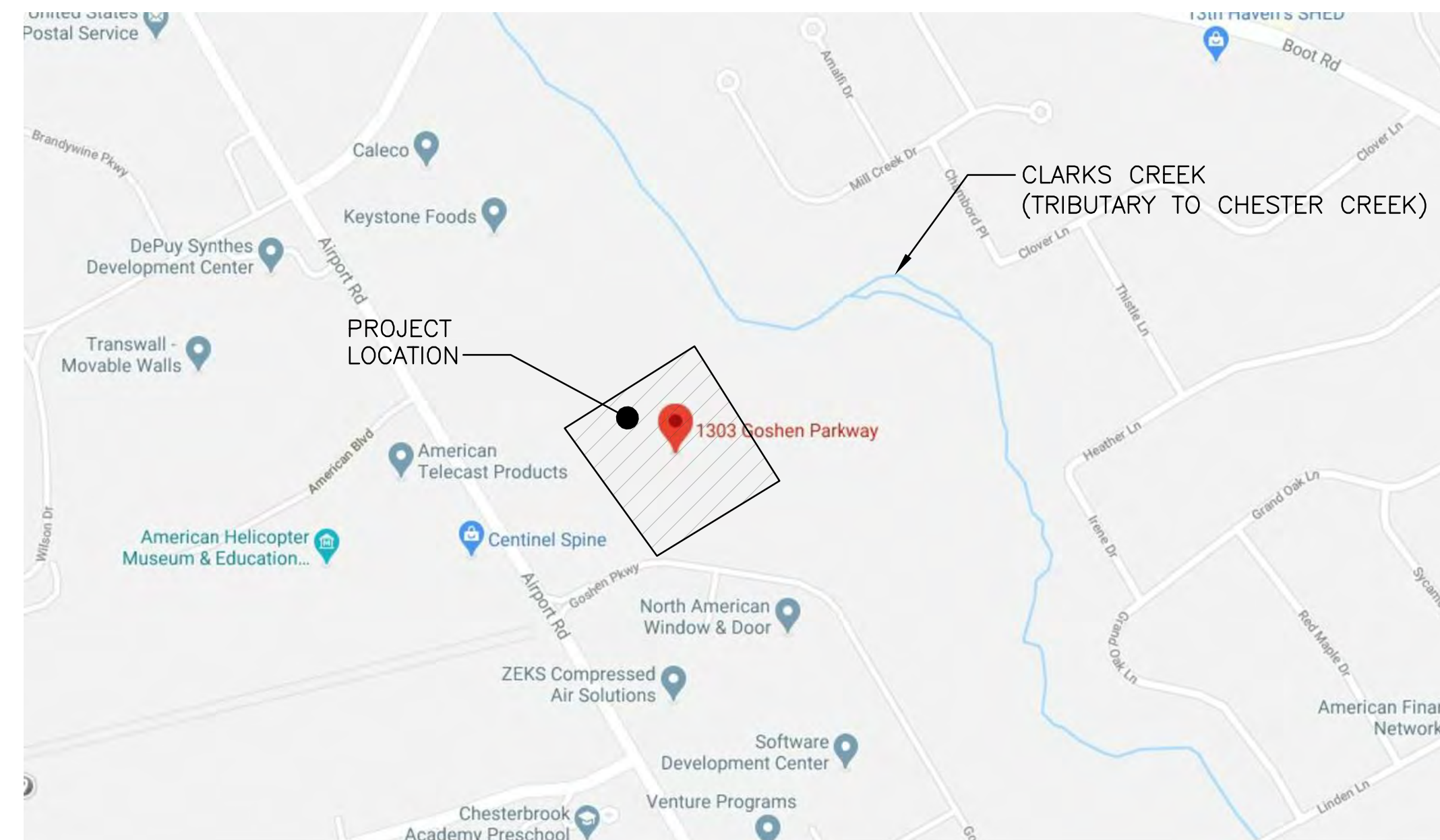
JABIL FINISHING PLANT EXPANSION 1303 GOSHEN PARKWAY

RECORD OWNER/APPLICANT:
SYNTHES USA HQ INC
1302 WRIGHTS LANE E
WEST CHESTER, PA 19380

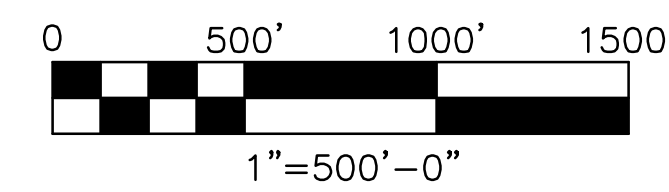
ARCHITECT:
JOHNSRUD ARCHITECTS, A BERGMANN COMPANY
2700 INTERPLEX DRIVE
TREVOSE, PA 19053

MEP ENGINEER:
GENESIS ENGINEERS
1 SENTRY PARKWAY, SUITE 100
BLUE BELL, PA 19422

CIVIL & STRUCTURAL ENGINEER:
MAINSTAY ENGINEERING GROUP, INC.
1750 WALTON ROAD
BLUE BELL, PA 19422

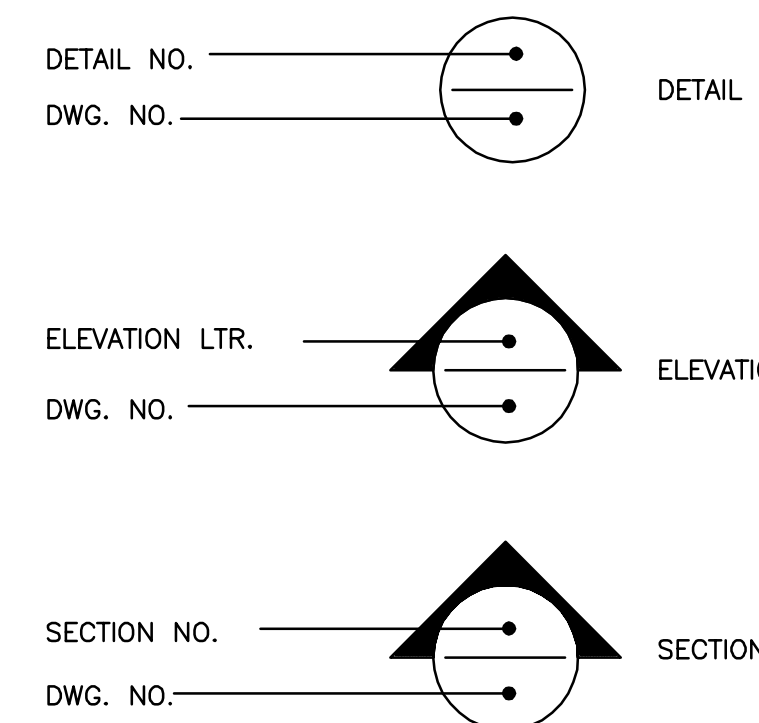


SITE LOCATION MAP
SCALE 1"=500'



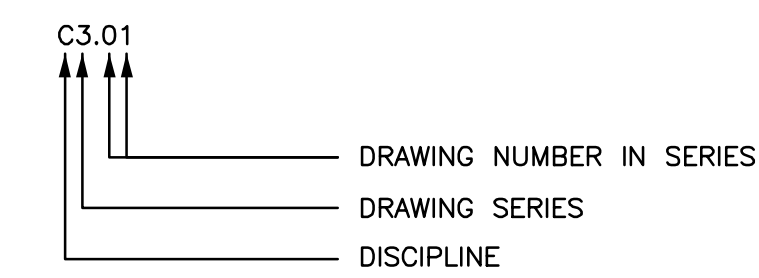
ABBREVIATIONS

⊙	AT	(N)	NEW NUMBER
BC	BOTTOM CURB	NO	ON CENTER (S)
BG	BELOW GRADE	PC	POINT OF CURVATURE
BW	BUILDING	PSI	POUNDS PER SQUARE INCH
	BOTTOM OF WALL	PVC	POLYVINYL CHLORIDE
CAL	CALIPER	RCP	REINFORCED CONCRETE PIPE
CO	CLEAN OUT	S	SLOPE
CONC	CONCRETE	SAN	SANITARY SEWER
CONT	CONTINUOUS OR CONTINUE	SF	SQUARE FOOT
DI	DIAMETER	SPEC	SPECIFICATION (S)
DWG	DRAWING	SWL	SINGLE WHITE LINE
DYL	DOUBLE YELLOW LINE	TC	TOP CURB
(E)	EXISTING	TG	TOP OF GRATE
EL	ELEVATION	TOP	TOP OF PAVEMENT
EP	EDGE OF PAVEMENT	TSLAB	TOP OF PAVEMENT
EX	EXISTING	TYP	TYPICAL
F.E.S.	FLARED END SECTION	TW	TOP OF WALL
FFE	FINISHED FLOOR ELEVATION	UG	UNDERGROUND
GALV	GALVANIZED	UON	UNLESS OTHERWISE NOTED
INV	INVERT	VIF	VERIFY IN FIELD
LF	LINEAL FOOT	W	WEST
MAX	MAXIMUM	W/	WITH
ME	MATCH EXISTING	WV	WATER VALVE
MEW	MIDDLE EACH WAY	WWF	WELDED WIRE FABRIC
MH	MANHOLE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MON	MONUMENT		



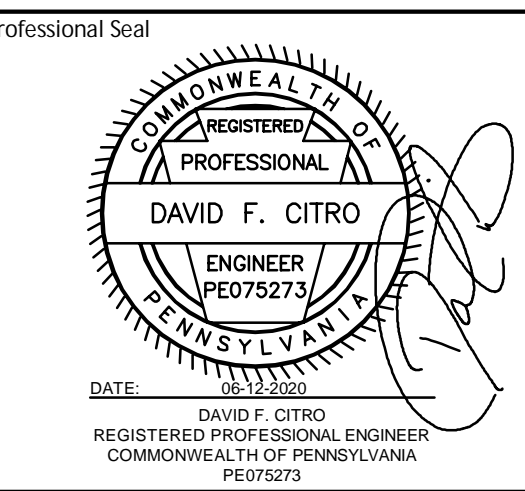
DRAWING SCHEDULE CIVIL

DRAWING NUMBER NOMENCLATURE



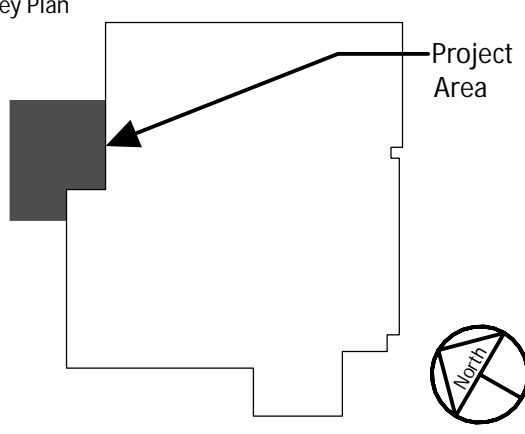
DRAWING NUMBER	DRAWING TITLE	DATE ISSUED	ISSUE DESCRIPTION	ISSUE FOR BID	ISSUE FOR OWNER REVIEW
C0.01	CIVIL INDEX SHEET	08/17/2020	LAND DEVELOPMENT ISSUE #2		
C0.11	CONDITIONAL USE PLAN*	08/23/2020	LAND DEVELOPMENT ISSUE		
C0.12	LAND DEVELOPMENT PLAN	08/23/2020	LAND DEVELOPMENT ISSUE		
C1.01	EXISTING FEATURES AND DEMOLITION PLAN	08/23/2020	ISSUE FOR BID		
C1.11	CONSERVATION PLAN	08/23/2020	ISSUE FOR BID		
C3.01	SITE IMPROVEMENT'S PLAN	08/23/2020	ISSUE FOR BID		
C3.11	SITE GRADING PLAN	08/23/2020	ISSUE FOR BID		
C3.21	SITE UTILITIES PLAN (1 OF 2)	08/23/2020	ISSUE FOR BID		
C3.22	SITE UTILITIES PLAN (2 OF 2)	08/23/2020	ISSUE FOR BID		
C4.01	STORM UTILITIES PROFILE	08/23/2020	ISSUE FOR BID		
C5.01	LANDSCAPE PLAN	08/23/2020	ISSUE FOR BID		
C6.01	PRE-DEVELOPMENT DRAINAGE PLAN	08/23/2020	ISSUE FOR BID		
C6.02	POST-DEVELOPMENT DRAINAGE PLAN	08/23/2020	ISSUE FOR BID		
C6.03	STORMWATER MANAGEMENT PLAN	08/23/2020	ISSUE FOR BID		
C7.01	CIVIL DETAILS SHEET (1 OF 2)	08/23/2020	ISSUE FOR BID		
C7.02	CIVIL DETAILS SHEET (2 OF 2)	08/23/2020	ISSUE FOR BID		
C7.11	CONSERVATION DETAILS SHEET	08/23/2020	ISSUE FOR BID		

* REFERENCE DOCUMENT



THESE DRAWINGS SHALL NOT BE UTILIZED FOR CONSTRUCTION UNLESS EXPLICITLY NOTED AS "CONSTRUCTION ISSUE". THE INTENDED USE OF THESE DRAWINGS SHALL BE ONLY AS INDICATED IN THE ISSUANCE DESCRIPTION OF THE DRAWING TITLE BLOCK. MAINSTAY ENGINEERING GROUP, INC. SHALL ASSUME NO LIABILITY FOR DRAWINGS THAT ARE USED FOR ANY PURPOSE OTHER THAN INDICATED ON THESE DRAWINGS.

Rev.	Rev. Date	Description
D	06-12-2020	LAND DEVELOPMENT ISSUE #2
C	05-01-2020	ISSUE FOR BID
B	04-23-2020	LAND DEVELOPMENT ISSUE
A	03-31-2020	ISSUE FOR OWNER REVIEW

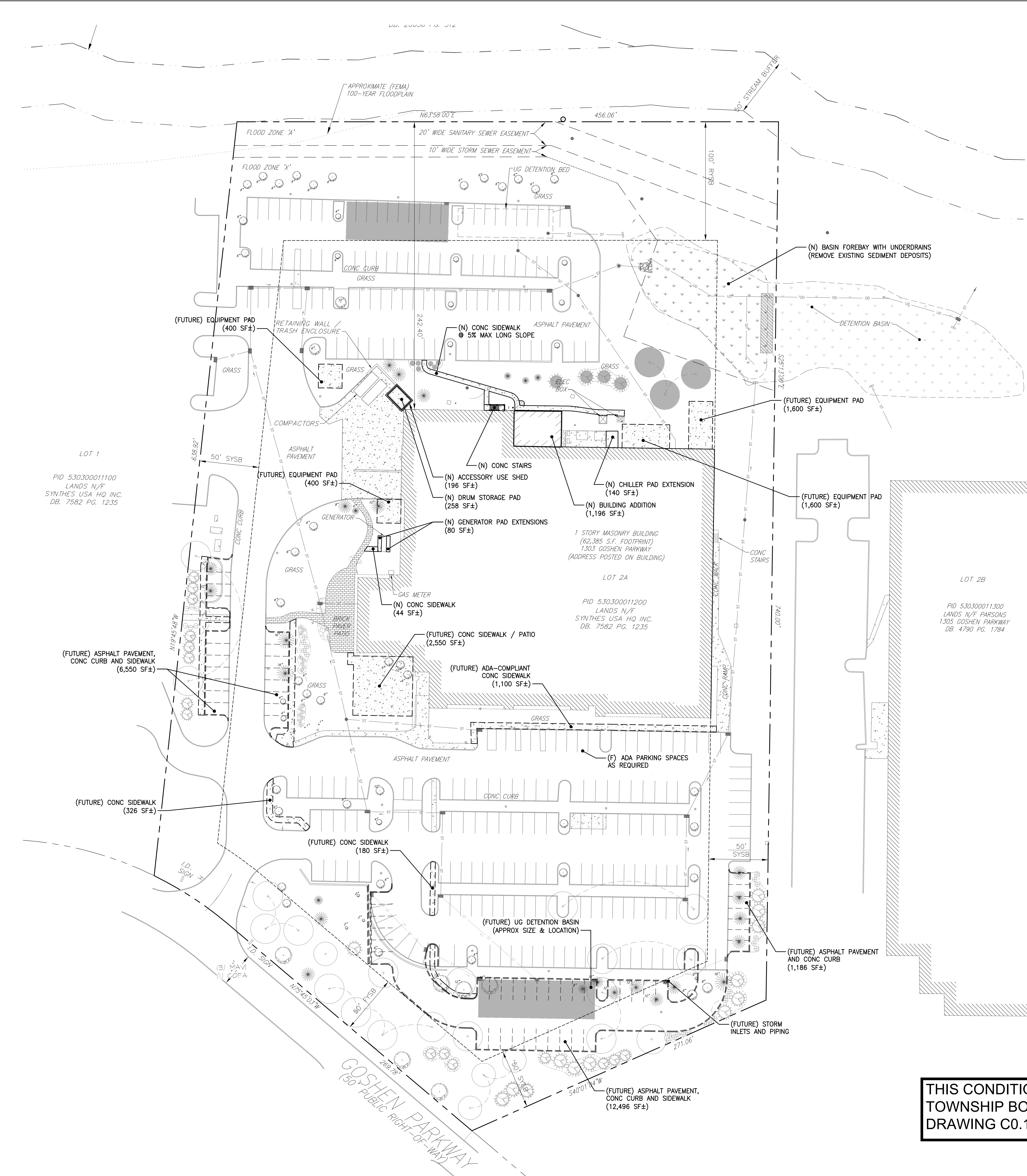


Project Title:
FINISHING PLANT EXPANSION

JA Project No. 064-WC-02-006
Drawn By: AFH
Load: DFC
Checked By: MEH

Drawing Title:
CIVIL INDEX SHEET

Drawing No.:
C0.01



GENERAL NOTES:

- SITE SERVICED BY PUBLIC SANITARY SEWER AND PUBLIC WATER SUPPLY.
- SOIL DATA TAKEN FROM SOIL SURVEY OF CHESTER AND DELAWARE COUNTIES AND PER PLAN REFERENCED IN NOTE #1.
- ALL INLET GRATES ARE TO BE SUMPED TWO INCHES.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EAST GOSHEN TOWNSHIP DESIGN SPECIFICATIONS.
- ALL SIGNS SHALL CONFORM WITH SECTION 240-22 OF E.G.T.

CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. BEFORE THE START OF WORK, BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776

UTILITIES TO BE NOTIFIED

AQUA PA (CLEAR - NO FACILITIES)
 AT & T (CLEAR - NO FACILITIES)
 COMCAST CABLE (DID NOT RESPOND)
 CROWN CASTLE (FACILITIES PRESENT)
 DEPUY SYNTHES (FACILITIES PRESENT)
 EAST GOSHEN TWP MUNICIPAL AUTH
 LEVEL 3 COMMUNICATIONS (CLEAR - NO FACILITIES)
 PECO ENERGY (FACILITIES PRESENT)
 SUNOCO PIPELINE/ATLANTIC PIPELINE/CHEVRON (CLEAR - NO FACILITIES)
 TRANSCONTINENTAL GAS PIPELINE CORP. (CLEAR - NO FACILITIES)
 VERIZON PENNSYLVANIA (DID NOT RESPOND)

CERTIFICATE OF CONFORMANCE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS.

David F. Citro
 DAVID F. CITRO, P.E.

OWNER/APPLICANT
 SYNTHES USA HQ INC
 1302 WRIGHTS LANE EAST
 WEST CHESTER PA 19380-3417

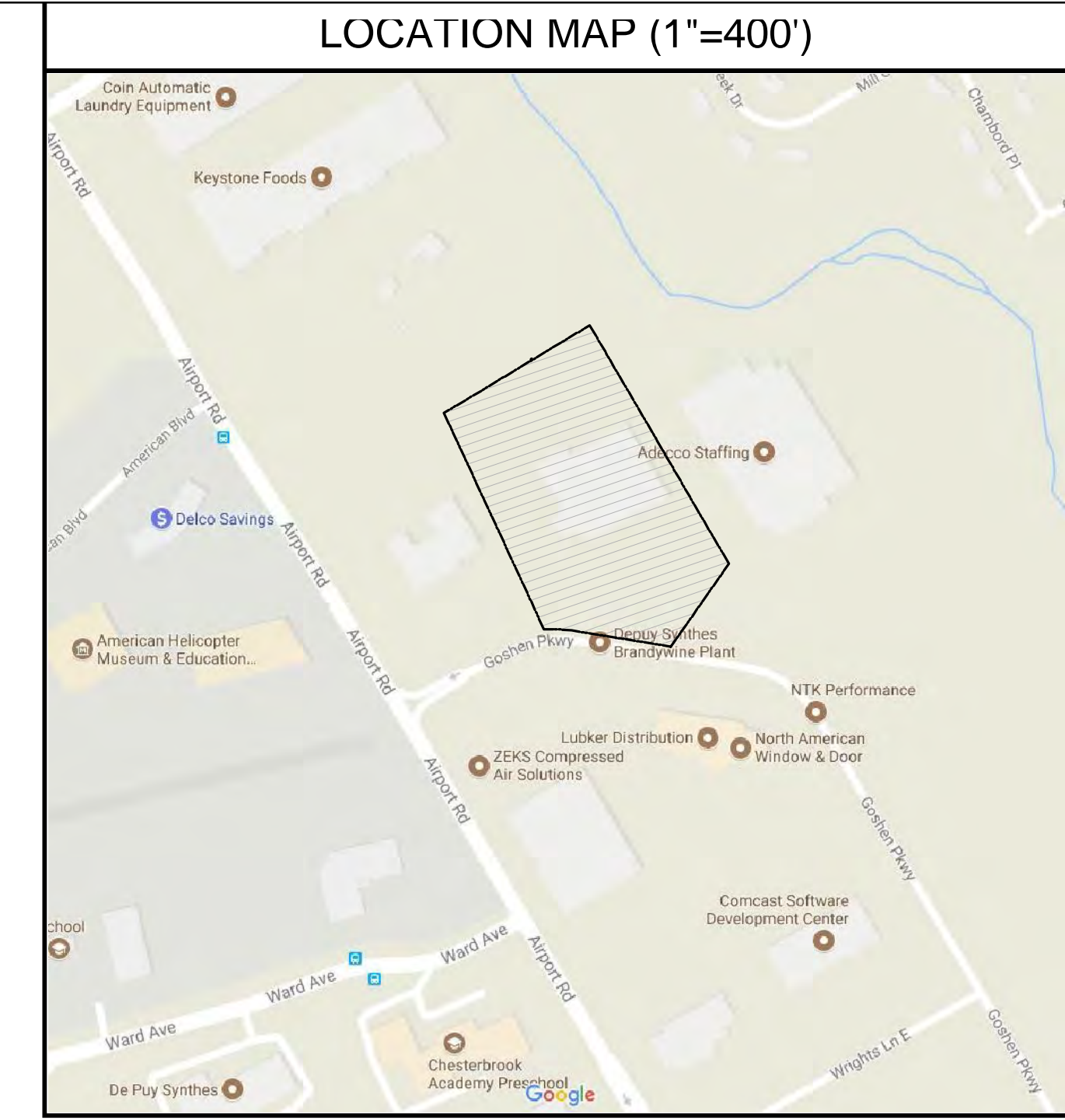
USE	DESCRIPTION	GFA (SF)	REQUIRED
PRODUCTION	1 space per 1,000 sq. ft. of gross floor area or 1 space per employee on the largest shift, whichever is greater	58,700	59
OFFICE	4 spaces per 1,000 sq. ft. of gross floor area or 1 space per each employee on the largest shift, whichever is greater	5,000	20
REQUIRED PARKING BASED ON EMPLOYEE COUNT			
EMPLOYEE COUNT @ MAXIMUM SHIFT CHANGE		192	192
PARKING TOTAL		192	252
			288

ZONING SUMMARY
 1303 GOSHEN PARKWAY, EAST GOSHEN, PA
 COUNTY OF CHESTER

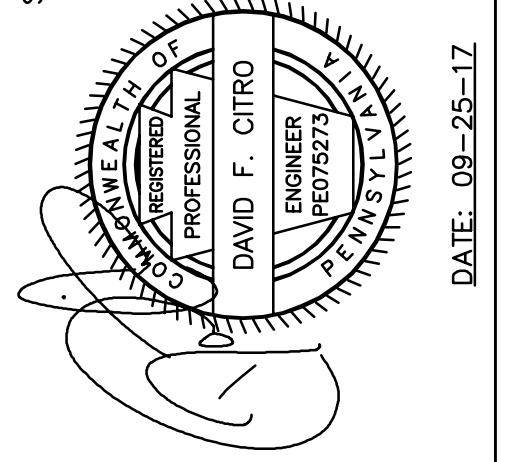
ZONING DISTRICT: I-1 LIGHT INDUSTRIAL
 LAND USE: PRODUCTION
 FLOOD HAZARD ZONE: X, A

CATEGORY	BULK REQUIREMENTS		
	REQUIRED	EXISTING	PROPOSED
LOT AREA	174,240 SF	376,010 SF	376,010 SF
LOT WIDTH	200 FT	345 FT	345 FT
BUILDING COVERAGE	16.59%	62.385 SF	17.03% 64,031 SF
MAX IMPERVIOUS COVERAGE	60% 225,806 SF	55% 206,806 SF	59.61% 224,132 SF
MAX BUILDING HEIGHT	35 FT	28 FT	28 FT
FRONT YARD	50 FT	172.24 FT	172.24 FT
REAR YARD	100 FT	242.40 FT	242.40 FT
SIDE YARD	50 FT	50 FT	50 FT

*60% TOTAL IMPERVIOUS COVER ALLOWED BY CONDITIONAL USE [SECTION 240-31.C.(3).(qq)].
 STORMWATER MANAGEMENT WILL BE DESIGNED FOR THE MAXIMUM ALLOWABLE IMPERVIOUS COVER (60%).



REV	DATE	DESCRIPTION
B	09-25-17	PER TOWNSHIP ENGR LETTER AND PC COMMENTS
A	08-28-17	CONDITIONAL USE APPLICATION
		BY



COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER
 ON THE _____ DAY OF _____ A.D. 20____
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____ PERSONALLY APPEARED _____ WHO ACKNOWLEDGES HIMSELF TO BE THE _____ OF _____ A CORPORATION, AND THAT AS SUCH TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THE NAME OF THE SAID CORPORATION BY HIMSELF AS _____ THAT THE SAID CORPORATION IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT THE SAID CORPORATION DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____

- EXISTING FEATURES LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - SETBACK LINE
 - EASEMENT LINE
 - FLOODPLAIN LINE
 - BUILDING
 - RETAINING WALL
 - CURB
 - DEPRESSED CURB
 - CONCRETE PAD
 - CONCRETE WALK
 - RIPRAP
 - PAVEMENT
 - CHAIN LINK FENCE
 - LIGHT POLE
 - FIRE HYDRANT
 - UG STORM
 - UG SWM
 - SURFACE SWM

REVIEWED BY THE PLANNING COMMISSION OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA, THIS _____ DAY OF _____ 20____

CHAIRMAN _____ MEMBER _____

VICE-CHAIRMAN _____ MEMBER _____

MEMBER _____ MEMBER _____

MEMBER _____

APPROVED BY THE BOARD OF SUPERVISORS OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA, THIS _____ DAY OF _____ 20____

CHAIRMAN _____ SUPERVISOR _____

VICE-CHAIRMAN _____ SUPERVISOR _____

SECRETARY _____ SUPERVISOR _____

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____ 20____

APPROVED BY THE EAST GOSHEN TOWNSHIP ENGINEER:
 _____ DATE _____

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____ ON THE _____ DAY OF _____ 20____

(DEPUTY) RECORDER OF DEEDS _____

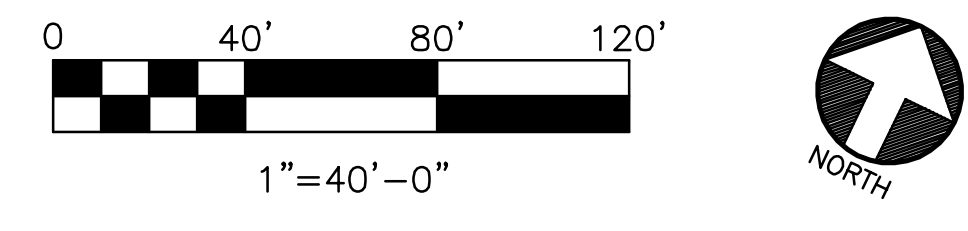
- NEW WORK LEGEND**
- BUILDING ADDITION
 - CONC STAIRS
 - CONC WALK
 - CONC PAD
- FUTURE WORK LEGEND**
- CONC WALK
 - CONC CURB
 - CONC WALL
 - CONC PAD
 - STRIPING

- SITE DATA**
- PROPERTY IS KNOWN AS UPI 53-3-1.12 IN THE TOWNSHIP OF EAST GOSHEN, CHESTER COUNTY, PENNSYLVANIA.
 - LOT AREA = 376,010 S.F. OR 8.6320 AC.
 - NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR; NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
 - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGON, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
 - THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.
 - TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY FIRST ORDER, LLC.
 - DATE OF FIELD SURVEY = MARCH 16, 2017 BY FIRST ORDER, LLC.

THIS CONDITIONAL USE PLAN WAS APPROVED BY THE EAST GOSHEN TOWNSHIP BOARD OF SUPERVISORS ON OCTOBER 17, 2017. SEE DRAWING C0.12 FOR CONDITIONAL USE APPROVAL NOTES

THIS PROPOSED CONDITIONAL USE PLAN IS SUBMITTED FOR ADDITIONAL IMPERVIOUS COVERAGE AND PARKING IN ACCORDANCE WITH THE EAST GOSHEN TOWNSHIP ZONING ORDINANCE [SECTION 240-31.C.(3).(qq)].

CONDITIONAL USE
 C0.11 SCALE: 1" = 40'-0"



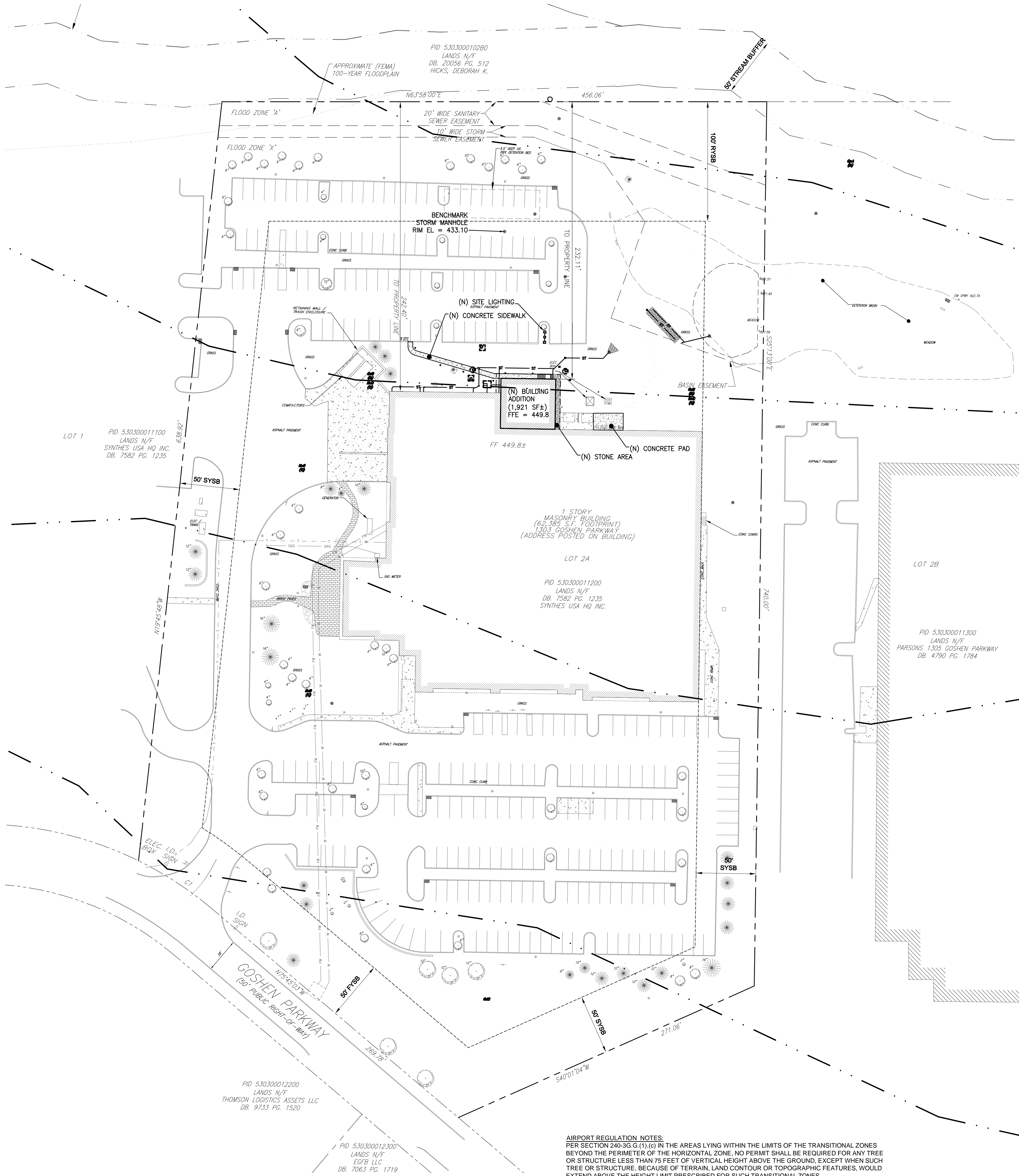
NOTE: THIS PLAN SHALL SUPERCEDE ALL PLANS PREVIOUSLY APPROVED AND RECORDED FOR THIS PROPERTY.

CONDITIONAL USE PLAN

DEPUY SYNTHES BRANDWINE PLANT UPGRADE WESTER CHESTER CHESTER COUNTY, PA

DATE: 08/25/2017
 DRAWN: JPD
 REVIEWED: JFC
 SCALE: AS NOTED
 PROJECT ID: 16466.1

C0.11



LAND DEVELOPMENT PLAN
SCALE: 1" = 40'-0"

SOILS SUMMARY - 100% OF AREA OF INTEREST

SYMBOL	SOIL NAME	DEPTH TO WEATHERED ROCK (IN)	DEPTH TO WATER (IN)	HYDRIC SOIL	SURFACE RUNOFF	HYDROLOGIC SOIL GROUP
C _{ab}	CALIFON LOAM, 3-8% SLOPES	>20	>6	NO	HIGH	D
C _{pa}	COKESBURY SILT LOAM, 0-3% SLOPES	>20	>0	YES	HIGH	C/D
G _{4c}	GLADSTONE GRAVELLY LOAM, 8-15% SLOPES	>65	>80	NO	N/A	B
N _v	NESHAMINY SILT LOAM, 3-8% SLOPES	>60	>80	NO	LOW	C
N _{vc}	NESHAMINY SILT LOAM, 8-15% SLOPES	>60	>80	NO	MED	C

PER SECTION 204-35(D)(2) OF THE EAST GOSHEN TOWNSHIP CODE, TRANSITIONAL ZONES SLOPES SEVEN FEET OUTWARD FOR EACH FOOT UPWARD BEGINNING AT THE SIDES OF AND AT THE SAME ELEVATION AS THE PRIMARY SURFACE AND THE APPROACH SURFACE AND EXTENDING TO A HEIGHT OF 150 FEET ABOVE THE AIRPORT ELEVATION, EXCEPT THAT A BUILDING MAY BE CONSTRUCTED WITHIN THE TRANSITIONAL ZONE TO A MAXIMUM HEIGHT OF UP TO 50 FEET (SUBJECT TO THE HEIGHT LIMITATIONS IMPOSED BY OTHER PROVISIONS OF THIS CHAPTER WITH RESPECT TO THE PERMITTED HEIGHT OF BUILDINGS IN ANY ZONING DISTRICT, WHICH PROVISIONS SHALL APPLY) AS PROVIDED IN SUBSECTION (D)(3), IN ADDITION TO THE FOREGOING, THERE ARE ESTABLISHED HEIGHT LIMITS SLOPING SEVEN FEET OUTWARD FOR EACH FOOT UPWARD BEGINNING AT THE SIDE OF, AND AT THE SAME ELEVATION AS, THE APPROACH SURFACE AND EXTENDING TO WHERE THEY INTERSECT THE CONICAL SURFACE, WHICH IS 465 FEET ABOVE MEAN SEA LEVEL.

APPROXIMATE ELEVATION OF THE AIRPORT RUNWAY: EL = 465
DISTANCE FROM RUNWAY TO PROPERTY LINE: 547 LF
MAXIMUM ALLOWABLE TREE HEIGHT @ PROPERTY LINE: EL = 543
DISTANCE FROM "HIGHEST TREE" TO RUNWAY (PROJECTED): 892 LF
MAXIMUM ALLOWABLE TREE HEIGHT @ PLANTING LOCATION: EL = 588
MATURE HEIGHT OF PROPOSED TREES: EL = 486

WAIVERS REQUESTED FROM CHAPTER 205 (SUBDIVISION & LAND DEVELOPMENT ORDINANCE)

SECTION 205-28: A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE THE SUBMISSION OF A PRELIMINARY PLAN. THE APPLICANT PROPOSES THE SUBMISSION OF A PRELIMINARY/FINAL LAND DEVELOPMENT APPLICATION.

SECTION 205-37C(7): A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A MINIMUM INSIDE DIAMETER OF 15 INCHES. PIPES ARE SIZED APPROPRIATELY ACCORDING TO FLOW WITH A MINIMUM OF 6 INCHES.

SECTION 205-38: A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A TRAFFIC IMPACT STUDY. THERE WILL BE NO INCREASE / DECREASE IN THE NUMBER OR LOCATION OF SITE DRIVEWAYS.

SECTION 205-40: A WAIVER IS REQUESTED FROM THE PROVISION TO PROVIDE A WATER STUDY. NO NEW WATER SERVICES ARE PROPOSED.

GENERAL NOTES:

- SITE SERVICED BY PUBLIC SANITARY SEWER AND PUBLIC WATER SUPPLY.
- SOIL DATA TAKEN FROM SOIL SURVEY OF CHESTER AND DELAWARE COUNTIES AND PER PLAN REFERENCED IN NOTE #1.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EAST GOSHEN TOWNSHIP DESIGN SPECIFICATIONS.

CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. BEFORE THE START OF WORK, BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776.

UTILITIES TO BE NOTIFIED

AQUA PA	(CLEAR - NO FACILITIES)
AT & T	(CLEAR - NO FACILITIES)
COMCAST CABLE	(DID NOT RESPOND)
CROWN CASTLE	(FACILITIES PRESENT)
DEPUY SYNTHES	(FACILITIES PRESENT)
EAST GOSHEN TWP MUNICIPAL AUTH	(FACILITIES PRESENT)
LEVEL 3 COMMUNICATIONS	(CLEAR - NO FACILITIES)
PECO ENERGY	(FACILITIES PRESENT)
SUNOCO PIPELINE/ATLANTIC PIPELINE/CHEVRON	(CLEAR - NO FACILITIES)
TRANSCONTINENTAL GAS PIPELINE CORP.	(DID NOT RESPOND)
VERIZON PENNSYLVANIA	(DID NOT RESPOND)

CERTIFICATE OF CONFORMANCE
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS.

DAVID F. CITRO, P.E.
OWNER/APPLICANT
SYNTHES USA HQ INC
1302 WRIGHTS LANE EAST
WEST CHESTER, PA 19380-3417

REQUIRED PARKING BASED ON GROSS FLOOR AREA

USE	DESCRIPTION	REQUIRED PARKING	GFA (SQ) REQUIRED
PRODUCTION	1 space per 1,000 sq. ft. of gross floor area or 1 space per employee on the largest shift, whichever is greater	59,289	60
OFFICE	4 spaces per 1,000 sq. ft. of gross floor area or 1 space per employee on the largest shift, whichever is greater	5,000	20
EMPLOYEE COUNT @ MAXIMUM SHIFT CHANGE		192	192
PARKING TOTAL		192	252

REQUIRED PARKING BASED ON EMPLOYEE COUNT

REQUIRED	EXISTING
192	252

ZONING SUMMARY
1303 GOSHEN PARKWAY, EAST GOSHEN, PA
COUNTY OF CHESTER

ZONING DISTRICT: I-1 LIGHT INDUSTRIAL
LAND USE: PRODUCTION
FLOOD HAZARD ZONE: X, A

BULK REQUIREMENTS

CATEGORY	REQUIRED	EXISTING	PROPOSED
LOT AREA	174,240 SF	376,010 SF	376,010 SF
LOT WIDTH	200 FT	345 FT	345 FT
BUILDING COVERAGE	30% 112,803 SF	16.59% 62,385 SF	17.10% 64,306 SF
MAX IMPERVIOUS COVERAGE	60% 225,606 SF	55% 206,806 SF	55.73% 209,550 SF
MAX BUILDING HEIGHT	35 FT	28 FT	28 FT
FRONT YARD	50 FT	172.24 FT	172.24 FT
REAR YARD	100 FT	242.40 FT	232.11 FT
SIDE YARD	50 FT	50 FT	50 FT

COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER

ON THE _____ DAY OF _____ A.D. 20____, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____, PERSONALLY APPEARED _____, WHO ACKNOWLEDGES HIMSELF TO BE THE _____ OF _____ A CORPORATION, AND THAT AS SUCH TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THE NAME OF THE SAID CORPORATION BY HIMSELF AS _____ THAT THE SAID CORPORATION IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT THE SAID CORPORATION DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

NOTARY PUBLIC _____
MY COMMISSION EXPIRES: _____

CONDITIONAL USE ORDER:
AT THE PUBLIC HEARING ON OCTOBER 17, 2017, THE BOARD OF SUPERVISORS APPROVED THE CONDITIONAL USE APPLICATION OF SYNTHES USA TO INCREASE THE IMPERVIOUS COVER ON THEIR PROPERTY AT 1303 GOSHEN PARKWAY TO 60% WITH THE FOLLOWING CONDITIONS:

- ALL OUTSTANDING COMMENTS FROM THE TOWNSHIP ENGINEER ARE ADDRESSED ON THE LAND DEVELOPMENT PLAN.
- THE APPLICANT RETURN TO THE CONSERVANCY BOARD DURING THE LAND DEVELOPMENT REVIEW PROCESS TO PRESENT THEIR LANDSCAPE PLAN.
- THE APPLICANT ADJUSTS THE PROPOSED PLANTINGS ON THE PLAN IN ORDER TO MEET THE REQUIREMENTS OF THE AIRPORT ZONING FOR LANDSCAPE PLANTINGS WITHIN THE AIRPORT APPROACH ZONE OF THE PROPERTY.
- THE APPLICANT CONSIDERS IMPLEMENTING A VARIETY OF BEST MANAGEMENT PRACTICE METHODS TO DEAL WITH STORM WATER RUNOFF FROM THE INCREASED IMPERVIOUS COVERAGE.
- THE APPLICANT SHALL SCREEN THE OUTDOOR STORAGE FACILITY AS REQUIRED BY SECTION 240-24E(2), OF THE EAST GOSHEN TOWNSHIP ZONING ORDINANCE, WITH A FENCE THAT WILL CONCEAL IT FROM ADJACENT PROPERTIES.
- THE APPLICANT SHALL FOLLOW ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES.

REVIEWED BY THE PLANNING COMMISSION OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA, THIS _____ DAY OF _____, 20____.

CHAIRMAN _____ MEMBER _____
VICE-CHAIRMAN _____ MEMBER _____
MEMBER _____ MEMBER _____
MEMBER _____

APPROVED BY THE BOARD OF SUPERVISORS OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA, THIS _____ DAY OF _____, 20____.

CHAIRMAN _____ SUPERVISOR _____
VICE-CHAIRMAN _____ SUPERVISOR _____
SUPERVISOR _____

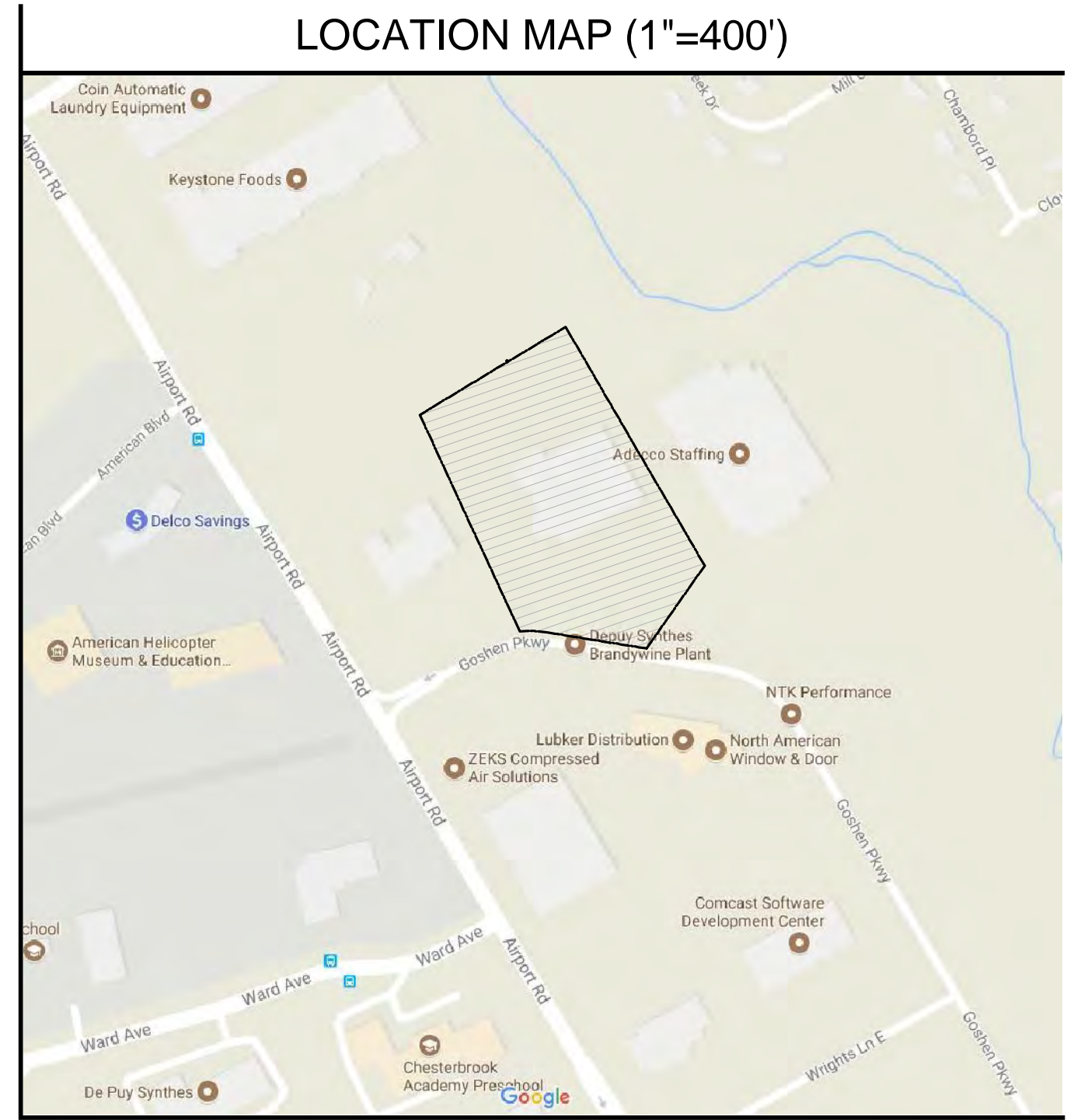
REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

SECRETARY _____

APPROVED BY THE EAST GOSHEN TOWNSHIP ENGINEER:
DATE _____

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____ ON THE _____ DAY OF _____, 20____.

(DEPUTY) RECORDER OF DEEDS _____



EXISTING FEATURES LEGEND

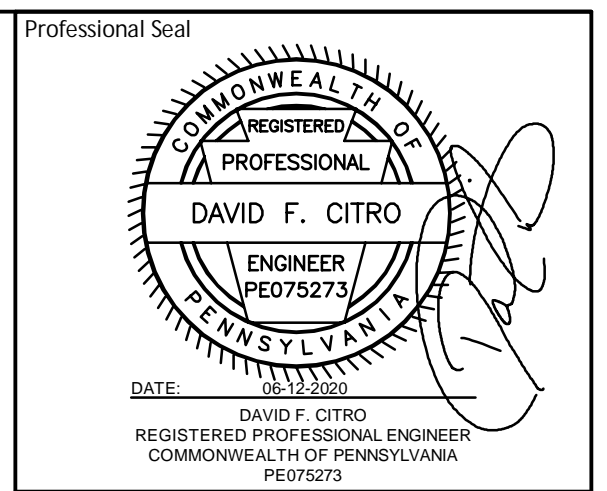
	RIGHT-OF-WAY
	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	FLOODPLAIN LINE
	BUILDING
	RETAINING WALL
	CURB
	DEPRESSED CURB
	CONCRETE PAD
	CONCRETE WALK
	RIPRAP
	PAVEMENT
	CHAIN LINK FENCE
	LIGHT POLE
	FIRE HYDRANT
	UG STORM
	UG SWM
	SURFACE SWM
	NRCS SOILS BOUNDARY

NEW WORK LEGEND

	BUILDING ADDITION
	CONC STAIRS
	CONC WALK
	CONC PAD
	SURFACE SWM
	CONC WALK
	CONC CURB
	CONC WALL
	CONC PAD
	STRIPING

SITE DATA

- PROPERTY IS KNOWN AS UPI 53-3-1.12 IN THE TOWNSHIP OF EAST GOSHEN, CHESTER COUNTY, PENNSYLVANIA.
- LOT AREA = 376,010 S.F. OR 8,6320 AC.
- NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGON, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.
- TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY FIRST ORDER, LLC.
- DATE OF FIELD SURVEY = MARCH 16, 2017 BY FIRST ORDER, LLC.



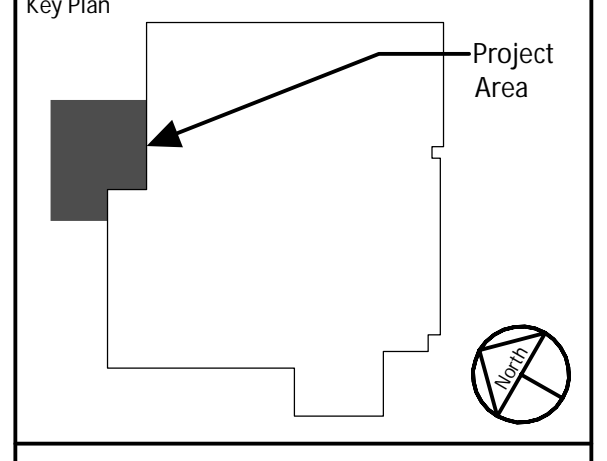
JOHNSRUD ARCHITECTS
A Bergmann Company
Johnsrud & Associates Architects, LLC
2700 Interplex Drive, Trevese, PA 19053
Phone 215-639-4200 • www.johnsrud.com

GENESIS ENGINEERS
One Sunny Park Drive, 100 Blue Bell, Pennsylvania 19002
Tel: 610-262-0200 • Fax: 610-262-0208 • www.genesiseng.com

Mainstay ENGINEERING GROUP, INC.
CIVIL & STRUCTURAL ENGINEERS
1750 WALTON ROAD, BLUE BELL, PA 19422
www.mstayeng.com
MEG PROJECT NO. 19360

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Issue	Rev. Date	Description
D	06-12-2020	LAND DEVELOPMENT ISSUE #2
C	05-01-2020	ISSUE FOR BID
B	04-23-2020	LAND DEVELOPMENT ISSUE
A	03-31-2020	ISSUE FOR OWNER REVIEW



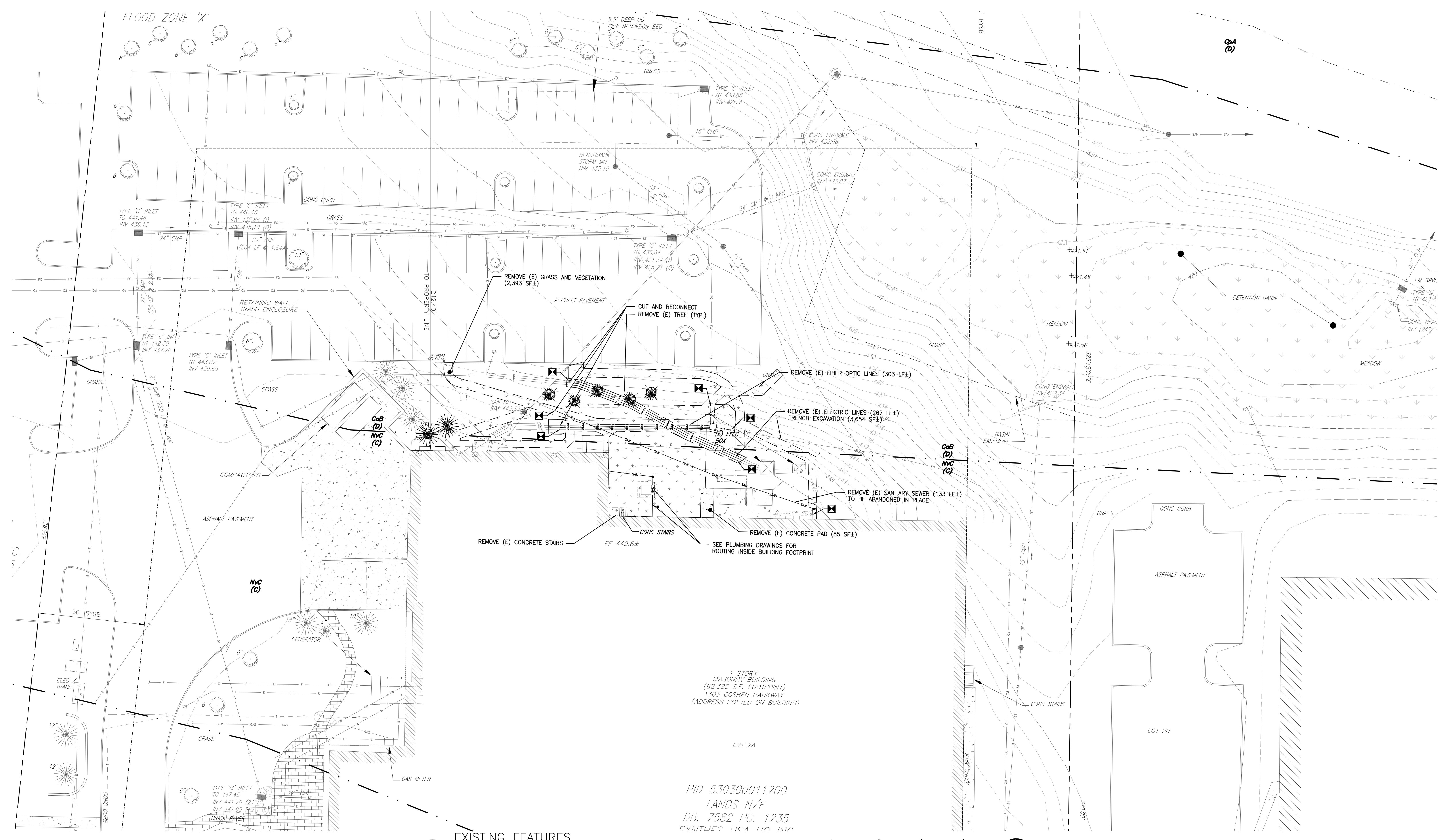
JABIL
1303 Goshen Parkway
West Chester, PA 19380

Project Title:
FINISHING PLANT EXPANSION

JA Project No. _____ Drawn By: _____ Load: _____ Checked By: _____
064-WC-02-006 AFH DFC MEH

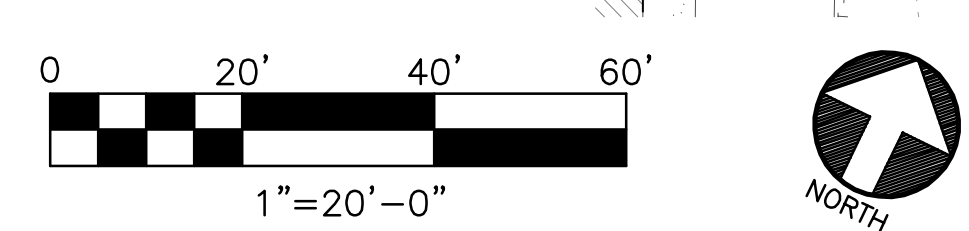
Drawing Title:
LAND DEVELOPMENT PLAN

Drawing No.:
C0.12



EXISTING FEATURES AND DEMOLITION PLAN
 SCALE: 1" = 20'-0"

PID 530300011200
 LANDS N/F
 DB. 7582 PG. 1235
 SYNTHES USA, INC.



- EXISTING FEATURES LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - SETBACK LINE
 - EASEMENT LINE
 - FLOODPLAIN LINE
 - BUILDING
 - RETAINING WALL
 - CURB
 - DEPRESSED CURB
 - CONCRETE PAD
 - CONCRETE WALK
 - RIPRAP
 - PAVEMENT
 - CHAIN LINK FENCE
 - LIGHT POLE
 - FIRE HYDRANT
 - UG ELECTRIC
 - UG GAS
 - UG STORM
 - UG SANITARY
 - UG TELECOMM
 - UG WATER
 - UG SWM

- DEMOLITION WORK LEGEND**
- CONCRETE PAD
 - CONCRETE STAIRS
 - CONCRETE CURB
 - UG STORM
 - UG ELECTRIC
 - UG SANITARY
 - UG FIBER OPTIC
 - SHADE TREE
 - PINE TREE
 - VEGETATION
 - LIMIT OF DEMOLITION

MEANS AND METHODS/DEMOLITION

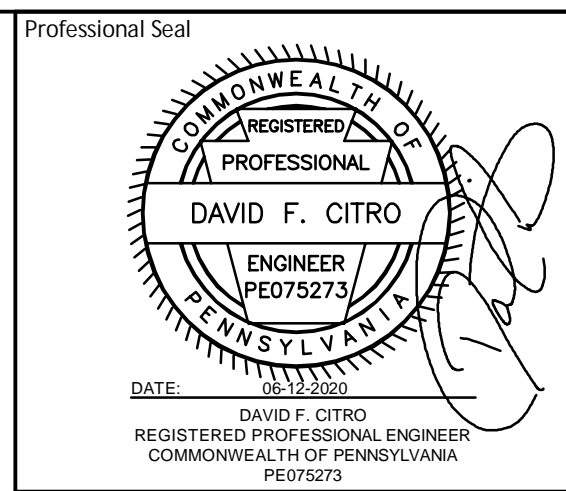
1. THE CONTRACTOR SHALL PROVIDE MEANS AND METHODS NECESSARY TO COMPLETE THE DEMOLITION SCOPE. IF NECESSARY, THE CONTRACTOR SHALL ENGAGE A MEANS AND METHODS PROFESSIONAL ENGINEER TO PROVIDE MEANS AND METHODS ENGINEERING NECESSARY TO COMPLETE THE DEMOLITION AND CONSTRUCTION INDICATED IN THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL INSPECT, ASSESS AND VERIFY THE EXISTING CONDITIONS AND EXTENT OF WORK PRIOR TO COMMENCING DEMOLITION AND CONSTRUCTION.
3. THE CONTRACTOR SHALL COORDINATE WORK WITH MISCELLANEOUS TRADES.
4. THE CONTRACTOR SHALL COORDINATE CUTTING, WELDING AND RIGGING REQUIREMENTS WITH THE CONSTRUCTION MANAGER AND MEANS AND METHODS PROFESSIONAL ENGINEER.
5. CONSTRUCTION AND DEMOLITION WORK SHALL BE PERFORMED IN STRICT ACCORDANCE FEDERAL, STATE AND LOCAL RULES, REGULATIONS, CODES AND LAWS.
6. DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH OWNERS GUIDELINES AND SAFETY STANDARDS.

EXCAVATION AND BACKFILL NOTES

1. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA 811 SYSTEM TO FIELD VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES. ALL UTILITIES AND UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION. DIAL 811 FOR ACCESS TO ALL ONE CALL AGENCIES.
2. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A PROFESSIONAL GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF PENNSYLVANIA. ALL BACKFILLING OPERATIONS AND TESTING SHALL BE MONITORED BY THE GEOTECHNICAL ENGINEER.
3. THE CONTRACTOR SHALL PROVIDE LABORATORY COMPACTION TESTS FOR ALL BEDDING AND BACKFILL MATERIAL. EXCAVATION SPOILS MAY BE USED AS BACKFILL IF PROVEN TO BE SUITABLE WITH RESPECT TO COMPOSITION AND COMPACTION REQUIREMENTS.
4. ALL BEDDING AND BACKFILL MATERIAL SHALL BE PLACED IN 6" LOOSE LIFTS AND COMPACTED BY MECHANICAL MEANS TO 95% MAXIMUM UNIT WEIGHT IN ACCORDANCE WITH ASTM D 1557.
5. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A QUALIFIED TESTING AGENCY TO TEST COMPACTION OF BACKFILL MATERIAL IN ACCORDANCE WITH ASTM D 1556, D 2167, D 2922 AND D 2937 AS APPLICABLE. PERFORM TESTS AT THE FOLLOWING LOCATIONS AND FREQUENCIES:
 - A. PAVED AND BUILDING SLAB AREAS: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER. AT LEAST ONE TEST FOR EACH 1,000 SQ FT OF AREA, BUT IN NO CASE FEWER THAN THREE TESTS.
6. THE CONTRACTOR SHALL REMOVE AND REPLACE MATERIAL THAT FAILS TO MEET COMPACTION TEST CRITERIA.
7. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF AN UNDERGROUND UTILITY LOCATION SERVICE TO SURVEY THE ENTIRE PROJECT AREA PRIOR TO EXCAVATION TO DETERMINE ANY UNFORESEEN CONFLICTS WITH EXISTING UTILITIES. ANY CONFLICTS ENCOUNTERED SHOULD BE REPORTED TO THE ENGINEER FOR REVIEW.
8. ANY TRENCH, EXCAVATION OR UNDERGROUND STRUCTURE THAT IS TO BE LEFT UNCOVERED FOR MORE THAN 8 HOURS SHALL BE PROTECTED WITH BARRICADES IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) OR OSHA STANDARDS.
9. COMPACTION OF SOILS WITHIN STORMWATER BMP AREAS IS NOT ACCEPTABLE. EQUIPMENT OPERATING WITHIN STORMWATER BMP AREAS SHOULD BE EQUIPPED FOR LOW-PRESSURE OPERATIONS (MAX PRESSURE 7 PSI).
10. DURING SITE CONSTRUCTION, ALL INFILTRATION BMP COMPONENTS SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL. INFILTRATION AREAS SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY.

EARTHWORK NOTES

1. UNAUTHORIZED EXCAVATION CONSISTS OF REMOVING MATERIALS BEYOND INDICATED SUBGRADE ELEVATIONS OR DIMENSIONS WITHOUT DIRECTION BY ENGINEER. UNAUTHORIZED EXCAVATION AND REMEDIAL WORK SHALL BE AT CONTRACTOR'S EXPENSE.
2. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY OWNER.
3. SATISFACTORY SOIL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM; FREE OF ROCK OR GRAVEL LARGER THAN 2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, OR OTHER DELETERIOUS MATTER.
4. UNSATISFACTORY SOIL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GC, SC, ML, MH, CL, CH, OL, OH, AND PT.
5. BACKFILL AND FILL: SATISFACTORY SOIL MATERIALS.
6. COMPACTED AGGREGATE: AS NOTED.
7. PIPE BEDDING: AS NOTED.
8. PROTECT SUBGRADES AND FOUNDATION SOILS FROM SOFTENING AND DAMAGE BY WATER, FREEZING TEMPERATURES, OR FROST.
9. EXPLOSIVES: DO NOT USE EXPLOSIVES.
10. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF CHARACTER OF MATERIALS AND OBSTRUCTIONS ENCOUNTERED.
11. EXCAVATE FOR STRUCTURES, PAVEMENTS, AND WALKWAYS. TRIM SUBGRADES TO REQUIRED LINES AND GRADES.
12. UTILITY TRENCHES: EXCAVATE TRENCHES TO INDICATED SLOPES, LINES, DEPTHS, AND INVERT ELEVATIONS. MAINTAIN WORKING CLEARANCE ON EACH SIDE OF PIPE OR CONDUIT AS INDICATED.
13. PLACE, COMPACT, AND SHAPE BEDDING COURSE TO PROVIDE CONTINUOUS SUPPORT FOR PIPES AND CONDUITS OVER ROCK AND OTHER UNYIELDING BEARING SURFACES AND TO FILL UNAUTHORIZED EXCAVATIONS.
14. PLACE AND COMPACT INITIAL BACKFILL OF SATISFACTORY SOIL MATERIAL, FREE OF PARTICLES LARGER THAN 1/4 INCH, TO A HEIGHT OVER THE UTILITY PIPE OR CONDUIT AS INDICATED. PLACE AND COMPACT FINAL BACKFILL OF SATISFACTORY SOIL MATERIAL TO FINAL SUBGRADE.
15. FLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 5 HORIZONTAL TO RECEIVE FILL.
16. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL, AND RECOMPACT.
17. PLACE BACKFILL AND FILL IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH AT OPTIMUM MOISTURE CONTENT. COMPACT EACH LAYER UNDER STRUCTURES, PAVEMENTS, AND WALKWAYS TO 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698; ELSEWHERE TO 90 PERCENT.
18. GRADE AREAS TO A SMOOTH SURFACE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. GRADE LAWNS, WALKWAYS, AND UNPAVED SUBGRADES TO TOLERANCES OF ±1-1/4 INCH AND PAVEMENTS AREAS TO ±1/2 INCH.
19. UNDER PAVEMENTS AND WALKWAYS, PLACE SUBBASE COURSE MATERIAL ON PREPARED SUBGRADES AND COMPACT AT OPTIMUM MOISTURE CONTENT TO REQUIRED GRADES, LINES, CROSS SECTIONS, AND THICKNESSES.
20. ALLOW TESTING AGENCY TO INSPECT AND TEST EACH SUBGRADE AND EACH FILL OR BACKFILL LAYER AND VERIFY COMPLIANCE WITH REQUIREMENTS.
21. REMOVE SURPLUS SATISFACTORY SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF OWNER'S PROPERTY.
22. TOPSOIL AND SUBGRADE TREATMENT AND STABILIZATION PER SOIL EROSION AND SEDIMENT CONTROL NOTES.
23. STRUCTURAL FILL: PLACE AND COMPACT IN STRICT PER RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
24. MATERIALS REFERENCED AS PENNDOT SHALL BE IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF TRANSPORTATION - "STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES", JANUARY 2018 (LATEST EDITION).



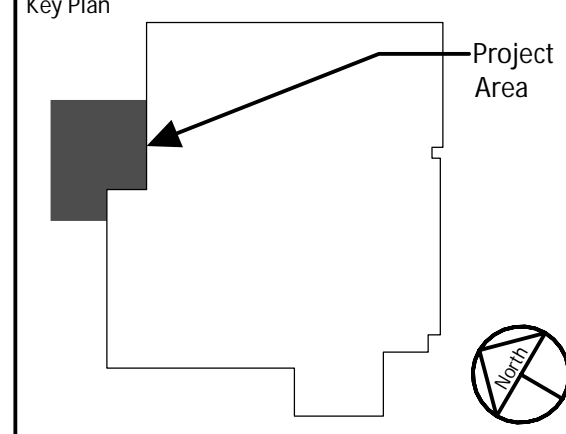
JOHNSRUD ARCHITECTS
 A Bergmann Company
 Johnsруд & Associates Architects, LLC
 2700 Interplex Drive, Treves, PA 19053
 Phone 215-639-4200 | www.Johnsруд.com

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 www.mainstayeng.com
 MEG PROJECT NO. 19360

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Rev.	Rev. Date	Description
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B	04-23-2020	LAND DEVELOPMENT ISSUE
A	03-31-2020	ISSUE FOR OWNER REVIEW



JABIL
 1303 Goshen Parkway
 West Chester, PA 19380

Project Title:
FINISHING PLANT EXPANSION

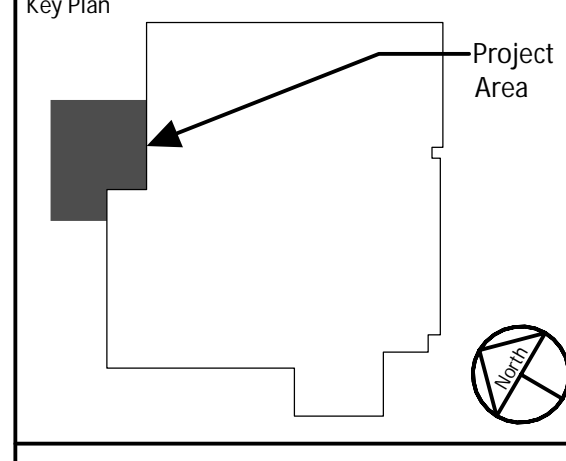
JA Project No. Drawn By Load Checked By
 064-WC-02-006 AFH DFC MEH

Drawing Title:
EXISTING FEATURES AND DEMOLITION PLAN

Drawing No.
C1.01

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Rev.	Rev. Date	Description
D	06-12-2020	LAND DEVELOPMENT ISSUE #2
C	05-01-2020	ISSUE FOR BID
B	04-23-2020	LAND DEVELOPMENT ISSUE
A	03-31-2020	ISSUE FOR OWNER REVIEW

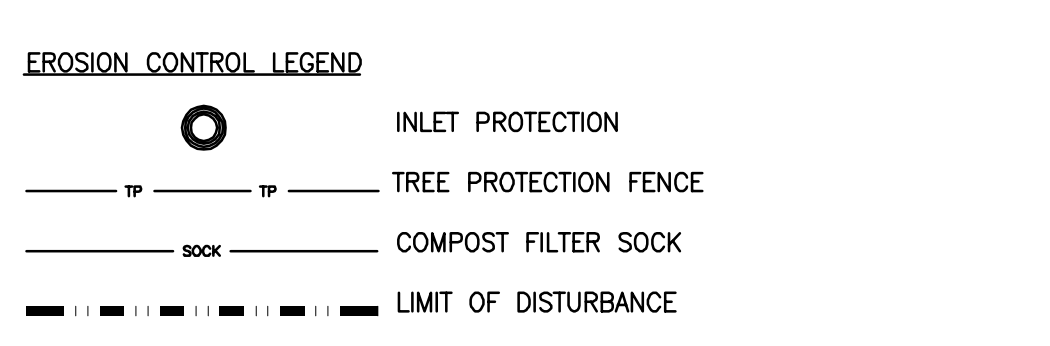
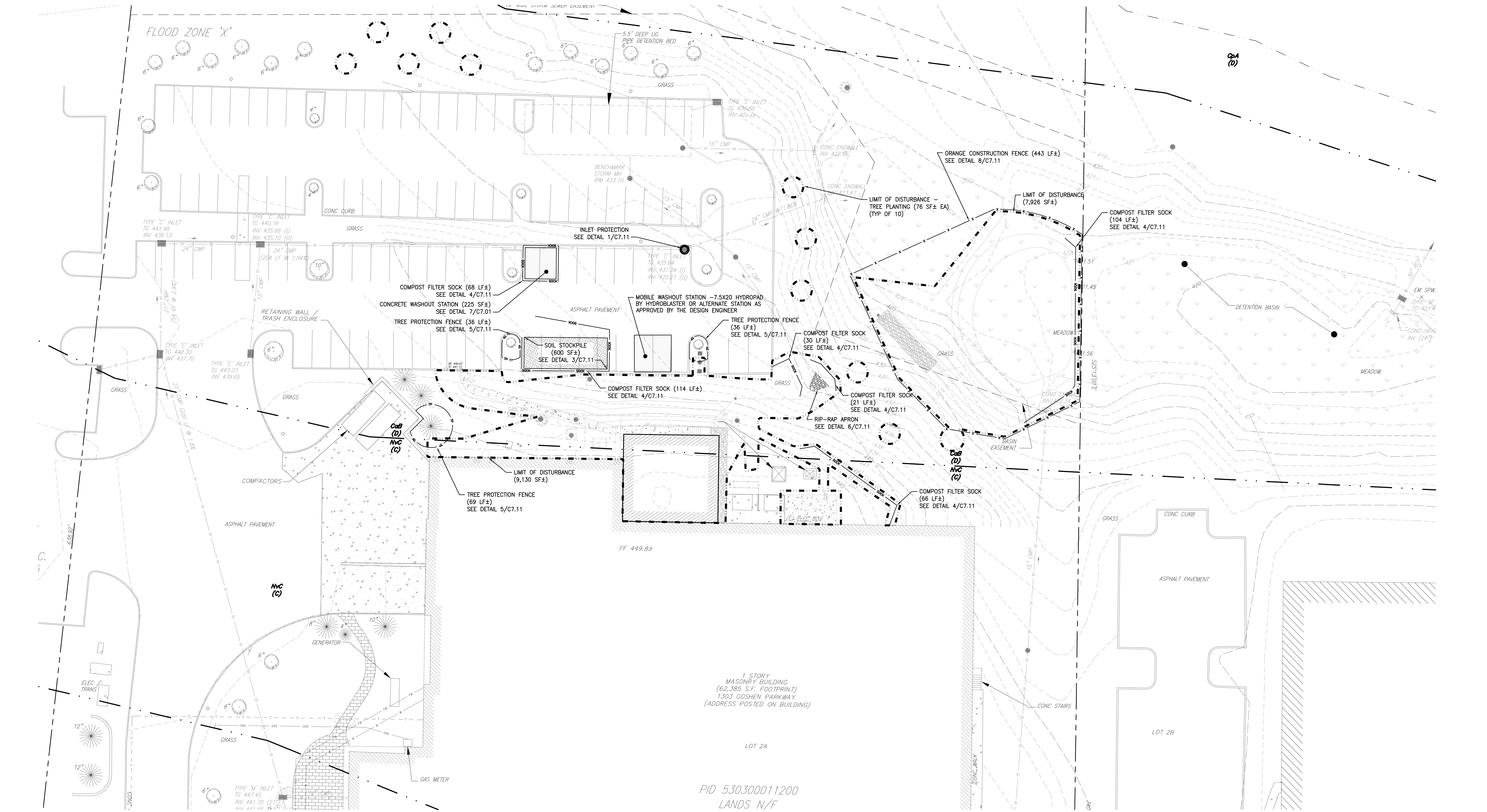


Project Title: FINISHING PLANT EXPANSION

JA Project No. Drawn By Load Checked By
064-WC-02-006 AFH DFC MEH

Drawing Title: CONSERVATION PLAN

Drawing No. C1.11



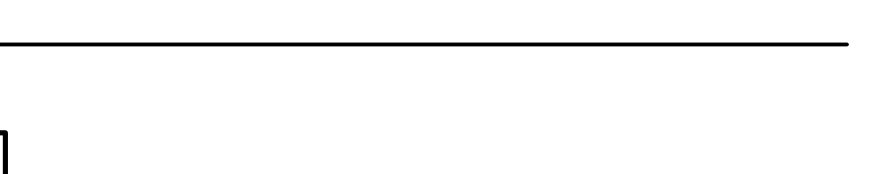
SOILS SUMMARY - 100% OF AREA OF INTEREST

SYMBOL	SOIL NAME	DEPTH TO WEATHERED ROCK (IN)	DEPTH TO WATER (IN)	HYDRIC SOIL	SURFACE RUNOFF	HYDROLOGIC SOIL GROUP
CaB	CALIFON LOAM, 3-8% SLOPES	>20	>6	NO	HIGH	D
CpA	COKEBURY SILT LOAM, 0-3% SLOPES	>20	>0	YES	HIGH	C/D
GdC	GLADSTONE GRAVELLY LOAM, 8-15% SLOPES	>65	>80	NO	N/A	B
NvB	NESHAMINY SILT LOAM, 3-8% SLOPES	>60	>80	NO	LOW	C
NvC	NESHAMINY SILT LOAM, 8-15% SLOPES	>60	>80	NO	MED	C

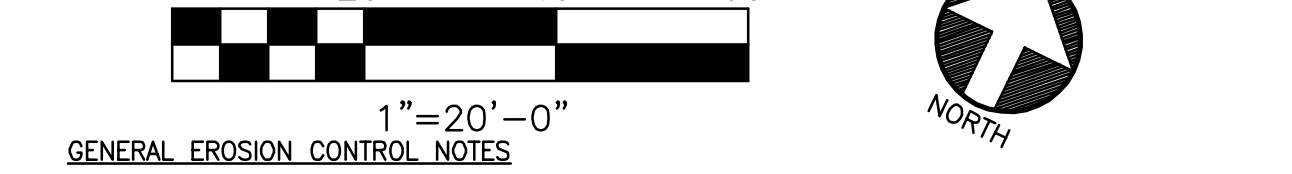
- SEEDING NOTES:**
- EXCAVATE OR SCARIFY AREAS SUBJECT TO COMPACTION BY CONSTRUCTION ACTIVITIES. FINISH GRADE AND RAKE ALL AREAS TO BE TOPSOIL/SEEDED. REMOVE ALL DEBRIS, STONES AND CLODS LARGER THAN 1" TO A DEPTH OF SIX (6") INCHES. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL DEBRIS AND STONES. AT THE SOLE DISCRETION OF THE OWNER, THE CONTRACTOR MAY DISPOSE OF STONE AND NATURAL DEBRIS ON SITE.
 - TOPSOIL SHALL BE PLACED TO A MINIMUM OF 4 INCHES IN THICKNESS AND PROPERLY PREPARED FOR SEEDING. ALL AREAS TO BE SEEDED SHALL BE REASONABLY FREE FROM WEEDS TALLER THAN 3 INCHES.
 - GRASS AREAS ARE TO BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING EARTH MOVING PROCEDURES. SEEDING SHALL BE ACCOMPLISHED AS WEATHER PERMITS.
 - HAY OR STRAW MULCH MUST BE APPLIED AT AFTER SEEDING.
 - ESTABLISH PERMANENT SEEDING AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETE. ESTABLISHED GRASS AREA SHALL BE TURF GRASS AT A HEIGHT OF 6 INCHES CONSISTING OF A MINIMUM OF 100 PLANTS PER SQUARE FOOT THROUGHOUT THE SEEDED AREAS. WHEN TURF GRASS HAS ATTAINED THIS HEIGHT, IT SHALL BE MOWED TO A HEIGHT OF 3 INCHES.
 - GRASS SEED: ALL SEED SHALL BE FRESH, NEW CROP SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE'S RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT IN EFFECT ON THE DATE OF INVITATION FOR BIDS. ALL SEED SHALL BE FURNISHED IN SCALED STANDARD CONTAINERS, BEARING THE WARRANTY OF THE SUPPLIER AND CERTIFYING THE KIND, PERCENT BY WEIGHT, PURITY, GERMINATION AND WEED SEED. SPREAD AT A RATE OF 175 POUNDS PER ACRE MINIMUM.
- GRASS SEED PERCENTAGE TABLE**
- | LAWN SEED MIX (PENNDOT FORMULA B): (FOR DRY-MOIST, WELL-DRAINED SOILS & FULL SUN-PARTIAL SHADE) | NAME | PROPORTION BY WEIGHT | MIN. LIVE % PURITY | MINIMUM % GERMINATION |
|--|------|----------------------|--------------------|-----------------------|
| KENTUCKY BLUE (POA PRATENSIS)*
PERENNIAL RYEGRASS (LOLIUM PERENNE)
RED FESCUE (FESTUCA RUBRA)* | | 50% | 97% | 80% |
| | | 20% | 98% | 90% |
| | | 30% | 98% | 85% |
| | | | | |
- *MULTIPLE VARIETIES, NO ONE TO EXCEED 25% OF PROPORTIONED MIXTURE.
- SEEDING SEASON: MARCH 15 TO JUNE 1 OR AUGUST 1 TO OCTOBER 15.

CONSERVATION PLAN
SCALE: 1" = 20'-0"
C1.11

- TEMPORARY STABILIZATION AND PERMANENT STABILIZATION:**
- HAY OR STRAW MULCH SHALL BE APPLIED AT 3.0 TONS PER ACRE.
 - MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 4:1 OR STEEPER.
 - STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
 - UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGARDING, RESEEDING, REMULCHING, AND RETENING, MUST BE DONE IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS TO THOSE INSTALLED WILL BE REQUIRED.
 - SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPE AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
 - FERTILIZER: FERTILIZER SHALL BE APPLIED AT A RATE OF 320 POUNDS PER ACRE DURING OR PRECEDING SEEDING. WHEN THE GRASS SEEDING GROWTH HAS ATTAINED A HEIGHT OF 6 INCHES, THE SPECIFIED AREAS DESIGNATED HEREIN SHALL BE MOWED TO A HEIGHT 3 INCHES. FOLLOWING MOWING, ALL SEEDED GRASS AREAS SHALL RECEIVE A UNIFORM APPLICATION OF FERTILIZER HYDRAULICALLY PLACED AT A RATE OF 320 POUNDS PER ACRE. FERTILIZER SHALL BE COMMERCIAL GRADE GRANULAR 10-20-20 FERTILIZER. THE FERTILIZER SHALL BE DELIVERED TO THE SITE IN NEW, CLEAR SEALED CONTAINERS WHICH BEAR A LABEL FULLY DESCRIBING THE CONTENTS, THE CHEMICAL ANALYSIS OF EACH NUTRIENT, THE FERTILIZER GRADE, THE NET BULK, THE BRAND AND THE NAME AND ADDRESS OF THE MANUFACTURER. THE FERTILIZER LABELS SHALL CONFORM TO ALL EXISTING STATE AND FEDERAL REGULATIONS.
 - MULCH: THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE MULCH TO PROTECT THE NEWLY SEEDED AREAS FROM THE EFFECTS OF DRYING, FROST OR OTHER ADVERSE WEATHER CONDITIONS PRIOR TO GERMINATION. ALL MULCH SHALL BE HAY WHICH IS FREE OF WEEDS AND SEEDS, NOT MOLDY OR ROTTEN, AND SHALL BE APPLIED IMMEDIATELY TO ALL SEEDED AREAS AT A RATE OF 1,000 POUNDS PER 1,000 SQ YARDS (3.0 TONS PER ACRE).
 - ANCHORING: MULCH SHALL BE ANCHORED USING LIGHTWEIGHT FIBER OR PAPER NETS, TO BE STAPLED OVER MULCH ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - GUARANTEE: ALL LAWN AREAS SHALL BE GUARANTEED UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THE LAWN MUST BE IN A VIGOROUS, HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ANY AREAS OF THE LAWN NOT IN EXCELLENT CONDITION WILL BE OVER-SEEDED BY THE CONTRACTOR WITH THE SPECIFIED SEED MIX.



- GENERAL EROSION CONTROL NOTES:**
- ALL WATER PUMPED OR DRAINED FROM THE WORK AREA SHALL BE DISPOSED OF IN A SUITABLE MANNER WITHOUT UNDUPLICATE INTERFERENCE WITH OTHER WORK OR DAMAGE TO SURFACES AND PROPERTY.
 - TOPSOIL STOCKPILE AREAS, STAGING AREAS AND DISTURBED PEROUS PORTIONS OF THE PROJECT AREA WHERE CONSTRUCTION ACTIVITIES TEMPORARILY CEASES FOR AT LEAST 21 DAYS SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
 - PROPOSED GRADES WHICH HAVE SLOPES EQUAL TO OR GREATER THAN 3:1 SHALL BE STABILIZED WITH AN APPROVED EROSION CONTROL FABRIC.
 - SEDIMENT CONTROL FENCING SHALL BE INSTALLED AROUND THE PROJECT AREA AS DEPICTED ON THE PLANS SHEETS.
 - SILT LADEN WATER OR WATER CONTAMINATED BY ACID SOIL SHALL NOT BE DISCHARGED DIRECTLY INTO STORM SEWERS, SURFACE WATERS, STREAMS OR CROSSINGS OF WETLANDS. CARE SHALL BE TAKEN NOT TO DAMAGE OR KILL VEGETATION BY EXCESSIVE WATERING OR BY SILT ACCUMULATIONS IN THE DISCHARGE AREA. SETTLEMENT BASINS SHALL BE EMPLOYED WHERE NECESSARY TO REMOVE SILT AND TREAT ACID WATER TO THE AMBIENT PH OF THE RECEIVING WATERS.
 - SILTATION DEPOSITS RESULTING FROM THE DISCHARGE OF WATER FROM THE PROJECT SITE SHALL BE REMOVED TO RESTORE PROFILES AND CONDITIONS TO THAT EXISTING PRIOR TO COMMENCEMENT OF THE WORK.
 - CONTRACTOR SHALL DEVOTE PARTICULAR ATTENTION TO ALL DRAINAGE FACILITIES, KEEPING THEM FULLY OPERATIVE AT ALL TIMES.
 - EROSION CONTROL FABRIC AS SPECIFIED.
 - CONTRACTOR SHALL STABILIZE WITHIN 14 DAYS BY USE OF MULCHING, SEEDING, GEOTEXTILE FABRIC, OR OTHER APPROVED METHODS.
 - ALL SLOPES 3:1 OR GREATER AS WELL AS THOSE DESIGNATED SHALL RECEIVE EROSION CONTROL FABRIC AS SPECIFIED.
 - PROVIDE INLET PROTECTION AS DETAILED AT ALL CATCH BASIN GRATES TO PREVENT THE ACCUMULATION OF SILT IN THE BASINS DURING CONSTRUCTION. CLEAN AND MAINTAIN STORM STRUCTURE Sumps AT REGULAR INTERVALS AND AT THE COMPLETION OF CONSTRUCTION.
 - CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE PADEP EROSION AND SEDIMENT POLLUTION CONTROL MANUAL.
 - EROSION AND SEDIMENT CONTROL FABRIC SHALL BE INSTALLED IN ADVANCE OF UPGRADE DISTURBANCE/CONSTRUCTION ACTIVITY.
 - A CONSTRUCTION ENTRANCE WILL NOT BE UTILIZED AS THE EQUIPMENT NEEDED TO PERFORM THE DEMOLITION ACTIVITIES WILL REMAIN ON THE ADJACENT ASPHALT SURFACES AND PERFORM THEIR WORK FROM THOSE LOCATIONS. DUMP TRUCKS HAULING MATERIALS TO AND FROM THE CONSTRUCTION PROJECT AREA SHALL BE COVERED WITH A TARPULIN TO REDUCE DUST. ANY SEDIMENT AND DEBRIS TRACKED FROM THE WORK AREA ALONG PUBLIC ROADWAYS SHALL BE IMMEDIATELY REMOVED WITH A STREET SWEEPER OR EQUIVALENT SWEEPING METHOD. FURTHER SWEEPING OF STREETS ADJACENT TO DISTURBED AREAS SHALL BE PERFORMED PRIOR TO THE END OF EACH WORK DAY (AT A MINIMUM) WHEN TRACKING OF SEDIMENT IS OCCURRING.
 - DUST SHALL BE CONTROLLED ON DISTURBED AREAS SUBJECT TO SURFACE DUST MOVEMENT AND BLOWING.
 - PERIMETER CONTROLS SHALL BE INSTALLED TO CONTAIN RUNOFF ALONG THE



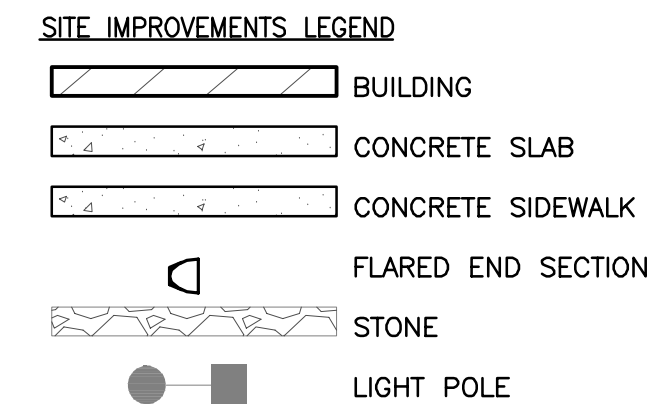
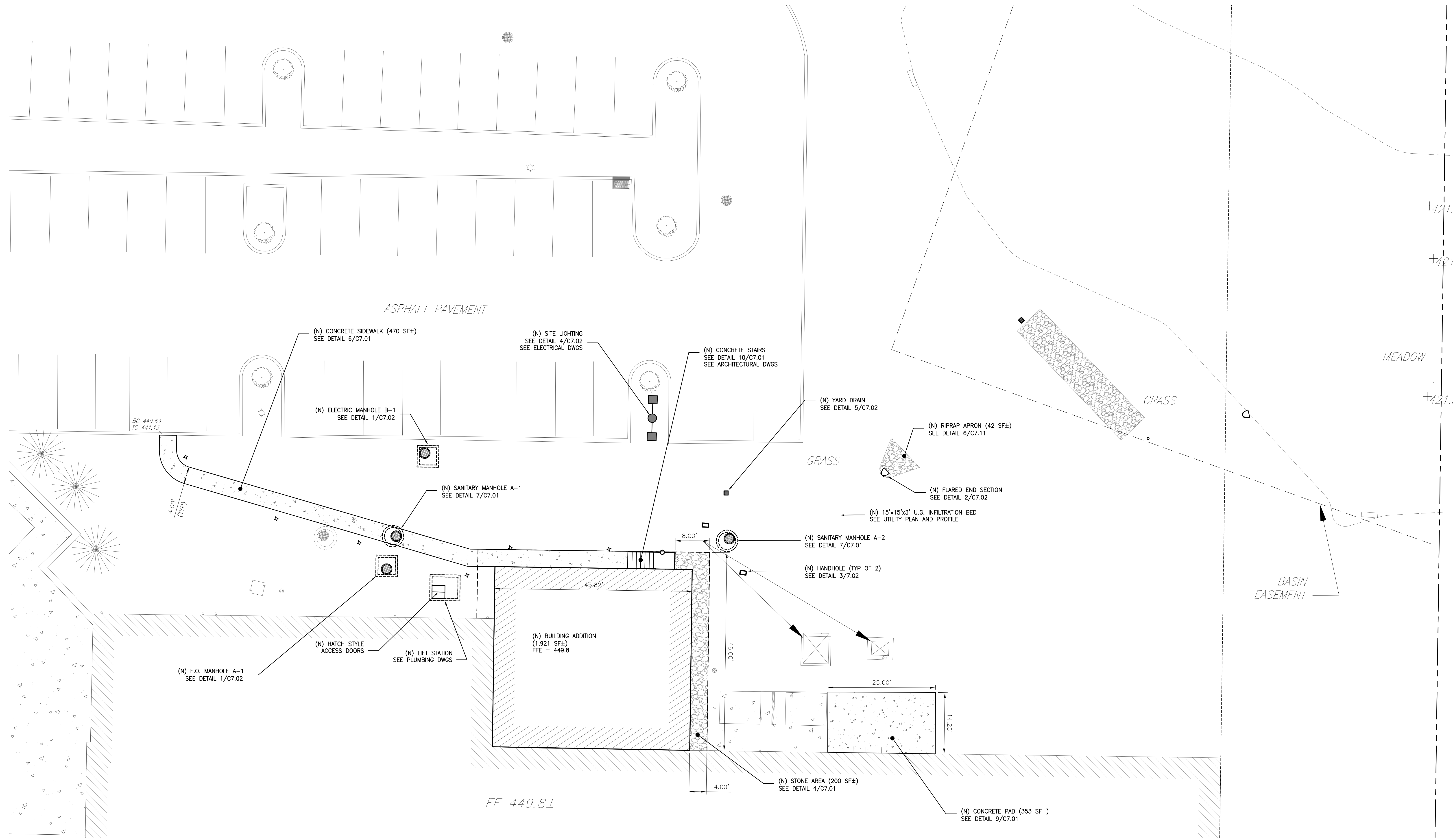
- TRACKING CONTROL:**
- CONTRACTOR TO PROVIDE WASHING STATION IN THE TRACKING CONTROL AREA INDICATED ON THE PLANS.
 - PRIOR TO EXITING ONTO PAVED ROADWAYS, VEHICLE TIRES SHALL BE WASHED WITH CLEAN WATER.
 - DURING WASHING OPERATIONS, CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL DEVICES (COMPOST FILTER SOCK) DOWNSLOPE OF ALL RUNOFF AREAS.
 - CONTRACTOR SHALL ENSURE THAT WASH WATER SHALL NOT FLOW ONTO PAVED ROADWAYS OR INTO UNPROTECTED STORM DRAINAGE SYSTEMS.

TOTAL LIMIT OF DISTURBANCE:
17,816 SF± (0.409 Ac.)

- GENERAL EROSION CONTROL NOTES:**
- ALL WATER PUMPED OR DRAINED FROM THE WORK AREA SHALL BE DISPOSED OF IN A SUITABLE MANNER WITHOUT UNDUPLICATE INTERFERENCE WITH OTHER WORK OR DAMAGE TO SURFACES AND PROPERTY.
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 - PERIMETER CONTROLS SHALL BE INSTALLED TO CONTAIN RUNOFF ALONG THE

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 - CONTRACTOR SHALL ENSURE THAT WASH WATER SHALL NOT FLOW ONTO PAVED ROADWAYS OR INTO UNPROTECTED STORM DRAINAGE SYSTEMS.



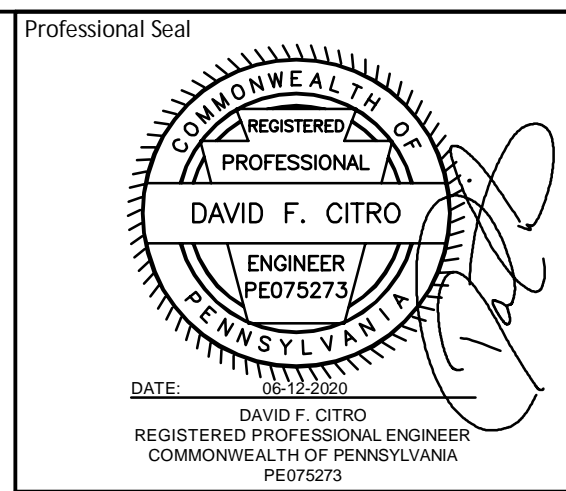
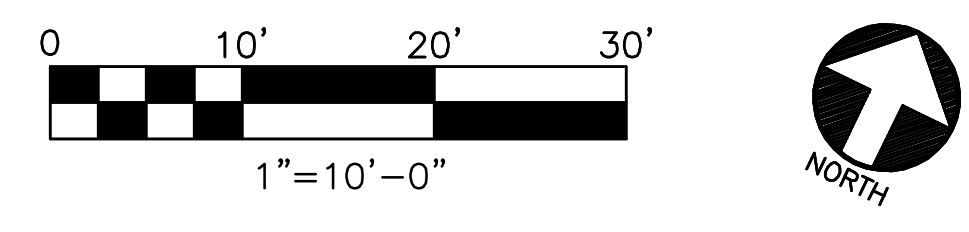


CAST-IN-PLACE CONCRETE

1. CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318), THE ACI DETAILING MANUAL (ACI 315), AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301).
2. CONCRETE SHALL BE READY MIX IN COMPLIANCE WITH ASTM C94. MANUFACTURER SHALL BE CERTIFIED ACCORDING TO THE NATIONAL READY MIXED CONCRETE ASSOCIATION'S CERTIFICATION.
3. CONCRETE EXPOSED TO FREEZE-THAW CYCLES (WEATHER) SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AT 28 DAYS AND CONTAIN AN AIR-ENTRAINING ADMIXTURE TO PRODUCE AN AIR-ENTRAINMENT OF 6 PERCENT (MAX). OMIT AIR-ENTRAINMENT FOR CONCRETE TO RECEIVE A TROWELED FINISH. CONCRETE CONTRACTOR SHALL FOLLOW ACI RECOMMENDATIONS FOR PLACEMENT OF CONCRETE IN COLD WEATHER PER ACI 306.1 AND/OR HOT WEATHER PER ACI 306.2.
5. CONCRETE MIX MATERIALS SHALL MEET THE FOLLOWING:
CEMENT: PORTLAND TYPE I/II ASTM C150
BLENDED HYDRAULIC CEMENT PER ASTM C595 IS PROHIBITED.
FLY ASH: ASTM C618 CLASS C OR F (25% MAX)
NORMAL WEIGHT AGGREGATE: 3/4 INCH ASTM C33 (UNIFORMLY GRADED) CLASS 355.
35. WATER: POTABLE COMPLYING WITH ASTM C94
ADMIXTURES:
AIR ENTRAINING: ASTM C260
WATER REDUCING: ASTM C494 TYPE A
HIGH RANGE WATER REDUCING: ASTM C494 TYPE F
WATER REDUCING AND ACCELERATING: ASTM C494 TYPE E
WATER REDUCING AND RETARDING: ASTM C494 TYPE D
CORROSION-INHIBITING: ASTM C494 TYPE C (WHERE INDICATED)
DCI MANUFACTURED BY W.R. GRACE & CO. (OR APPROVED EQUIVALENT)

WATER CEMENT RATIO: 0.42
INITIAL SLUMP: 3 INCHES MAX
SLUMP WITH SUPER PLASTICIZER: 8 INCHES MAX
AIR CONTENT: 3% MAX (SUB-O-N-GRADE)
AIR CONTENT: 6% MAX WITH AIR ENTRAINING ADMIXTURE (EXTERIOR CONCRETE)
UNIT WEIGHT: 150 PCF MAX (NORMAL WEIGHT)

A SITE IMPROVEMENTS PLAN
C3.01 SCALE: 1" = 10'-0"



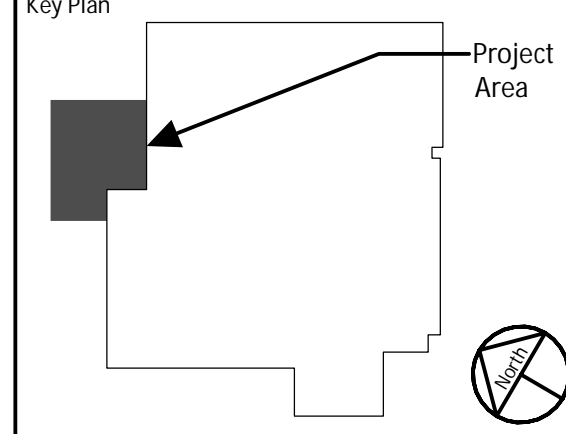
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215-666-9999
MEG PROJECT NO. 19360

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JABIL
1303 Goshen Parkway
West Chester, PA 19380

Project Title:
FINISHING PLANT EXPANSION

JA Project No. 064-WC-02-006
Drawing Title:
SITE IMPROVEMENTS PLAN

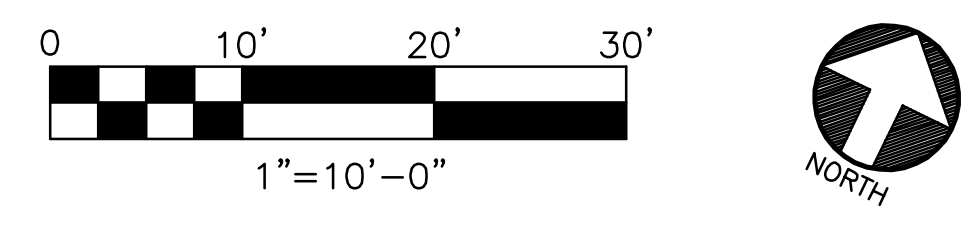
Drawing No.
C3.01

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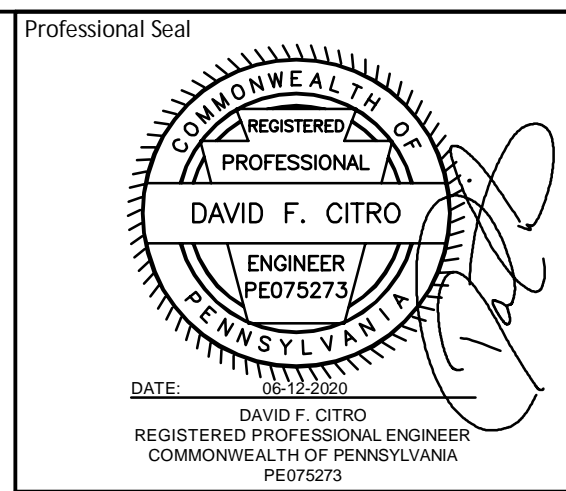


A SITE GRADING PLAN
 C3.11 SCALE: 1" = 10'-0"



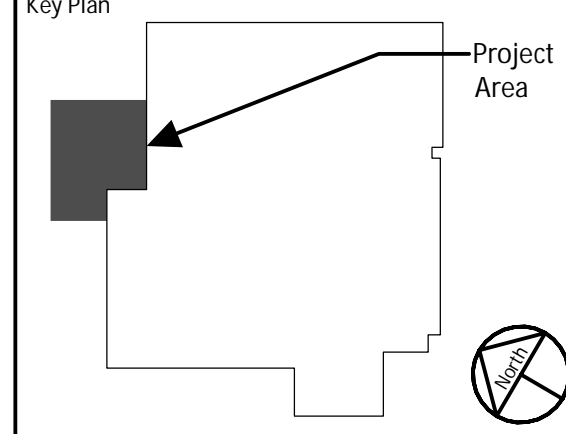
- GRADING CONSTRUCTION NOTES**
1. PROPOSED GRADES SHALL BE THE SAME AS EXISTING GRADES UNLESS OTHERWISE INDICATED.
 2. PREPARE FINISHED SUBGRADES AND SURFACES PER EARTHWORK, SEEDING, STABILIZATION, PAVING AND OTHER APPLICABLE NOTES & DETAILS.
 3. HANDICAP RAMPS SHALL BE PROVIDED AT ALL SIDEWALK INTERSECTIONS AT DRIVEWAYS, PARKING AREAS, ETC., AND SHALL COMPLY WITH A.D.A. REQUIREMENTS.
 4. NO DRIVEWAY/CURB APRON SLOPE SHALL BE GREATER THAN 12:1 (±8%)
 5. NO PARKING LOT SLOPE SHALL BE GREATER THAN 17:1 (±6%)
 6. NO YARD SLOPE SHALL BE GREATER THAN 5:1 (20%) OR PER THE MAXIMUM PERMITTED GRADE PERMITTED BY MUNICIPAL STANDARDS.
 7. SIDEWALK SLOPE/CROSS-SLOPES, ADA RAMP REQUIREMENTS AND CURB REVEALS SHALL BE AS SHOWN ON THE APPLICABLE DETAILS.
 8. MINIMUM SLOPE FOR ALL FINISHED PAVEMENTS SHALL BE 0.05 FT/FT (2%). ALL LOW SPOTS TO OCCUR OFFSITE OR AT AN EXISTING DRAINAGE STRUCTURE.

- EXISTING GRADING LEGEND**
- 375 — MAJOR CONTOUR
 - 374 — MINOR CONTOUR
 - x 350.50 SPOT ELEVATION
- PROPOSED GRADING LEGEND**
- 375 — MAJOR CONTOUR
 - 374 — MINOR CONTOUR
 - x 350.50 SPOT ELEVATION
 - TS: TOP OF STAIR
 - BS: BOTTOM OF STAIR
 - TC: TOP OF CURB
 - BC: BOTTOM OF CURB
 - (ME): MATCH EXISTING
 - TG: TOP OF GRATE



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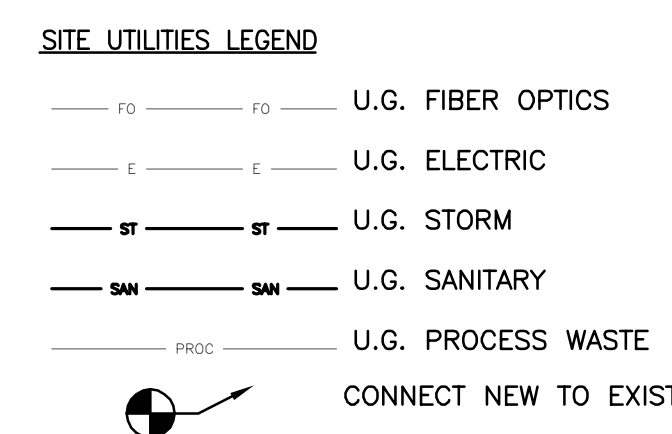
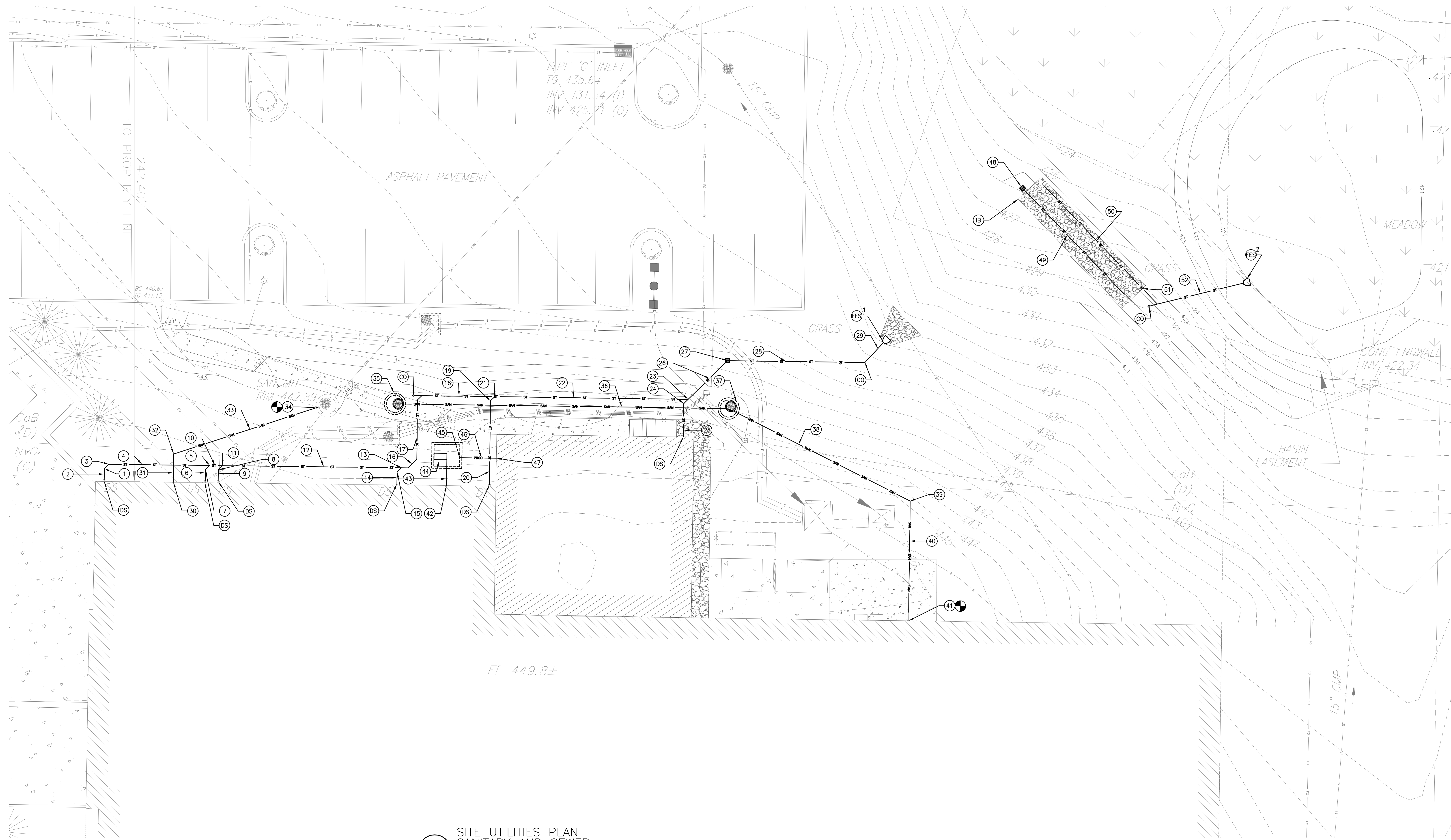
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Project Title:
FINISHING PLANT EXPANSION

JA Project No. 064-WC-02-006
 Drawing Title: **SITE GRADING PLAN**

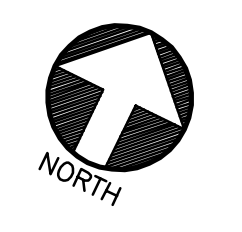
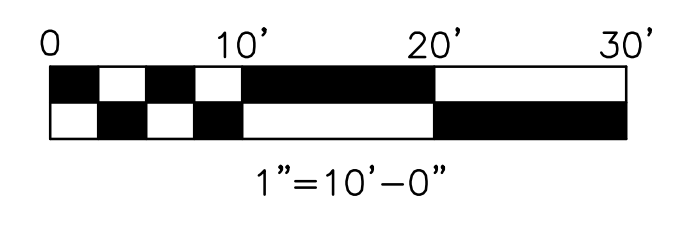
Drawing No.: **C3.11**



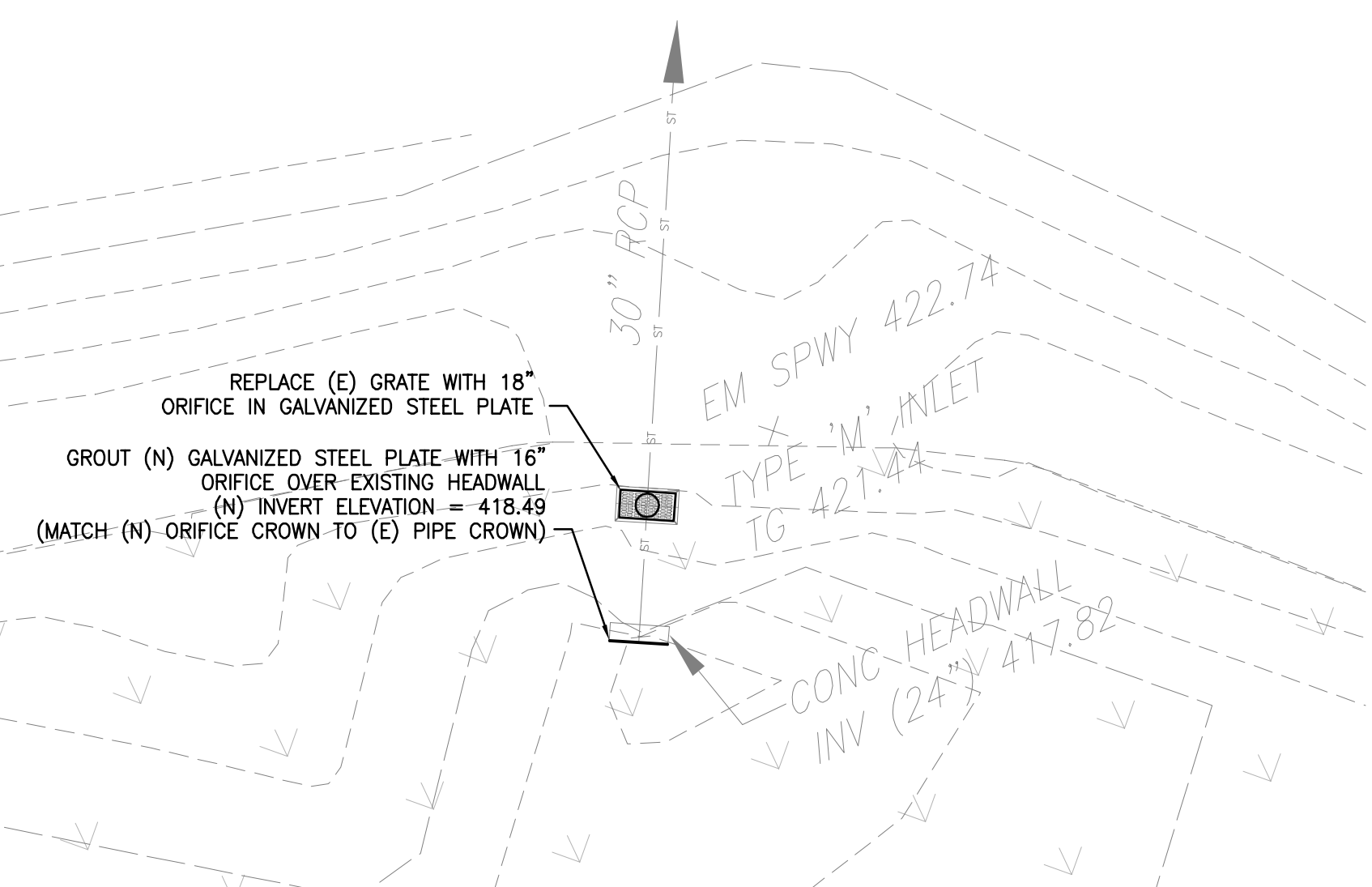
- STORMWATER UTILITY**
- DS INV. 442.00 - CONNECT (E) DOWNSPOUT / SEE PLUMBING DWGS @ NEW BUILDING CONNECTION
 - 1 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
 - 2 (N) 6" HDPE (3 LF± @ 15.00%)
 - 3 INV. 438.32 @ (N) WYE CONNECTION
 - 4 (N) 6" HDPE (23 LF± @ 1.00%)
 - 5 INV. 438.09 - (N) WYE CONNECTION
 - 6 (N) 6" HDPE (3 LF± @ 15.00%)
 - 7 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
 - 8 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
 - 9 (N) 6" HDPE WYE CONNECTION (3 LF± @ 15.00%)
 - 10 (N) 6" HDPE (3 LF± @ 1.00%)
 - 11 INV. 438.06 - (N) WYE CONNECTION
 - 12 (N) 6" HDPE (42 LF± @ 1.00%)
 - 13 INV. 437.64 - (N) WYE CONNECTION
 - 14 (N) 6" HDPE (3 LF± @ 15.00%)
 - 15 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
 - 16 (N) 6" HDPE 45° CONNECTION (2 LF± @ 1.00%)
 - 17 (N) 6" HDPE (15 LF± @ 1.00%)
 - 18 (N) 6" HDPE (19 LF± @ 1.00%)
 - 19 INV. 439.23 @ BEND-2 LF± TO (N) WYE CONNECTION
 - 20 (N) 6" HDPE (19 LF± @ 14.97%)
 - 21 INV. 437.24 - (N) WYE CONNECTION
 - 22 (N) 6" HDPE (45 LF± @ 1.00%)
 - 23 INV. 436.79 - (N) WYE CONNECTION & CLEANOUT
 - 24 INV. 441.23 @ BEND-2 LF± TO (N) WYE CONNECTION
 - 25 (N) 6" HDPE (7 LF± @ 14.92%)
 - 26 (N) 6" HDPE (13 LF± @ 1.01%)
 - 27 INV. 436.66 (IN), INV. 435.38 (OUT)

- 28 (N) 6" HDPE (32 LF± @ 1.00%)
- 29 (N) 6" HDPE (6 LF± @ 1.02%)
- FES 1. INV. 435.00
- FES 2. INV. 421.21
- CO (N) CLEANOUT
- 18 U.G. INFILTRATION BED - SEE DETAIL 1/C3.21
- 48 (N) YARD DRAIN - T.G. 425.75
- 49 INV. 422.00
- 49 (N) 12" HDPE (34 LF± @ 0.01%)
- 50 (N) 8" HDPE (33 LF± @ 0.01%)
- 51 INV. 423.00
- 52 (N) 8" HDPE (26 LF± @ 6.73%)

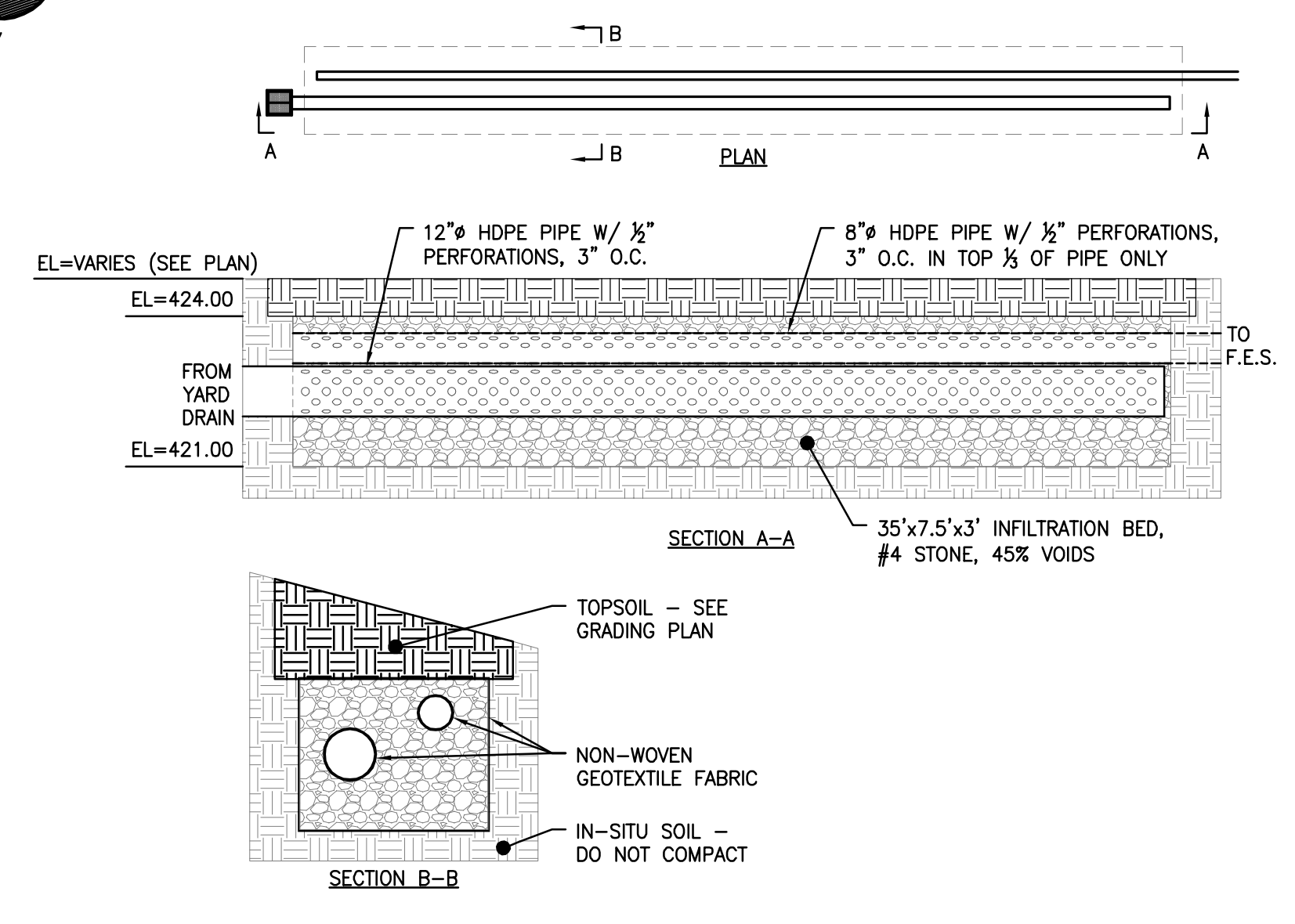
UTILITY NOTES
1. SEE SHEET C3.22 FOR UTILITY CONSTRUCTION NOTES AND SPECIFICATIONS.



A
C3.21
SCALE: 1" = 10'-0"

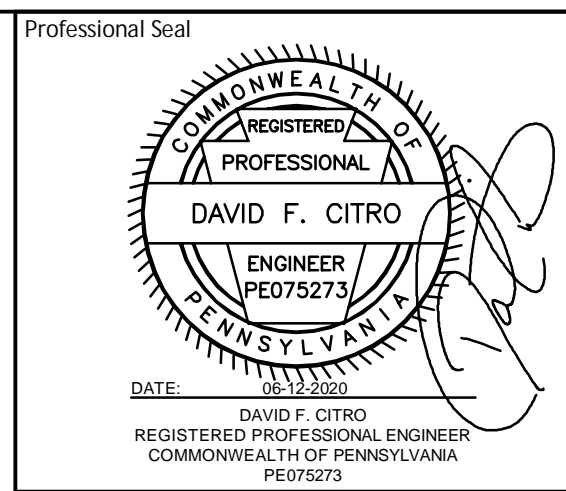


B
C3.21
SCALE: 1" = 10'-0"



NON-WOVEN GEOTEXTILE SHALL ADHERE TO THE FOLLOWING SPECIFICATIONS:
 A) GRAB TENSILE STRENGTH (ASTM-D4632) 120 LBS
 B) MULLEN BURST STRENGTH (ASTM-D3786) 225 PSI
 C) FLOW RATE (ASTM-D4491) 95 GPM/SQFT
 D) UV RESISTANCE AFTER 500 HRS (ASTM-D4355) 70%
 E) HEAT OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED

1
C3.21
SCALE: NTS



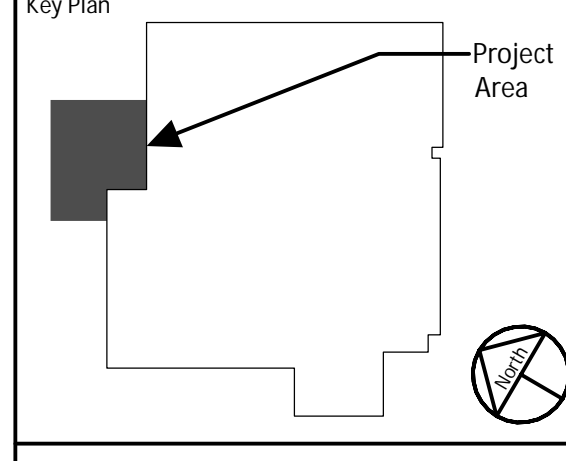
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West Chester, PA 19380

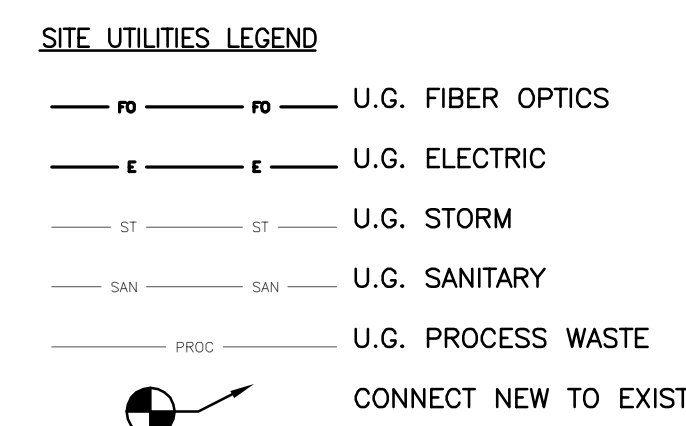
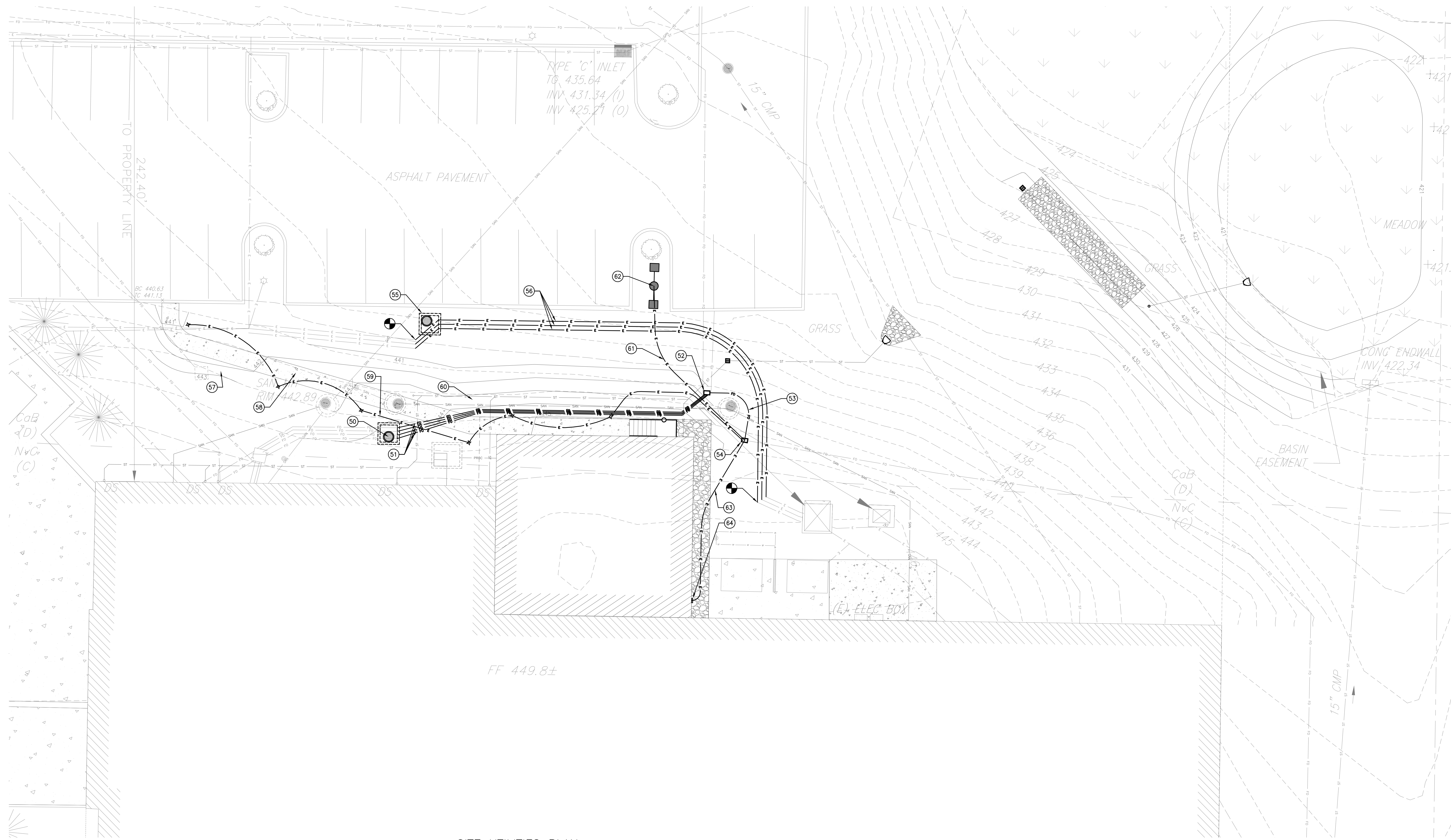
Project Title:
FINISHING PLANT EXPANSION

JA Project No. Drawn By: Load Checked By:
064-WC-02-006 AFH DFC MEH

Drawing Title:
SITE UTILITIES PLAN (1 OF 2)

Drawing No.:

C3.21



- (50) (N) FIBER OPTICS MANHOLE
RIM: 444.25
- (51) (N) FIBER OPTICS FEED (75 LF±)
- (52) (N) HANDHOLD
- (53) (N) FIBER OPTICS (45 LF±)
- (54) (N) FIBER OPTICS PULL BOX
- (55) (N) ELECTRIC MANHOLE
RIM: 439.00
- (56) (N) ELECTRICAL FEED (114 LF±)
- (57) (N) PATHWAY SITE LIGHTING (TYP OF 3)
SEE DETAIL 4/C7.02 & ELECTRICAL DWGS
- (58) (N) ELECTRICAL FEED (35 LF±)
- (59) (N) ELECTRICAL FEED (26 LF±)
- (60) (N) ELECTRICAL FEED (78 LF±)
- (61) (N) ELECTRICAL FEED (44 LF±)
- (62) (N) AREA SITE LIGHTING
SEE DETAIL 4/C7.02 & ELECTRICAL DWGS
- (63) (N) ELECTRICAL FEED (41 LF±)
- (64) (N) PULL BOX
SEE ELECTRICAL DWGS

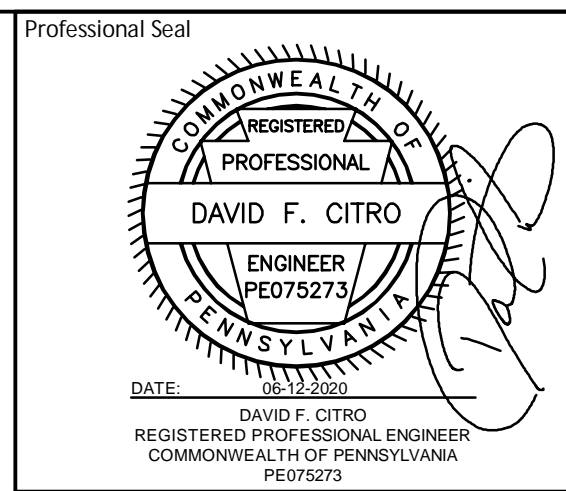
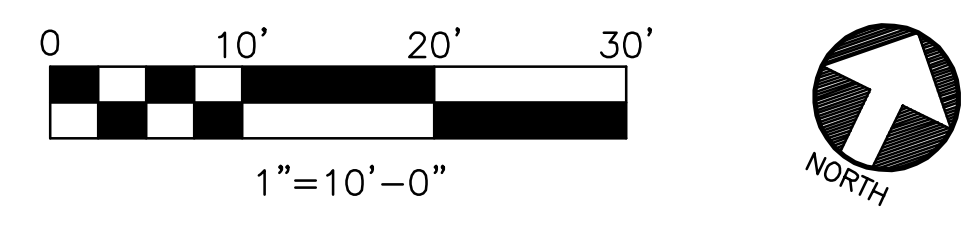
**SITE UTILITIES PLAN
ELECTRIC AND FIBER OPTIC**
SCALE: 1" = 10'-0"

UTILITY CONSTRUCTION NOTES

1. ALL WATER PIPING AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE UTILITIES AUTHORITY/COMPANY AND PADEP REQUIREMENTS AND STANDARDS.
2. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS/HER SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
3. THE CONTRACTOR SHALL CALL THE STATE "ONE-CALL" SYSTEM (DIAL 811), NOT LESS THAN 72 HOURS NOR MORE THAN 10 WORKING DAYS PRIOR TO PLANNED WORK TO NOTIFY UTILITY OWNERS OF THE INTENT TO START WORK. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING NON-MEMBER OR NON-RESPONSIVE UTILITY OWNERS INDIVIDUALLY. ALL WORK SHALL BE COORDINATED WITH UTILITY OWNERS INCLUDING, BUT NOT LIMITED TO, ELECTRIC, GAS, COMMUNICATIONS, WATER, SANITARY AND STORM SEWER OWNERS, PRIOR TO THE START OF CONSTRUCTION.
4. SANITARY SEWER AND WATER MAIN TO BE SEPARATED BY A MINIMUM DISTANCE OF 10.0' HORIZONTALLY WHEN PARALLEL OR 18" VERTICALLY (WATER OVER SEWER) WHEN HORIZONTAL SEPARATION IS LESS THAN 10.0'. CONCRETE ENCASEMENT SHALL BE PROVIDED FOR UTILITY CROSSINGS THAT ARE SEPARATED BY LESS THAN 18".
5. WATER MAIN VALVES SHALL BE PROVIDED AS REQUIRED.
6. MINIMUM PIPE COVER SHALL BE PER MANUFACTURER'S RECOMMENDATIONS OR MUNICIPAL REQUIREMENTS, WHICHEVER IS GREATER.
7. PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
8. ALIGNMENT OF UTILITIES WHICH CROSS EXISTING VEGETATION SHALL BE ADJUSTED IN ORDER TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION SUBJECT TO PROPER UTILITY SPACING AND EASEMENT REQUIREMENTS.
9. EXISTING TREES SHALL BE PRESERVED WHEREVER POSSIBLE. FIELD ADJUSTMENTS TO PROPOSED GRADING, UTILITY STRUCTURE LOCATIONS, ETC. WILL BE MADE IN AN EFFORT TO PRESERVE EXISTING TREES.
10. ALL UTILITY TRENCHES LOCATED IN PUBLIC ROADWAYS SHALL BE REPAIRED IN ACCORDANCE WITH APPLICABLE STANDARDS.
11. METERING DEVICES AND OTHER UTILITY APPURTENANCES, INCLUDING BUT NOT LIMITED TO WATER, SEWER, ELECTRIC, CABLE, TELEPHONE, AND NATURAL GAS SHALL BE INSTALLED WHERE AND AS REQUIRED BY MUNICIPAL OR UTILITY COMPANY STANDARDS.
12. NEW ELECTRIC AND TELEPHONE UTILITIES TO BE INSTALLED UNDERGROUND.
13. PRECAST OR CAST-IN-PLACE REINFORCED CONCRETE STRUCTURES MAY BE UTILIZED FOR DRAINAGE, AND SANITARY SEWER SYSTEMS INCLUDING DETENTION OUTLET STRUCTURES UPON SUBMISSION TO AND APPROVAL OF SHOP DRAWINGS BY ENGINEER. ALL SHOP DRAWINGS ARE TO BE CERTIFIED BY A STATE-LICENSED PROFESSIONAL ENGINEER.
14. ALL PRECAST AND CAST-IN-PLACE STRUCTURES ARE TO BE DESIGNED TO AASHTO HS-20 LOADING REQUIREMENTS.

UTILITY PIPE SPECIFICATIONS

1. ALL STORM SEWERS, PRECAST STORM SEWER STRUCTURES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PENNDOT STANDARD SPECIFICATIONS, LATEST REVISION.
2. HIGH DENSITY POLYETHYLENE PIPE (4"+): AASHTO M252, TYPE S AND AASHTO M294. WATERTIGHT PER ASTM D2321. POLYISOPRENE GASKETS PER ASTM F477.
3. DUCTILE IRON (DI) PIPE AND FITTINGS: ASTM A 746 SERVICE CLASS, FLEXIBLE LINED, FASTITE JOINTS.
4. PVC PIPE (SIZES 4" - 12" IN DIAMETER): C-900 "BLUE BRUTE" PIPING PER AWWA C900-07 AND FM1612. PRESSURE CLASS 165 PSI (DR25), 235 PSI (DR18); 305 PSI (DR14). GASKETS PER ASTM F477 AND JOINTS PER ASTM D3139. FM APPROVED FOR PRESSURE CLASS 150 PSI (DR18) AND 200 PSI (DR14).
5. INSTALL PIPING BEGINNING AT LOW POINT OF SYSTEMS, TRUE TO GRADES AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. PLACE BELL ENDS OF PIPING FACING UPSTREAM.
6. INSTALL PIPING PITCHED DOWN IN DIRECTION OF FLOW, AT SLOPES AND COVER SHOWN.
7. ALL PRECAST DRAINAGE STRUCTURES SHALL CONTAIN REINFORCING STEEL AND BE DESIGNED FOR AASHTO HS-20 LOADING.
8. STATE CERTIFIED PE SIGNED AND SEALED SHOP DRAWINGS OF ALL PRECAST DRAINAGE STRUCTURES UPON SUBMISSION OF AND APPROVAL OF SHOP DRAWINGS BY ENGINEER PRIOR TO INSTALLATION.
9. PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
10. ALL RCP JOINTS SHALL BE MORTARED WITH 2:1 SAND MORTAR UNLESS OTHERWISE NOTED ON THE PLANS.
11. CONDUIT OUTLET PROTECTION SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF ANY PIPE RUN.
12. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS CONSTRUCTION OF STORM SEWER PROGRESSES IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION.
13. INFILTRATION/ DETENTION BEDS/PIPING TO BE INSTALLED WITH NO SLOPE (S=0.00%).
14. ALL PROPOSED CLEANOUTS TO BE SET FLUSH WITH FINISHED GRADE.
15. FINAL GRATE ELEVATIONS OF ALL MANHOLE CASTINGS TO BE FLUSH WITH FINISHED PAVEMENT GRADE (PAVED AREAS) AND SIX-INCHES (6") ABOVE FINISHED GRADE IN ALL LAWN AREAS.
16. PRECAST OR CAST-IN-PLACE REINFORCED CONCRETE STRUCTURES MAY BE UTILIZED FOR DRAINAGE, AND SANITARY SEWER SYSTEMS INCLUDING DETENTION OUTLET STRUCTURES UPON SUBMISSION OF AND APPROVAL OF SHOP DRAWINGS BY ENGINEER. ALL SHOP DRAWINGS ARE TO BE CERTIFIED BY A STATE-LICENSED PROFESSIONAL ENGINEER.
17. ALL PRECAST AND CAST-IN-PLACE STRUCTURES ARE TO BE DESIGNED TO AASHTO HS-25 LOADING REQUIREMENTS.



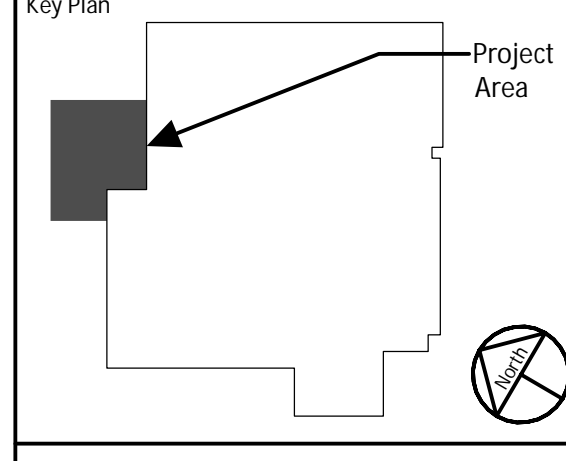
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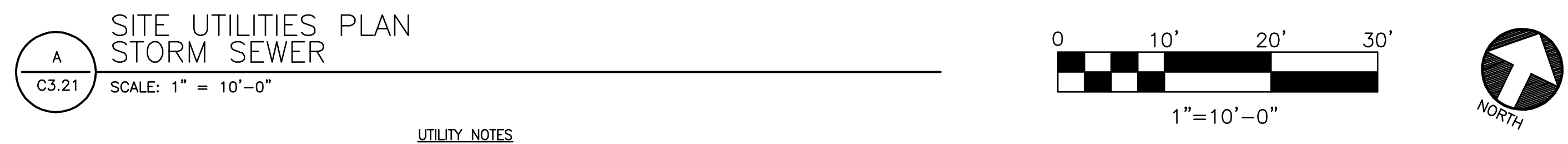
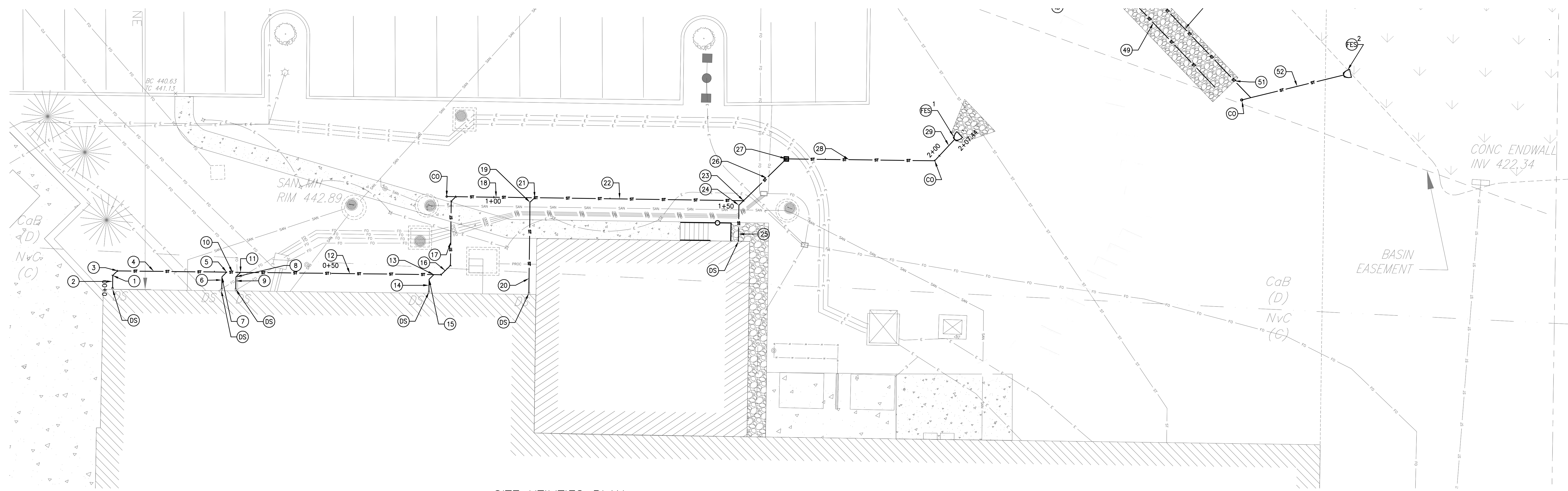
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West Chester, PA 19380

Project Title:
FINISHING PLANT EXPANSION

JA Project No. 064-WC-02-006
Drawn By: AFH
Load: DFC
Checked By: MEH

Drawing Title:
SITE UTILITIES PLAN (2 OF 2)

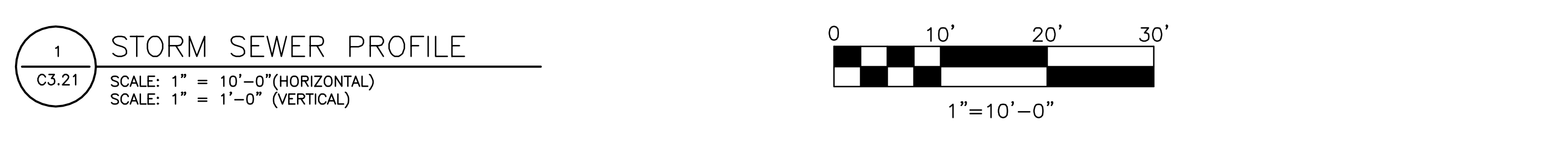
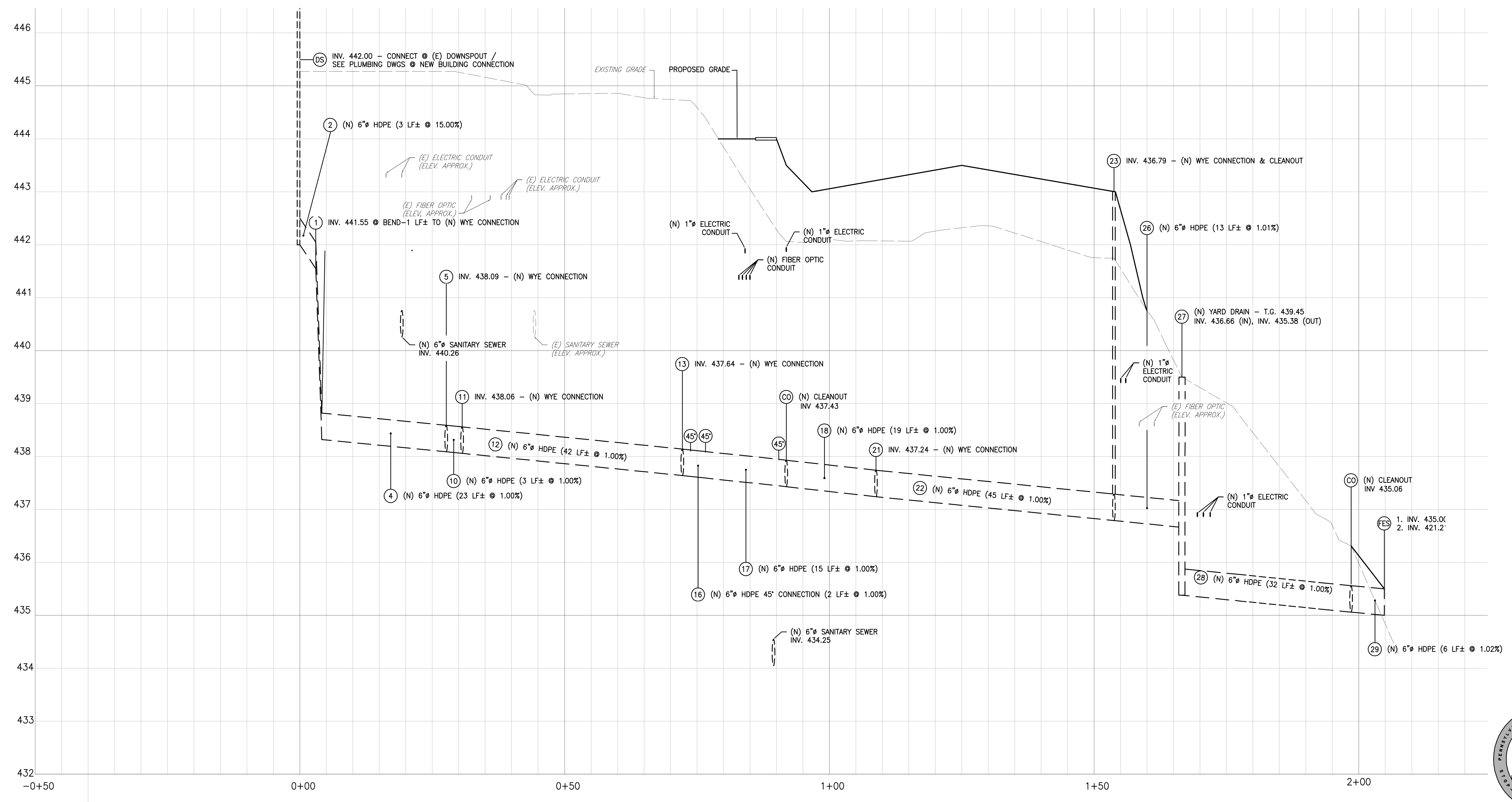
Drawing No.:
C3.22



- SITE IMPROVEMENTS LEGEND**
- BUILDING
 - CONCRETE SLAB
 - CONCRETE SIDEWALK
 - UNDERDRAIN
 - U.G. FIBER OPTICS
 - U.G. ELECTRIC
 - U.G. STORM
 - U.G. SANITARY

UTILITY NOTES
1. SEE SHEET C3.22 FOR UTILITY CONSTRUCTION NOTES AND SPECIFICATIONS.

- STORMWATER UTILITY**
- DS INV. 442.00 - CONNECT @ (E) DOWNSPOUT / SEE PLUMBING DWGS @ NEW BUILDING CONNECTION
 - 1 INV. 441.55 @ BEND-1 LF± @ 15.00%
 - 2 (N) 6" HDPE (3 LF± @ 15.00%)
 - 3 INV. 438.32 @ (N) WYE CONNECTION
 - 4 (N) 6" HDPE (23 LF± @ 1.00%)
 - 5 INV. 438.09 - (N) WYE CONNECTION
 - 6 (N) 6" HDPE (3 LF± @ 15.00%)
 - 7 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
 - 8 INV. 441.55 @ BEND-1 LF± TO (N) WYE CONNECTION
 - 9 (N) 6" HDPE WYE CONNECTION (3 LF± @ 15.00%)
 - 10 (N) 6" HDPE (3 LF± @ 1.00%)
 - 11 INV. 438.06 - (N) WYE CONNECTION
 - 12 (N) 6" HDPE (42 LF± @ 1.00%)
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 - 29 (N) 6" HDPE (6 LF± @ 1.02%)
 - FES 1 INV. 435.00
 - FES 2 INV. 421.21
 - CO (N) CLEANOUT
 - BS U.G. INFILTRATION BED - SEE DETAIL 1/C3.21



Professional Seal
DAVID F. CITRO
REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF PENNSYLVANIA
PROJECT

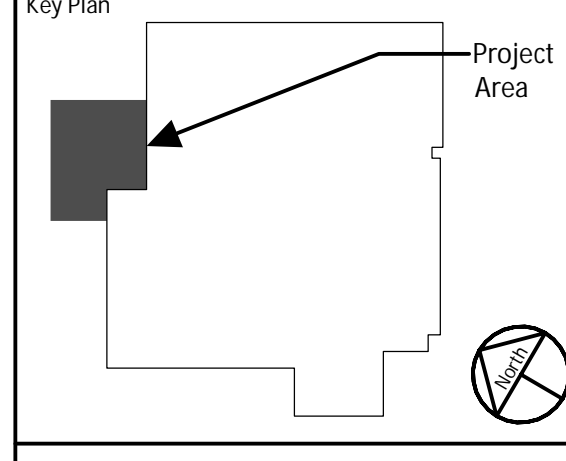
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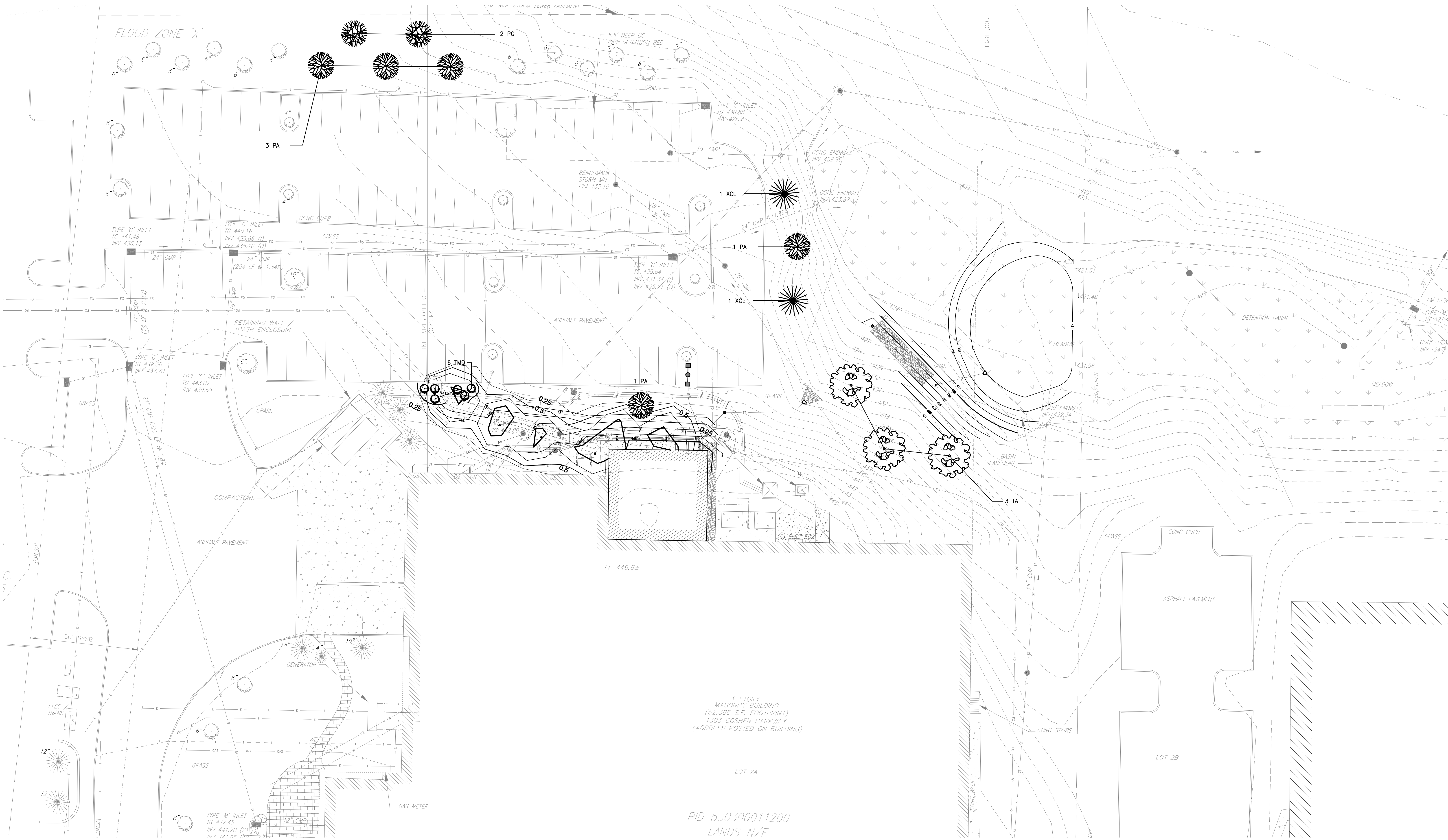


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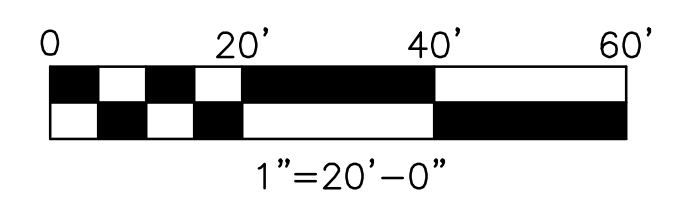
Project Title:
FINISHING PLANT EXPANSION

JA Project No. 064-WC-02-006
Drawing Title:
STORM UTILITIES PROFILE

Drawing No.
C4.01



A LANDSCAPING PLAN
C5.01 SCALE: 1" = 20'-0"



GENERAL LANDSCAPING NOTES

1. ALL PLANTS SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS, AND DISEASE, AND SUITABLE FOR PARK USE AND DURABLE UNDER THE MAINTENANCE CONTEMPLATED. NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE FINISHED GRADING OF THE PARK HAS BEEN COMPLETED. ALL MATERIALS, INSTALLATION AND MAINTENANCE PROVISIONS SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERMEN.
2. MAINTAIN PROPER SEPARATION BETWEEN TREES AND UTILITIES. TREES MUST BE PLANTED A MINIMUM DISTANCE OF 3' (THREE FEET) FROM CURBS AND SIDEWALKS, 15' (FIFTEEN FEET) FROM OVERHEAD UTILITIES, AND 6' (SIX FEET) FROM UNDERGROUND UTILITIES.
3. LOCATIONS OF UTILITIES SHOWN ON THE DRAWINGS MIGHT NOT COINCIDE PRECISELY WITH ACTUAL LOCATIONS IN THE FIELD. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO COMMENCING PLANTING OPERATIONS.
4. MAINTENANCE: ALL REQUIRED PLANTINGS, INCLUDING BUT NOT NECESSARILY LIMITED TO BUFFER AND SCREENING PLANTS, STREET TREES, AND PERIMETER LANDSCAPING, SHALL BE PERPETUALLY MAINTAINED. THE OWNER OR OWNER'S LANDSCAPE INSTALLER SHALL BE RESPONSIBLE FOR MAINTAINING PLANTINGS FOR A PERIOD OF EIGHTEEN (18) MONTHS FOLLOWING COMPLETION OF THE IMPROVEMENTS DURING THE MAINTENANCE/GUARANTEE PERIOD. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE AFTER THIS PERIOD HAS EXPIRED.
5. GUARANTEE: ALL PLANTS SHALL BE GUARANTEED FOR EIGHTEEN (18) MONTHS AFTER FINAL PROJECT CLOSEOUT. PLANTS SHALL BE REPLACED DURING THIS PERIOD IF THEY DIE, FAIL TO EXHIBIT TYPICAL GROWTH DURING THE FOLLOWING GROWING SEASON OR BECOME DISFIGURED. THE REPLACEMENT PLANT SHALL MATCH THE ORIGINAL PLANT IN SIZE AND SPECIES. AT THE END OF THE 18 MONTH MAINTENANCE/GUARANTEE PERIOD, ANY MATERIAL THAT, IN THE OPINION OF THE ENGINEER OR OWNER REPRESENTATIVE, IS SIGNIFICANTLY DISFIGURED OR 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE BY THE LANDSCAPE INSTALLER. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR THERE IS 25% OR MORE OF THE CROWN DEAD.
6. ALL TREE WRAP AND STAKING MATERIALS MUST BE REMOVED BY THE CONTRACTOR AT THE CONCLUSION OF THE 18 MONTH MAINTENANCE/GUARANTEE PERIOD.

PLANTING NOTES

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS, AS SPECIFIED, AND IN QUANTITIES INDICATED ON THE PLANT LIST. WHEN A DISCREPANCY ARISES IN QUANTITY, THE ACTUAL NUMBER OF PLANTS SHOWN ON THE DRAWINGS SHALL GOVERN.
2. ALL PLANTS SHALL BE QUALITY NURSERY GROWN MATERIAL COMPLYING WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN AND ANSI Z60.1. THEY SHALL BE FRESHLY DUG AND SUPPLIED TO THE SITE FREE OF HARMFUL INSECTS, DISEASE, DISFIGUREMENT, OR DAMAGE TO ROOT BALLS, BARK, STEMS, OR BRANCHES. THREE PLANTS OF EACH SPECIES SHALL BEAR A LABEL LISTING THE FULL BOTANICAL NAME OF THE PLANT AND SHALL BE CERTIFIED BY THE SUPPLIER TO BE THE SPECIES LABELED.
3. ANY PLANT FOUND TO BE DAMAGED, DISEASED, DISFIGURED, OR IN NON-COMPLIANCE WITH ANSI SPECIFICATIONS, SPECIES, OR QUALITY WILL BE REJECTED AND SHALL BE REMOVED FROM THE SITE.
4. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
5. ALL PLANT MATERIAL SHALL MINIMALLY BE HARDY WITHIN THE USDA HARDNESS ZONE 6B.
6. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OR GROWTH. THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE CERTIFIED BY APPROPRIATE STATE AND FEDERAL AUTHORITIES TO BE FREE OF DISEASE AND INSECT PESTS, EGGS OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS.
7. ALL DIGGING HAZARD: ANY SPECIES LISTED BELOW, MUST NOT BE DUG IN THE FALL (OCTOBER THROUGH DECEMBER) BECAUSE OF RISK TO THE TREE'S SURVIVAL. SPECIAL EXCEPTIONS MAY BE GRANTED IF THE OWNER IS NOTIFIED AND AN EXTENDED WARRANTY ON THESE PLANTS IS AGREED UPON PRIOR TO DIGGING. THE FOLLOWING VARIETIES SHOULD NOT BE DUG IN FALL: BETULA, CARRINUS, CELTIS, CERCOIDPHYLLUM, CORYLUS, CRYPTOMERIA, FAGUS, HALESA, ILEX (TREE FORM VARIETIES), KOELREUTERIA, LIQUIDAMBAR, LIRODENDRON, NYSSA, OSTRYA, PRUNUS, PYRUS, QUERCUS (EXCEPT PALUSTRIS), SALIX (WEeping VARIETIES), SORBUS, TAXODIUM, TILIA TOMENTOSA, AND ULMUS. DIGGING FOR MALUS AND ZELKOVA VARIETIES SHOULD BE AVOIDED IN FALL ONLY WHEN IN LEAF. SUBSTITUTIONS: WHEN PLANTS OF A SPECIFIED KIND OR SIZE ARE NOT AVAILABLE WITHIN A 150 MILE RADIUS OF PROJECT SITE, SUBSTITUTIONS MAY BE MADE UPON REQUEST BY THE CONTRACTOR, IF APPROVED BY THE ENGINEER AND OWNER. NOTIFY OWNER IN WRITING WITH ALL SUBSTITUTION REQUESTS TO OBTAIN APPROVALS.
8. SIZE: ALL PLANTS SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE PLANT LIST, UNLESS AUTHORIZED IN WRITING BY THE OWNER.
9. MEASUREMENT: DIMENSIONS OF TREES AND SHRUBS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1, LATEST EDITION.
10. SHADE TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SEVEN (7) FEET ZERONES ABOVE THE GROUND AS GROWN IN THE NURSERY. MAJOR PRUNING OF LOWER BRANCHES MIGHT BE NECESSARY. HOWEVER, TREES WITH DISFIGURED HEADS CAUSED BY THE NEED FOR SIGNIFICANT REMOVAL OF LOWER BRANCHES WILL NOT BE ACCEPTED AND MUST BE REPLACED IMMEDIATELY.
11. TREES IN LEAF, INCLUDING EVERGREENS, WHEN PLANTED SHALL BE TREATED WITH ANTI-DESICCANT (WILT-PROOF OR EQUAL) IF PLANTED DURING THE MONTHS OF JUNE THROUGH SEPTEMBER, NOVEMBER, AND DECEMBER.
12. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH, OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
13. ROOT BALLS OF ALL PLANTS SHALL BE ADEQUATELY PROTECTED TO HOLD THEM FROM SUN AND DRYING WINDS OR FROST.
14. PLANTS WITH BROKEN ROOT BALLS OR EXCESSIVE DAMAGE TO THE CROWN, STEM OR HEAD SHALL BE REPLACED PRIOR TO PLANTING. ANY PLANT SIGNIFICANTLY DAMAGED AFTER PLANTING SHALL BE REPLACED PRIOR TO PROJECT CLOSEOUT. THE REPLACEMENT PLANT SHALL MAINTAIN A FULL GUARANTEE FOR THE DURATION SPECIFIED FOR THE PROJECT.
15. ALL PLANT MATERIAL TO BE INSTALLED IN ACCORDANCE WITH THE PLANTING PRACTICES BARK IN CHAPTER 3 OF "TREE MAINTENANCE" BY P.F. PRUNE (LATEST EDITION).
16. TAKE EXTREME CARE IN HANDLING AND INSTALLING ALL PLANTS TO PREVENT DAMAGE TO BARK, BRANCHES, AND ROOT BALLS.
17. PREPARE TREE AND SHRUB PLANTING PITS WITH PROPER SIZE EXCAVATIONS AND BACKFILL DURING PLANTING WITH

18. PREPARED BACKFILL MIXTURE. BACKFILL IN LAYERS, WATER THOROUGHLY TO ALLOW SETTLEMENT AND REMOVE AIR POCKETS.
19. PLANT ROOT BALLS AT THE SAME RELATION TO GRADE AS PREVIOUSLY GROWN AT THE NURSERY. HIGH OR LOW ROOT BALLS SHALL NOT BE ACCEPTED.
20. BACKFILL PLANTING SOIL OF 50% TOPSOIL AND 50% PEAT MOSS SHALL BE MIXED WITH EXISTING SOIL AT A RATE OF 1/3 PLANTING SOIL AND 2/3 EXISTING SOIL.
21. FERTILIZE ALL PLANTS WITH APPROPRIATE STARTER FERTILIZER AT TIME OF PLANTING.
22. ALL PLANTINGS MUST BE THOROUGHLY WATERED WITHIN THE FIRST 12 HOURS OF INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING WATER FOR THIS OPERATION.
23. MULCH ALL PLANTINGS AND PLANTING BEDS IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED WITH A 3"(THREE INCH) LAYER OF FINELY SHREDDED BARK MULCH OR LICORICE ROOT. THE MULCH SHALL BE AGED A MINIMUM OF 6 MONTHS. A GRANULAR PRE-EMERGENT WEED CONTROL SHALL BE SPREAD PRIOR TO MULCHING. THE LIMIT OF THIS MULCH FOR DECIDUOUS TREES AND SINGLE EVERGREEN TREES SHALL BE THE AREA OF THE PIT EXCAVATION. FOR ALL EVERGREEN TREE AND SHRUB CLUSTERS, A FULLY MULCHED BED SHALL BE CREATED. MULCH PLANTING BEDS ENTIRELY AROUND AND BETWEEN ALL PLANTS FOR A FULLY MULCHED BED. DEPTH SHALL BE CLEANLY CUT AND TAPERED TO MATCH SURROUNDING LAWN GRADES.
24. ALL SHRUBS ARE TO BE MULCHED IN GROUPS. NO SINGULARLY MULCHED SHRUBS WILL BE ACCEPTED, UNLESS A SINGULAR SPECIMAN SHRUB IN LAWN HAS BEEN SHOWN ON THE DRAWINGS. A CONTINUOUS MULCH BED SHALL BE PROVIDED FOR EACH GROUPING OR CLUSTER OF SHRUBS TO THE EXTENT OF THEIR COLLECTIVE BRANCH DRY LINE, UNLESS OTHERWISE DEPICED ON THE PLANS.
25. WEED CONTROL: ALL PLANTING AREAS SHALL BE FREE FROM WEEDS PRIOR TO THE BEGINNING OF PLANTING OPERATION. CONTACT HERBICIDE SPRAYS SHOULD ONLY BE USED AS REQUIRED AND ALL MANUFACTURERS SPECIFICATIONS FOLLOWED.
26. TREES SHALL BE STAKED AND GUYED AS SHOWN ON THE PLANTING DETAILS.
27. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERMEN STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. REMOVE DEAD, DYING OR DAMAGED BRANCHES, WEAK CROTCHES, AND POTENTIAL DOUBLE LEADERS BY REMOVING WHOLE BRANCH SECTIONS BACK TO A BRANCH UNION USING PROPER HORTICULTURAL PRACTICES. DO NOT TIP-OR STUB-CUT BRANCHES. THE FORM OF THE PLANT SHALL REMAIN TYPICAL OF ITS SPECIES. PRUNING OF THE CENTRAL LEADER, SHEARING, OR END-CUTTING OF BRANCHES SHALL RENDER THE PLANT "DISFIGURED" AND IT SHALL BE REJECTED.
28. ALL PLANTING SHALL BE AT THE LOCATIONS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADES, ALIGNMENT, AND TO THE INDICATED LAYOUT OF THE PLANTING BEDS.
29. LAYOUT OF PLANTING: THE CONTRACTOR SHALL LAY OUT WITH IDENTIFIABLE STAKES THE LOCATION OF ALL PLANTING BEDS AS INDICATED ON DRAWINGS. THE LAYOUT OF PLANTINGS SHALL BE APPROVED BY THE OWNER OR OWNER REPRESENTATIVE PRIOR TO ANY EXCAVATION OF PLANT PITS OR PLANTING BEDS.
30. MINOR ADJUSTMENTS TO TREE LOCATIONS MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR SHALL NOTIFY THE OWNER IF MAJOR ADJUSTMENTS ARE REQUIRED.
31. CONDITIONS DETRIMENTAL TO PLANTS: THE CONTRACTOR SHALL NOTIFY THE PROJECT REPRESENTATIVE IN WRITING OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS. THE CONTRACTOR SHALL STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS, INCLUDING ANY CHANGE IN COST, FOR REVIEW AND ACCEPTANCE BY THE PROJECT REPRESENTATIVE.
32. ALL PLANTING BEDS SHALL BE DELINEATED BY THE INSTALLATION OF A DURABLE EDGING AND SHALL BE INSTALLED FLUSH WITH THE FINISHED GRADE.
33. ALL LAWN AREAS DISTURBED BY CONSTRUCTION, WHETHER OR NOT OTHERWISE NOTED, ARE TO BE PREPARED AND SEEDED AS PER THE SEEDING NOTES.
34. VEHICLES SHALL NOT TRAVEL ON TOPSOIL.
35. ALL DECIDUOUS TREES SHALL BE A MINIMUM 1 1/2" CALIPER UNLESS OTHERWISE NOTED.
36. ALL EVERGREEN TREES SHALL HAVE AT LEAST SIX-FEET PLANTED HEIGHT, UNLESS OTHERWISE NOTED.
37. ALL SHRUBS SHALL HAVE AT LEAST TWO FOOT PLANTED HEIGHT OR DIAMETER - WHICHEVER IS GREATER, UNLESS OTHERWISE NOTED.
38. ALL TREES AND SHRUBS SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED.
39. ALL TREES SHALL BE STAKED AND PROTECTED FROM ANIMALS AND PESTS, UNLESS OTHERWISE NOTED.

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	QTY.
SHADE TREES						
TA	TILIA AMERICANA, CORDATA	AMERICAN LITTLELEAF LINDEN	3"-3.5" DBH	BALLED & BURLAPPED	SEE PLAN	3
XCL	X CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	3"-3.5" DBH	BALLED & BURLAPPED	SEE PLAN	2
PA	PICEA ABIES	NORWAY SPRUCE	3"-3.5" DBH	BALLED & BURLAPPED	SEE PLAN	5
PG	PICEA GLAUCA	WHITE SPRUCE	3"-3.5" DBH	BALLED & BURLAPPED	SEE PLAN	2
SHRUBS						
TMD	TAXUS X MEDIA DENSIFORMIS	ANGLO-JAPANESE 'YEW	36" - 48" HT	BALLED & BURLAPPED	SEE PLAN	6



Professional Seal
DAVID F. CITRO
REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF PENNSYLVANIA
No. 24793

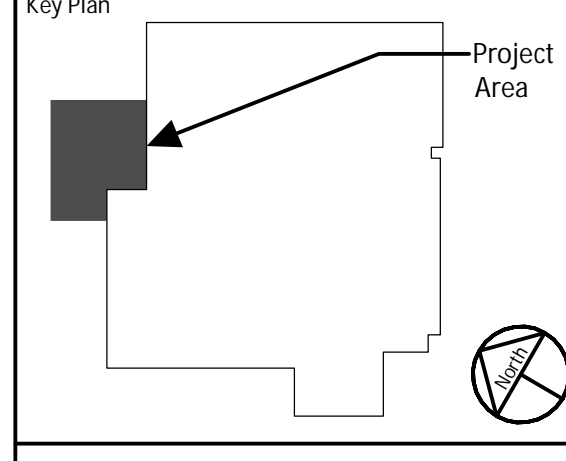
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Mainstay ENGINEERING GROUP, INC.
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MEG PROJECT NO. 19360

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B	04-23-2020	LAND DEVELOPMENT ISSUE
A	03-31-2020	ISSUE FOR OWNER REVIEW



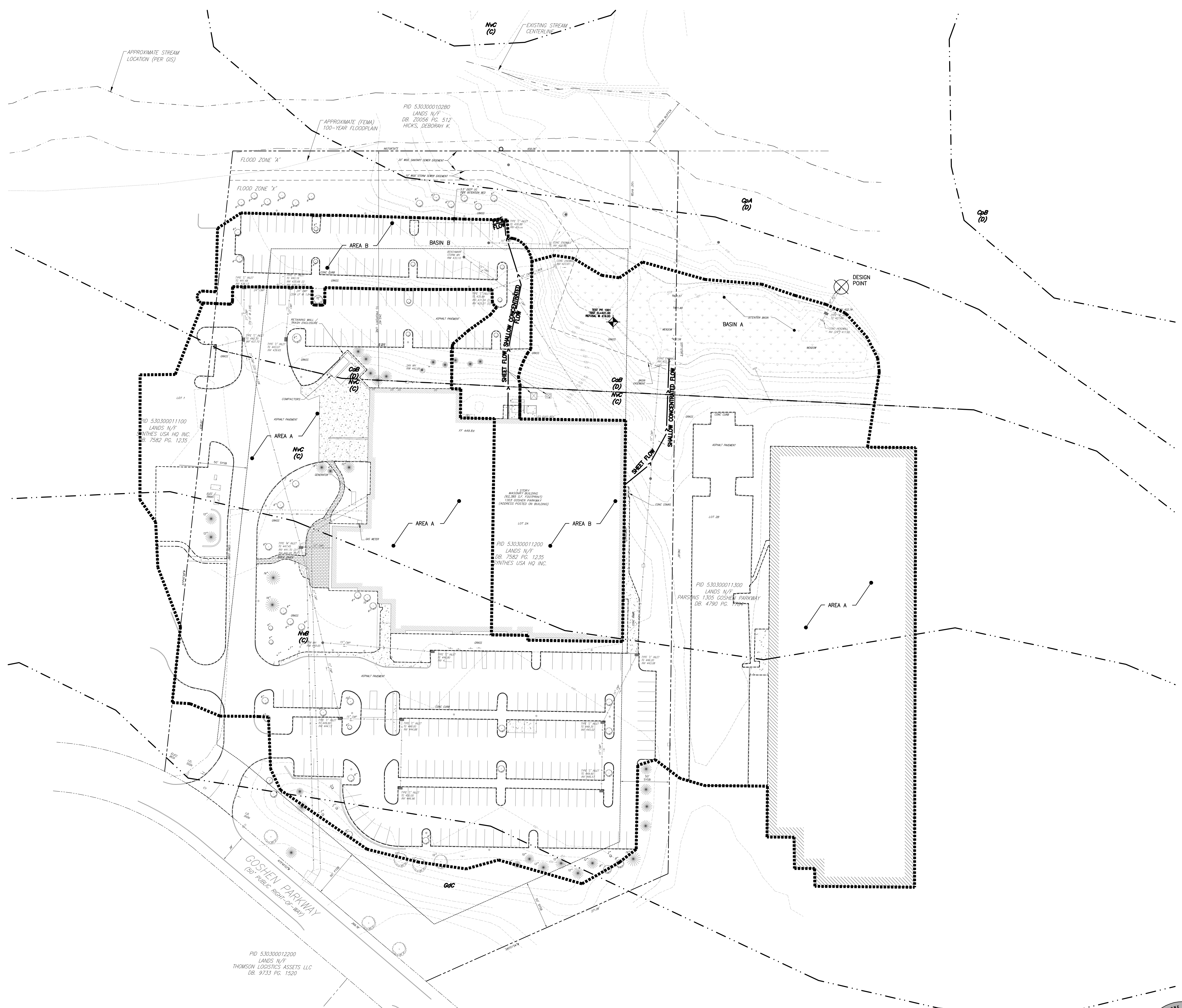
JABIL
1303 Goshen Parkway
West Chester, PA 19380

FINISHING PLANT EXPANSION

JA Project No.	Drawn By	Load	Checked By
064-WC-02-006	AFH	DFC	MEH

LANDSCAPING PLAN

Drawing No.
C5.01

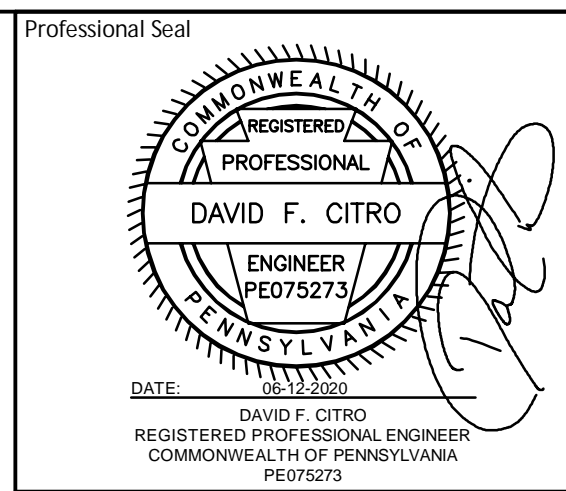
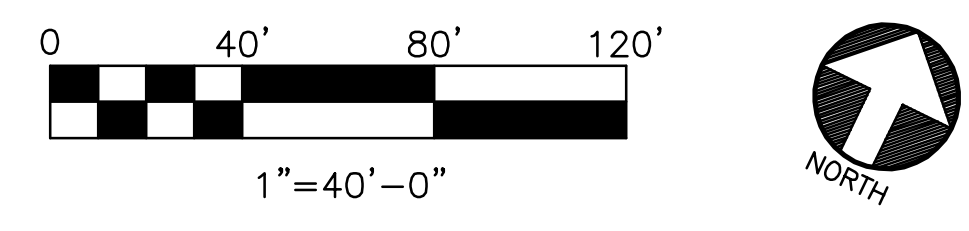


- EXISTING FEATURES LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - SETBACK LINE
 - EASEMENT LINE
 - FLOODPLAIN LINE
 - BUILDING
 - RETAINING WALL
 - CURB
 - DEPRESSED CURB
 - CONCRETE PAD
 - CONCRETE WALK
 - RIPRAP
 - PAVEMENT
 - CHAIN LINK FENCE
 - LIGHT POLE
 - FIRE HYDRANT
 - UG ELECTRIC
 - UG GAS
 - UG STORM
 - UG SANITARY
 - UG TELECOMM
 - UG WATER
 - UG SWM

- NEW WORK LEGEND**
- CONCRETE WALK
 - CONC PAD
 - TOTAL IMPERVIOUS COVER

DRAINAGE AREA	AREA (SF)	TIME OF CONCENTRATION
AREA A (TO BASIN A)	378,132	6.0 MINUTES
AREA B (TO BASIN B)	61,881	7.2 MINUTES

A PRE-DEVELOPMENT DRAINAGE PLAN
 SCALE: 1" = 40'-0"



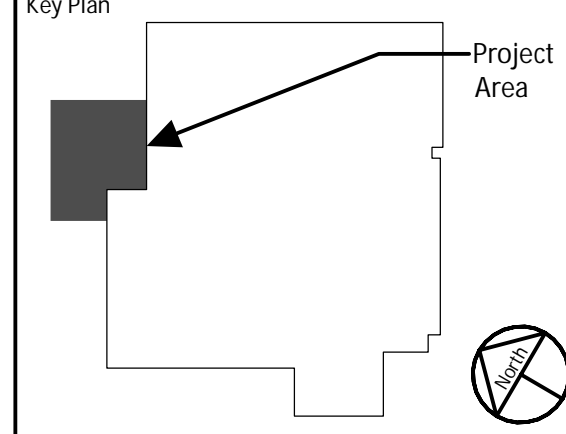
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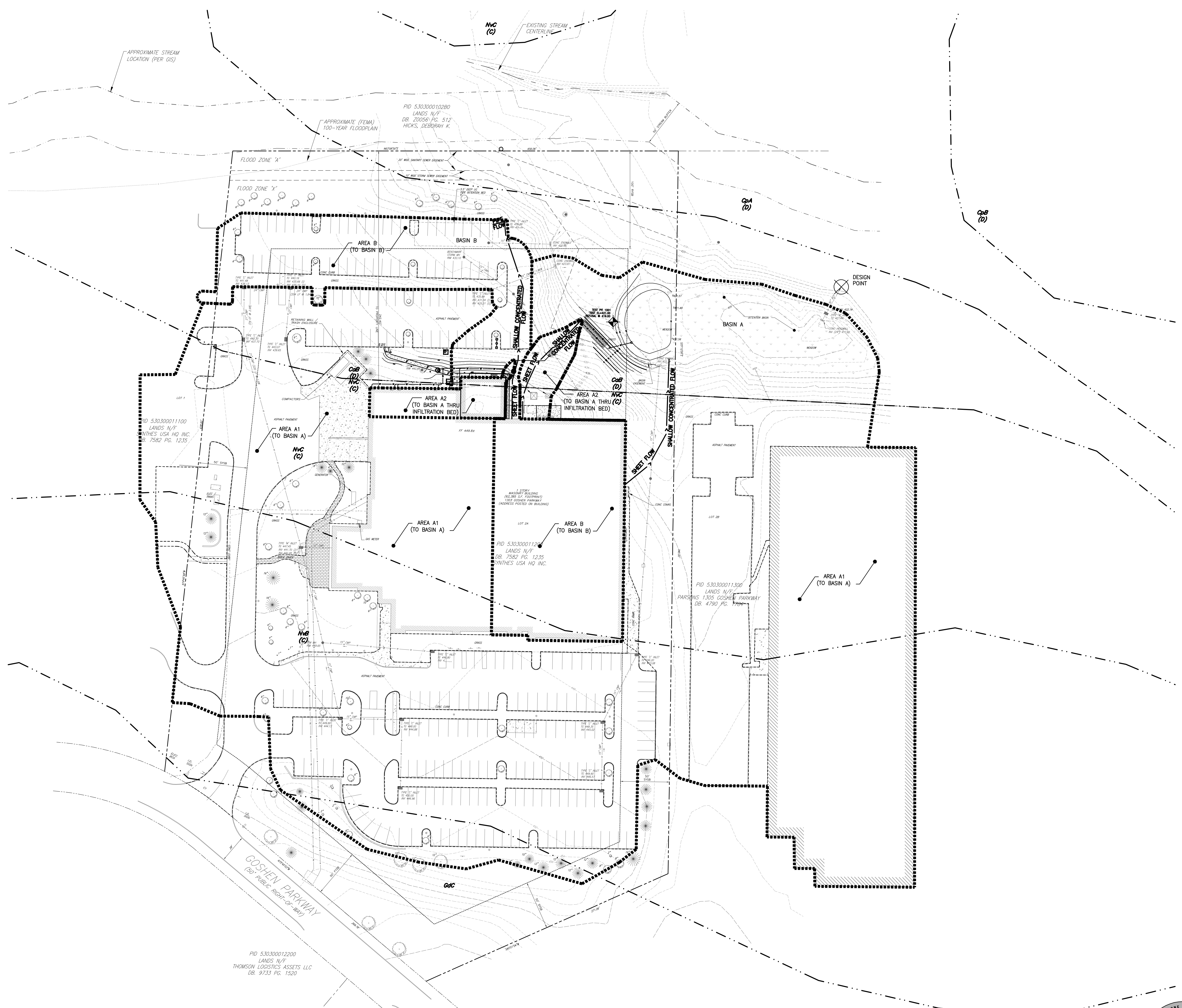
JABIL
 1303 Goshen Parkway
 West Chester, PA 19380

Project Title:
FINISHING PLANT EXPANSION

JA Project No. 064-WC-02-006
 Drawing Title: **PRE-DEVELOPMENT DRAINAGE PLAN**

Drawn By: AFH
 Load: DFC
 Checked By: MEH

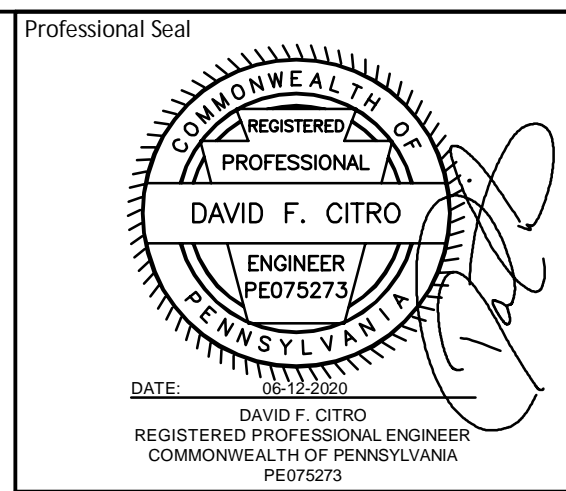
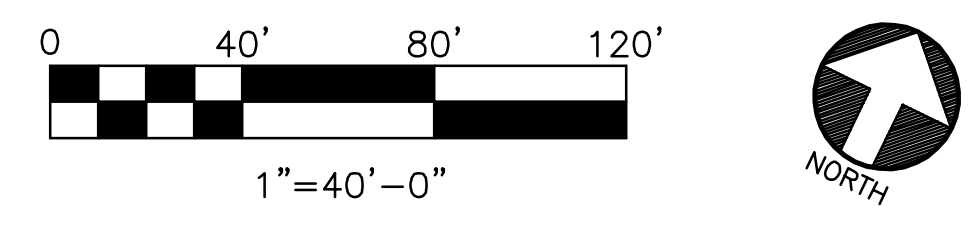
Drawing No.: **C6.01**



- EXISTING FEATURES LEGEND**
- RIGHT-OF-WAY
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 - BUILDING
 - RETAINING WALL
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 - DEPRESSED CURB
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 - CONCRETE WALK
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 - UG ELECTRIC
 - UG GAS
 - UG STORM
 - UG SANITARY
 - UG TELECOMM
 - UG WATER
 - UG SWM
- NEW WORK LEGEND**
- CONCRETE WALK
 - CONC PAD
 - TOTAL IMPERVIOUS COVER

DRAINAGE AREA	AREA (SF)	TIME OF CONCENTRATION
AREA A1 (TO BASIN A)	371,651	6.0 MINUTES
AREA A2 (THRU I.B. TO BASIN A)	8,556	6.8 MINUTES
AREA B (TO BASIN B)	59,906	7.2 MINUTES

A POST-DEVELOPMENT DRAINAGE PLAN
C6.02 SCALE: 1" = 40'-0"



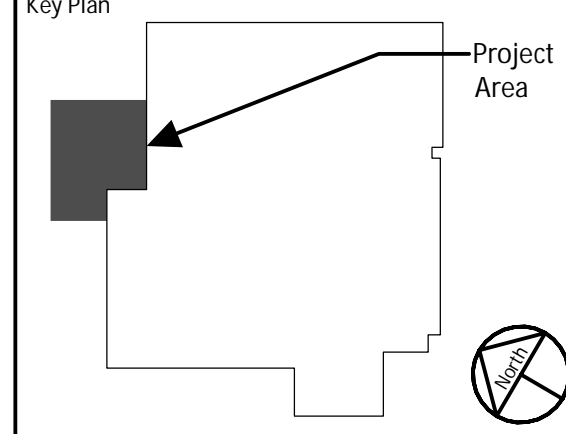
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JABIL
 1303 Goshen Parkway
 West Chester, PA 19380

Project Title:
FINISHING PLANT EXPANSION

JA Project No. 064-WC-02-006
 Drawing Title:
POST DEVELOPMENT DRAINAGE PLAN

Drawn By: AFH
 Load: DFC
 Checked By: MEH

Drawing No.:
C6.02

RESPONSIBLE PARTY FOR THE OPERATIONS AND MAINTENANCE PROGRAM

NAME: SYNTHES USA HQ INC
 PHONE: 610-662-7784 (TODD MCVOY)
 1302 WRIGHTS LANE E
 WEST CHESTER, PA 19380

LAND OWNER, ITS SUCCESSORS OR ASSIGNS, WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER FACILITIES OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, INCLUDING OF THE UNDERGROUND STORMWATER FACILITIES. THE STORMWATER FACILITIES ARE PERMANENT STRUCTURES AND SHALL NOT BE REMOVED OR ALTERED. THE OWNER, ITS SUCCESSORS OR ASSIGNS, SHALL HAVE THE RESPONSIBILITY FOR THE PERPETUAL MAINTENANCE OF THE STORMWATER FACILITIES WHICH ARE LOCATED THEREIN. NO CHANGES SHALL BE MADE TO THE STRUCTURES, PIPES OR TRENCH GRADING WITHOUT PRIOR WRITTEN APPROVAL FROM THE TOWNSHIP. A BLANKET STORMWATER MANAGEMENT EASEMENT IS PROVIDED OVER AND ACROSS THE PROPERTY IN FAVOR OF EAST GOSHEN TOWNSHIP TO ALLOW THE TOWNSHIP AND ITS AGENT AND DISSEES ACCESS TO THE PROPOSED STORMWATER MANAGEMENT FACILITIES. THE TOWNSHIP IS GRANTED THE RIGHT, BUT NOT THE DUTY, TO ACCESS AND CONDUCT PERIODIC INSPECTIONS AND TO UNDERTAKE OTHER ACTIONS THAT MAY BE NECESSARY TO ENFORCE THE REQUIREMENTS OF THE TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE OR OF ANY APPLICABLE O&M PLAN OR O&M AGREEMENT. THE OWNER, ITS SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP. THE TOWNSHIP SHALL LIEN THE PROPERTY FOR SAID COSTS UNTIL THE TOWNSHIP HAS BEEN REIMBURSED. THE OPEN SPACE AREAS SHALL BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION. FUTURE DEVELOPMENT OF THE OPEN SPACE SHALL BE PROHIBITED.

STORMWATER MANAGEMENT PLAN FINAL CERTIFICATION REQUIREMENTS

THE PERMITTEE SHALL INCLUDE "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:

I, (NAME), ON THIS DATE (DATE OF SIGNATURE), HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE EAST GOSHEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE (ORDINANCE NO.) 129.

1. THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.
2. THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMFS.

STORMWATER MANAGEMENT PLAN FINAL CERTIFICATION BY LICENSED PROFESSIONAL

I, DAVID F. CITRO, ON THIS DATE 06-12-20 HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE EAST GOSHEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE (ORDINANCE NO.) 129.

DAVID F. CITRO, P.E.
 REGISTERED PROFESSIONAL ENGINEER
 COMMONWEALTH OF PENNSYLVANIA
 LICENSE# PE075273
 DATE: 06-12-20

APPLICANT'S ACKNOWLEDGEMENT OF REVISIONS TO STORMWATER MANAGEMENT PLAN

THE PERMITTEE ACKNOWLEDGES THAT ANY REVISION TO THE APPROVED STORMWATER MANAGEMENT PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY EAST GOSHEN TOWNSHIP FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES ON THE STORMWATER MANAGEMENT PLAN.

PERMITTEE'S NAME: _____
 PERMITTEE'S SIGNATURE: _____ DATE: _____

PCSM NOTES

1. POST CONSTRUCTION RUNOFF FROM THE PROPOSED IMPROVEMENTS WILL BE ROUTED THROUGH BMFS REDUCING VOLUME AND PEAK RATES FOR THE OVERALL SITE. BY REDUCING PEAK RATES AND RUNOFF VOLUMES THE PROJECT PRESERVES THE INTEGRITY OF THE RECEIVING WATERWAYS.
2. POST CONSTRUCTION RUNOFF AND PEAK RATES WILL BE REDUCED TO LESS THAN THE PRE-CONSTRUCTION RUNOFF VOLUMES AND RATES, RESPECTIVELY FOR THE OVERALL SITE THROUGH THE USE OF INFILTRATION BASINS.
3. SOIL COMPACTION WILL BE MINIMIZED TO THE EXTENT PRACTICAL.
4. ALL BUILDING MATERIALS AND PCSM WASTES (SEDIMENT, ETC) SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH PADEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 280.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO LINDING MATERIALS OR WASTES OR UNUSED MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
5. ALL STORM SEWER JOINTS AND PIPE PENETRATIONS INTO BMP FACILITIES SHALL BE WATERTIGHT.

PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS
 THE LANDOWNER SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMFS. THE OWNER SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ENSURE DISCLOSURE OF THE BMFS, AND THE RELATED OBLIGATIONS IN THE CROMMEY COURSE OF A TITLE SEARCH OF THE PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM BMFS, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION FOR BMFS, AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF BMFS IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEEES.

THE LANDOWNER MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING A CONSERVATION DISTRICT, NON-PROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION, OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSM BMFS OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE TOWNSHIP.

OPERATIONS AND MAINTENANCE NOTES UNDERGROUND DETENTION SYSTEMS

PRECAUTIONS:

1. PRIOR TO & DURING CONSTRUCTION - SILTATION PREVENTION OF THE STORMWATER SYSTEM.
 - 1.1. CONFORM TO ALL LOCAL, STATE AND FEDERAL REGULATIONS FOR SEDIMENT AND EROSION CONTROL DURING CONSTRUCTION.
 - 1.2. INSTALL SITE EROSION AND SEDIMENT BMP'S (BEST MANAGEMENT PRACTICES) REQUIRED TO PREVENT SILTATION OF THE STORMWATER SYSTEM.
 - 1.3. INSPECT AND MAINTAIN EROSION AND SEDIMENT BMP'S DURING CONSTRUCTION.
2. POST CONSTRUCTION - PRIOR TO COMMISSIONING THE SYSTEM.
 - 2.1. REMOVE AND PROPERLY DISPOSE OF CONSTRUCTION EROSION AND SEDIMENT BMP'S PER ALL LOCAL, STATE AND FEDERAL REGULATIONS. CARE SHOULD BE TAKEN DURING REMOVAL OF THE BMP'S AS NOT TO ALLOW COLLECTED SEDIMENT OR DEBRIS INTO THE STORMWATER SYSTEM.
 - 2.2. FLUSH THE SYSTEM TO REMOVE ANY SEDIMENT OR CONSTRUCTION DEBRIS IMMEDIATELY AFTER REMOVAL OF BMP'S. FOLLOW THE MAINTENANCE PROCEDURE OUTLINED.

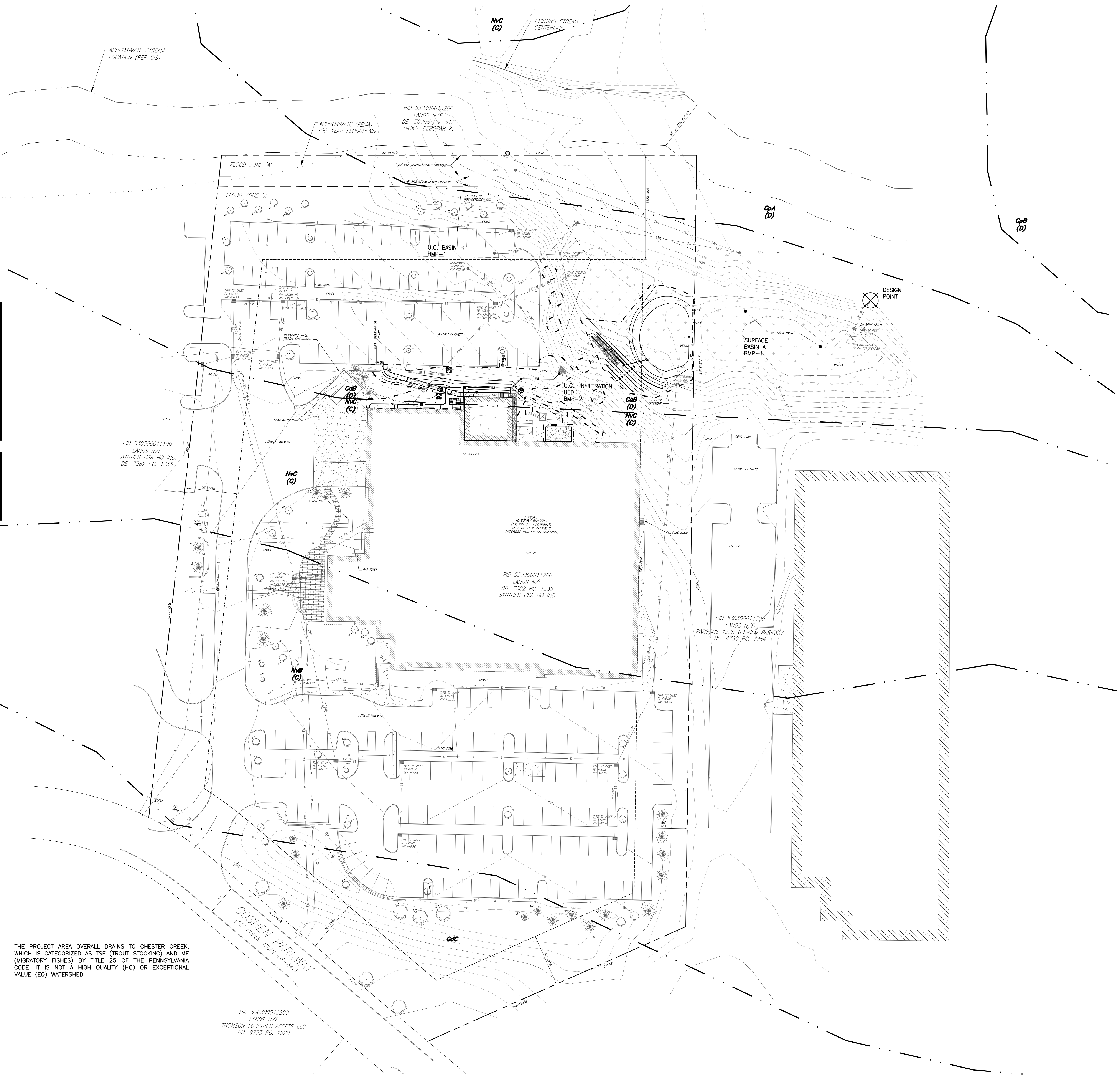
INSPECTIONS:

FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS REGARDING STORMWATER BMP INSPECTION REQUIREMENTS.

1. FREQUENCY
 - 1.1. DURING THE FIRST SERVICE YEAR A VISUAL INSPECTION SHOULD BE COMPLETED DURING AND AFTER EACH MAJOR RAINFALL EVENT, IN ADDITION TO SEMI-ANNUALLY, TO ESTABLISH A PATTERN OF SEDIMENT AND DEBRIS BUILDUP.
 - 1.2. BASINS MUST BE INSPECTED IMMEDIATELY AFTER 10 YEAR FREQUENCY STORM.
 - 1.2.1. EACH STORMWATER SYSTEM IS UNIQUE AND MULTIPLE CRITERIA CAN AFFECT MAINTENANCE FREQUENCY SUCH AS:
 - 1.2.1.1. SYSTEM DESIGN: PRE-TREATMENT/NO-PRE-TREATMENT, INLET PROTECTION, STAND ALONE DEVICE.
 - 1.2.1.2. SURFACE AREA COLLECTING FROM: HARDSCAPE, GRAVEL, SOIL.
 - 1.2.1.3. ADJACENT AREA: SOIL RUNOFF, GRAVEL, TRASH.
 - 1.2.1.4. SEASONAL CHANGES: FALL-LEAVES, WINTER-SALT/CHENDERS.
 - 1.2.2. SECOND YEAR PLUS; ESTABLISH AN ANNUAL INSPECTION FREQUENCY BASED ON THE INFORMATION COLLECTED DURING THE FIRST YEAR. AT A MINIMUM AN INSPECTION SHOULD BE PERFORM SEMI-ANNUALLY.
 - 1.2.3. SEASONAL CHANGE: REGIONAL AREAS AFFECTED BY SEASONAL CHANGE (SPRING, SUMMER, FALL, WINTER) MAY REQUIRE ADDITIONAL INSPECTIONS AT THE CHANGE OF SEASONS IN ADDITION TO SEMI-ANNUALLY.
2. INSPECT
 - 2.1. INSPECTION PORTS.
 - 2.2. INFLOW AND OUTFLOW POINTS INCLUDING THE INLET/MANHOLE AND PIPES.
 - 2.3. DISCHARGE AREA.
 3. IDENTIFY AND REPORT MAINTENANCE REQUIRED:
 - 3.1. SEDIMENT AND DEBRIS ACCUMULATION.
 - 3.2. SYSTEM BACKING UP.
 - 3.3. FLOW RATE CHANGE.

MAINTENANCE PROCEDURES:

1. CONFORM TO ALL LOCAL, STATE AND FEDERAL REGULATIONS.
2. DETERMINE IF MAINTENANCE IS REQUIRED. IF A PRE-TREATMENT DEVICE IS INSTALLED, FOLLOW MANUFACTURER RECOMMENDATIONS.
3. USING A VACUUM PUMP TRUCK EVACUATE DEBRIS FROM THE INFLOW AND OUTFLOW POINTS.
4. FLUSH THE SYSTEM WITH CLEAN WATER FORCING DEBRIS FROM THE SYSTEM. TAKE CARE TO AVOID EXTREME DIRECT WATER PRESSURE WHEN FLUSHING THE SYSTEM.
5. REPEAT STEPS 3 AND 4 UNTIL NO DEBRIS IS EVIDENT.



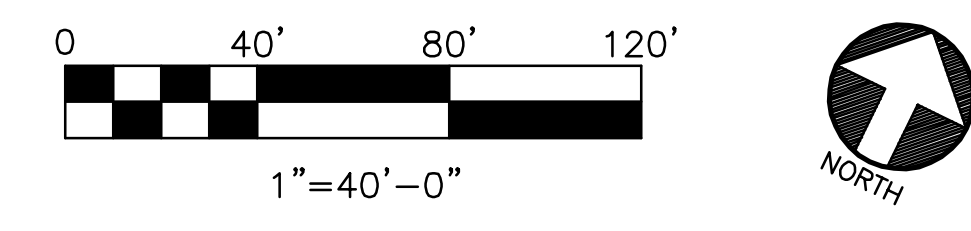
EXISTING FEATURES LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- FLOODPLAIN LINE
- BUILDING
- RETAINING WALL
- CURB
- DEPRESSED CURB
- CONCRETE PAD
- CONCRETE WALK
- RIPRAP
- PAVEMENT
- CHAIN LINK FENCE
- LIGHT POLE
- FIRE HYDRANT
- UG ELECTRIC
- UG GAS
- UG STORM
- UG SANITARY
- UG TELECOMM
- UG WATER
- UG SWM

NEW WORK LEGEND

- CONCRETE WALK
- CONC PAD
- TOTAL IMPERVIOUS COVER

A STORMWATER MANAGEMENT PLAN
 C6.03 SCALE: 1" = 40'-0"



SOILS SUMMARY - 100% OF AREA OF INTEREST

SYMBOL	SOIL NAME	DEPTH TO WEATHERED ROCK (IN)	DEPTH TO WATER (IN)	HYDRIC SOIL	SURFACE RUNOFF	HYDROLOGIC SOIL GROUP
C6B	CALIFON LOAM, 3-8% SLOPES	>20	>6	NO	HIGH	D
CpA	COKESTON SILT LOAM, 0-3% SLOPES	>20	>0	YES	HIGH	C/D
GdC	GLADSTONE GRAVELLY LOAM, 8-15% SLOPES	>65	>80	NO	N/A	B
NvB	NESHAMINY SILT LOAM, 3-8% SLOPES	>60	>80	NO	LOW	C
NvC	NESHAMINY SILT LOAM, 8-15% SLOPES	>60	>80	NO	MED	C

STORMWATER MANAGEMENT BMP	NOTES
1. INFILTRATION BASIN	INSPECT AND CLEAN UPSTREAM CONVEYANCE SYSTEM BIANNUALLY TO LIMIT SEDIMENT AND DEBRIS FROM BEING CONVEYED INTO BASIN. MONITOR BASIN AFTER RAIN EVENTS TO ENSURE 72 HR DETOURING.
2. INFILTRATION BED	INSPECT AND CLEAN UPSTREAM CONVEYANCE SYSTEM BIANNUALLY TO LIMIT SEDIMENT AND DEBRIS FROM BEING CONVEYED INTO DRAINAGE BED.

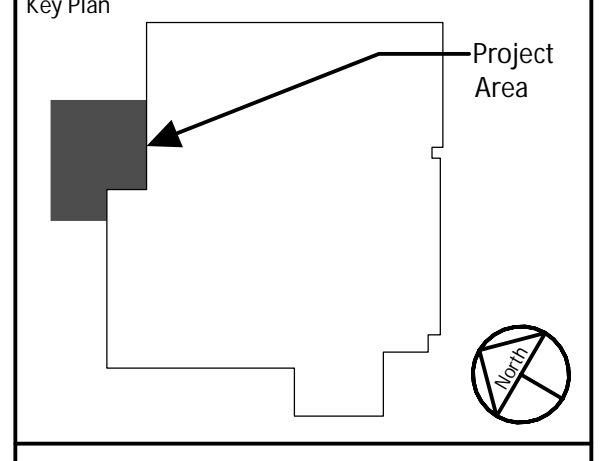
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Rev.	Rev. Date	Description
C	06-12-2020	LAND DEVELOPMENT ISSUE #2
B	05-01-2020	ISSUE FOR BID
A	04-23-2020	LAND DEVELOPMENT ISSUE



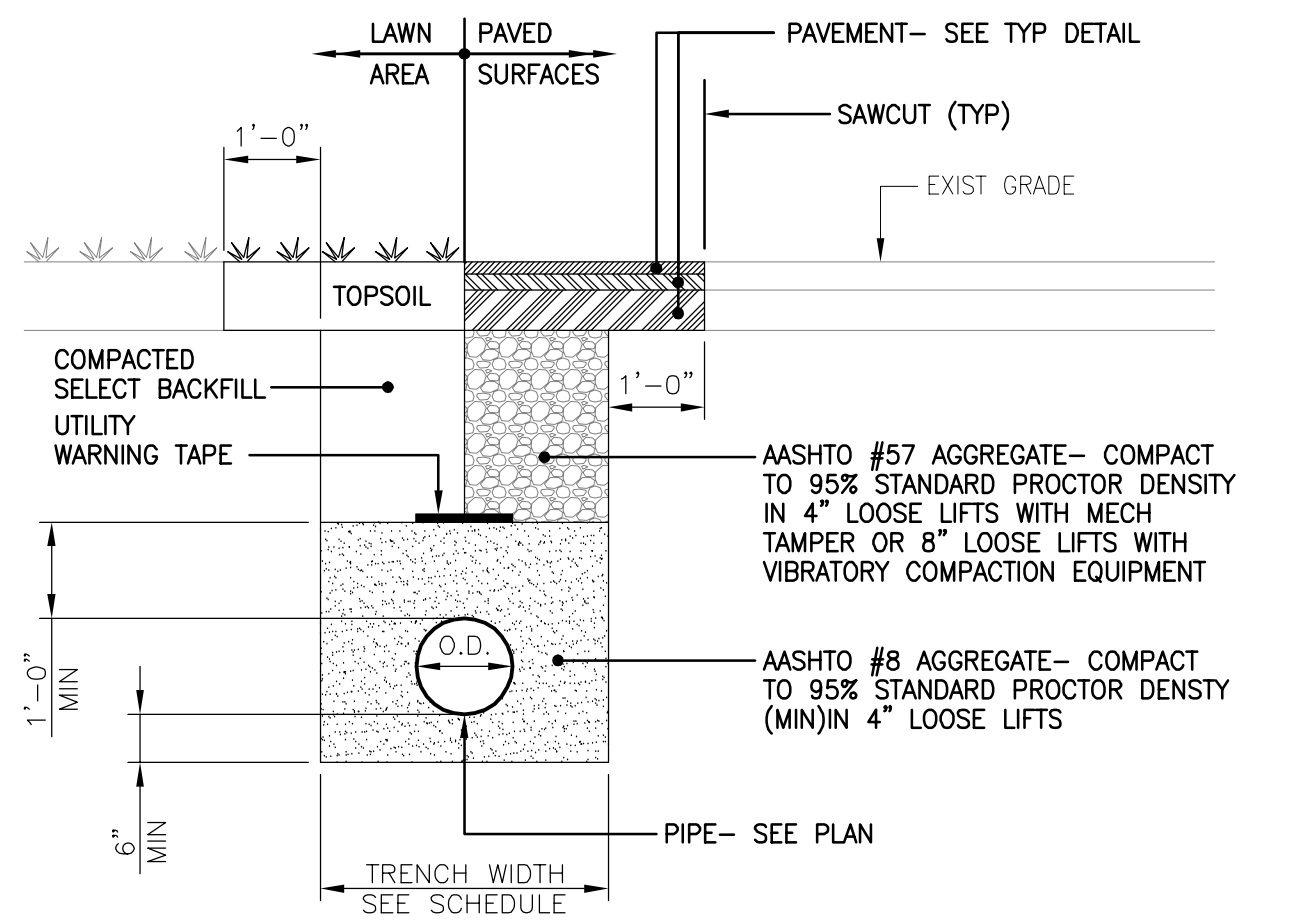
JABIL
 1303 Goshen Parkway
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FINISHING PLANT EXPANSION

JA Project No. 064-WC-02-006
 Drawing Title: STORMWATER MANAGEMENT PLAN

STORMWATER MANAGEMENT PLAN

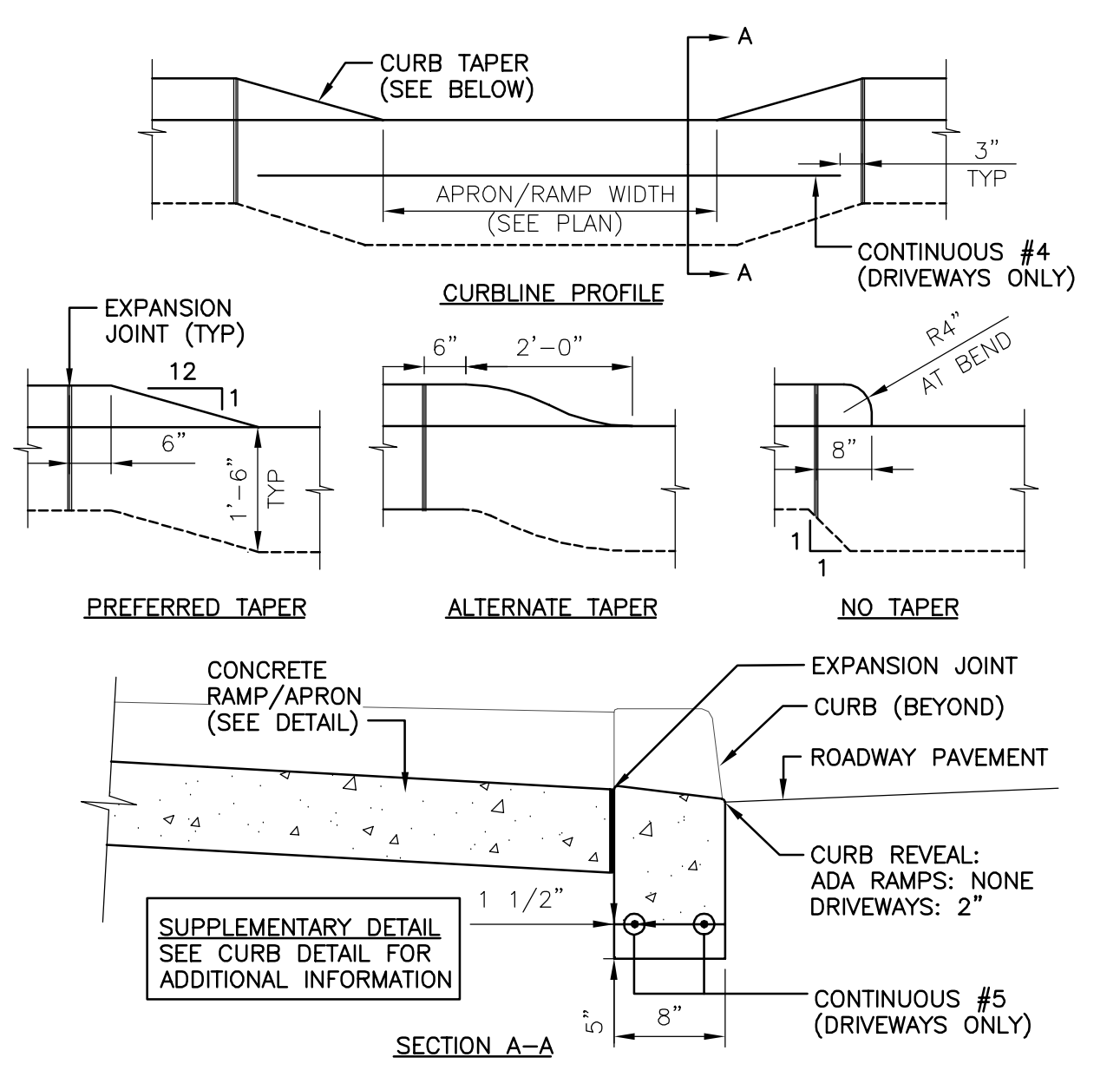
C6.03



- NOTES:**
1. EXPOSED VERTICAL AND HORIZONTAL SURFACES, IN PAVED AREAS, SHALL BE PREPARED AS PER STATE DOT SPECIFICATIONS.
 2. LAWN AREAS SHALL BE SEEDED IN ACCORDANCE WITH THE GENERAL NOTES.
 3. GRADE BOTTOM OF PIPE TRENCH, AND NOTCH UNDER PIPE BELL, PROVIDE SOLID BEARING FOR ENTIRE BODY OF PIPE.

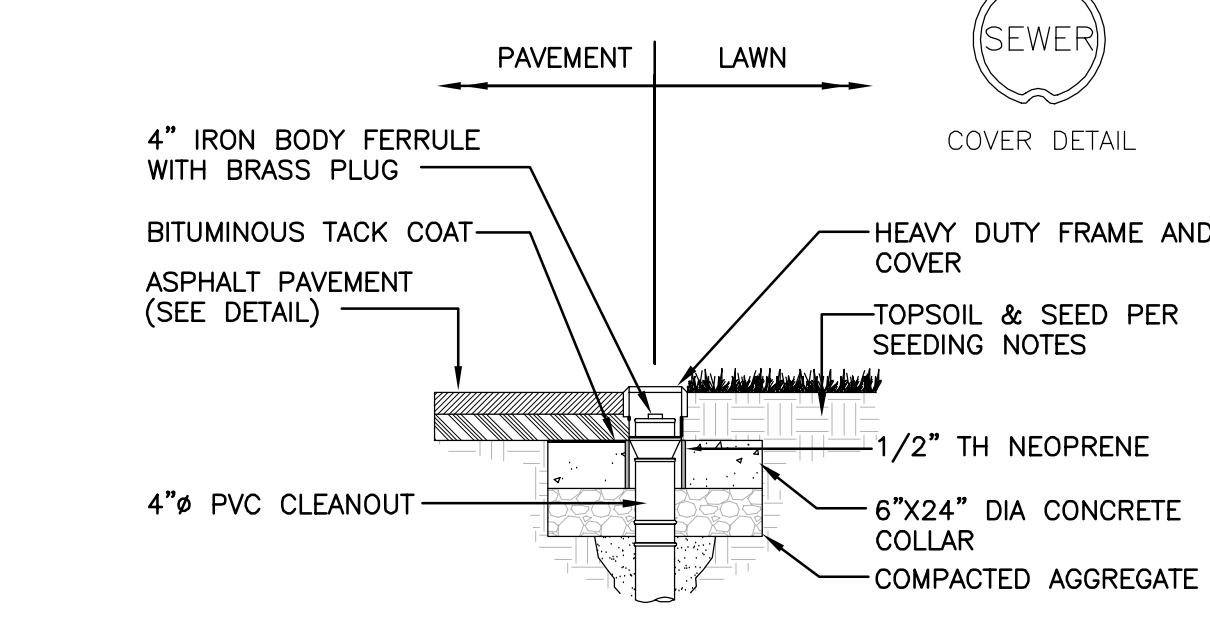
TRENCH WIDTH SCHEDULE												
NPS	3"	4"	6"	8"	10"	12"	18"	20"	24"	30"	36"	48"
WIDTH	3'-4"	3'-4"	3'-8"	3'-8"	4'-0"	4'-0"	4'-8"	4'-8"	5'-4"	5'-8"	6'-2"	7'-2"

1
TYPICAL DETAIL TRENCH RESTORATION
SCALE: NTS

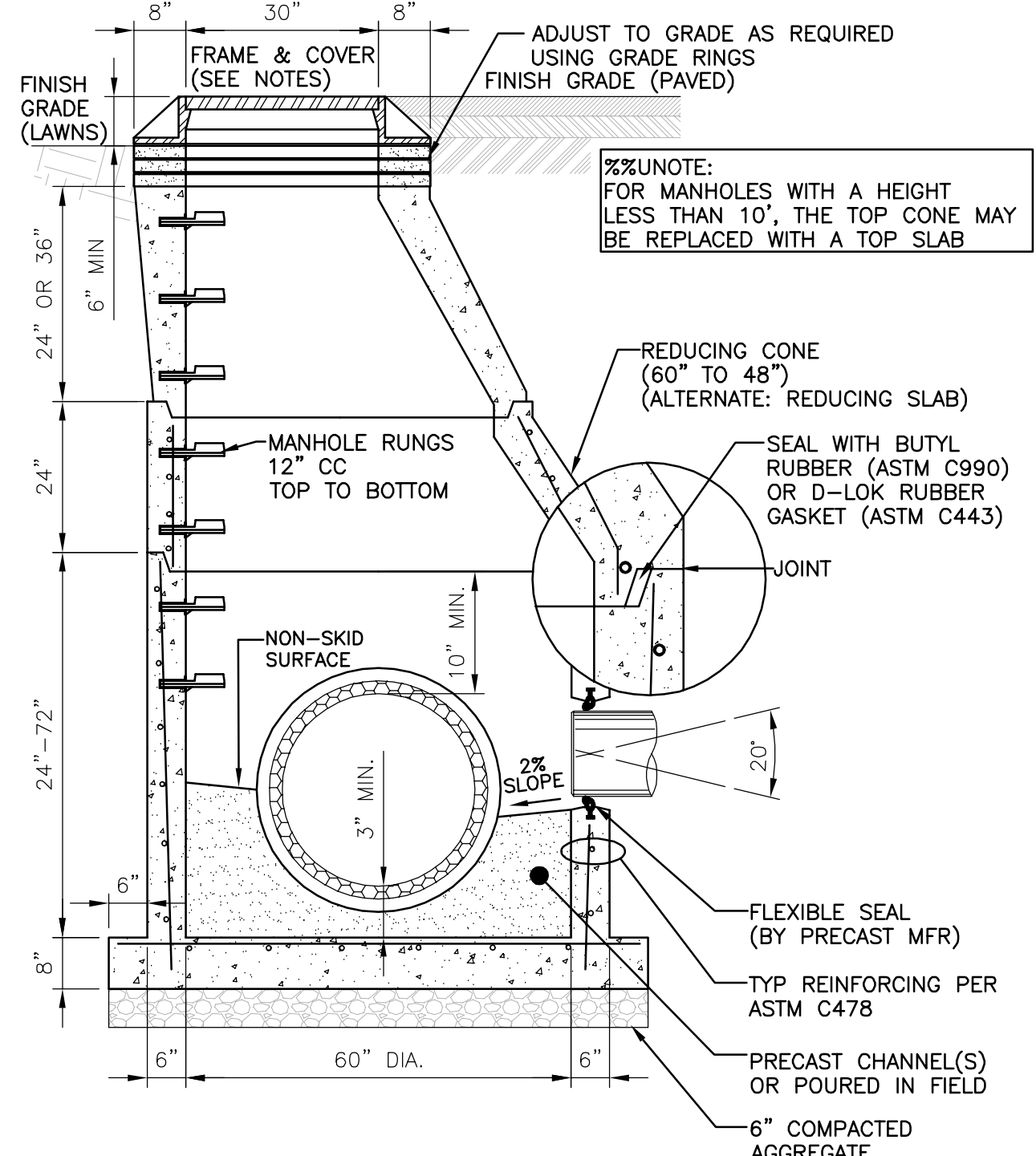


2
TYPICAL DETAIL DEPRESSED CURB
SCALE: NTS

- NOTES:**
1. SDR-35 PVC SEWER PIPE AND FITTINGS IN CONFORMANCE WITH ASTM D3034.
 2. VALVE BOX TO BE RATED FOR H-20 LOADING AND INCLUDE ADJUSTABLE RISER.
 3. TOP OF VALVE BOX TO BE FLUSH WITH FINISH GRADE.
 4. 1/2" NEOPRENE FOAM TO BE WRAPPED AROUND PVC RISER PRIOR TO PLACEMENT OF CONCRETE.



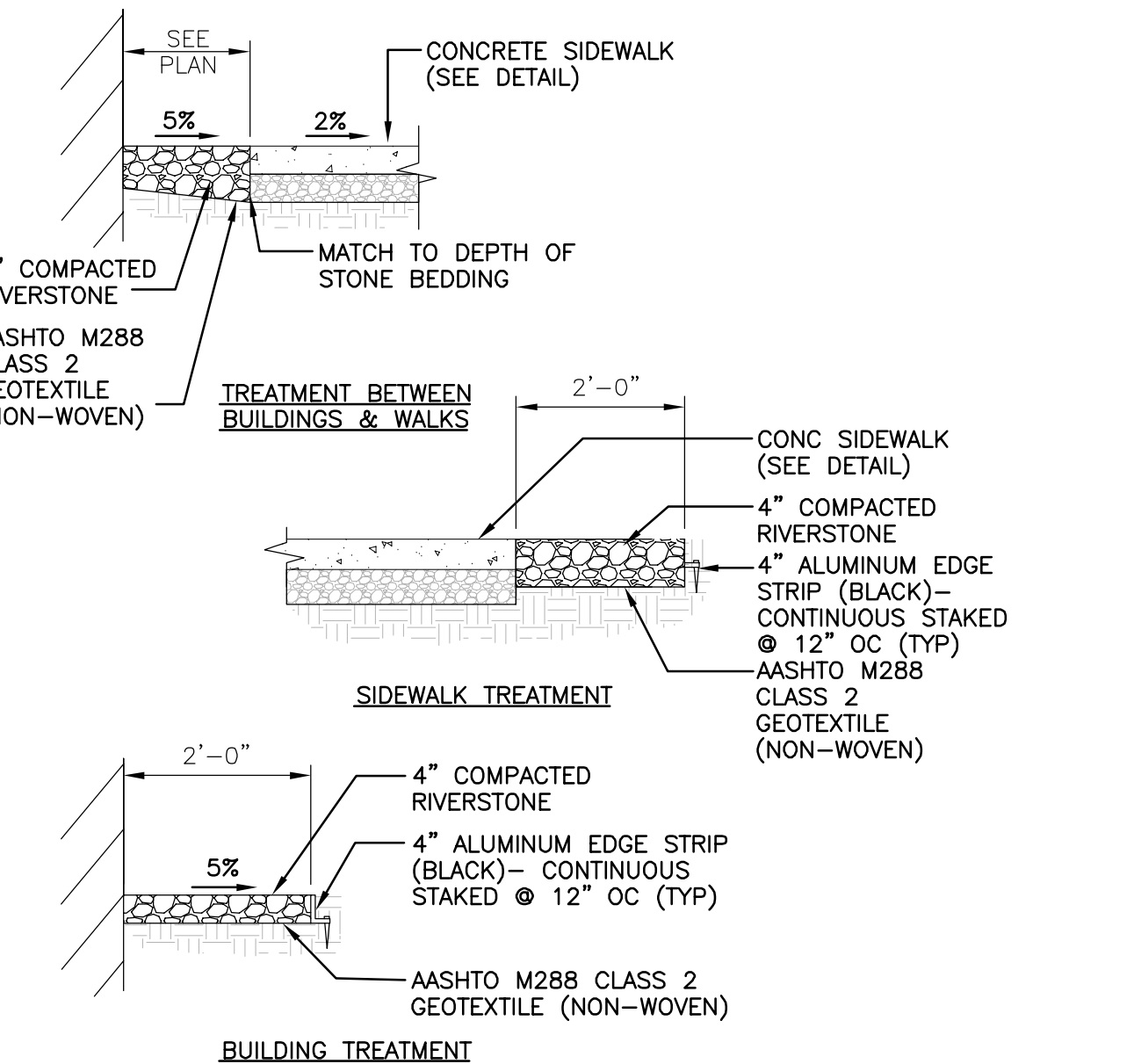
3
TYPICAL DETAIL CLEANOUT
SCALE: NTS



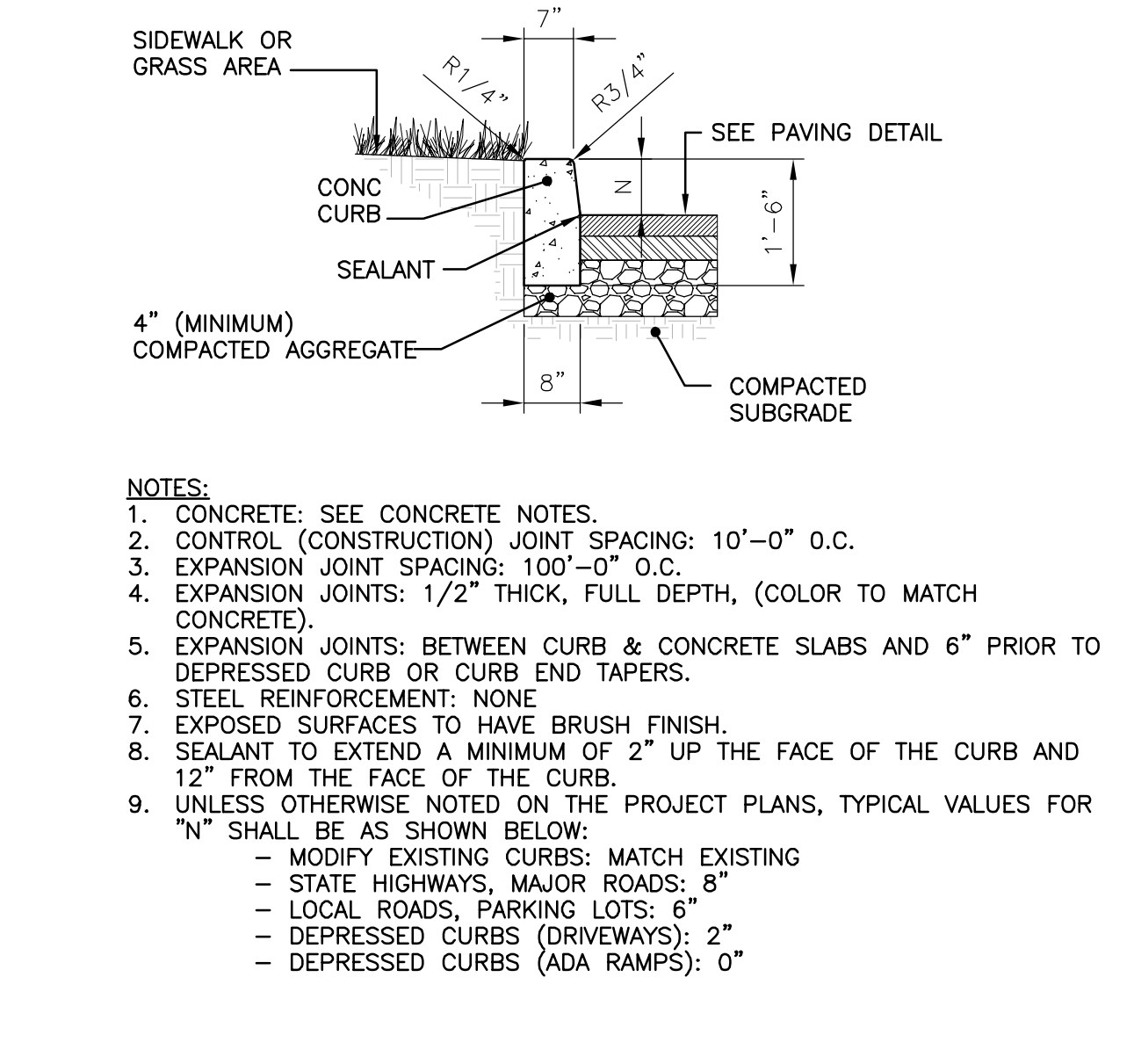
- NOTES:**
1. FRAME, COVER AND GRADE ADJUSTMENT RINGS TO BE MADE WATER-TIGHT USING WATER-LOK MANHOLE SLEEVE AS SUPPLIED BY ATLANTIC CONCRETE PRODUCTS OR APPROVED EQUAL.
 2. MANHOLE RUNGS: DROP FRONT, 12" OC, TOP TO BOTTOM, REINFORCED PLASTIC STEPS: 3/8" INCH STL, ASTM A815, COMPLETELY ENCAPSULATED IN A POLYPROPYLENE COPOLYMER, ASTM D4104, (MA INDUSTRIES#004-500 OR 501).
 3. (4) 3/4" FRAME BOLT SLOT INSERTS @ 180°, ALIGNED WITH FRAME AND GRADE RINGS.
 4. GRAY IRON, ASTM A48, CLASS 35B, OR DUCTILE IRON, ASTM A536; WATER TIGHT FRAME AND COVER: COVER SHALL HAVE TACTILE FINISH AND DENOTE UTILITY SERVED BY MANHOLE (LABEL "STORM", "SANITARY" OR AS OTHERWISE NOTED).
 5. JOINTS TO BE SEALED USING D-LOK GASKET, ASTM C443, AS SUPPLIED BY ATLANTIC CONCRETE PRODUCTS OR APPROVED EQUAL.
 6. PIPE TO MANHOLE SEAL TO BE BUTYL RUBBER, ASTM C990, OR A-LOK GASKET, ASTM C1478 (STORM) OR C923, BY ATLANTIC CONCRETE PRODUCTS OR APPROVED EQUAL.
 7. EACH PRECAST MANHOLE SECTION TO HAVE (2) WATER-TIGHT LIFT POINTS (NO THROUGH HOLES).
 8. EXTERIOR TO BE COATED WITH BITUMINOUS COATING.
 9. MANHOLE DESIGN AND REINFORCEMENT TO CONFORM TO "SPECIFICATION FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS" (ASTM C478, LATEST REVISION).
 10. CONCRETE COMPRESSIVE STRENGTH 4500 PSI.
 11. PRECAST CONCRETE STRUCTURE TO BE WET CAST WITH MONOLITHIC BASE SECTION, AS MANUFACTURED BY ATLANTIC CONCRETE PRODUCTS, OR APPROVED EQUAL.
 12. REDUCING SLAB: 8" (MIN) THICK REINFORCED CONCRETE, ASTM C478, PRECAST AND JOINTED TO FIT WITH CONNECTING SECTIONS. SLAB SHALL BE RATED FOR H5-20 LOADING UNLESS OTHERWISE NOTED.
 13. THE REINFORCED CONCRETE BASE SLAB IS DETAILED FOR A MAXIMUM DEPTH OF 30 FT (DEPTH = FINISH GRADE TO TOP OF BASE SLAB).

MANHOLE NUMBER	MANHOLE DIAMETER (IN)	FRAME AND COVER (LIGHT/HEAVY/EXTRA HEAVY DUTY)
SAN A-1	60	HEAVY
SAN A-2	60	HEAVY

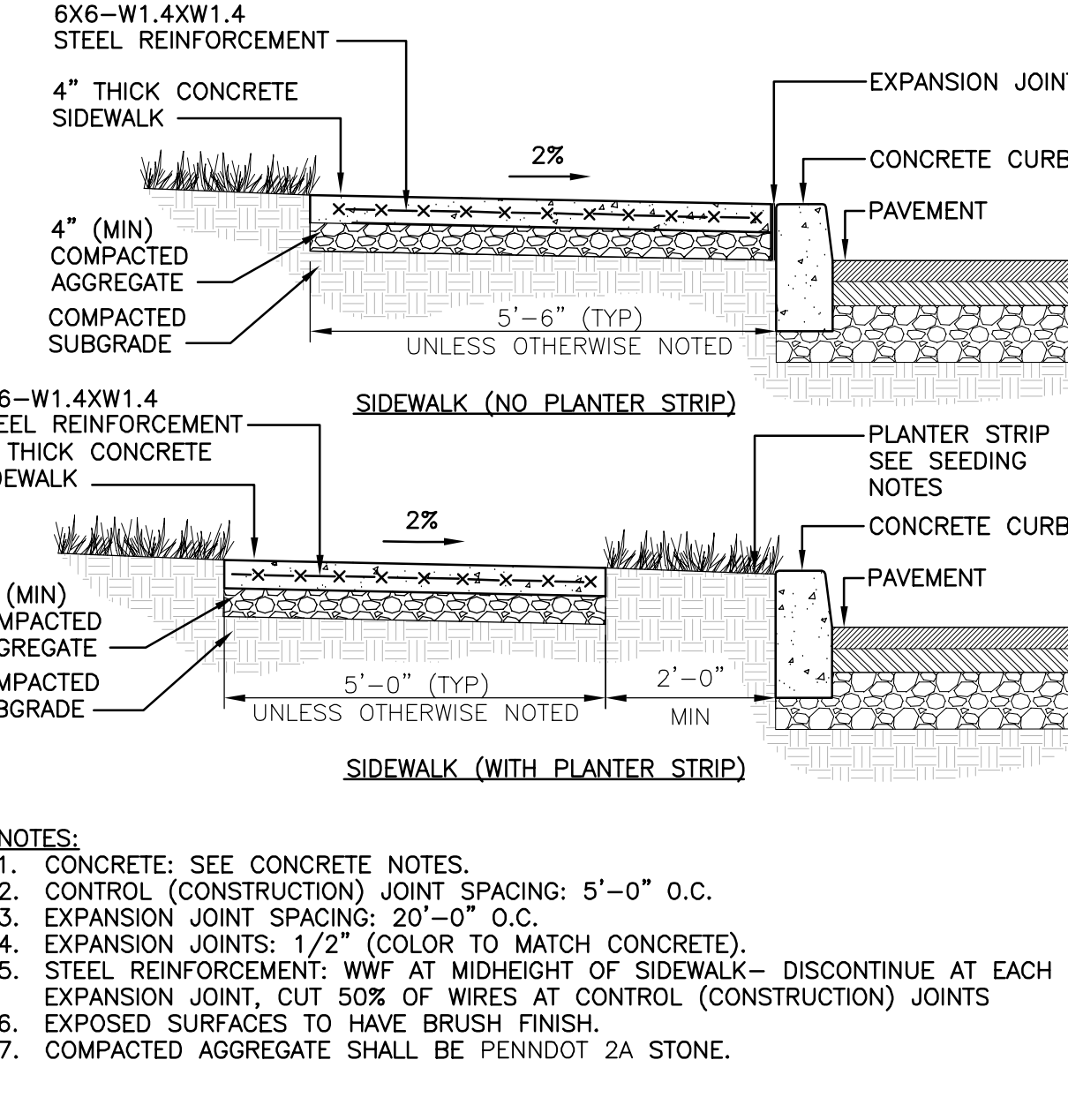
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TYPICAL DETAIL STORM/SANITARY MANHOLE
SCALE: NTS



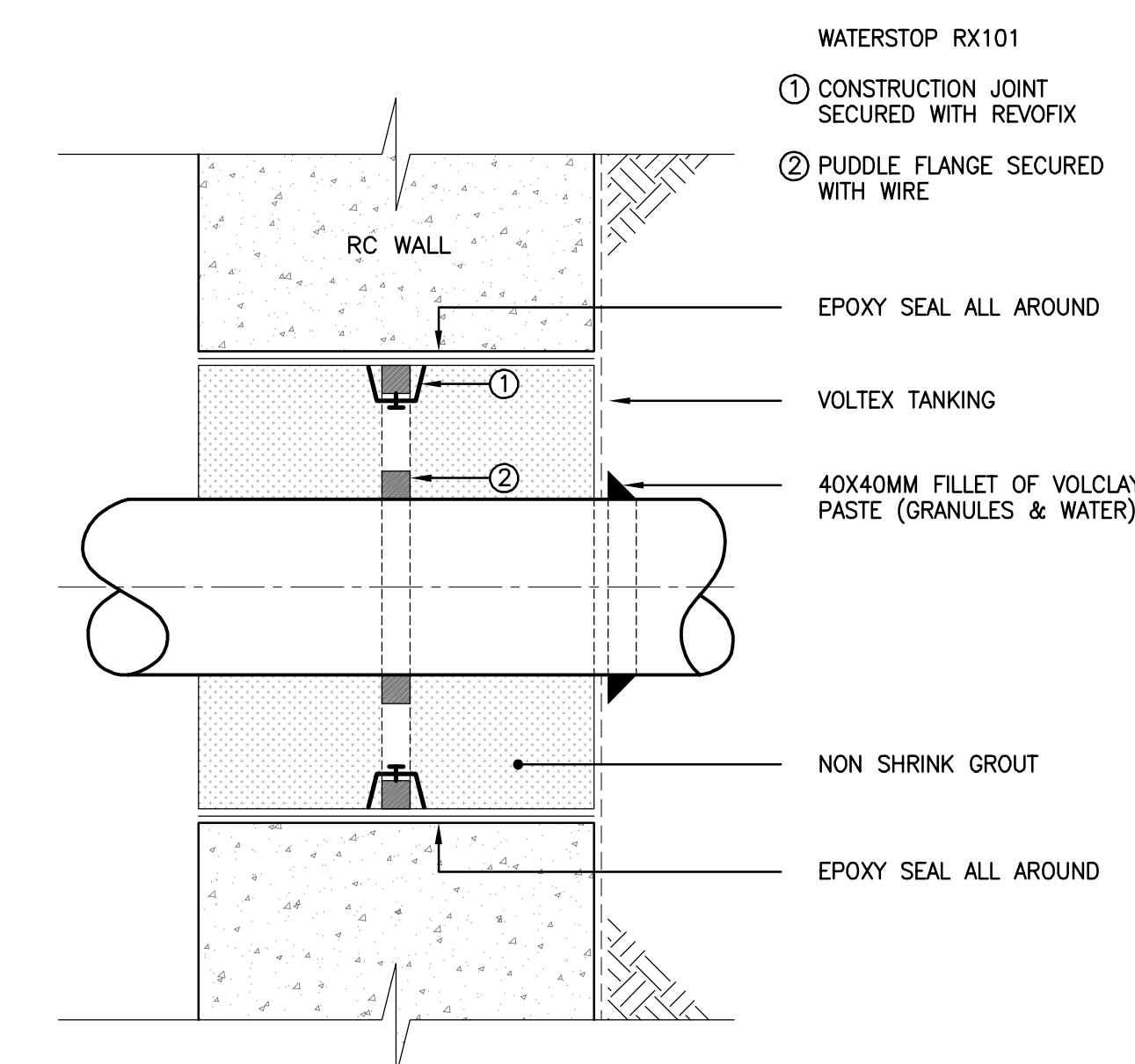
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TYPICAL DETAIL STONE STRIP
SCALE: NTS



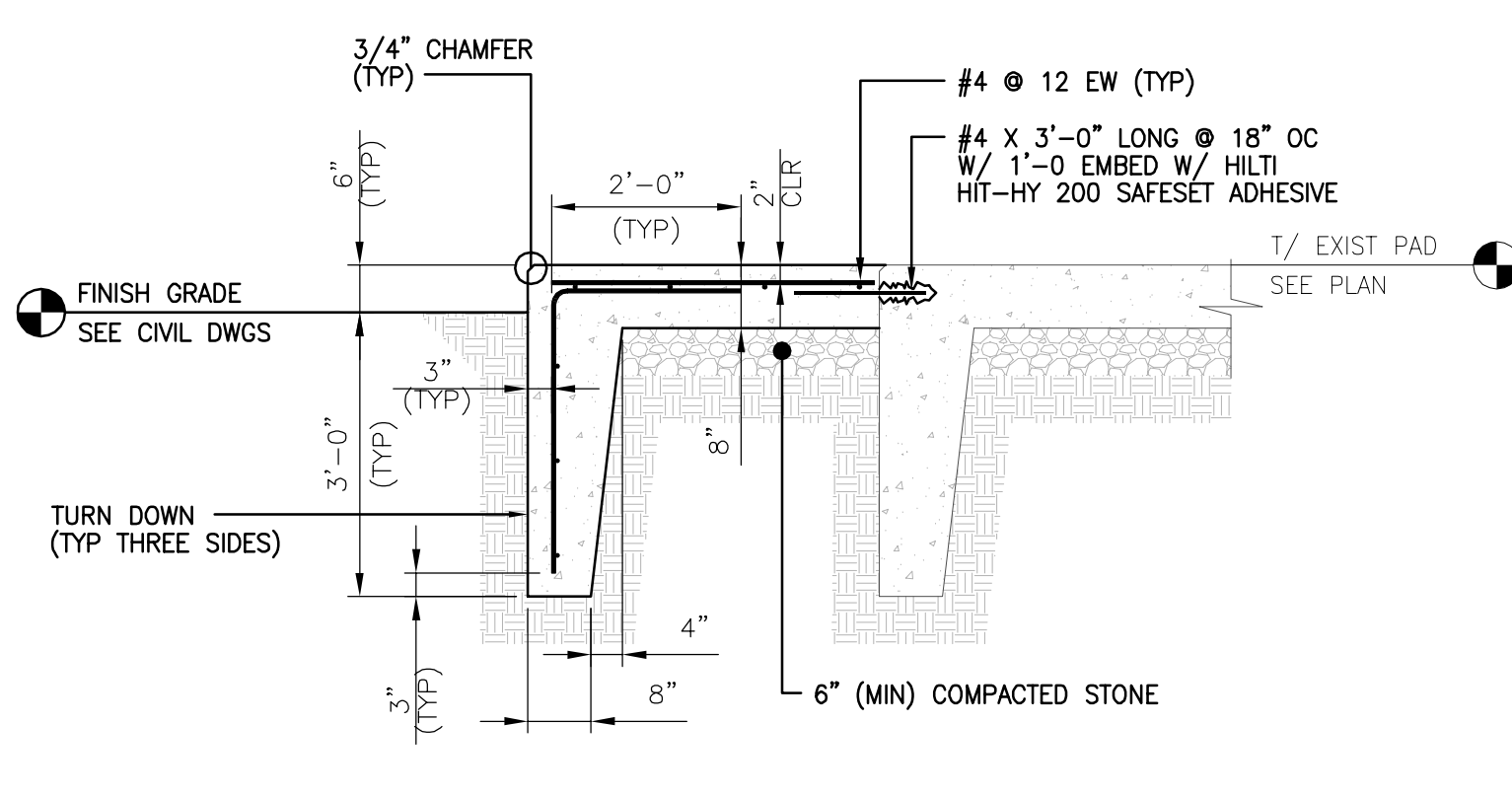
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TYPICAL DETAIL CONCRETE CURB
SCALE: NTS



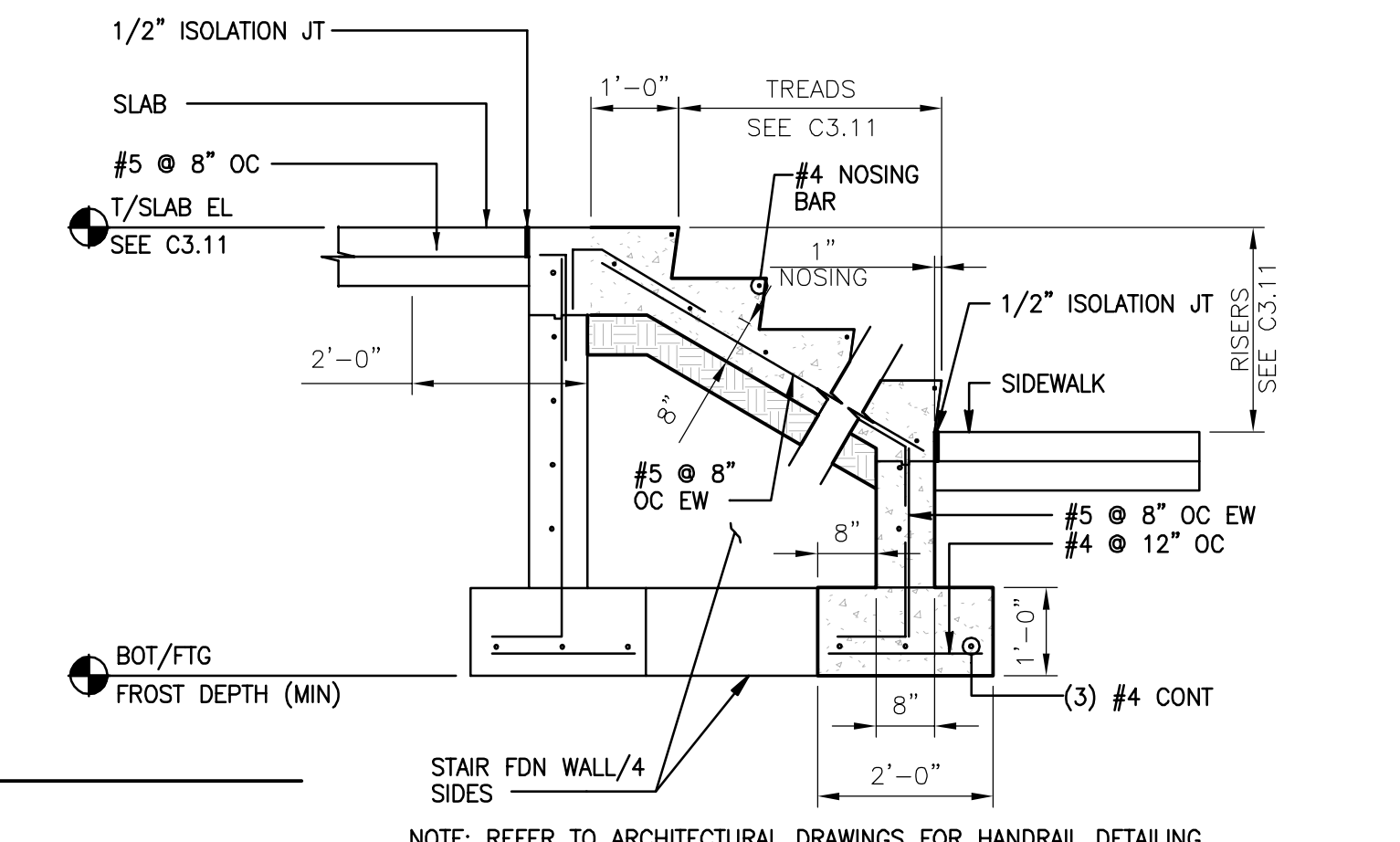
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TYPICAL DETAIL CONCRETE SIDEWALK
SCALE: NTS



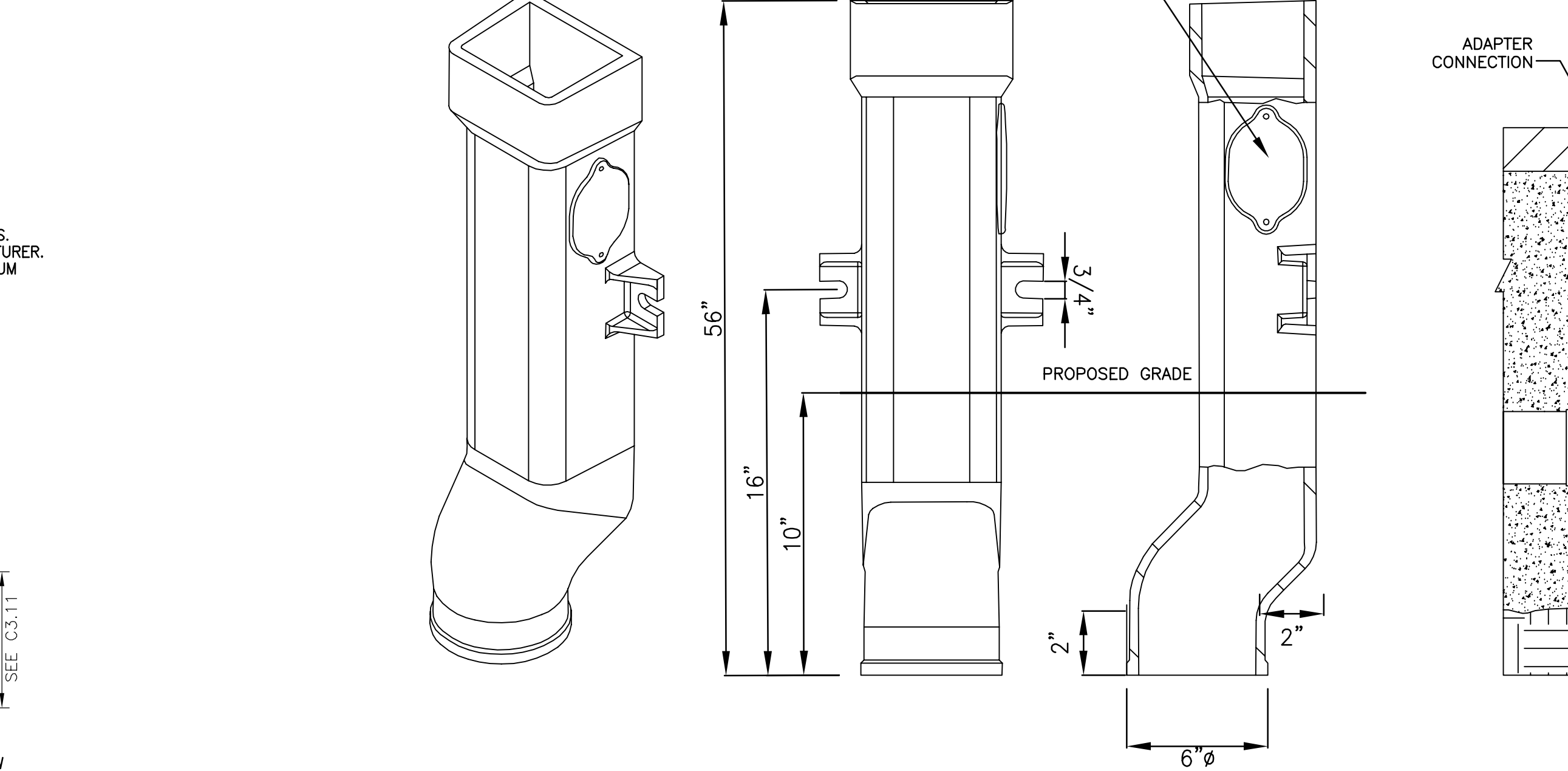
8
TYPICAL DETAIL CONNECT TO EXISTING STRUCTURE
SCALE: NTS



9
TYPICAL DETAIL CONCRETE EQUIPMENT PAD
SCALE: NTS

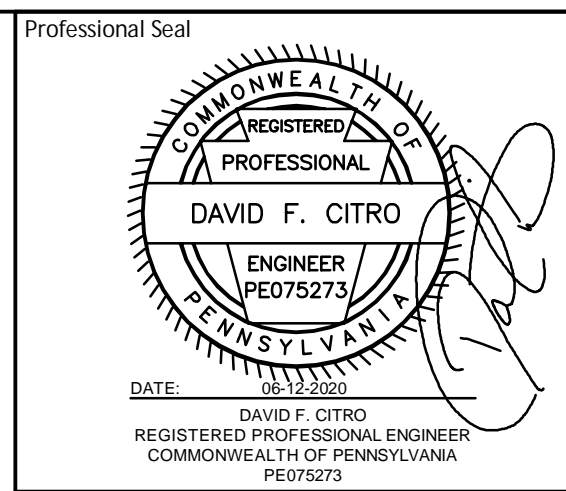


10
TYPICAL DETAIL CONCRETE STAIRS
SCALE: NTS



- NOTES:**
1. A SIDE CLEANOUT IS STANDARD FOR ALL DOWNSPOUTS BOOTS 20" OR GREATER IN LENGTH. CAST IRON COVER WITH NEOPRENE GASKET IS FASTENED OVER CLEAN WINDOW ON MAIN BODY WITH STAINLESS STEEL TAMPER PROOF SCREWS.
 2. INSTALL DOWNSPOUT BOOTS WITH STAINLESS STEEL EXPANSION ANCHORS WHERE INTEGRAL LUG SLOTS MEET THE BUILDING WALL.

11
TYPICAL DETAIL DOWNSPOUT BOOT
SCALE: NTS



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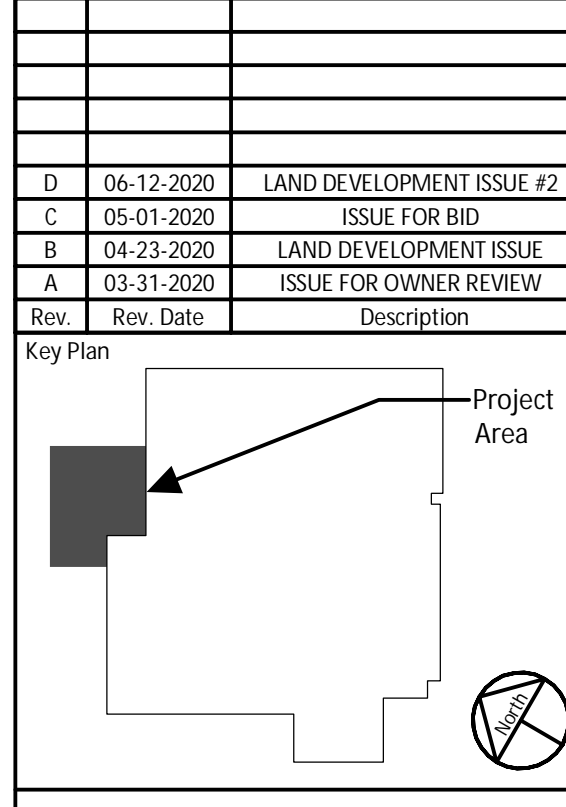
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MEG PROJECT NO. 19360

Rev	Rev. Date	Description
D	06-12-2020	LAND DEVELOPMENT ISSUE #2
C	05-01-2020	ISSUE FOR BID
B	04-23-2020	LAND DEVELOPMENT ISSUE
A	03-31-2020	ISSUE FOR OWNER REVIEW

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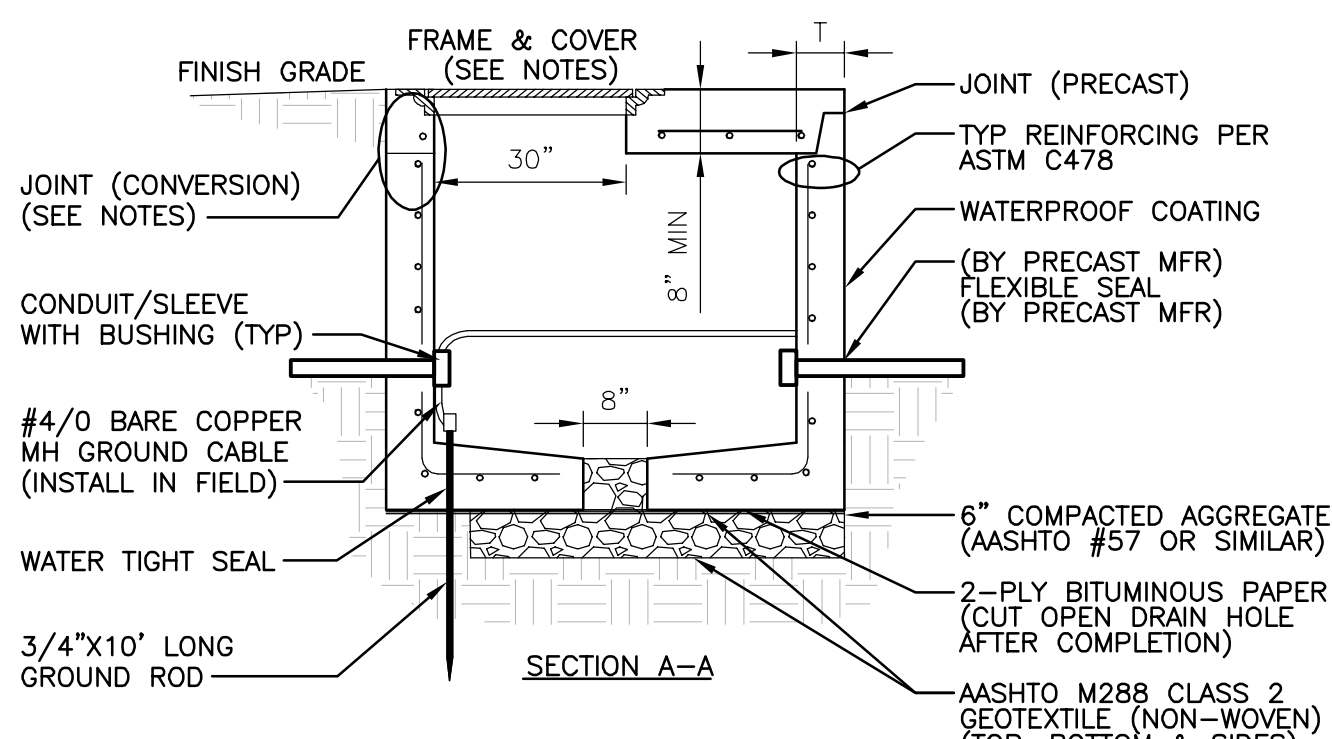
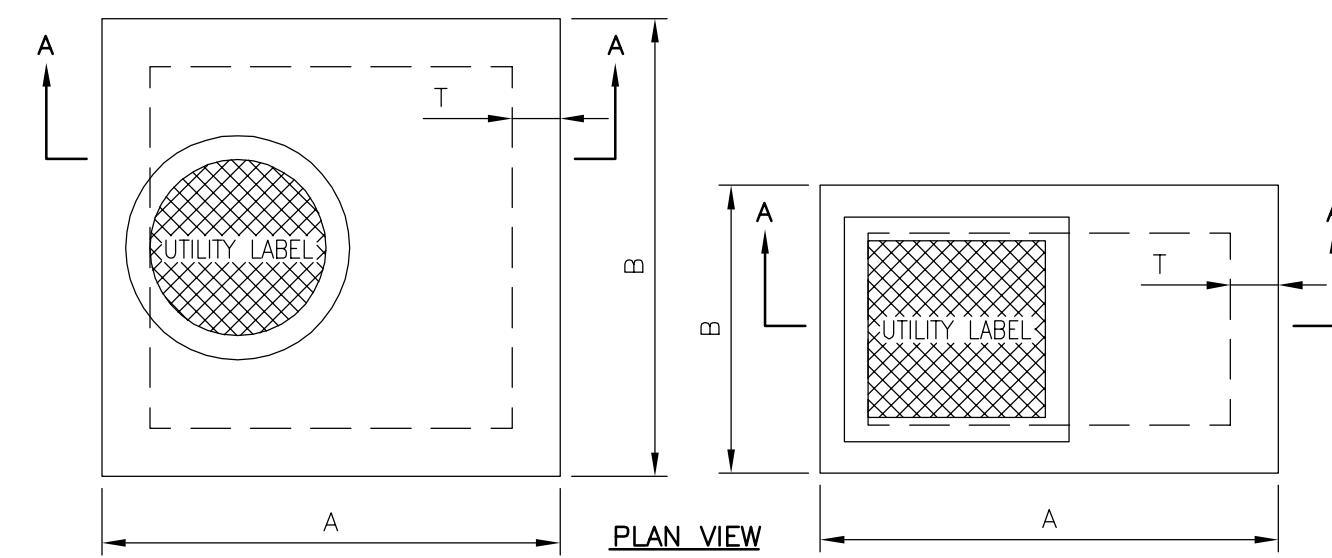
JABIL
1303 Goshen Parkway
West Chester, PA 19380

Project Title:
FINISHING PLANT EXPANSION

JA Project No. 064-WC-02-006
Drawing Title: CIVIL DETAILS SHEET (1 OF 2)

JA Project No. 064-WC-02-006
Drawing Title: CIVIL DETAILS SHEET (1 OF 2)

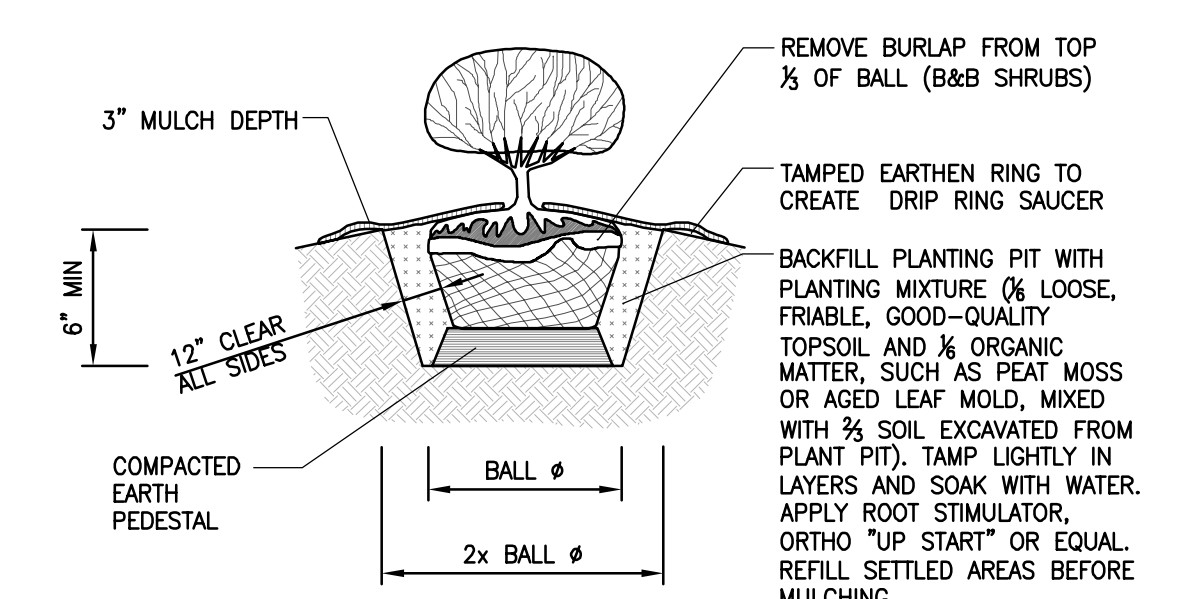
Drawing No.: **C7.01**



- MANHOLE NOTES**
1. FRAME & COVER FLUSH WITH TOP SLAB AND MADE WATER-TIGHT.
 2. MANHOLE RUNS (MANHOLES > 4' DEEP): DROP FRONT, 12" CC, TOP TO BOTTOM:
 - A. ALUMINUM STEPS: ALUMINUM ALLOY 6061-T6, WITH FLEX-LOCK PLASTIC STEP INSERTS.
 - B. REINFORCED PLASTIC STEPS: 3/8" INCH STL, ASTM A615, COMPLETELY ENCAPSULATED IN A POLYPROPYLENE COPOLYMER, ASTM D4104, (MA INDUSTRIES#004-500 OR 501).
 3. GRAY IRON, ASTM A48, CLASS 55B, OR DUCTILE IRON, ASTM A-536; WATER TIGHT FRAME AND COVER. COVER SHALL HAVE TACTILE FINISH AND DENOTE, UTILITY SERVED BY MANHOLE (LABEL "ELECTRIC", "COMMUNICATION" OR AS OTHERWISE NOTED).
 - A. LIGHT DUTY (NON-TRAFFIC): NEENAH R-6077 (ROUND), R-6660-6661 SERIES (RECTANGULAR).
 - B. HEAVY DUTY (HS-20): NEENAH R-6078 (ROUND), R-6662-6663 SERIES (RECTANGULAR).
 - C. EXTRA HEAVY DUTY (HS-25): NEENAH R-3491-JL (ROUND), R-3498 SERIES (RECTANGULAR).
 4. PIPE JOINTS TO BE WATER TIGHT GASKET, ASTM C443, BY PRECAST MANUFACTURER.
 5. PIPE TO MANHOLE SEAL TO BE BUTYL RUBBER, ASTM C940, OR A-LOK GASKET, ASTM C923, AS SUPPLIED BY ATLANTIC CONCRETE PRODUCTS OR APPROVED EQUAL.
 6. EACH PRECAST SECTION TO HAVE (2) WATER-TIGHT LIFT POINTS (NO THROUGH HOLES).
 7. EXTERIOR TO BE COATED WITH BITUMINOUS COATING.
 8. MANHOLE DESIGN AND REINFORCEMENT TO CONFORM TO "SPECIFICATION FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS" (ASTM C478, LATEST REVISION).
 9. CONCRETE COMPRESSIVE STRENGTH 4500 PSI.
 10. PRECAST CONCRETE STRUCTURE TO BE WET CAST WITH MONOLITHIC BASE SECTION, AS MANUFACTURED BY ATLANTIC CONCRETE PRODUCTS, OR APPROVED EQUAL.
 11. TOP SLAB: 8" (MIN) THICK REINFORCED CONCRETE, ASTM C478, PRECAST AND JOINED TO FIT WITH CONNECTING SECTIONS. SLAB SHALL BE RATED FOR HS-20 LOADING UNLESS OTHERWISE NOTED.
 12. GROUND EXPOSED METAL PARTS OF JUNCTION BOXES DO NOT CONNECT GROUND WIRE DIRECTLY TO LID (CONNECT TO FRAME).
 13. PROVIDE POSITIVE DRAINAGE, 1-1/2" TO 2" DIAMETER NONMETALLIC CONDUIT, FOR JUNCTION BOXES, WHEN FEASIBLE. PROVIDE RODENT PROOF DRAIN.
 14. PROVIDE 4 CF (MIN) AASHTO #57 COARSE AGGREGATE, WRAPPED IN CLASS 1 (NON-WOVEN) GEOTEXTILE. REPLACE SOILS UNSUITABLE FOR DRAINAGE WITH COARSE SAND TO A DEPTH OF 6 INCHES, AS AND WHEN NEEDED, PRIOR TO PLACING STONE.
 15. CONVERSION MANHOLES: INSPECT, ADVISE OWNER IF REPAIR IS NOT FEASIBLE OR REPAIR & SEAL AS NEEDED. STRUCTURES WITH VISIBLE LEAKS SHALL BE SEALED OUTSIDE WITH BITUMINOUS SEALANT. INSPECT SUMP DRAINAGE, REPAIR AS NEEDED.
 16. CONVERSION MANHOLES: SAW CUT CONCRETE WALL LEVEL, MOUNT 3/8" THREADED GALVANIZED ROD, GROUTED 12" DEEP, CENTER WALL, EACH CORNER, SEAL JOINT WITH BUTYL RUBBER SEAL SET SLAB WITH GALVANIZED WASHER & NUTS, BOLTED TIGHT & CAPPED FLUSH WITH TOP OF SLAB. PLASTIC CAP OR GROUT PLUG (2" DEEP).

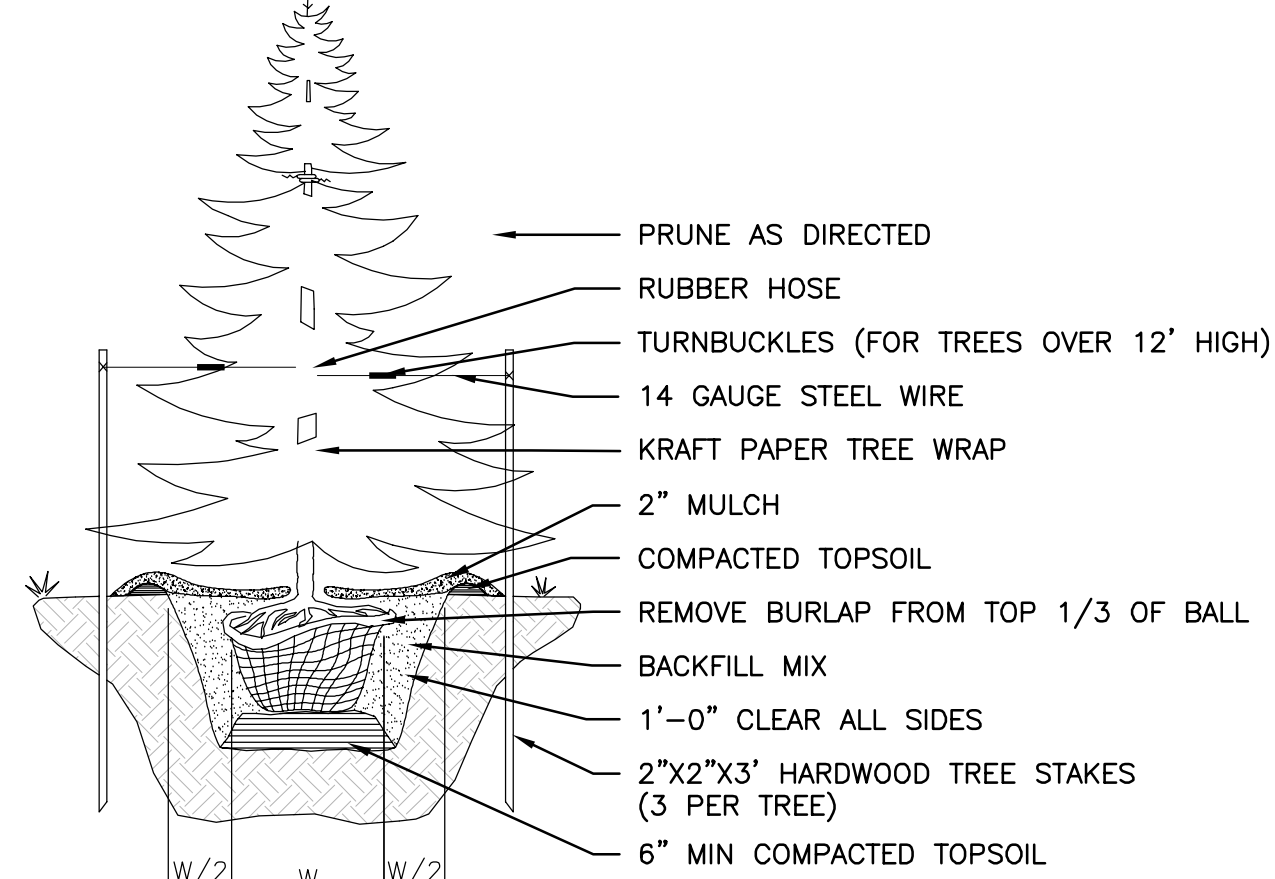
MANHOLE	INLET BOX TYPE	A (IN)	B (IN)	T (IN)	FRAME AND COVER (LIGHT/HEAVY/EXTRA HEAVY DUTY)
FIBER OPTIC	NJ (B/C/E)	60	54	6	LIGHT
ELECTRIC	NJ (B/C/E)	60	54	6	LIGHT

1 TYPICAL DETAIL ELECTRICAL/F.O. MANHOLE
SCALE: NTS



6 TYPICAL DETAIL SHRUB PLANTING
SCALE: NTS

DO NOT DAMAGE OR CUT LEADER



- NOTES**
1. BASE OF TREE TO BE AT FINISHED GRADE. DO NOT PROTRUDE ROOT BALL.
 2. WHERE DEER ARE KNOWN TO BE PRESENT, PROTECT EACH NEW TREE FROM DEER RUB WITH A SINGLE LENGTH OF 6" CORRUGATED HDPE PIPE. SLIT ALONG ONE SIDE AND TRIMMED TO FIT FROM GROUND LEVEL TO 6" BELOW LOWEST BRANCH. INSTALL AUGUST 31. REMOVE AFTER JANUARY 1.
 3. PLANTING PITS SHALL BE TWELVE (12) INCHES WIDER AND SIX (6) INCHES DEEPER THAN THE ROOT SPREAD, BUT NOT LESS THAN 33" BY 20"

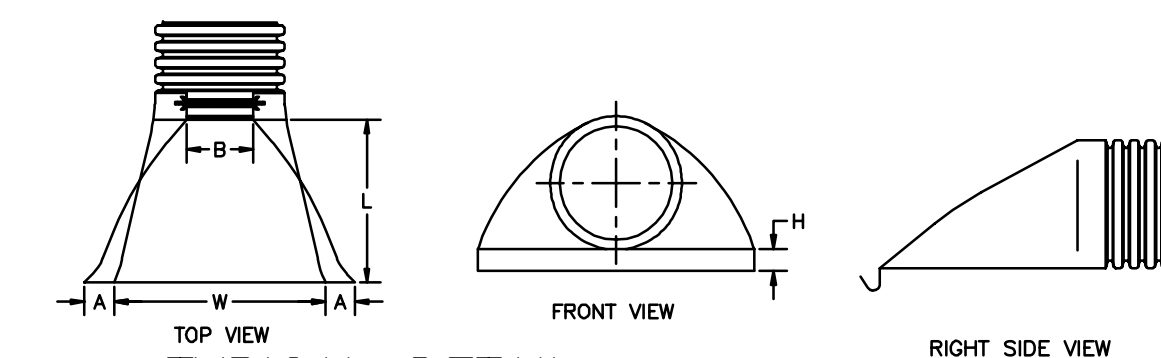
8 TYPICAL DETAIL EVERGREEN PLANTING
SCALE: NTS

ADS FLARED END SECTION SPECIFICATION
THIS SPECIFICATION DESCRIBES 12- THROUGH 36-INCH (300 TO 900MM) ADS FLARED END SECTIONS FOR USE IN CULVERT AND DRAINAGE OUTLET APPLICATIONS.

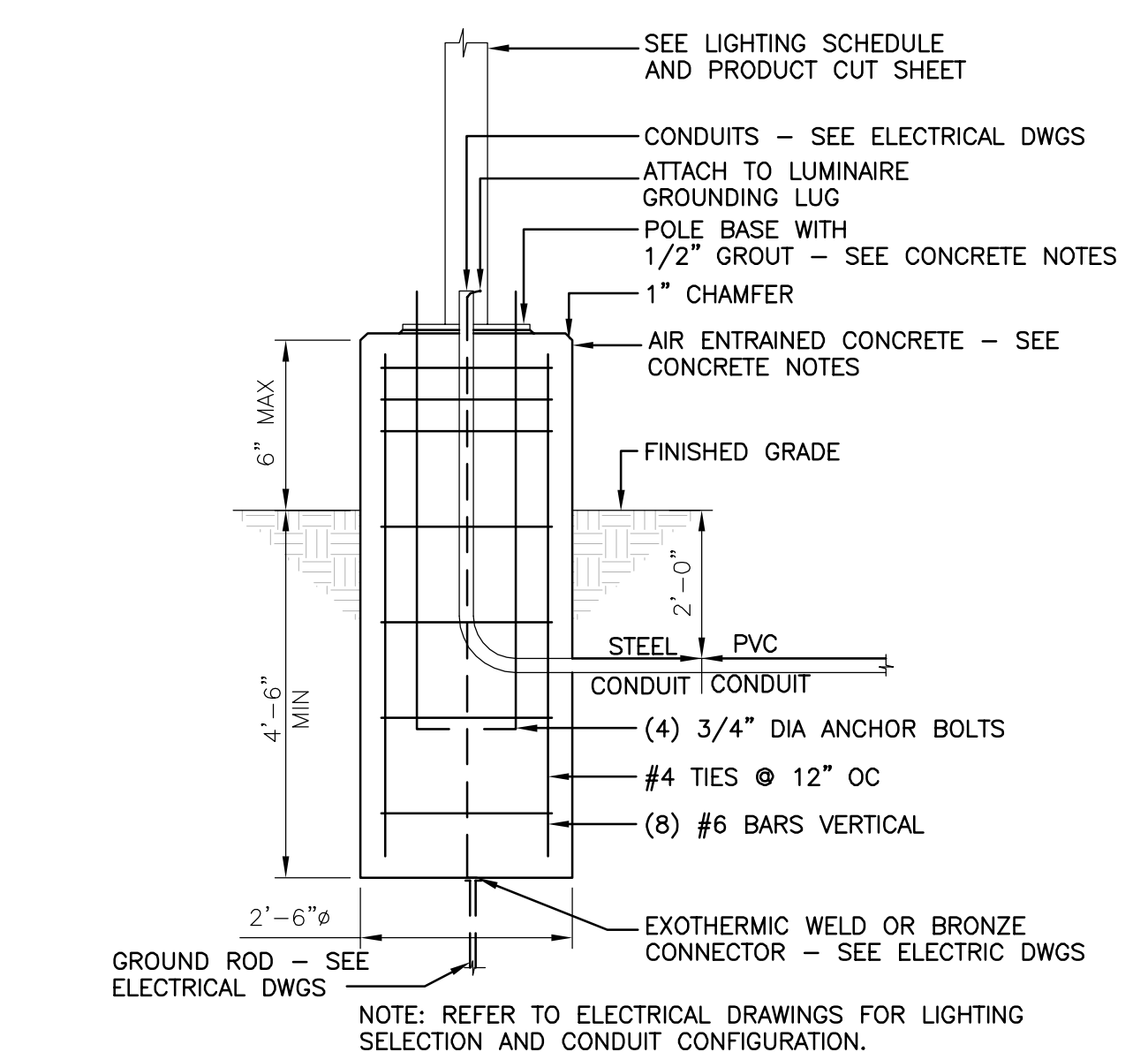
REQUIREMENTS:
THE INVERT OF THE PIPE AND THE END SECTION SHALL BE AT SAME ELEVATION. THE ADS FLARED END SECTION SHALL BE HIGH DENSITY POLYETHYLENE MEETING ASTM D3350 MINIMUM CELL CLASSIFICATION 2.13300C. CONTACT MANUFACTURER FOR ADDITIONAL CELL CLASSIFICATION INFORMATION. WHEN PROVIDED, THE METAL THREADED FASTENING ROD SHALL BE STAINLESS STEEL.

INSTALLATION:
INSTALLATION SHALL BE IN ACCORDANCE WITH ADS INSTALLATION INSTRUCTIONS AND WITH THOSE ISSUED BY STATE OR LOCAL AGENCIES

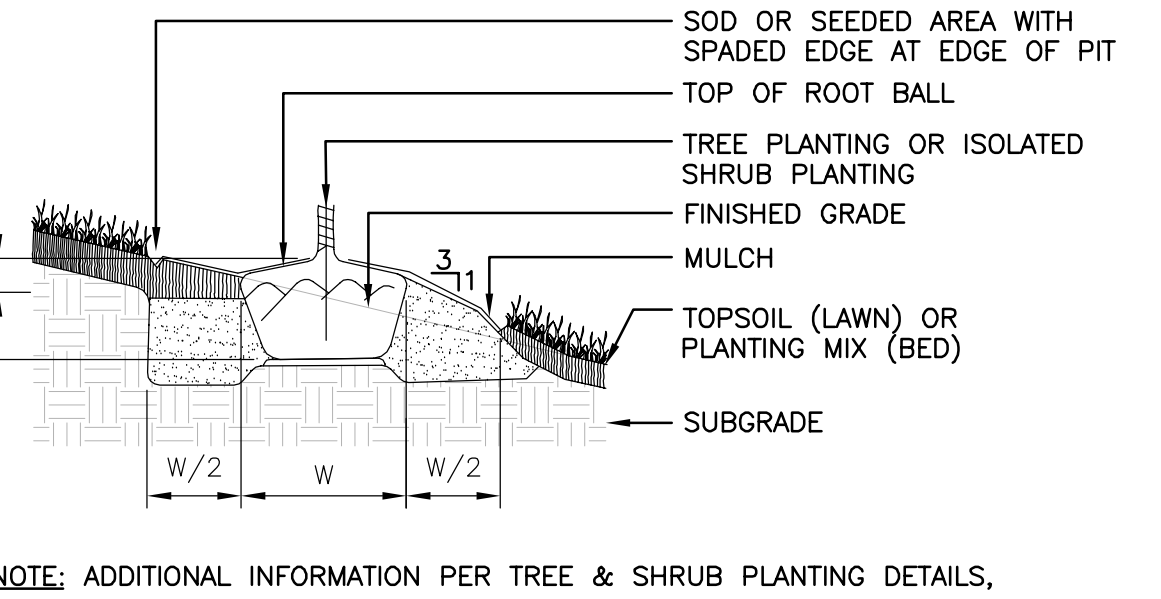
PIPE DIAMETER, in (mm)		12 (300)	15 (375)	18 (450)	24 (600)	30 (750)	36 (900)
DIAMETER in (mm)		12 (300)	15 (375)	18 (450)	24 (600)	30 (750)	36 (900)
A	6.5 (165)	6.5 (165)	7.5 (191)	7.5 (191)	7.5 (191)	7.5 (191)	7.5 (191)
B	10.0 (254)	10.0 (254)	15.0 (381)	15.0 (381)	22.0 (559)	22.0 (559)	25.0 (635)
H	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	6.5 (165)	8.6 (218)	8.6 (218)
L	25.0 (635)	25.0 (635)	32.0 (813)	36.0 (914)	58.0 (1473)	58.0 (1473)	58.0 (1473)
W	29.0 (737)	29.0 (737)	35.0 (889)	45.0 (1143)	63.0 (1600)	63.0 (1600)	63.0 (1600)



2 TYPICAL DETAIL FLARED END SECTION
SCALE: NTS

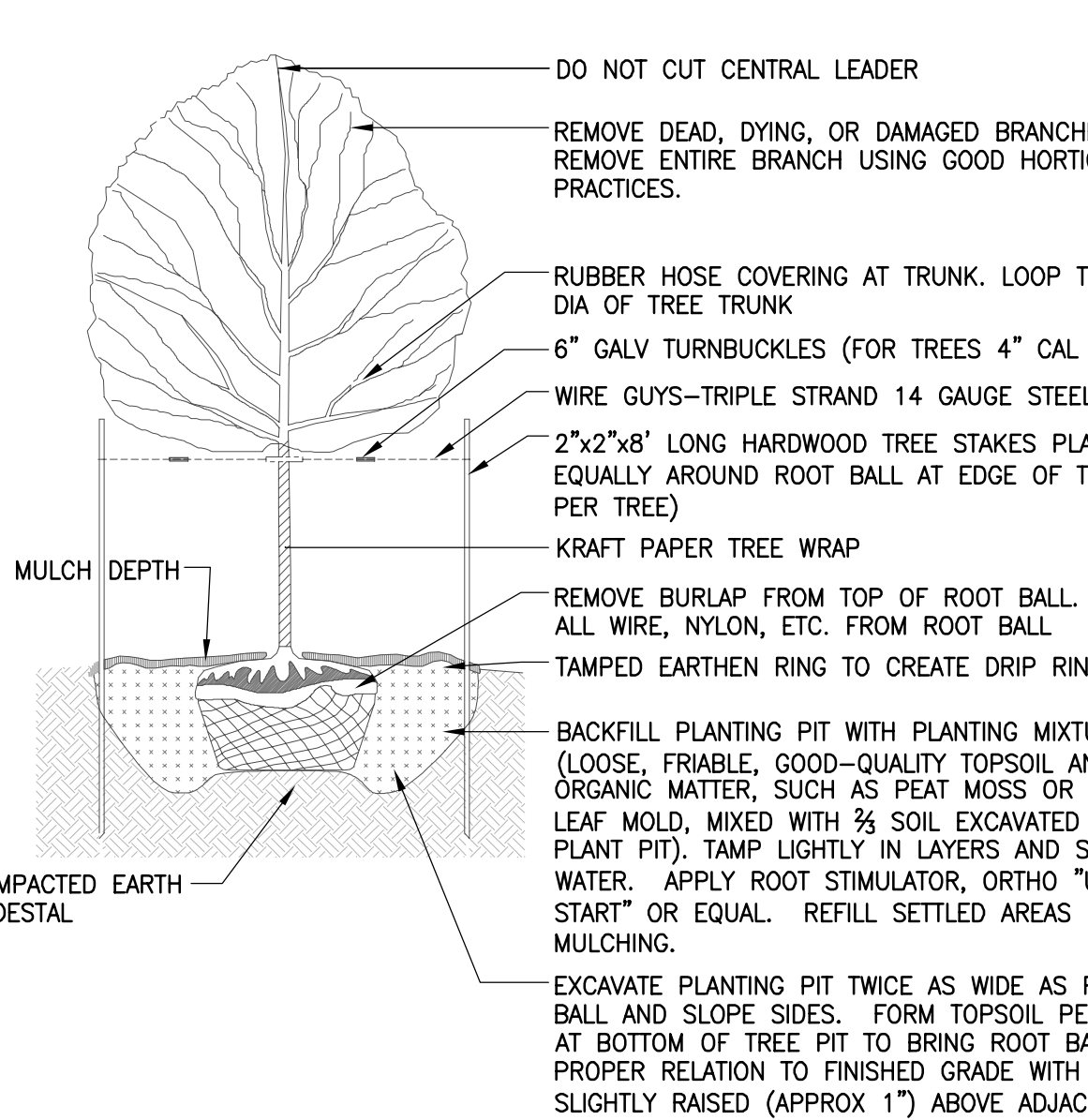


4 TYPICAL DETAIL LIGHT POLE BASE
SCALE: NTS

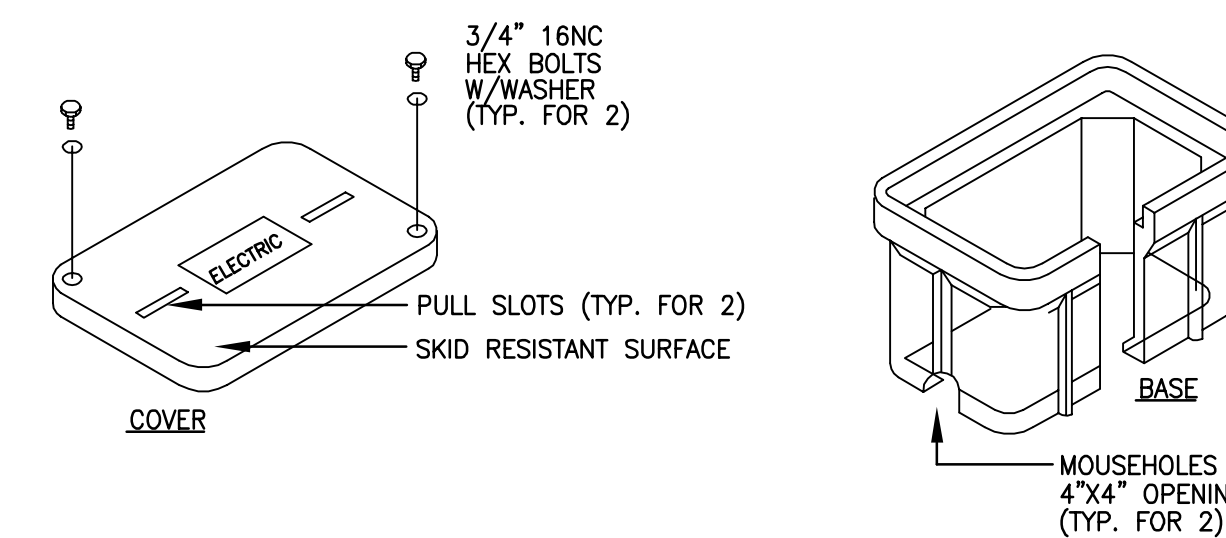


7 TYPICAL DETAIL SLOPED PLANTING
SCALE: NTS

NOTE: ADDITIONAL INFORMATION PER TREE & SHRUB PLANTING DETAILS.

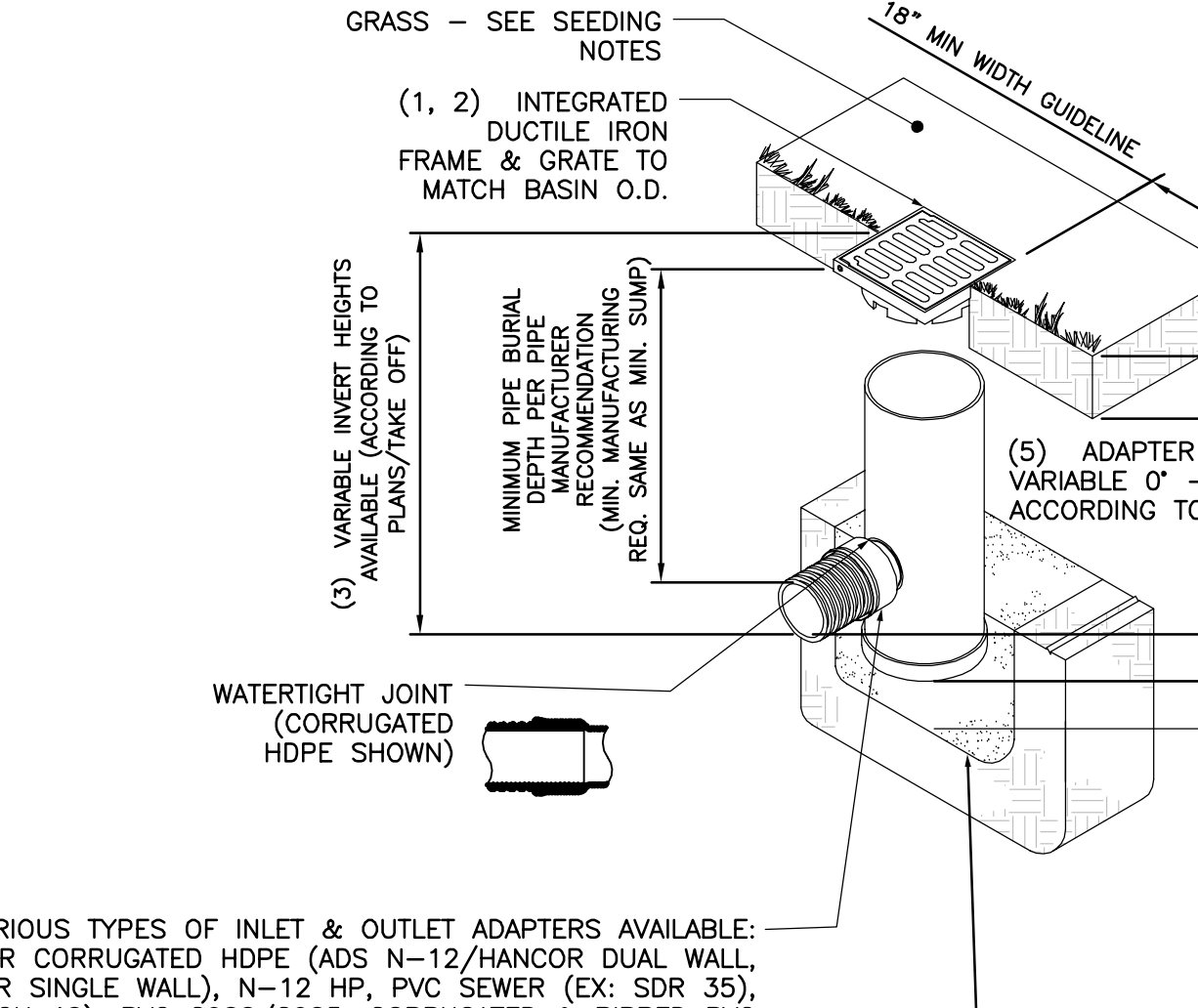


9 TYPICAL DETAIL DECIDUOUS PLANTING
SCALE: NTS



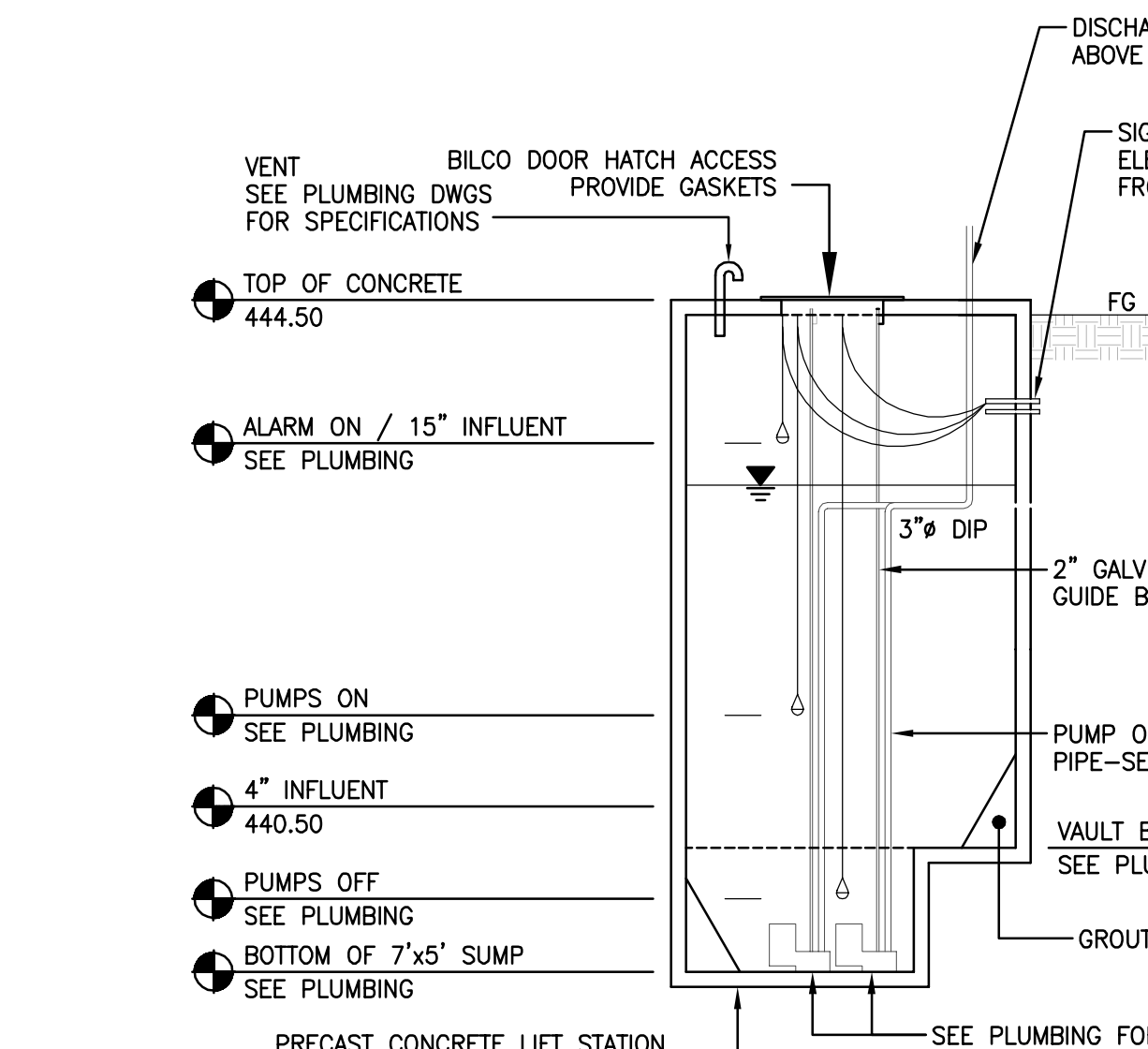
- NOTES:**
1. PROVIDE QUARTZ/COMPOSITE #FG STYLE WITH MOUSEHOLES.
 2. COORDINATE DEPTH OF HANDHOLES WITH EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL PROVIDE EXTENSION BOXES AS REQUIRED.
 3. PROVIDE CRUSHED STONE BELOW HANDHOLE FOR DRAINAGE.

3 TYPICAL DETAIL HANDHOLE
SCALE: NTS

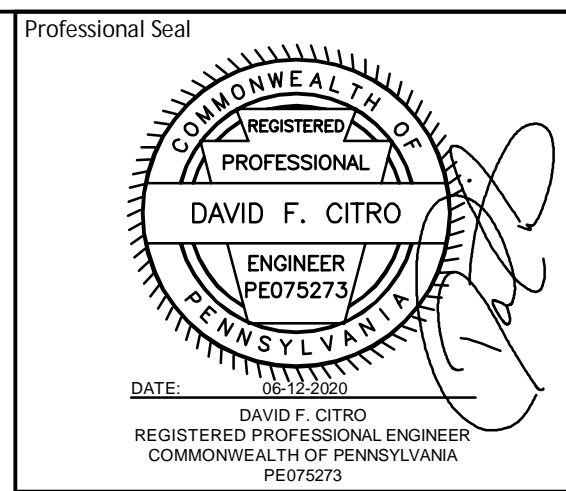


- NOTES:**
1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
 2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
 3. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065
 4. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
 5. ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

5 TYPICAL DETAIL YARD DRAIN
SCALE: NTS



10 TYPICAL DETAIL PRECAST LIFT STATION
SCALE: NTS



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A Bergmann Company
Johnsrud & Associates Architects, LLC
2700 Interlex Drive, Treove, PA 19053
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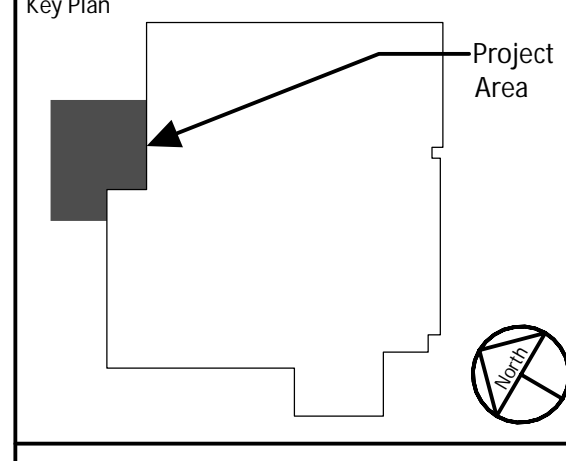
GENESIS ENGINEERS
One Sandy Parkway Suite 100 Blue Bell, Pennsylvania 19002
Tel 610-262-2207 / Fax 610-262-2208 ■ www.genesiseng.com

Mainstay ENGINEERING GROUP, INC.
CIVIL & STRUCTURAL ENGINEERS
1750 WALTON ROAD, BLUE BELL, PA 19422
www.mainstayeng.com

MEG PROJECT NO. 19360

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D	06-12-2020	LAND DEVELOPMENT ISSUE #2
C	05-01-2020	ISSUE FOR BID
B	04-23-2020	LAND DEVELOPMENT ISSUE
A	03-31-2020	ISSUE FOR OWNER REVIEW



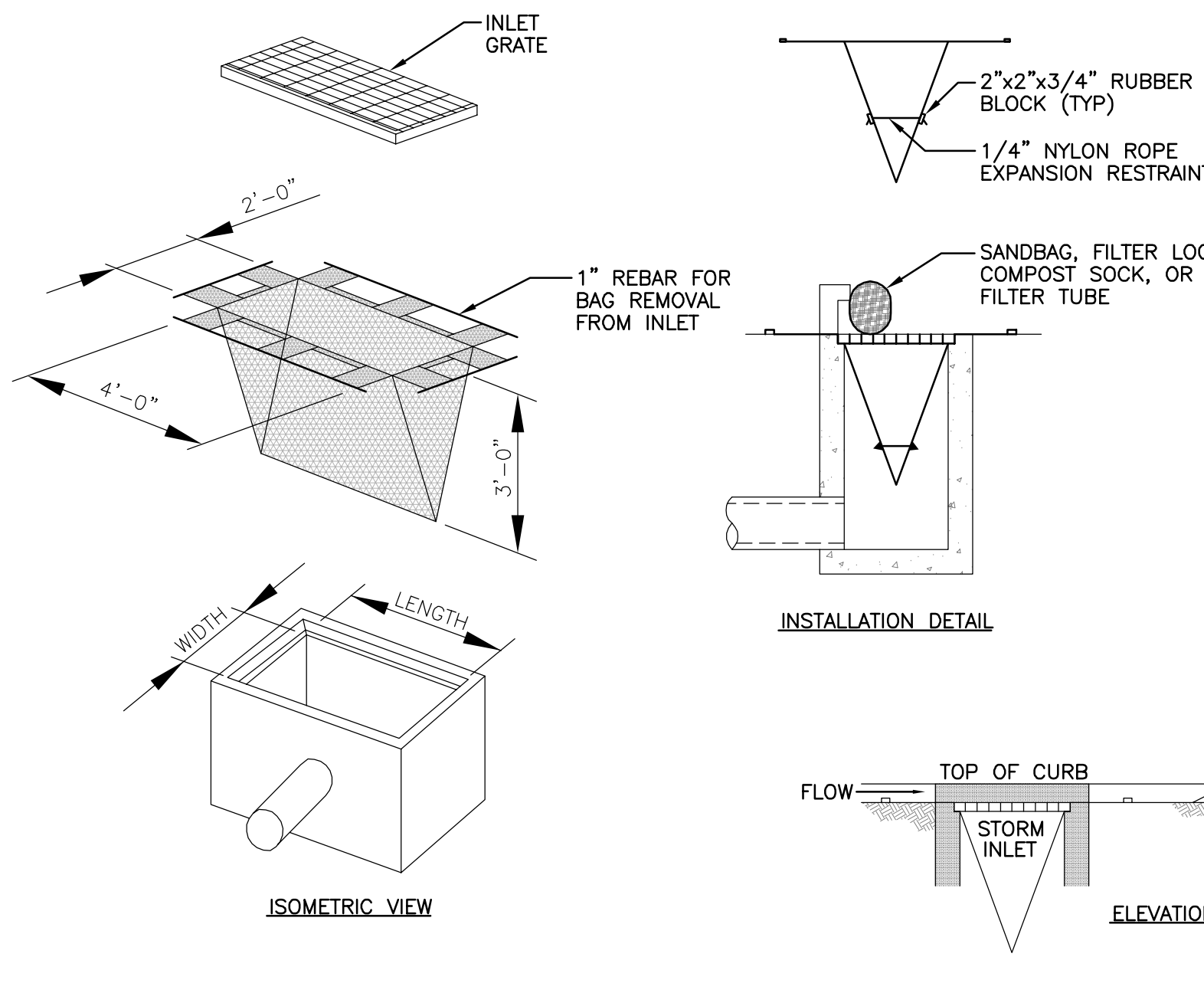
JABIL
1303 Goshen Parkway
West Chester, PA 19380

Project Title:
FINISHING PLANT EXPANSION

JA Project No. Drawn By Load Checked By
064-WC-02-006 AFH DFC MEH

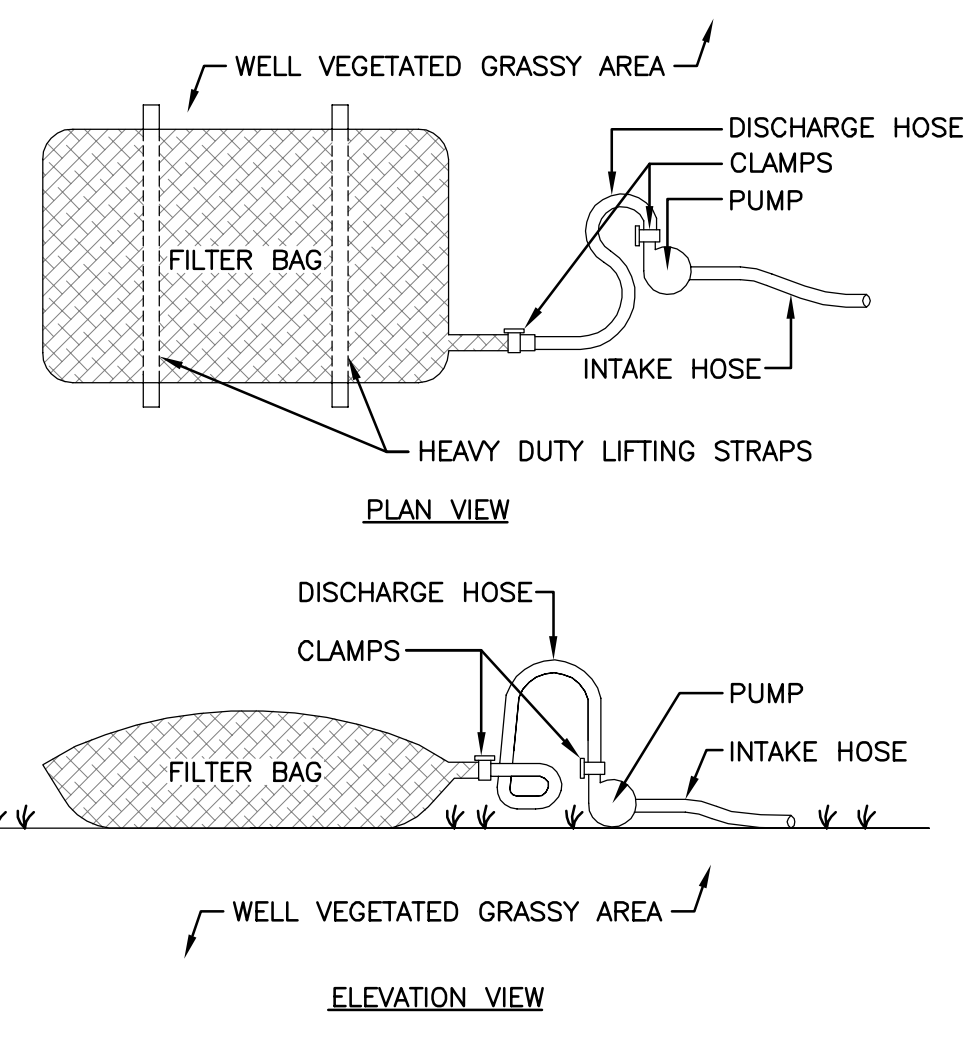
Drawing Title:
CIVIL DETAILS SHEET (2 OF 2)

Drawing No.
C7.02



NOTES:

1. MAXIMUM DRAINAGE AREA = 1/2 ACRE
2. INLET PROTECTION SHALL NOT BE REQUIRED FOR TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS REQUIRED FOR ALL INSTALLATIONS.
3. ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
4. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING NO 40 SIEVE.
5. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED FILTER BAGS ACCORDING TO THE E&S PLAN NOTES.
6. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

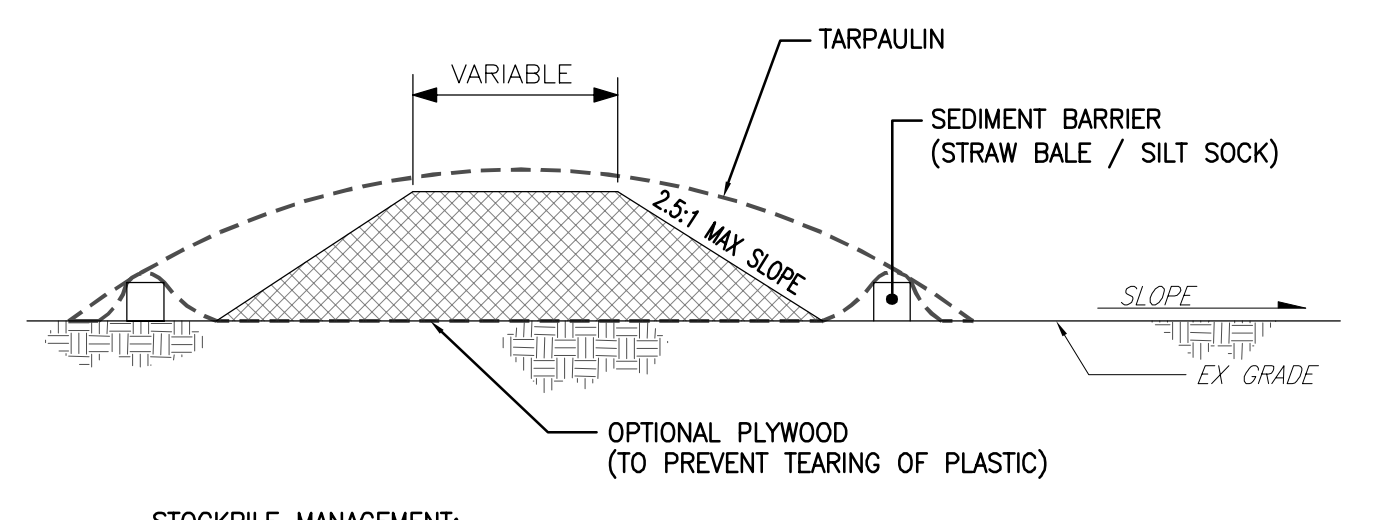


NOTES:

1. LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE-STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
40% RETAINED	ASTM D-4761	#60 SIEVE

2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
3. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREAS AND DISCHARGE ONTO STABLE, EROSION-RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 2% FOR SLOPES EXCEEDING 2% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
4. NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EY WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER, OR WHERE GRASSY AREA IS NOT AVAILABLE.
5. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE SHALL BE USED FOR THIS PURPOSE.
6. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
7. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.



STOCKPILE MANAGEMENT:
 STOCKPILE MANAGEMENT PROCEDURES AND PRACTICES ARE DESIGNED TO REDUCE OR ELIMINATE AIR AND STORMWATER POLLUTION FROM SOIL STOCKPILES. IMPLEMENT IN ALL PROJECTS THAT STOCKPILE SOIL AND OTHER MATERIALS.

GENERAL:

- LOCATE STOCKPILES A MINIMUM OF 50 FT AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES, AND INLETS.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING A TEMPORARY PERIMETER SEDIMENT BARRIER (SEE DETAIL ABOVE).

PROTECTION OF STOCKPILES

- ALL STOCKPILES SHOULD BE PROTECTED WITH A TARPULIN COVER.
- PROVIDE BOTTOM PLASTIC LINER ON ALL STOCKPILES.

MAINTENANCE

- INSPECT AND VERIFY THAT BMPs ARE IN PLACE PRIOR TO THE COMMENCEMENT OF ASSOCIATED ACTIVITIES. WHILE ACTIVITIES ASSOCIATED WITH THE BMP ARE UNDERWAY, INSPECT WEEKLY TO VERIFY CONTINUED BMP IMPLEMENTATION.
- REPAIR AND/OR REPLACE PERIMETER CONTROLS AND COVERS AS NEEDED TO KEEP THEM FUNCTIONING PROPERLY.

Professional Seal

DAVID F. CITRO
 REGISTERED PROFESSIONAL ENGINEER
 COMMONWEALTH OF PENNSYLVANIA

DATE: _____

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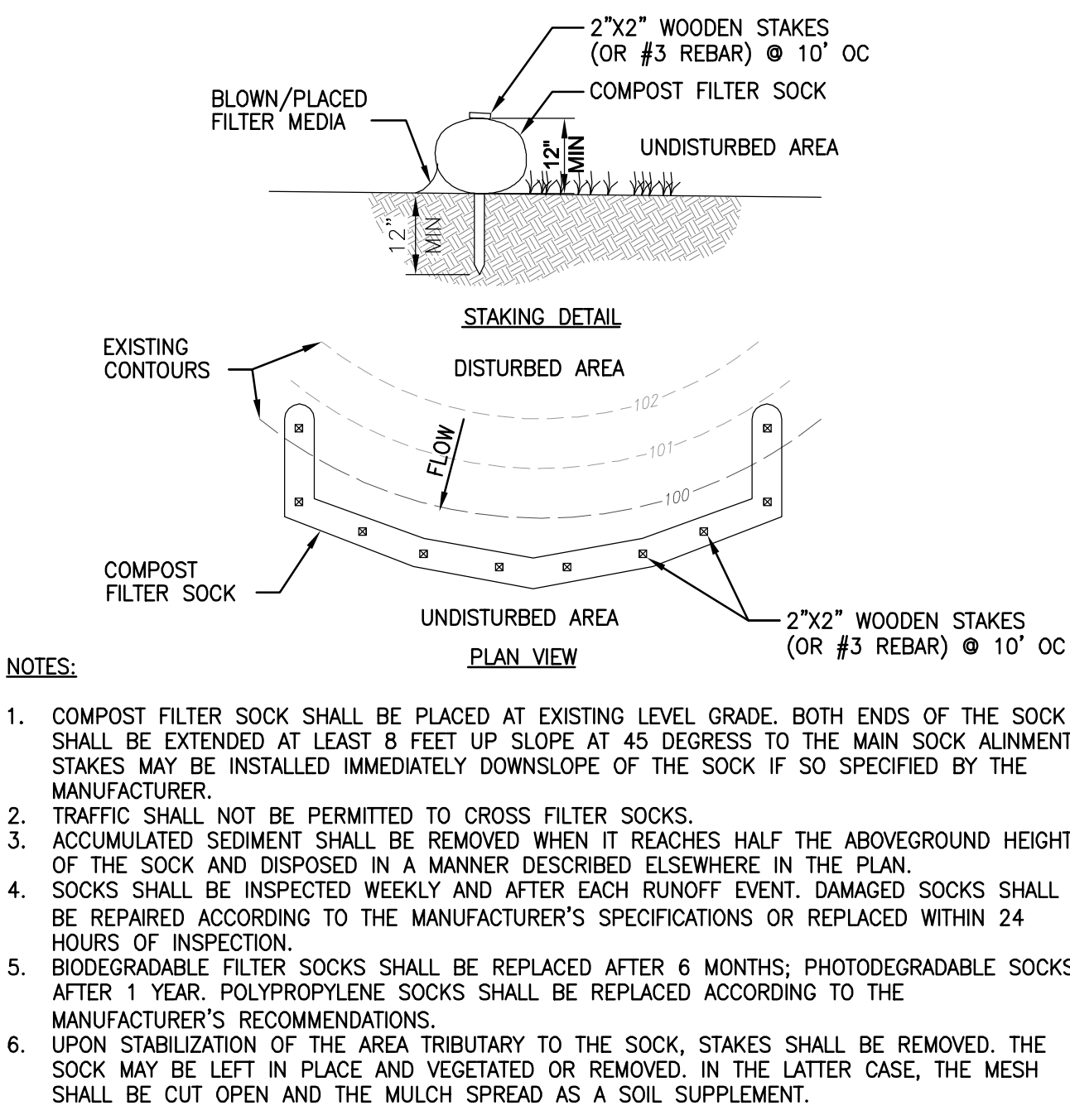
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 1750 WALTON ROAD, BLUE BELL, PA 19422
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MEG PROJECT NO. 19360

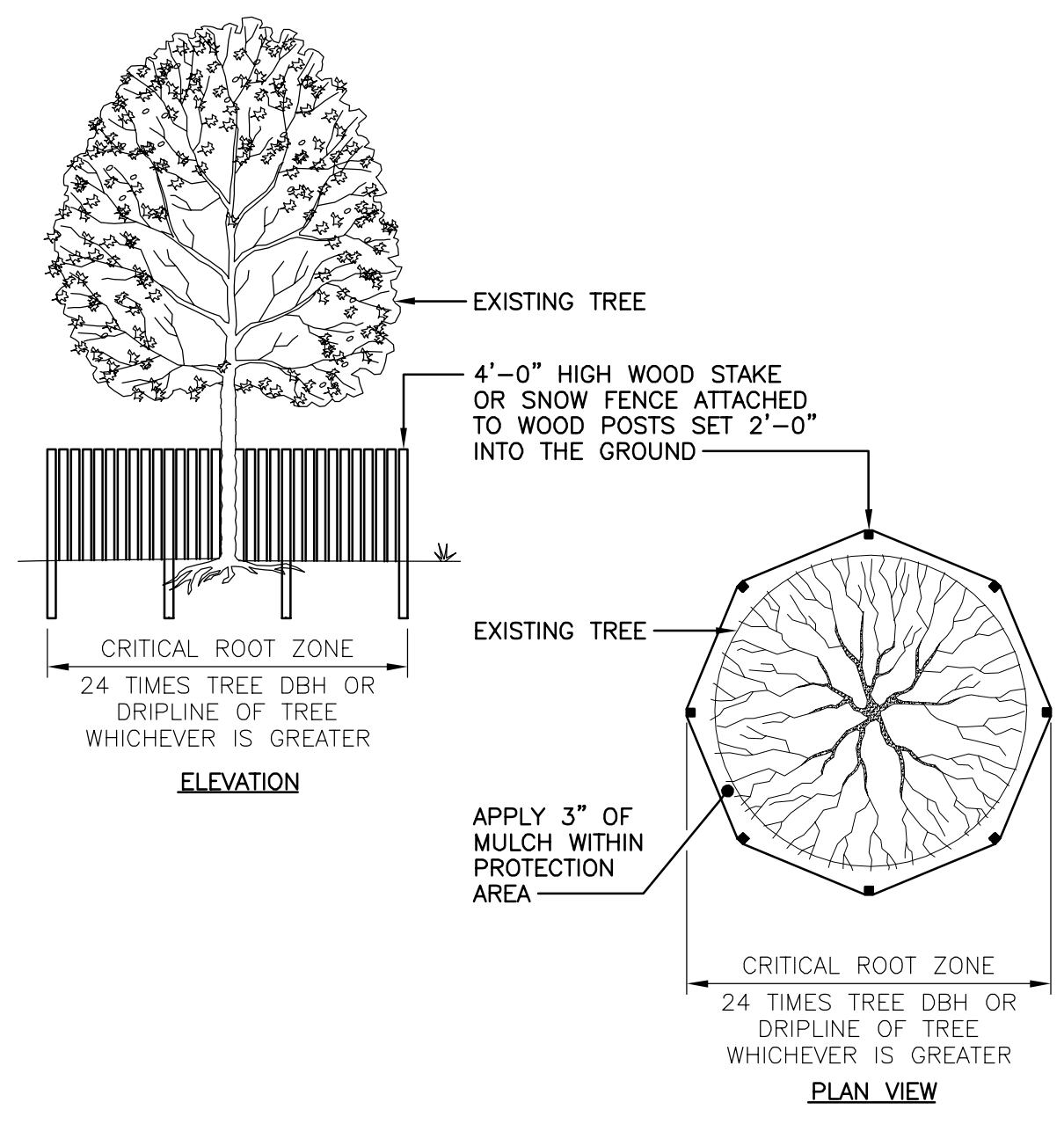
1
 TYPICAL DETAIL INLET PROTECTION
 SCALE: NTS

2
 TYPICAL DETAIL PUMPED WATER FILTER BAG
 SCALE: NTS

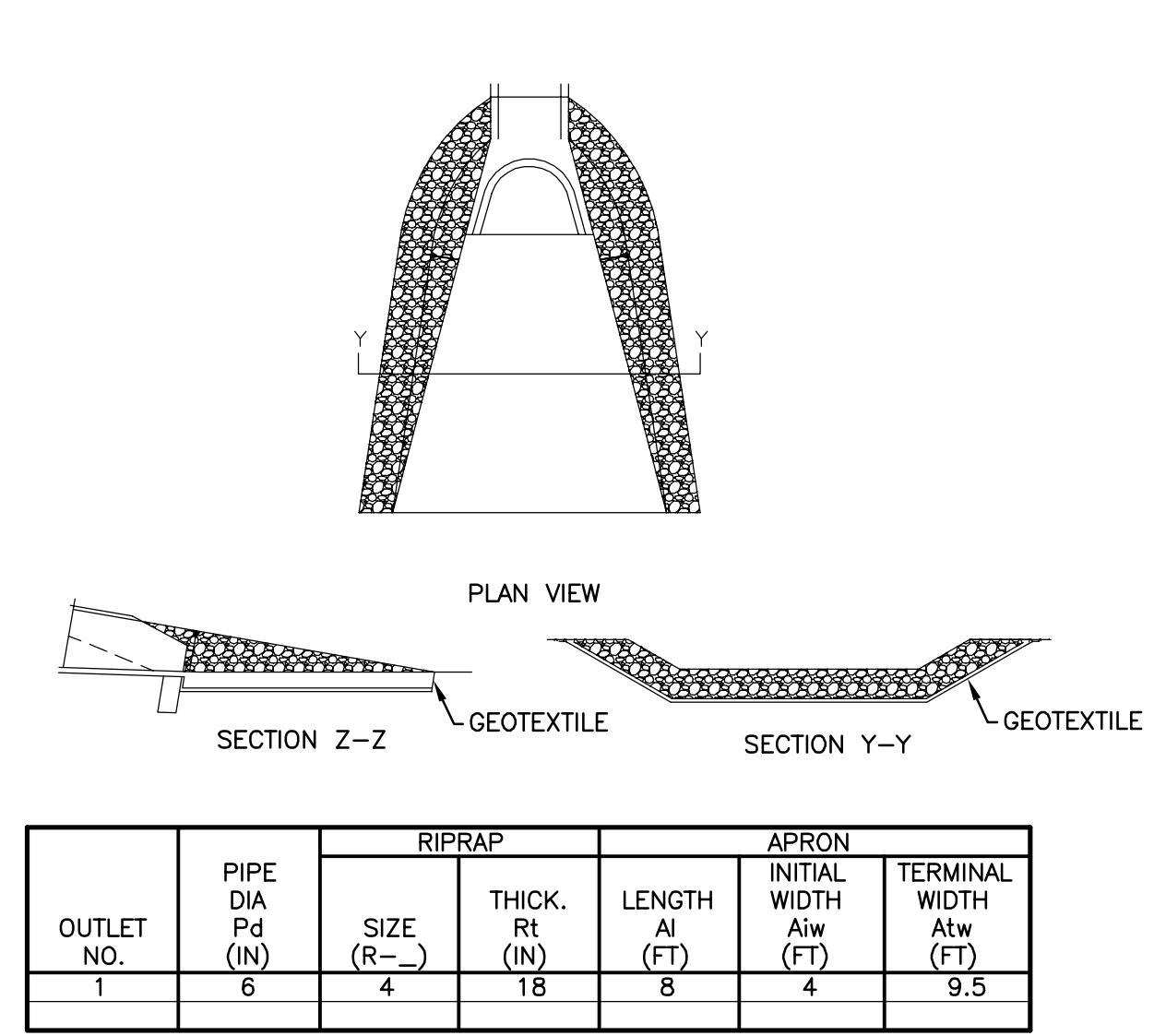
3
 TYPICAL DETAIL SOIL STOCKPILE
 SCALE: NTS



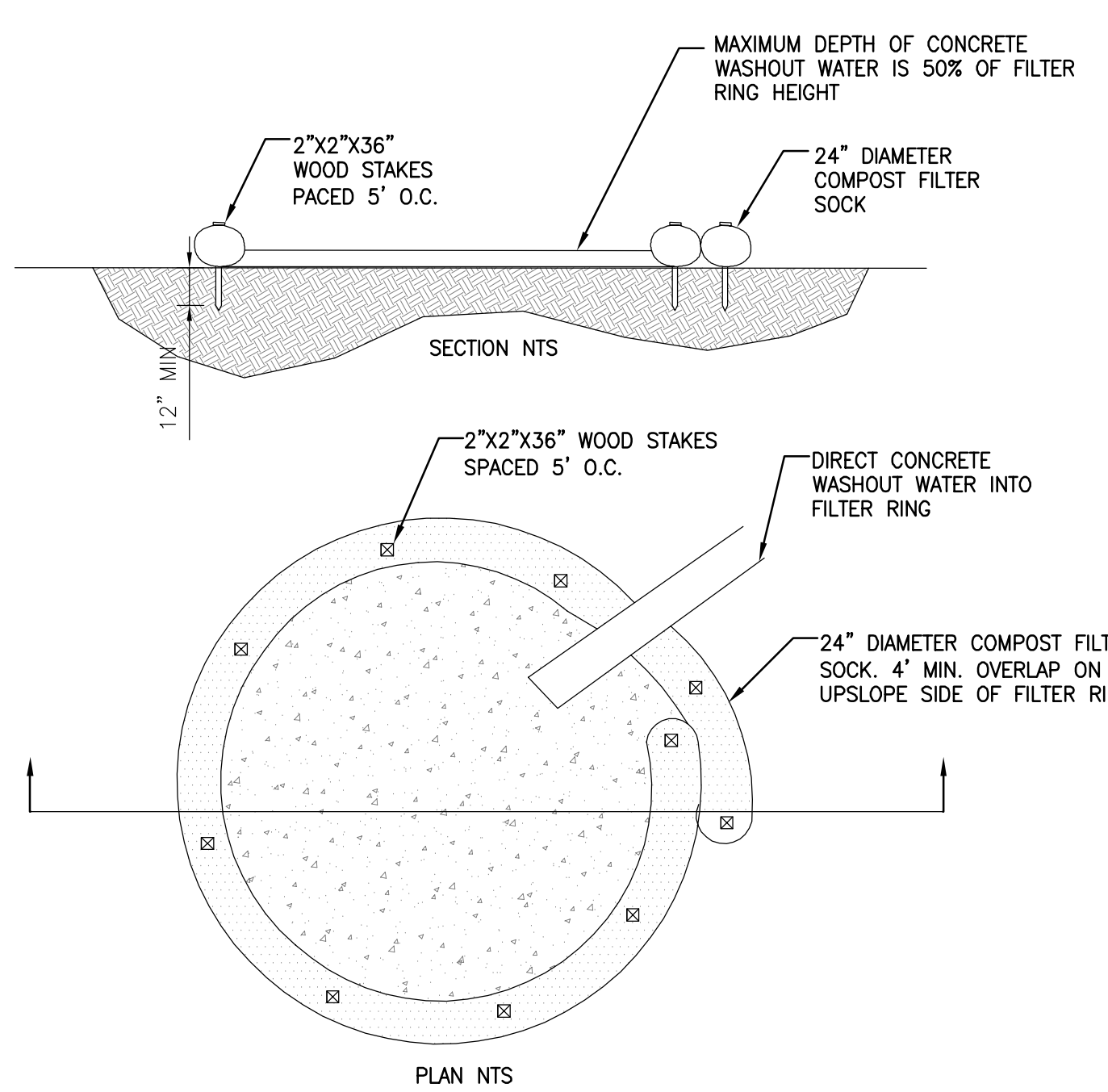
4
 TYPICAL DETAIL COMPOST FILTER SOCK
 SCALE: NTS



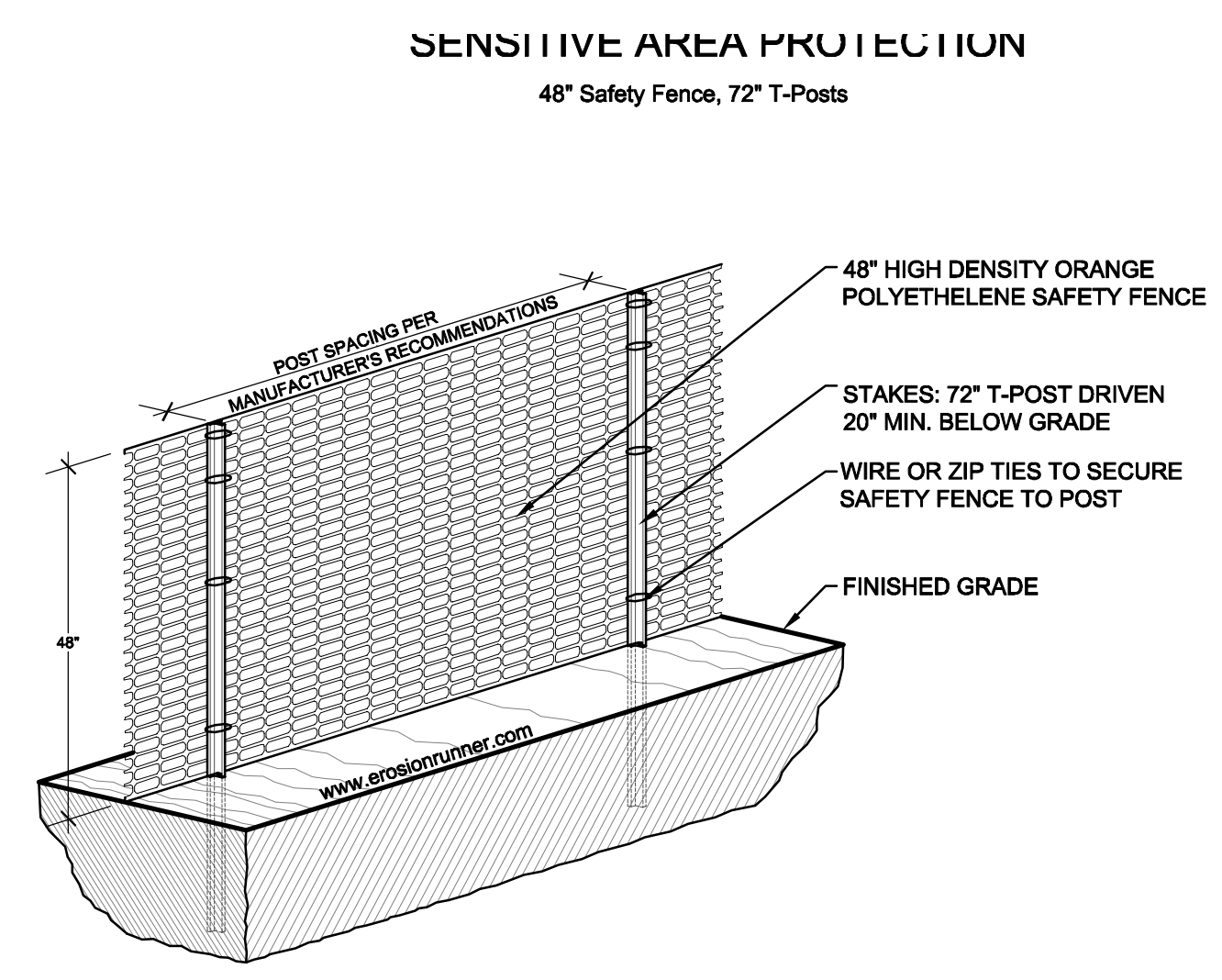
5
 TYPICAL DETAIL TREE PROTECTION FENCE
 SCALE: NTS



6
 TYPICAL DETAIL RIPRAP APRON
 SCALE: NTS



7
 TYPICAL DETAIL CONCRETE WASHOUT
 SCALE: NTS



NOTES:

1. ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
3. WHEN PRACTICABLE, INSTALL HIGH VISIBILITY 3 FEET OUTSIDE OF THE DRIP LINE OF THE TREE.
4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.

8
 TYPICAL DETAIL ORANGE CONSTRUCTION FENCE
 SCALE: NTS

GENERAL NOTES:

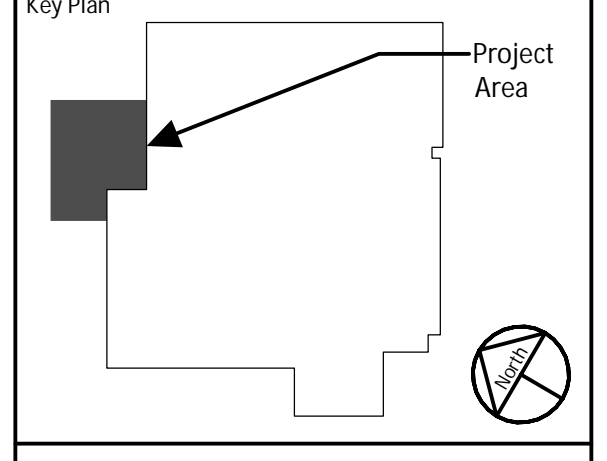
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. 18" DIAMETER FILTER SOCK MAY BE STACKED ON DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
3. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS CONCRETE WASHOUT - FOR ANY PROJECT ON WHICH CONCRETE WILL BE POURED OR OTHERWISE FORMED ON SITE, A SUITABLE WASHOUT FACILITY MUST BE PROVIDED FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS. MAKE SURE THAT PROPER SIGNAGE IS PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
4. WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS. THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED, BUT FAR ENOUGH FROM OTHER VEHICULAR TRAFFIC TO MINIMIZE THE POTENTIAL FOR ACCIDENTAL DAMAGE OR SPILLS. WHEREVER POSSIBLE, THEY SHOULD BE LOCATED ON SLOPES NOT EXCEEDING A 2% GRADE.

COMPOST SOCK WASHOUT

5. WHEREVER COMPOST SOCK WASHOUTS ARE USED, A SUITABLE IMPERVIOUS GEOMEMBRANE SHOULD BE PLACED AT THE LOCATION OF THE WASHOUT. COMPOST SOCKS SHOULD BE STAKED IN THE MANNER RECOMMENDED BY THE MANUFACTURER AROUND PERIMETER OF THE GEOMEMBRANE SO AS TO FORM A RING WITH THE ENDS OF THE SOCK LOCATED AT THE UPSLOPE CORNER (FIGURE 3.18). CARE SHOULD BE TAKEN TO ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE GEOMEMBRANE AT ALL LOCATIONS. WHERE NECESSARY, SOCKS MAY BE STACKED AND STAKED SO AS TO FORM A TRIANGULAR CROSS-SECTION.

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JABIL

1303 Goshen Parkway
 West Chester, PA 19380

Project Title:
FINISHING PLANT EXPANSION


JA Project No. 064-WC-02-006
 Drawing Title:
CONSERVATION DETAILS SHEET

Drawing No.
C7.11

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Voice: 610-692-7171
Fax: 610-692-8950
E-mail: mgordon@eastgoshen.org

Date: 6/25/2020
To: Planning Commission
From: Mark Gordon, Zoning Officer 
Re: Review of Model Pipeline Ordinances

Dear Commissioners,

As you all know, as per request by the EGT Pipeline Taskforce and the Board of Supervisors, the PC has spent the last several months reviewing and discussing the two model pipeline ordinances (Zoning and SALDO) drafted in 2014 for the Chester County Association of Township Officials (CCATO). For the record, in 2014 the Township did review these two ordinances and in turn amended the Zoning Ordinance to include language specific to Public Utility Buildings. This amendment is attached for your review.

The PC conducted the following review and analysis of the of the model pipeline Ordinances:

- December 6, 2019: Twp. staff forwarded the PC Members links to three pipeline risk assessments.
 - Quest Consultants Inc. prepared for Del-Chesco United for Pipeline Safety and Clean Air Council Philadelphia PA,
 - G2 Intergrated Solutions Mariner East 2 Pipeline and Existing Adelphia Pipeline Risk Assessments prepared for Delaware County,
 - JH Consulting, LLC prepared for Thornbury Township, in Delaware County.
- Feb 2020: PC Met with members of the EGT Pipeline Taskforce to discuss their concerns and the Model Ordinances from CCATO
- March 4, 2020: The PC discussed the Model ordinances and asked staff to assist with determining how many parcels would be impacted by the ordinances. The PC also asked staff to have the Township Solicitor review and comment on these ordinances.
- April 1, 2020: No Meeting
- May 6, 2020: The PC deferred discussion on this topic until the meeting in June
- June 17, 2020: The PC Reviewed the Twp. Solicitor's review comments and asked her questions about the model ordinances. Staff also demonstrated a GIS tool they developed, which can be used to show the buffers graphically on a map and provide data on how many properties will be impacted by that buffer distance.
- July 1, 2020: PC will discuss the ordinances and consider the next course of action.

DISCUSSION and STAFF RECOMMENDATION:

Pipelines in PA are primarily regulated by the PA Public Utility Commission (PUC) or the Federal Energy Regulatory Commission (FERC). The Township has very little if any regulatory authority with the exception of some Zoning for buildings and structures. The Township amended the zoning ordinance in 2015 to address “Public Utility Building” and “Public Utility Facility”.

Pursuant to your review of the risk assessments, the proposed ordinances and the GIS analysis of how the requirements could affect existing Industrial, Commercial, and residential uses as well as future uses throughout the entire Township; it does not seem appropriate to adopt such broad regulations without more information and careful study.

Perhaps a more appropriate approach would be to identify uses that should have significant setbacks from pipelines and craft language that will protect those uses.

Staff recommends that the Commission forward a letter to the Board outlining the steps we took to review and analyze these ordinances, the potential impact the ordinances have on existing property, and ask them how they would like the Commission to proceed.

EAST GOSHEN TOWNSHIP

CHESTER COUNTY, PENNSYLVANIA

ORDINANCE NO. 129-2015-C

AN ORDINANCE OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, AMENDING CHAPTER 240 OF THE EAST GOSHEN TOWNSHIP CODE, TITLED, "ZONING", TO AMEND THE DEFINITION FOR "ELECTRIC SUBSTATION", "PUBLIC UTILITY FACILITY", AND "PUBLIC UTILITY BUILDING" IN SECTION 240-6; TO ADD A DEFINITION FOR "PUBLIC UTILITY" AND "PUBLIC UTILITY CORPORATION" IN SECTION 240-6, TO AMEND THE USE REGULATIONS FOR THE R-1 DISTRICT TO DELETE PUBLIC UTILITY BUILDING; TO AMEND THE USE REGULATIONS FOR THE I-1 AND I-2 DISTRICTS TO ALLOW A PUBLIC UTILITY BUILDING BY CONDITIONAL USE; TO AMEND THE USE REGULATIONS FOR THE BP DISTRICT TO DELETE PUBLIC UTILITY INSTALLATION AND ADD PUBLIC UTILITY FACILITY; AND TO ADD CONDITIONAL USE STANDARDS FOR PUBLIC UTILITY FACILITIES AND PUBLIC UTILITY BUILDINGS IN SECTION 240-31.C(3)(aa).

BE IT ENACTED AND ORDAINED by the Board of Supervisors of East Goshen Township that Chapter 240 of the East Goshen Township Code, titled, "Zoning", shall be amended as follows:

SECTION 1. The definition of "Electric Substation" in Section 240-6 shall be deleted and replaced with the following new definition:

"ELECTRIC SUBSTATION - An assemblage of equipment for transforming electric power from a higher to a lower voltage rather than for its generation or utilization."

SECTION 2. The definition of "Public Utility Building" in Section 240-6 shall be deleted and replaced with the following new definition:

"PUBLIC UTILITY BUILDING - A building constructed by a public utility or a public utility corporation."

SECTION 3. The definition of "Public Utility Facility" in Section 240-6 shall be deleted and replaced with the following new definition:

“PUBLIC UTILITY FACILITY - A facility, other than a building, owned and operated by a public utility or public utility corporation as defined in this Ordinance.”

SECTION 4. Section 240-6 shall be amended to add the following definitions in alphabetical order:

“PUBLIC UTILITY – A public utility as that term is defined in the Public Utility Code, 66 Pa.CSA §101 et seq., as may be amended from time to time.

PUBLIC UTILITY CORPORATION – Any domestic or foreign corporation for profit that is subject to regulation as a public utility either by the Pennsylvania Public Utility Commission or by an officer or agency of the United States.”

SECTION 5. Section 240-8.D(2)(c) shall be deleted.

SECTION 6. Section 240-19.C(9) shall be amended as follows:

“(9) Public utility facility and public utility building.”

SECTION 7. Section 240-20.D(23) shall be amended as follows:

“(23) Public utility facility and public utility building.”

SECTION 8. Section 240-21.C(12) shall be amended as follows:

“(12) Public utility facility and public utility building.”

SECTION 9. Section 240-31.C(3)(aa) shall be amended as follows:

“(aa) Public utility facility and/or public utility building.

- [1] No obnoxious, toxic or corrosive fumes or gases shall be emitted as a result of the use.
- [2] No use shall emit offensive odors which are perceptible at lot lines.
- [3] No use shall discharge into the air dust or other particulate matter in a manner or quantity which does not conform to all applicable federal and state laws and implementing regulation.
- [4] No use shall emit smoke from operations.
- [5] No use shall produce any heat perceptible at or beyond the lot boundaries.

- [6] No use shall utilize lighting in a manner which does not conform with the lighting standards in this Chapter.
- [7] No use shall permit physical vibrations perceptible at or beyond the lot boundaries.
- [8] No use shall emit potentially harmful radiation.
- [9] No use shall engage in the production or storage of any material designed for use as an explosive.
- [10] No use shall engage in the storage of waste materials on the lot for any period beyond 5 days. Such waste material storage shall be located behind the front building line of the primary building and no closer than 50 feet to any rear or side lot line and shall be completely screened from the view of any street or adjoining property.
- [11] No use shall discharge any objectionable and/or potentially dangerous effluent from plant operations.
- [12] No industrial lagoons for chemicals or other liquid waste shall be permitted.
- [13] The portion of any such use not located within a building shall be enclosed or adequately screened in such a manner as to not be visible across property lines.
- [14] All uses shall be conducted in compliance with applicable governmental regulations, including the noise and lighting regulations in this Chapter.
- [15] No retail activity shall be permitted.
- [16] The owner of the Public Utility Facility and Public Utility Building shall provide the Township with an emergency liaison that may be reached 24 hours a day, 7 days a week in the event of an emergency.
- [17] The owner of the Public Utility Facility and Public Utility Building shall prepare and file with the Township an emergency response plan which shall be followed in the event of an emergency at the facility.
- [18] A Public Utility Facility and/or Public Utility Building shall be fully screened in accordance with the criteria set forth in §240.27.C(3)."

SECTION 10. Severability. If any sentence, clause, section, or part of this Ordinance is for any reason found to be unconstitutional, illegal or invalid, such unconstitutionality, illegality or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses, sections, or parts hereof. It is hereby declared as the intent of the Board of Supervisors that this Ordinance would have been adopted had such unconstitutional, illegal or invalid sentence, clause, section or part thereof not been included herein.

SECTION 11. Repealer. All ordinances or parts of ordinances conflicting with any provision of this Ordinance are hereby repealed insofar as the same affects this Ordinance.

SECTION 12. Effective Date. This Ordinance shall become effective in five days from the date of adoption.


ENACTED AND ORDAINED this 17th day of MARCH, 2015.

ATTEST:



Louis F. Smith, Secretary

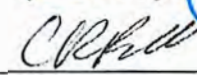
**EAST GOSHEN TOWNSHIP
BOARD OF SUPERVISORS**



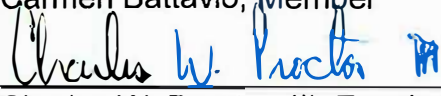
E. Martin Shane, Chairman



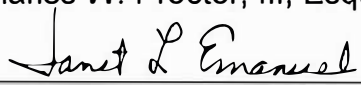
Senya D. Isayeff, Vice-Chairman



Carmen Battavio, Member



Charles W. Proctor, III, Esquire, Member



Janet L. Emanuel, Member