EAST GOSHEN TOWNSHIP PLANNING COMMISSION

Meeting Agenda

Wednesday, August 12, 2020

Rescheduled from August 5, 2020

VIA Telephone / Video Conference
7:00 PM

During this tele-conference Planning Commission meeting, public comment will be handled as follows:

- Participants are asked to call in by 6:55 pm.
- Participants will be asked to identify themselves when being accepted into the meeting
- The public will be muted during the meeting when the Commission is talking.
- The Chairman will ask for public comment on agenda items and participants will be unmuted and given an opportunity to ask questions and make comments.
- Participants wishing to comment must state their name and address and must speak one at a time.
- Participants are asked to turn down the volume if they are livestreaming the meeting on YouTube.
 - A. Call to Order / Pledge of Allegiance and Moment of Silence
 - B. Chairman will ask if anyone is going to record the meeting
 - C. Review of Tracking Log / Determine need for Workshop Meeting
 - D. Public Comment on Non-Agenda Items
 - E. Approval of Minutes
 - 1. July 1, 2020
 - F. Subdivision and Land Development Applications
 - 1. Synthes USA / 1303 Goshen Parkway (Land Development)
 - G. Conditional Uses and Variances
 - 1. Boyle, 1137 N. Chester Rd. / Dimensional Variance
 - H. Ordinance Amendments
 - I. Old Business
 - 1. Zoning Ordinance Review
 - 2. Review Model ordinances for Pipelines
 - J. New Business
 - K. Any Other Matter
 - L. Liaison Reports
 - M. Correspondence
 - N. Announcements

Bold Items indicate new information to review or discuss.

East Goshen Township Planning Commission Application Tracking Log

August 5, 2020 PC Meeting

Application Name	Application (CU,LD,ZO, SD,V, SE, CA)	Type (Sk, P, F)	Date Filed	Start Date	Date to Township Engineer	Date to CCPC	Date to Abutting Prop. / ABC's	Extension	PC NLT Action Date	BOS NLT Action Date	Hearing Date	Drop Dead date	Comments
Synthes USA / 1303 Goshen Parkway	LD	P/F	4/27/2020	5/6/2020	4/28/2020	4/30/2020	4/30/2020	1	9/15/2020	9/2/2020	NA	10/2/2020	
Boyle, 1137 N. Chester Rd.	V	Sk	7/29/2020	7/29/2020	NA	NA	7/31/2020		9/2/2020	9/15/2020	8/26/2020	9/25/2020	

Bold = New Application or PC action required

Completed in 2019

				ALLE STATE OF THE						11.5.6			
Paoli Pike TND Overlay District Ord.	ZO	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	12/17/2019	NA	Continued
ZEKS, 1302 Goshen Parkway	CU	Sk	8/27/2019	8/27/2019	NA	NA	8/29/2019		10/2/2019	10/29/2019	10/15/2019	10/25/2019	APPVD.
ESKE Development / Ducklings	LD	P/F	1/18/2019	2/6/2019	2/23/2019	2/23/2019	2/29/2019		4/3/2019	4/9/2019	NA	5/6/2018	APPVD.
PECO Gas Gate	CU	Sk	2/26/2019	2/26/2019	2/28/2019	NA	2/28/2019	1	4/3/2019	6/5/2019	5/14/2019	6/25/2019	APPVD.
				,									APPVD.
CZ Woodworking / 1422 Ardleigh Cir.	CU	Sk	3/29/2019	3/29/2019	NA	NA	4/22/2019	1	6/5/2019	6/18/2019	6/18/2019	6/27/2019	W
1351 Paoli Pike / The Hankin Group	ZO	SK	5/31/2019	NA	NA	NA	5/31/2019	NA	NA	NA	NA	NA	DENIED
1339 Enterprise Drive	CU	Sk	5/30/2019	5/30/2019	NA	NA	6/11/2019		7/10/2019	7/16/2019	7/16/2019	7/29/2019	APPVD.

1 DRAFT 2 EAST GOSHEN TOWNSHIP 3 **PLANNING COMMISSION MEETING** 4 July 1, 2020 5 6 The East Goshen Township Planning Commission held a regularly sheduled meeting on Wednesday, July 7 8

1, 2020. Because of the COVID-19 restrictions the meeting was held via teleconference.

- Members present are highlighted:
- 9 Chair - Ernest Harkness
- 10 Vice Chair – John Stipe
- 11 Dan Daley
- 12 **Edward Decker**
- 13 Michael Koza
- 14 Mark Levy
- 15 Michael Pagnanelli
- 16 Also present were:
- 17 Mark Gordon, Zoning Officer
- 18 Martin Shane, Township Supervisor
- 19 Susan D'Amore, Township Staff

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COMMON ACRONYMS:

BOS – Board of Supervisors CPTF - Comprehensive Plan Task Force CVS - Community Visioning Session BC – Brandywine Conservancy SWM – Storm Water Management CB - Conservancy Board CCPC - Chester Co Planning Commission ZHB – Zoning Hearing Board

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A. FORMAL MEETING - 7 p.m.

- 1. Ernie called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and a moment of silence to remember our first responders, military and healthcare providers.
- 2. Ernie asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
- 3. Ernie checked the log.
- 4. The minutes of the June 17, 2020 meeting were approved as amended.

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B. SUBDIVISION AND LAND DEVELOPMENT APPLICATIONS

- 1. Synthes USA, 1303 Goshen Parkway (Land Development). Synthes representatives: Brendan Burke, Esq., David Citro, Joshua Vanderveen, Todd McVoy and Ryan Freese. Mark mentioned that documents have been received from the Township Engineer, Conservancy Board, Chester Co. Planning Commission, and Fire Service review. Mr. Burke spoke about the recommendations that are resolved. The bigger issue is the Fire Service review which was just received on June 24, 2020. He spoke about the issues and they will work through them.
- 42 Dan mentioned there was a comment about the height of the buildings. David Citro confirmed that the
- 43 height will be the same for both the current building and the new addition. Joshua Vanderveen
- 44 commented that the roof screening that will be used to hide equipment on the roof would make it appear 45 to be taller.
- 46 Fire Service - David Citro commented on 2 of the issues. #1 the Fire Department Connection (FDC). He
- 47 explained how they will conform to this. #3 Dead End Access. He mentioned that in the NW corner of 48
- the North parking lot, they can make access to the next parking lot. Mr. Burke mentioned that they will
- 49 check to see if any agreement will be needed for this access. Mark pointed out that there are other shared 50 accessways on the property. Dan mentioned that he just checked their subdivision plan which shows a 24
- 51 foot access easement to the next parking lot. Mark commented that the north parking area was added in
- 52 2008. Todd McVoy commented that they want to get the exterior work done before winter. He
- 53 explained their timeline in detail. Ernie mentioned that the PC is having a workshop on July 15. All of

PC 7-1-20 draft 1 the PC members can be there. Mark commented to David Citro that if they have all of the recommendations completed and to him by July 9th then he can get the packet to the PC before the July 15 workshop. He also offered to have a virtual meeting with Mr. Citro and the fire inspector, Vincent Di Martini. Mark commented that if they get approval from the PC on July 15 then they can probably present to the BOS on August 4, 2020.

C. OLD BUSINESS

1. Zoning Ordinance Review - Ernie mentioned that Brian Sweet of the Futurist Committee would like to meet with the PC to discuss Business Parks. Ernie is going to sign into the FC meeting on July 16.

2. Review Model Ordinances for Pipelines - Ernie attended the Pipeline Taskforce meeting and discussed setbacks. Ernie agrees that a letter should be prepared using Mark's format in his memo to go to the BOS. Dan mentioned that the maps Mark used in the presentation last month showing setbacks are very important so sharing them is critical. Mark will work with Kristin Camp, Township Solicitor, about wording for undeveloped properties and types of facilities (assisted living, child care, school, etc.) Ernie spoke about different types of probability vs risk. He also suggested putting egress from a building on the opposite side of the pipeline.

D. NEW BUSINESS

20 None

E. LIASION REPORTS

None

F. ANY OTHER MATTER

None

G.. ADJOURNMENT

There being no further business, Dan made a motion to adjourn the meeting. Ed seconded the motion. The meeting was adjourned at 7:50 pm. The next regular meeting will be held on Wednesday, August 5, 2020 at 7:00 p.m. The PC will hold a workshop meeting on Wednesday July 15, 2020 at 7:00 p.m.

Respectfully submitted,	 	 	

Ruth Kiefer, Recording Secretary

PC 7-1-20 draft 2

Memorandum

East Goshen Township 1580 Paoli Pike West Chester, PA 19380

Voice: 610-692-7171 Fax: 610-692-8950

E-mail: mgordon@eastgoshen.org

Date: 7/31/2020

To: Planning Commission

From: Mark Gordon, Township Zoning Officer
Re: Synthes USA / JABIL / Land Development Application

Dear Commissioners,

As you know, the Township has received a Land Development Application from Synthes USA for their facility at 1303 Goshen Parkway. This will be the third review of this plan for the PC.

Synthes received Conditional Use Approval in 2017, to add an addition to the existing facility as well as associated parking lot and pedestrian walkway modifications.

The Land Development application proposes a 1,921 square foot addition to the existing manufacturing facility along with the required storm water management and landscape enhancements. Parking changes are not included in this application or plan.

TOWNSHIP AND CONSULTANT REVIEWS:

Zoning:

• The applicant needs to demonstrate how they will completely screen the proposed rooftop mechanical units IAW §240-19F(2). Appropriate planning of the rooftop structures and required screening needs to be considered now. Final review and approval will conducted by staff during the building permit review process, however this is the time to review the ordinance requirements and plan accordingly.

<u>Conservancy Board:</u> The CB reviewed this application at their meeting May 13, 2020. **The CB recommendations have been incorporated in the latest revised plans.**

<u>Pennoni</u>: The Township engineer has not reviewed the latest revision of the plans and his last review letter was dated June 25, 2020.

The one comment from the previous plan revision pertains to the addition of a parking lot light standard. That light standard has been removed from the plans.

We do not have a final review letter from the Twp. Engineer due to the timing of this most recent submission, I will try to have one for the PC at the time of the meeting.

NEW COMMENT:

The parking lot change to accommodate for FD Vehicle access may require a new parking island(s).

<u>Chester County Planning Commission:</u> The CCPC has forwarded their review comments. The CCPC comments are all administrative in nature.

<u>Fire Service Review:</u> The Twp. Code Department has conducted a Fire Service review of the plans.

• Comment #3: The Fire Code Requires that buildings protected with fire suppression systems maintain at least two accessible areas to the roof for fire department vehicles. In this case the front of the building is one access point, and the rear of the building is the second access point. The western side of the building does not meet the access requirement because of the distance the building sits from the access drive. The loading dock area along the western side of the building cannot be considered because there could be large vehicles parked in the loading area at the time of an emergency. Since the rear of the building must be used as one of the required access points to the roof, the access drive must not be a "Dead-End access road".

The dead end access condition has been addressed by providing access to the adjoining parking lot. A cross-access easement agreement should be provided as well as a parking island if this access road is to be used on a regular for regular vehicular access.

Is there interior access to the roof from the main building?

Addressed

• The addition needs to have ladder access to the main roof.

Addressed

WAIVER REQUESTS:

The applicant has requested four waivers from the SALDO:

§205-28: Preliminary plan. The applicant is proposing a Preliminary / Final Plan submission.

This waiver request is customary and justified.

§205-37C.(7): Pipe Sizes: the waiver request if for pipe sizes within the private storm water system.

This waiver request is acceptable to the Twp. Engineer and justified.

§205-39: Traffic Impact Study: This project does not warrant a Traffic Study do to the limited scope and size of the proposed addition.

This waiver request is acceptable and justified.

§205-40: Water Study: This project does not warrant a Water Study do to the limited scope and size of the proposed addition.

This waiver request is acceptable and justified.

STAFF RECOMMENDATION:

At this time, staff and the GFC are satisfied with the resolution proposed for the fire apparatus access to the rear of the building, however the Township Engineer has not commented yet. I believe these final items are administrative and can be addressed with Staff and the township Engineer prior to submission to the Board of Supervisors.

Staff has no objection to the PC taking action on this application. I have prepared the following Draft Motion for your considerations.

DRAFT MOTION:

Mr. Chairman, I move that the Planning Commission recommend approval of the Land Development application for the Synthes / Jabil Finishing Plant Expansion project dated March 31, 2020 last revised July 27, 2020; and grant the waivers requested with the following conditions:

- 1. The Applicant agrees to design the roof top structures in accordance with the Township Zoning Ordinance requirement, §240-19.F(2).
- 2. The Applicant agrees to address any final comments from Staff and the Township Engineer prior to submission of the Plan to the Township Board of Supervisors.



July 29, 2020

East Goshen Township
Mr. Mark A. Gordon, CFM
Director of Code Enforcement / Zoning Officer
1580 Paoli Pike
West Chester, PA 19380

RE: 1303 Goshen Parkway – Preliminary / Final Land Development Jabil Finishing Plant Expansion – Fire Service Site Plan 1303 Goshen Parkway, West Chester, PA 19380 Mainstay Project Number: 19360

Mr. Gordon:

We have received the June 24 review memo from Mr. DiMartini for the above-referenced project. Following discussions with the Applicant, as well as our teleconference on July 6, and Mr. DiMartini's site visit this morning, we offer the following responses:

- 1. Fire Department Connection (FDC) is located behind a generator on the west wall, is unmarked, and is fashioned as a single 2 ½-inch connection. The FDC needs to be moved to an accessible location (to be determined by the Fire Chief). It also needs to be properly marked (identified) with signage and has to be fashioned as a 5 inch Storz connection on a 30-degree swivel.
 - <u>MEG RESPONSE</u>: Please refer to new drawing C9.02. Per our July 6 teleconference, we are now proposing a dry pipe connection with a 5-inch Storz sidewalk standpipe connection. The dry pipe drains to a central, accessible location outside the building.
- 2. There is an entrance door on the southwest corner of the building (near the loading docks and near a roll-up door). That door (by signage) warns of combustible liquids inside. It needs to be determined what liquids are being stored and if the storage is proper and protected. It must also be determined if they are being stored in the exit way or exit discharge.
 - <u>MEG RESPONSE</u>: Jabil conducted an on-site review of Item #2 with Vincent DiMartini and Mark Gordon on July 29. The combustible liquids stored in the storage bay described in Item #2 are machine cutting oils and lubricants. The storage is properly protected by a fire sprinkler system designed for the space and for the stored combustible materials. The exit from this storage bay is solely for the use of personnel in the immediate area.
- 3. The turning radius at the end of the parking lot on the north side of the building (in the area where the addition is going) is questionable for the responding fire apparatus. It does not appear sufficient for fire apparatus to turn (and even if it sufficient) the fire apparatus would turn into a dead-end access roadway with no way of turning around. Applicant must demonstrate reconfiguration of that area and satisfy the requirements in Section 503.2.5 of the 2015 International Fire Code, entitled Dead Ends (below) and Appendix D.
 - MEG RESPONSE: Please refer to new drawings C9.01 and C9.02. Based on dimensional criteria provided by the Township, drawing C9.01 shows maneuverability of the Tower 54



apparatus within the existing parking areas behind the proposed expansion. This maneuverability was confirmed by the Fire Department on-site on July 29.

Drawing C9.02 details a new emergency access connection to the adjacent J&J property via a GEOBLOCK® paver system suitable for emergency access lanes. The new emergency access connection eliminates the dead-end condition.

4. The trees in the traffic island in the north side of the building need to be pruned so that fire apparatus can maneuver without obstruction.

MEG RESPONSE: The Applicant has pruned trees back to the face(s) of curbs and to a height of 12'-14'.

Please process the enclosed for review. If you have any questions, or should you require additional information, please do not hesitate to contact me at (215) 646-5595 x 115 or dcitro@megr.com.

Best regards,

Mainstay Engineering Group, Inc.

Dayid F. Citro, P.E.

Civil Engineering Department Manager

CC: Todd McVoy (JABIL)

Brendan Burke, Esq. (Law Offices of Brendan P. Burke, LLC) John Neilson, RA (Johnsrud/Bergmann Architects)



July 29, 2020

East Goshen Township
Mr. Mark A. Gordon, CFM
Director of Code Enforcement / Zoning Officer
1580 Paoli Pike
West Chester, PA 19380

RE: 1303 Goshen Parkway – Preliminary / Final Land Development Jabil Finishing Plant Expansion

1303 Goshen Parkway, West Chester, PA 19380

Mainstay Project Number: 19360 Pennoni / EGT Reference: EGOST00131

Mr. Gordon:

We have received the Township Engineer's technical review letter, prepared by Mr. Nathan M. Cline, P.E., and dated June 25, 2020 for the above-referenced project, and we offer the following responses:

ZONING

1. All new structures shall incorporate a complete visual screen for all rooftop structures. (§240-19.F(2))

Pending. The applicant has indicated this requirement will be reflected on the architectural drawings.

MEG RESPONSE: We are providing 11" x 17" copies of the architectural drawings showing compliance with this section.

2. It is unclear why the required building coverage area in the Zoning Summary table is blacked out. Please indicate the required 30% in the table. (§240-19.G)

Resolved. The Zoning Summary table has been updated.

MEG RESPONSE: No additional response required

3. The rear yard shall be measured from the property line to the proposed addition and the Zoning Summary table updated. (§240-19.G)

Resolved. The Zoning Summary table has been updated.

MEG RESPONSE: No additional response required

4. A detail for the proposed lighting shall be provided to confirm the light is completely shielded and/or covered by an appropriate translucent cover. (§240-27.C(7)(b))

Outstanding. It appears the applicant has provided a detail for the lighting adjacent to the walkway however no detail has been provided for the parking lot light.

MEG RESPONSE: After evaluation, the parking lot light has been removed from scope, and no detail is required.



SUBDIVISION AND LAND DEVELOPMENT

5. The applicant is proposing preliminary/final plan approval, therefore a waiver from §205.28 should additionally be requested.

Resolved. The applicant has requested a waiver.

MEG RESPONSE: No additional response required

- 6. Regarding preliminary and final plan requirements (§205-30 and §205-33), the following should be provided:
 - a. The name of all abutting or adjacent property owners in the vicinity of the project including those across Goshen Parkway. (§205-30.B(5))

Resolved. Property owners have been added to the plans.

- b. Location and elevation of the benchmark to which contour elevations refer. (§205-30.B(8))

 Resolved. Benchmark information has been added to the plans.
- c. Such private deed restrictions and/or a statement of any restrictions previously imposed in accordance with §205-33.C(2). If no such deed restrictions exist or will be imposed, it is recommended a note stating the same be indicated on the plan.

Resolved. The applicant added notes to sheet C0.12.

MEG RESPONSE: No additional response required

STORMWATER MANAGEMENT

- 7. Regarding the Erosion and Sediment Control Plans, please provide the following, including details, if applicable:
 - a. Indicate construction fence around the proposed infiltration area.

Resolved. The construction fence has been added to the plans.

b. Provide a means to prevent sediment from being deposited on public roads, such as a rock construction entrance and/or wash station.

Resolved. The has proposed a wash station

c. Indicate a concrete washout area.

Resolved. A concrete washout area is now indicated on the plans

d. Indicate soil stockpile area.

Resolved. A soil stockpile area is now indicated on the plans.

e. It is unclear how the outlet modifications will be completed without possible additional earth disturbance. Please revise the limit of disturbance accordingly.

Resolved. Work in this area is limited to modifications to the outlet structure; no earth disturbance will be required.

MEG RESPONSE: No additional response required



8. Wherever possible, infiltration should be designed to accommodate the entire water quality and runoff volume required in §195-19. (§195-20.A)

Resolved. The applicant provided calculations which demonstrate the requirement is met.

MEG RESPONSE: No additional response required

9. The applicant should clearly identify the predeveloped and post-developed areas and specifically BMP drainage area in the report.

Resolved. The applicant has identified the drainage areas on the drainage area plan.

MEG RESPONSE: No additional response required

10. Please provide the location of the test pit used for the design of the proposed infiltration facility on the plan. (§195-20.I)

Resolved. The applicant has indicated the test pit location.

MEG RESPONSE: No additional response required

11. The applicant should provide Worksheet 4 calculations for the area tributary to the proposed infiltration BMP to demonstrate compliance with §195-19 and §195-20.

Resolved. The applicant has indicated the BMP tributary area on the drainage area plans and has provided calculations demonstrating compliance with §195-19 and §195-20.

MEG RESPONSE: No additional response required

12. The proposed BMP does not appear to be included in the HydroCAD model. Please provide routing calculations for the proposed infiltration BMP. (§195-19 and §195-20)

Resolved. The applicant has provided calculations for the proposed infiltration bed.

MEG RESPONSE: No additional response required

13. The closest infiltration test to the proposed BMP appears to be more than 75 feet away from the proposed location. The applicant should provide a test pit and infiltration test at the proposed infiltration elevation in the area of the proposed BMP. (§195-20J(1)

Resolved. The applicant has provided infiltration testing adjacent to the proposed infiltration bed.

MEG RESPONSE: No additional response required

14. Please provide calculations to ensure the system will dewater in 72 hours. (§195-20-J(3))

Resolved. The applicant has provided calculations which demonstrate that the infiltration bed and basin dewater within 72 hours.

MEG RESPONSE: No additional response required

15. The plans shall note that during site construction, all infiltration practice components shall be protected from compaction due to heavy equipment operation or storage of fill or construction material. Infiltration areas shall also be protected from sedimentation. Areas that are accidentally compacted or graded shall be remediated to restore soil composition and porosity. (§195-20-M)



Resolved. The applicant has provided notes on Sheet C1.01 regarding equipment operation within the stormwater BMP areas.

MEG RESPONSE: No additional response required

16. Where roof drains are designed to discharge to infiltration practices, they shall have appropriate measures to prevent clogging by unwanted debris (for example, silt, leaves and vegetation). Such measures shall include but are not limited to leaf traps, gutter guards and cleanouts. (§195-20-0)

Resolved. The applicant has indicated leaf separators on the plans and details.

MEG RESPONSE: No additional response required

17. All infiltration practices shall have appropriate positive overflow controls. Please provide a detail and routing calculations for the proposed BMP.

Resolved. The applicant has provided an overflow for the infiltration bed.

MEG RESPONSE: No additional response required

18. Please provide complete delineation of the flow paths used for calculating the time of concentration (Tc) for the predevelopment and postconstruction conditions. (§195-27.B(14))

Resolved. The applicant provided Tc flow paths on the drainage area plans.

MEG RESPONSE: No additional response required

19. Please provide a statement, signed by the applicant, acknowledging that any revision to the approved SWM site plan shall be submitted to and approved by the municipality and that a revised erosion and sediment control plan shall be submitted to, and approved by East Goshen Township for a determination of adequacy prior to construction of the revised features on the PCSM Plan. (§195-27.A(3))

Resolved. The applicant has provided the statement on Sheet C6.03.

MEG RESPONSE: No additional response required

20. Please provide the required signature block signed and sealed by the qualified licensed professional responsible for the preparation of the SWM site plan. (§195-27.A(4))

Resolved. The applicant provided the signature block on Sheet C6.03.

MEG RESPONSE: No additional response required

21. A detail for the proposed infiltration BMP shall be provided. (§195-27.B(13))

Resolved. The applicant has provided a detail on Sheet C3.21.

MEG RESPONSE: No additional response required

22. The PCSM Plan includes notes regarding a Notice of Termination. Since an NPDES permit is not required the notes should be removed.

Resolved. The applicant removed the note.

MEG RESPONSE: No additional response required

23. The applicant is reminded that a Stormwater Management Operation and Maintenance Agreement shall be completed. (§195-36) This document is available on the Township website.



Please sign two copies and return to the Township for authorization by the Board of Supervisors. The Township will then return to the applicant for recording with the plan, at the County. A copy of the time stamped document and proof of recording should then be returned to the Township.

The applicant has acknowledged this requirement.

MEG RESPONSE: The Applicant is providing an O&M Agreement to the Township under separate cover.

24. It appears the proposed outlet structure modification may be on the adjacent property, which is noted as under different ownership; please confirm authorization has been provided from the property owner.

The applicant has stated that they will secure the permissions prior to final plan approval.

<u>MEG RESPONSE</u>: The Applicant is providing proof of authorization to the Township under separate cover.

25. The applicant should provide an easement granting the Township ingress and egress to the stormwater BMP's. Note: a blanket easement is acceptable; see below. (§195-27.B(18)(c))

Resolved. The applicant has offered a blanket easement on a note on Sheet C6.01.

MEG RESPONSE: No additional response required

26. Per §195-39, the Township requests that the following be added to the plans regarding stormwater management easement: "A blanket stormwater management easement is provided over and across the property in favor of East Goshen Township to allow the Township and its agent and designees access to the proposed stormwater management facilities. The Township is granted the right, but not the duty, to access and conduct periodic inspections and to undertake other actions that may be necessary to enforce the requirements of the Township's Stormwater Management Ordinance or of any applicable O&M plan or O&M agreement."

Resolved. The applicant added the note to Sheet C6.01.

MEG RESPONSE: No additional response required

GENERAL

27. We recommend the Conditional Use approval be noted on the plans and referenced below the Zoning Summary table (Sheet C0.12) regarding the impervious coverage.

Resolved. The Conditional Use approval has been added to the plans below the Zoning Summary table.

MEG RESPONSE: No additional response required

28. The plans should indicate any additional signage proposed.

The applicant has indicated there is no additional signage proposed as part of this land development.

MEG RESPONSE: No additional response required



Please process the enclosed for review. If you have any questions, or should you require additional information, please do not hesitate to contact me at (215) 646-5595 x 115 or dcitro@megr.com.

Best regards,

Mainstay Engineering Group, Inc.

David F. Citro, P.E.

Civil Engineering Department Manager

CC: Todd McVoy (JABIL)

Brendan Burke, Esq. (Law Offices of Brendan P. Burke, LLC) John Neilson, RA (Johnsrud/Bergmann Architects)

PRELIMINARY / FINAL LAND DEVELOPMENT

JABIL FINISHING PLANT EXPANSION 1303 GOSHEN PARKWAY

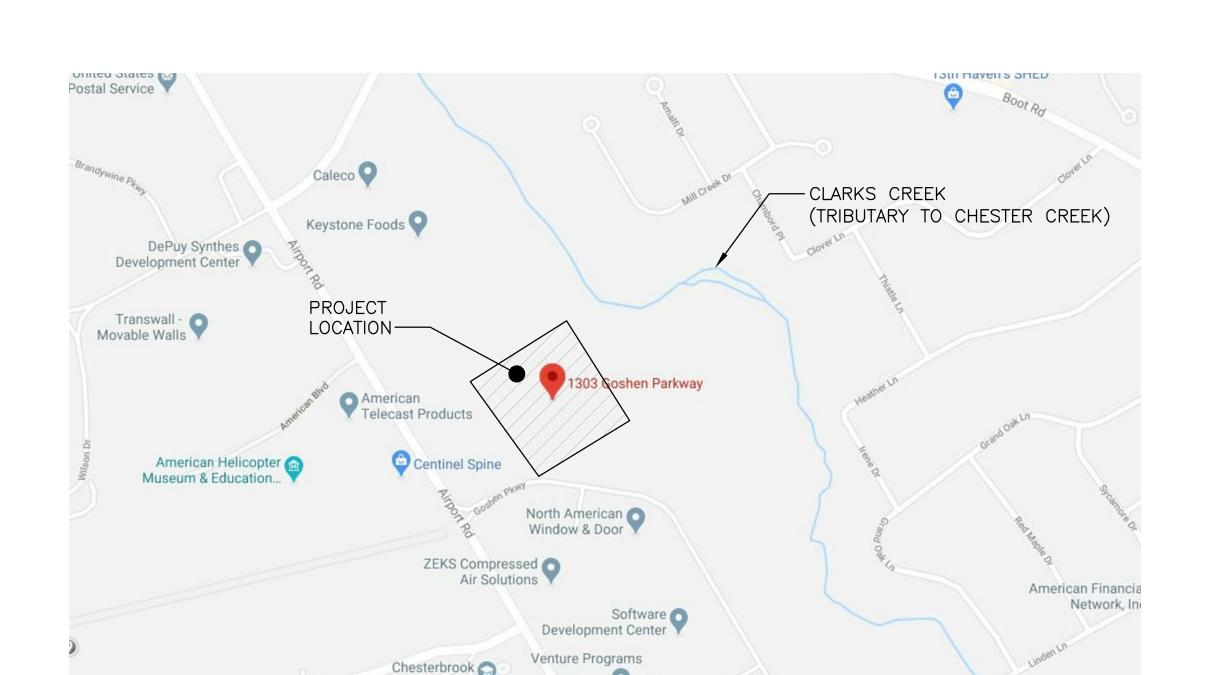
RECORD OWNER/APPLICANT:

SYNTHES USA HQ INC 1302 WRIGHTS LANE E WEST CHESTER, PA 19380

ARCHITECT: JOHNSRUD ARCHITECTS, A BERGMANN COMPANY 2700 INTERPLEX DRIVE TREVOSE, PA 19053

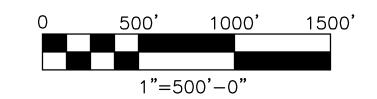
MEP ENGINEER: GENESIS ENGINEERS 1 SENTRY PARKWAY, SUITE 100 BLUE BELL, PA 19422

<u>CIVIL & STRUCTURAL ENGINEER:</u> MAINSTAY ENGINEERING GROUP, INC. 1750 WALTON ROAD BLUE BELL, PA 19422





SITE LOCATION MAP SCALE 1"=500'



ABBREVIATIONS

	 	
©	AT	(N) NO
BC BG BLDG	BOTTOM CURB BELOW GRADE BUILDING	ос
BW	BOTTOM OF WALL	PC PSI
CAL CO CONC	CALIPER CLEAN OUT CONCRETE	PVC RCP
CONT	CONTINUOUS OR CONTINUE	S
DI DWG DYL	DIAMETER DRAWING DOUBLE YELLOW LINE	SAN SF SPEC SWL
(E) EL EP EX	EXISTING ELEVATION EDGE OF PAVEMENT EXISTING	TC TG TOP TSLAB
F.E.S. FFE	FLARED END SECTION FINISHED FLOOR ELEVATION	TYP TW
GALV	GALVANIZED	UG
INV	INVERT	UON
LF	LINEAL FOOT	VIF
MAX ME	MAXIMUM MATCH EXISTING	14 /
MEW	MIDDLE EACH WAY	W W/
MH MIN	MANHOLE MINIMUM	₩V
MISC	MISCELLANEOUS	WWF

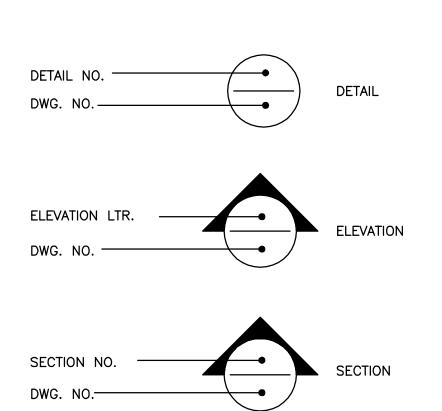
MONUMENT

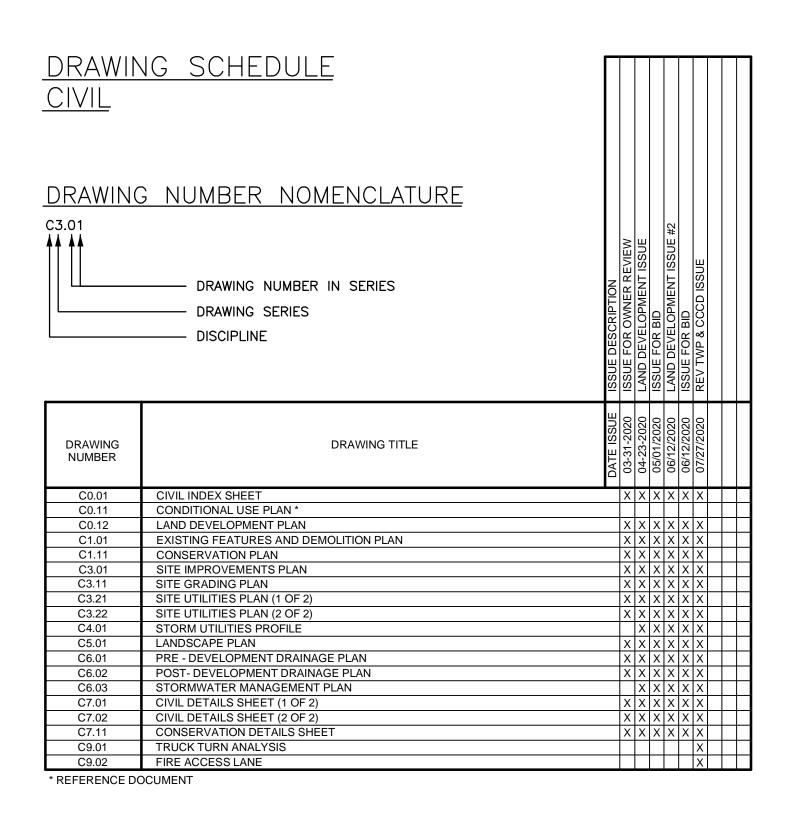
MON

NUMBER ON CENTER (S) POINT OF CURVATURE POUNDS PER SQUARE INCH POLYVINYL CHLORIDE REINFORCED CONCRETE PIPE SANITARY SEWER

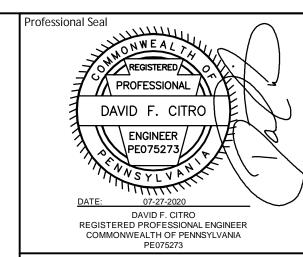
SQUARE FOOT SPECIFICATION (S) SINGLE WHITE LINE TOP CURB
TOP OF GRATE TOP OF PAVEMENT TOP OF SLAB TYPICAL TOP OF WALL UNDERGROUND

UNLESS OTHERWISE NOTED VERIFY IN FIELD WATER VALVE WELDED WIRE FABRIC









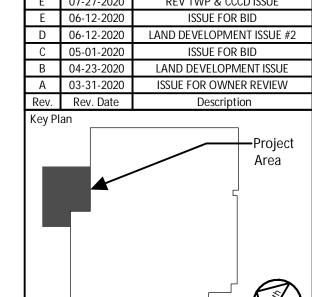




MEG PROJECT NO. 19360

THESE DRAWINGS SHALL NOT BE UTILIZED FOI CONSTRUCTION UNLESS EXPLICITLY NOTED AS "CONSTRUCTION ISSUE". THE INTENDED USE O THESE DRAWINGS SHALL BE ONLY AS INDICATI THAT ARE USED FOR ANY PURPOSE OTHER THA

INDICATED ON THESE DRAWINGS.





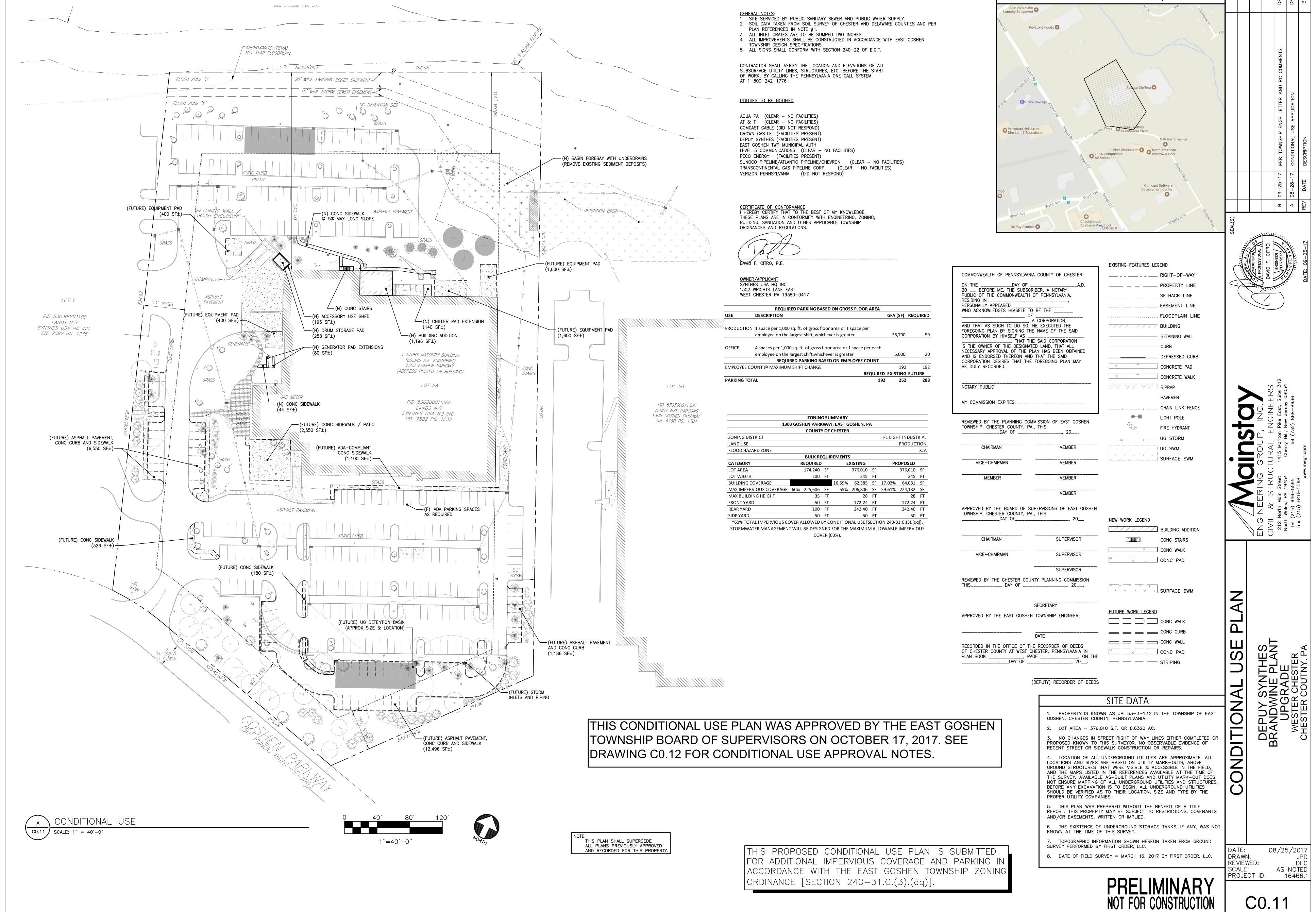


West Chester, PA 19380

FINISHING PLANT **EXPANSION**

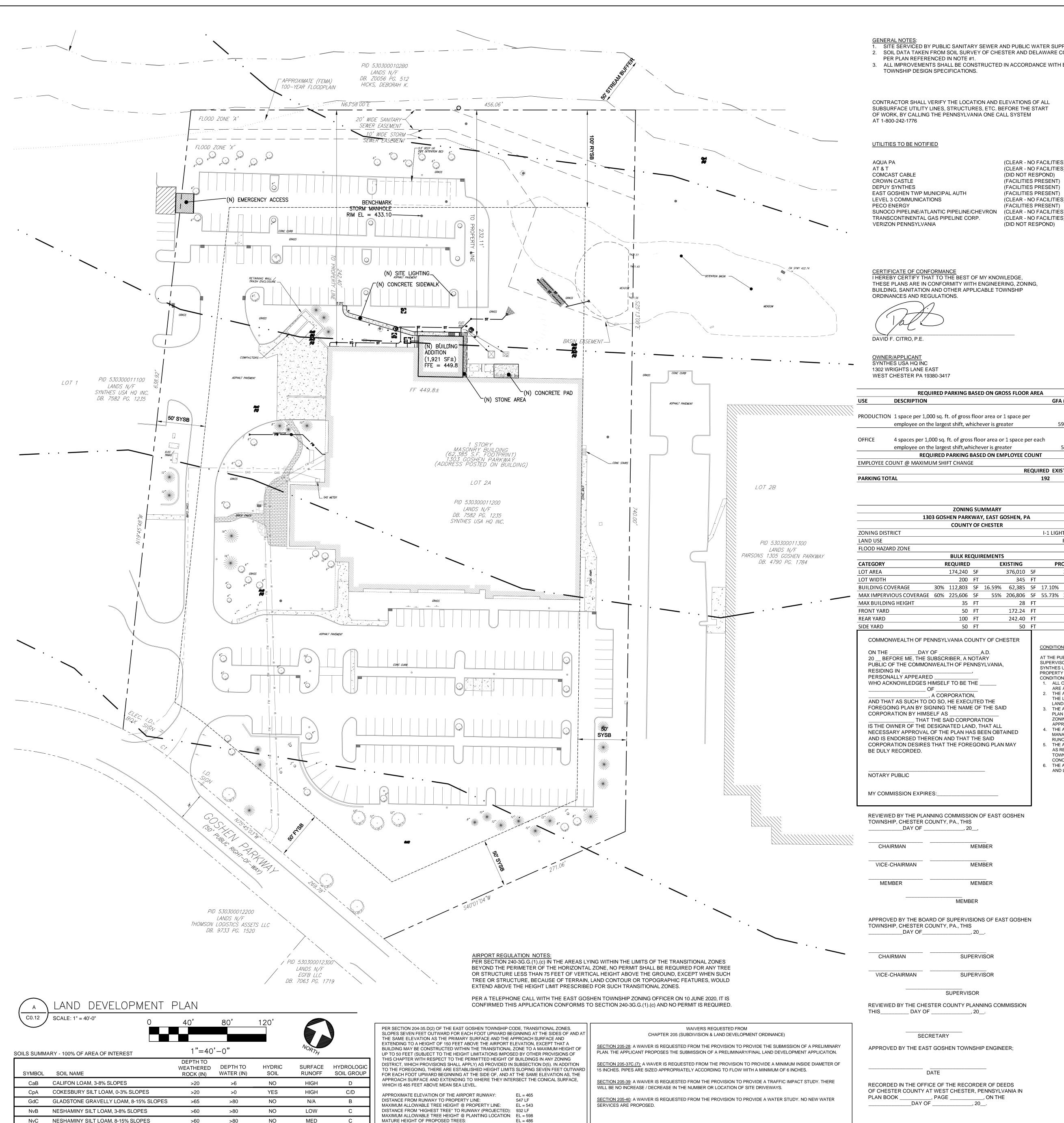
064-WC-02-006 AFH DFC MEH

CIVIL INDEX SHEET



C0.11

LOCATION MAP (1"=400')



LOCATION MAP (1"=400') GENERAL NOTES:

1. SITE SERVICED BY PUBLIC SANITARY SEWER AND PUBLIC WATER SUPPLY. 2. SOIL DATA TAKEN FROM SOIL SURVEY OF CHESTER AND DELAWARE COUNTIES AND Keystone Foods 🔘 PER PLAN REFERENCED IN NOTE #1. 3. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EAST GOSHEN TOWNSHIP DESIGN SPECIFICATIONS. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. BEFORE THE START OF WORK, BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM UTILITIES TO BE NOTIFIED S Delco Savings (CLEAR - NO FACILITIES) (CLEAR - NO FACILITIES) (DID NOT RESPOND) (FACILITIES PRESENT

GFA (SF) REQUIRED

5,000

I-1 LIGHT INDUSTRIAL

PROPOSED

PRODUCTION

376,010 SF

345 FT

28 FT

172.24 FT

232.11 FT

REQUIRED EXISTING

ZONING SUMMARY

COUNTY OF CHESTER

BULK REQUIREMENTS

376,010 SF

30% 112,803 SF 16.59% 62,385 SF 17.10% 64,306 SF

345 FT

28 FT

50 FT

172.24 FT

242.40 FT

REQUIRED

A CORPORATION,

174,240 SF

200 FT

50 FT

50 FT

MEMBER

SUPERVISOR

SUPERVISOR

SUPERVISOR

(DEPUTY) RECORDER OF DEEDS

192 252

192

(FACILITIES PRESENT)

(FACILITIES PRESENT)

(CLEAR - NO FACILITIES)

(CLEAR - NO FACILITIES)

(DID NOT RESPOND)

(FACILITIES PRESENT)

American Helicopter Museum & Education... NTK Performance Lubker Distribution North American Window & Door Comcast Software **EXISTING FEATURES LEGEND**

RIGHT-OF-WAY ______ PROPERTY LINE SETBACK LINE **EASEMENT LINE** _____ FLOODPLAIN LINE BUILDING **RETAINING WALL** DEPRESSED CURB CONCRETE PAD **CONCRETE WALK PAVEMENT CHAIN LINK FENCE** LIGHT POLE FIRE HYDRANT **UG STORM** _____ ST _____ ST ____ _ - - - - - - - -UG SWM SURFACE SWM

NRCS SOILS BOUNDARY

SURFACE SWM

STRIPING

NEW WORK LEGEND

50 FT **BUILDING ADDITION** * A ... CONC STAIRS CONDITIONAL USE ORDER: CONC WALK AT THE PUBLIC HEARING ON OCTOBER 17, 2017, THE BOARD OF SUPERVISORS APPROVED THE CONDITIONAL USE APPLICATION OF CONC PAD SYNTHES USA TO INCREASE THE IMPERVIOUS COVER ON THEIR PROPERTY AT 1303 GOSHEN PARKWAY TO 60% WITH THE FOLLOWING

ARE ADDRESSED ON THE LAND DEVELOPMENT PLAN THE APPLICANT RETURN TO THE CONSERVANCY BOARD DURING THE LAND DEVELOPMENT REVIEW PROCESS TO PRESENT THEIR LANDSCAPE PLAN. THE APPLICANT ADJUSTS THE PROPOSED PLANTINGS ON THE PLAN IN ORDER TO MEET THE REQUIREMENTS OF THE AIRPORT

1. ALL OUTSTANDING COMMENTS FROM THE TOWNSHIP ENGINEER

ZONING FOR LANDSCAPE PLANTINGS WITHIN THE AIRPORT APPROACH ZONE OF THE PROPERTY THE APPLICANT CONSIDERS IMPLEMENTING A VARIETY OF BEST MANAGEMENT PRACTICE METHODS TO DEAL WITH STORM WATER RUNOFF FROM THE INCREASED IMPERVIOUS COVERAGE.

THE APPLICANT SHALL SCREEN THE OUTDOOR STORAGE FACILITY AS REQUIRED BY SECTION 240-24E.(2)., OF THE EAST GOSHEN TOWNSHIP ZONING ORDINANCE, WITH A FENCE THAT WILL CONCEAL IT FROM ADJACENT PROPERTIES. 6. THE APPLICANT SHALL FOLLOW ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES.

FUTURE WORK LEGEND

CONC WALK CONC CURB CONC WALL CONC PAD ____ *___ ∧* ____ *∧* ____

SITE DATA

PROPERTY IS KNOWN AS UPI 53-3-1.12 IN THE TOWNSHIP OF EAST GOSHEN, CHESTER COUNTY, PENNSYLVANIA. 2. LOT AREA = 376,010 S.F. OR 8.6320 AC.

3. NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

4. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN. ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.

5. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED. 6. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.

SURVEY PERFORMED BY FIRST ORDER, LLC.

7. TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND

8. DATE OF FIELD SURVEY = MARCH 16, 2017 BY FIRST ORDER, LLC.

BENCHMARK NOTES:

1. SITE TOPOGRAPHIC BENCHMARK IS A STORM MANHOLE LID LOCATED IN THE NORTHEASTERN QUADRANT OF THE SUBJECT PARCEL NORTHERN PARKING LOT. 2. BENCHMARK ELEVATION = 433.10

DEED RESTRICTIONS:

- 1. NO DEED RESTRICTIONS IN ACCORDANCE WITH EAST GOSHEN TOWNSHIP CODE §205-33.C(2) EXIST ON THE
- SUBJECT PROPERTY. 2. NO DEED RESTRICTIONS IN ACCORDANCE WITH EAST GOSHEN TOWNSHIP CODE §205-33.C(2) ARE PROPOSED FOR THE SUBJECT PROPERTY.



DAVID F. CITRO
REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF PENNSYLVANIA
PE075273

A Bergmann Company

Johnsrud & Associates Architects, LLC 2700 Interplex Drive, Trevose, PA 19053

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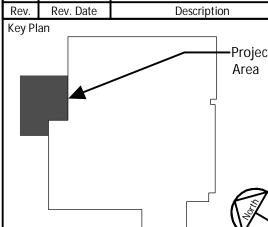


CIVIL & STRUCTURAL ENGINEERS 1750 WALTON ROAD, BLUE BELL, PA 19422

MEG PROJECT NO. 19360

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INDICATED ON THESE DRAWINGS.						
F	07-27-2020	REV TWP & CCCD ISSUE				
E	06-12-2020	ISSUE FOR BID				
D	06-12-2020	LAND DEVELOPMENT ISSUE #2				
С	05-01-2020	ISSUE FOR BID				
В	04-23-2020	LAND DEVELOPMENT ISSUE				
Α	03-31-2020	ISSUE FOR OWNER REVIEW				
Rev.	Rev. Date	Description				





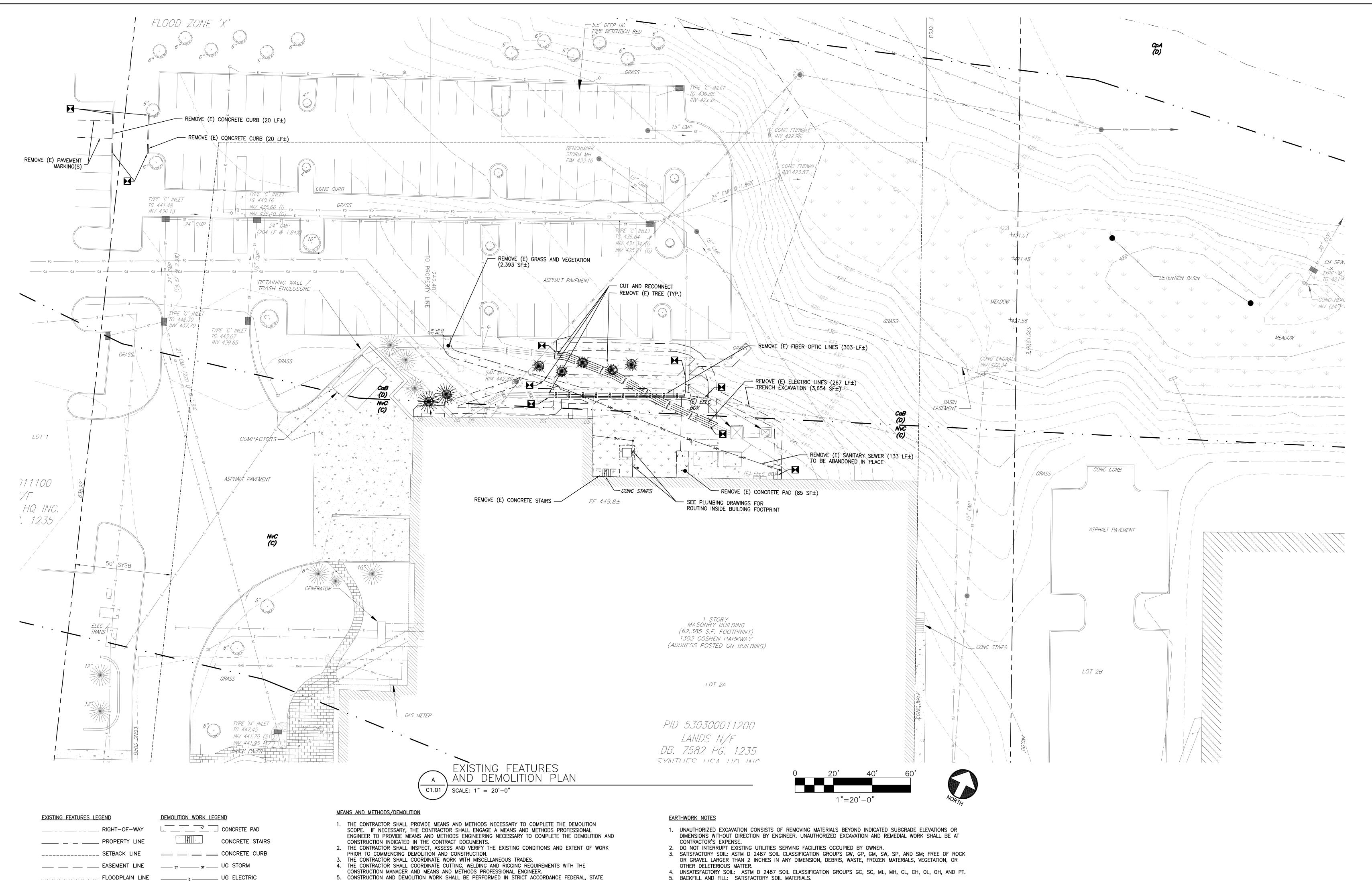
1303 Goshen Parkway West Chester, PA 19380

FINISHING PLANT **EXPANSION**

JA Project No. Drawn By: Lead: Checked By:

064-WC-02-006 AFH DFC MEH

LAND DEVELOPMENT PLAN



EXISTING FEATURES LEG	<u>GEND</u>
	RIGHT-OF-WAY
	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	FLOODPLAIN LINE
7/////////	BUILDING
	RETAINING WALL
	CURB
	DEPRESSED CURB
4	CONCRETE PAD
4	CONCRETE WALK
	RIPRAP
	PAVEMENT
x x	CHAIN LINK FENCE
•	LIGHT POLE
FH -\(\)-	FIRE HYDRANT
—— Е ——— Е ———	UG ELECTRIC
GAS	UG GAS
ST ST	UG STORM

____ SAN _____ UG SANITARY

__ _ _ T_ _ _ UG TELECOMM

_____ w _____ w ____ UG WATER

L _ _ _ _ UG SWM

____ san _____ UG SANITARY

VEGETATION

______ UG FIBER OPTIC

SHADE TREE

PINE TREE

- 5. CONSTRUCTION AND DEMOLITION WORK SHALL BE PERFORMED IN STRICT ACCORDANCE FEDERAL, STATE
- AND LOCAL RULES, REGULATIONS, CODES AND LAWS. 6. DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH OWNERS GUIDELINES AND SAFETY

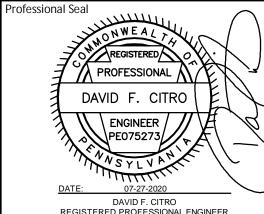
EXCAVATION AND BACKFILL NOTES

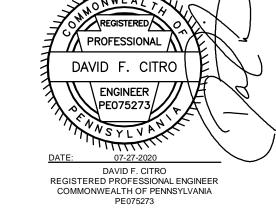
- 1. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA 811 SYSTEM TO FIELD VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES. ALL UTILITIES AND UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION. <u>DIAL 811</u> FOR ACCESS TO ALL ONE CALL AGENCIES.
- 2. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A PROFESSIONAL GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF PENNSYLVANIA. ALL BACKFILLING OPERATIONS AND TESTING SHALL BE MONITORED BY THE GEOTECHNICAL ENGINEER.
- 3. THE CONTRACTOR SHALL PROVIDE LABORATORY COMPACTION TESTS FOR ALL BEDDING AND BACKFILL MATERIAL. EXCAVATION SPOILS MAY BE USED AS BACKFILL IF PROVEN TO BE SUITABLE WITH RESPECT TO
- COMPOSITION AND COMPACTION REQUIREMENTS. 4. ALL BEDDING AND BACKFILL MATERIAL SHALL BE PLACED IN 6" LOOSE LIFTS AND COMPACTED BY MECHANICAL MEANS TO 95% MAXIMUM UNIT WEIGHT IN ACCORDANCE WITH ASTM D 1557.
- 5. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A QUALIFIED TESTING AGENCY TO TEST COMPACTION OF BACKFILL MATERIAL IN ACCORDANCE WITH ASTM D 1556, D 2167, D 2922 AND D 2937 AS APPLICABLE. PERFORM TESTS AT THE FOLLOWING LOCATIONS AND FREQUENCIES: A. PAVED AND BUILDING SLAB AREAS: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL
- LAYER, AL LEAST ONE TEST FOR EACH 1,000 SQ FT OF AREA, BUT IN NO CASE FEWER THAN THREE 6. THE CONTRACTOR SHALL REMOVE AND REPLACE MATERIAL THAT FAILS TO MEET COMPACTION TEST CRITERIA. 7. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A UNDERGROUND UTILITY LOCATION SERVICE TO SURVEY THE ENTIRE PROJECT AREA PRIOR TO EXCAVATION TO DETERMINE ANY UNFORESEEN CONFLICTS
- WITH EXISTING UTILITIES. ANY CONFLICTS ENCOUNTERED SHOULD BE REPORTED TO THE ENGINEER FOR 8. ANY TRENCH, EXCAVATION OR UNDERGROUND STRUCTURE THAT IS TO BE LEFT UNCOVERED FOR MORE THAN 8 HOURS SHALL BE PROTECTED WITH BARRICADES IN ACCORDANCE WITH THE MANUAL OF UNIFORM
- TRAFFIC CONTROL DEVICES (MUTCD) OR OSHA STANDARDS. 9. COMPACTION OF SOILS WITHIN STORMWATER BMP AREAS IS NOT ACCEPTABLE. EQUIPMENT OPERATING WITHIN STORMWATER BMP AREAS SHOULD BE EQUIPPED FOR LOW-PRESSURE OPERATIONS (MAX PRESSURE
- 10. DURING SITE CONSTRUCTION, ALL INFILTRATION BMP COMPONENTS SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL. INFILTRATION AREAS SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY.

- BACKFILL AND FILL: SATISFACTORY SOIL MATERIALS. COMPACTED AGGREGATE: AS NOTED.
- PIPE BEDDING: AS NOTED. 8. PROTECT SUBGRADES AND FOUNDATION SOILS FROM SOFTENING AND DAMAGE BY WATER, FREEZING
- TEMPERATURES, OR FROST. 9. EXPLOSIVES: DO NOT USE EXPLOSIVES. 10. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF CHARACTER OF MATERIALS AND OBSTRUCTIONS
- ENCOUNTERED. 11. EXCAVATE FOR STRUCTURES, PAVEMENTS, AND WALKWAYS. TRIM SUBGRADES TO REQUIRED LINES AND GRADES.
- 12. UTILITY TRENCHES: EXCAVATE TRENCHES TO INDICATED SLOPES, LINES, DEPTHS, AND INVERT ELEVATIONS. MAINTAIN WORKING CLEARANCE ON EACH SIDE OF PIPE OR CONDUIT AS INDICATED. 13. PLACE, COMPACT, AND SHAPE BEDDING COURSE TO PROVIDE CONTINUOUS SUPPORT FOR PIPES AND CONDUITS
- OVER ROCK AND OTHER UNYIELDING BEARING SURFACES AND TO FILL UNAUTHORIZED EXCAVATIONS.
- 14. PLACE AND COMPACT INITIAL BACKFILL OF SATISFACTORY SOIL MATERIAL OR SUBBASE MATERIAL, FREE OF PARTICLES LARGER THAN 1 INCH, TO A HEIGHT OVER THE UTILITY PIPE OR CONDUIT AS INDICATED. PLACE AND COMPACT FINAL BACKFILL OF SATISFACTORY SOIL MATERIAL TO FINAL SUBGRADE.
- 15. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 5 HORIZONTAL TO RECEIVE FILL. 16. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE, PULVERIZE, MOISTURE—CONDITION OR AERATE SOIL, AND RECOMPACT. 17. PLACE BACKFILL AND FILL IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH AT OPTIMUM MOISTURE

CONTENT. COMPACT EACH LAYER UNDER STRUCTURES, PAVEMENTS, AND WALKWAYS TO 95 PERCENT OF MAXIMUM

- DRY UNIT WEIGHT ACCORDING TO ASTM D 698; ELSEWHERE TO 90 PERCENT. 18. GRADE AREAS TO A SMOOTH SURFACE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. GRADE LAWNS, WALKWAYS, AND UNPAVED SUBGRADES TO TOLERANCES OF $\pm 1-1/4$ INCH AND PAVEMENTS AREAS TO $\pm 1/2$ INCH. 19. UNDER PAVEMENTS AND WALKWAYS, PLACE SUBBASE COURSE MATERIAL ON PREPARED SUBGRADES AND COMPACT
- AT OPTIMUM MOISTURE CONTENT TO REQUIRED GRADES, LINES, CROSS SECTIONS, AND THICKNESSES. 20. ALLOW TESTING AGENCY TO INSPECT AND TEST EACH SUBGRADE AND EACH FILL OR BACKFILL LAYER AND VERIFY COMPLIANCE WITH REQUIREMENTS. 21. REMOVE SURPLUS SATISFACTORY SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND
- DEBRIS, AND LEGALLY DISPOSE OF IT OFF OWNER'S PROPERTY. 22. TOPSOIL AND SUBGRADE TREATMENT AND STABILIZATION PER SOIL EROSION AND SEDIMENT CONTROL NOTES.
- 23. STRUCTURAL FILL: PLACE AND COMPACT IN STRICT PER RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. 24. MATERIALS REFERENCED AS PENNDOT SHALL BE IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF TRANSPORTATION - "STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES", JANUARY 2018 (LATEST EDITION).







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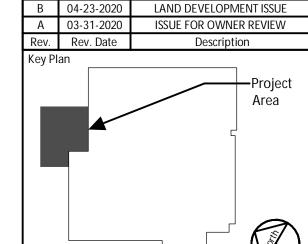
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"CONSTRUCTION ISSUE". THE INTENDED USE OI THESE DRAWINGS SHALL BE ONLY AS INDICATE INC. SHALL ASSUME NO LIABILITY FOR DRAWING THAT ARE USED FOR ANY PURPOSE OTHER THAN INDICATED ON THESE DRAWINGS. F 07-27-2020 REV TWP & CCCD ISSUE E 06-12-2020 ISSUE FOR BID D 06-12-2020 LAND DEVELOPMENT ISSUE #2

ISSUE FOR BID

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1303 Goshen Parkway

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FINISHING PLANT **EXPANSION**

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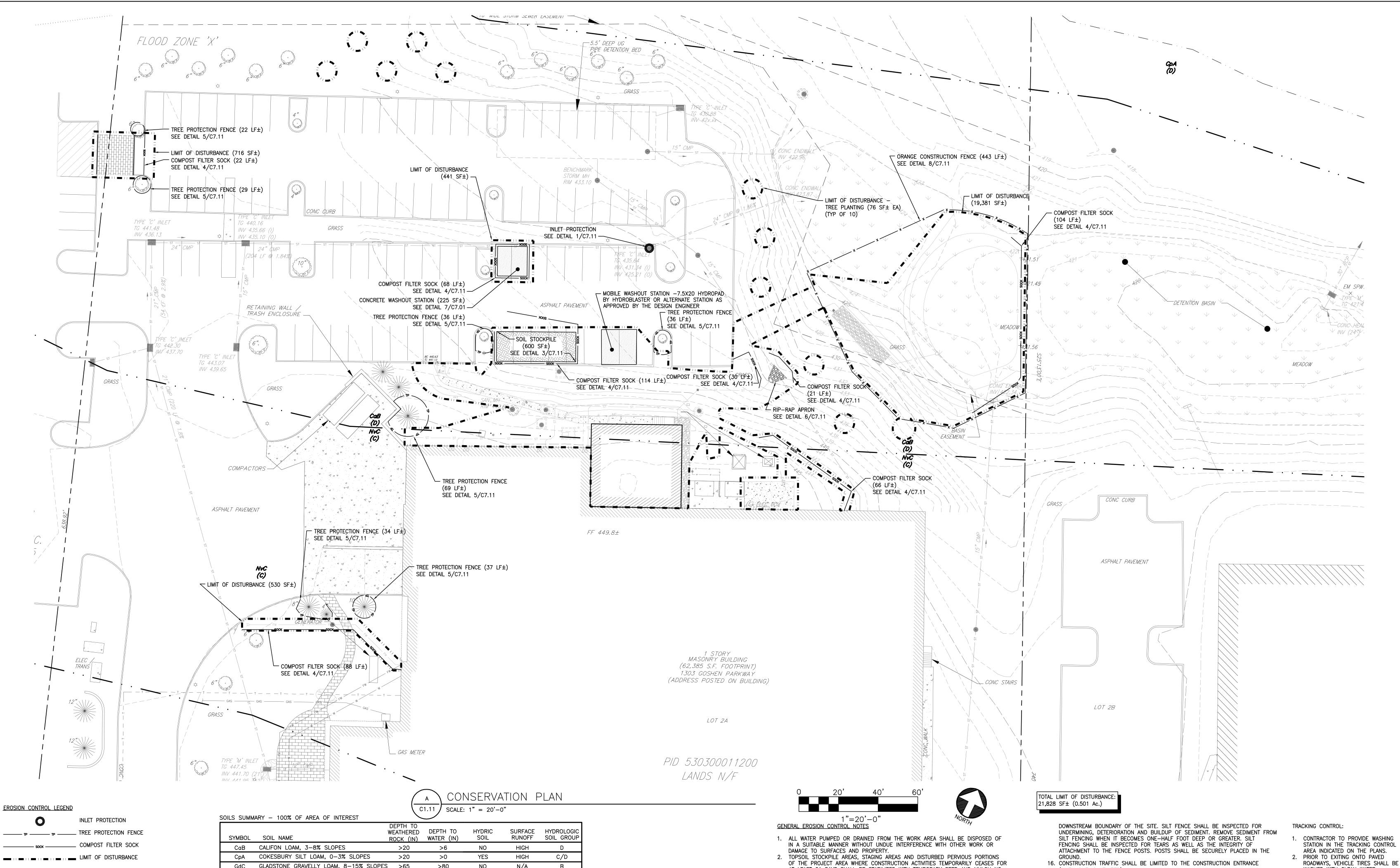
064-WC-02-006 AFH DFC MEH

Drawing Title **EXISTING FEATURES**

AND DEMOLITION PLAN

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rawing No.



DILS SUMMA	ARY - 100% OF AREA OF INTEREST					
SYMBOL	SOIL NAME	DEPTH TO WEATHERED ROCK (IN)	DEPTH TO WATER (IN)	HYDRIC SOIL	SURFACE RUNOFF	HYDROLOGI SOIL GROU
CaB	CALIFON LOAM, 3-8% SLOPES	>20	>6	NO	HIGH	D
СрА	COKESBURY SILT LOAM, 0-3% SLOPES	>20	>0	YES	HIGH	C/D
GdC	GLADSTONE GRAVELLY LOAM, 8-15% SLOPES	S >65	>80	NO	N/A	В
N∨B	NESHAMINY SILT LOAM, 3-8% SLOPES	>60	>80	NO	LOW	С
NvC	NESHAMINY SILT LOAM, 8-15% SLOPES	>60	>80	NO	MED	С

SEEDING NOTES: 1. EXCAVATE OR SCARIFY AREAS SUBJECT TO COMPACTION BY CONSTRUCTION ACTIVITIES.

- FINISH GRADE AND RAKE ALL AREAS TO BE TOPSOIL/SEEDED. REMOVE ALL DEBRIS, STONES AND CLODS LARGER THAN 1" TO A DEPTH OF SIX (6") INCHES. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL DEBRIS AND STONES. AT THE SOLE DISCRETION OF THE OWNER, THE CONTRACTOR MAY DISPOSE OF STONE AND
- 2. TOPSOIL SHALL BE PLACED TO A MINIMUM OF 4 INCHES IN THICKNESS AND PROPERLY PREPARED FOR SEEDING. ALL AREAS TO BE SEEDED SHALL BE REASONABLY FREE FROM WEEDS TALLER THAN 3 INCHES.
- 3. GRASS AREAS ARE TO BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING EARTH MOVING PROCEDURES. SEEDING SHALL BE ACCOMPLISHED AS WEATHER PERMITS. 4. HAY OR STRAW MULCH MUST BE APPLIED AT AFTER SEEDING.
- 5. ESTABLISH PERMANENT SEEDING AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETE. ESTABLISHED GRASS AREA SHALL BE TURF GRASS AT A HEIGHT OF 6 INCHES CONSISTING OF A MINIMUM OF 100 PLANTS PER SQUARE FOOT THROUGHOUT THE SEEDED AREAS. WHEN TURF GRASS HAS ATTAINED THIS HEIGHT, IT SHALL BE MOWED TO A HEIGHT OF 3 INCHES.
- 6. GRASS SEED: ALL SEED SHALL BE FRESH, NEW CROP SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE'S RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT IN EFFECT ON THE DATE OF INVITATION FOR BIDS. ALL SEED SHALL BE FURNISHED IN SCALED STANDARD CONTAINERS, BEARING THE WARRANTY OF THE SUPPLIER AND CERTIFYING THE KIND, PERCENT BY WEIGHT, PURITY, GERMINATION AND WEED SEED. SPREAD AT A RATE OF 175 POUNDS PER ACRE

GRASS SEED PERCENTAGE TABLE

LAWN SEED MIX (PENNDOT FORMULA B):
(FOR DRY-MOIST, WELL DRAINED SOILS & FULL SUN-PARTIAL SHADE) **GERMINATION** KENTUCKY BLUE (POA PRATENSIS)* 97% 80% PERENNIAL RYEGRÀSS (LOLIUM PÉRENNE) 90%

RED FESCUE (FESTUCA RUBRA)* *MULTIPLE VARIETIES, NO ONE TO EXCEED 25% OF PROPORTIONED MIXTURE. 7. SEEDING SEASON: MARCH 15 TO JUNE 1 OR AUGUST 1 TO OCTOBER 15. 8. INOCULATING LEGUMES: INOCULATE LEGUMINOUS SEED, SUCH AS CROWNVETCH AND BIRDSFOOT TREFOIL. WITH PROPER CULTURES. ACCORDING TO THE MANUFACTURERS DIRECTIONS. PROTECT INOCULATED SEED FROM PROLONGED EXPOSURE TO SUNLIGHT BEFORE SOWING. REINOCULATE SEED NOT SOWN WITHIN 24 HOURS. IF USING HYDRAULIC SEEDERS, USE INOCULANT FOUR TIMES THE MANUFACTURER'S RECOMMENDED RATE. IF INOCULATED SEED IS HELD IN A SLURRY WITH FERTILIZERS FOR MORE THAN 1 HOUR. REINOCULATE OR APPLY LEGUMES SEPARATELY. TEMPORARY GRASS SEED: TEMPORARY GRASS SEED SHALL BE ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) HAVING A MINIMUM PERCENT PURITY OF 98% AND A MINIMUM

GERMINATION OF 90%.

AGRICULTURAL LIMESTONE CONFORMING TO THE REQUIREMENTS OF THE AGRICULTURAL LIMING MATERIALS ACT OF 1978, P.L. 15, NO. 9, AS AMENDED. 11. FERTILIZER: FERTILIZER SHALL BE APPLIED AT A RATE OF 320 POUNDS PER ACRE DURING OR PRECEDING SEEDING. WHEN THE GRASS SEEDING GROWTH HAS ATTAINED A HEIGHT OF 6 INCHES. THE SPECIFIED AREAS DESIGNATED HEREIN SHALL BE MOWED TO A HEIGHT 3 INCHES. FOLLOWING MOWING, ALL SEEDED GRASS AREAS RATE OF 320 POUNDS PER ACRE. FERTILIZER SHALL BE COMMERCIAL GRADE

10. LIMESTONE: LIMESTONE SHALL BE APPLIED AT A RATE OF 800 POUNDS PER 1000

SQUARE YARDS DURING OR PRECEDING SEEDING. ALL LIMESTONE SHALL BE

- SHALL RECEIVE A UNIFORM APPLICATION OF FERTILIZER HYDRAULICALLY PLACED AT A GRANULAR 10-20-20 FERTILIZER. THE FERTILIZER SHALL BE DELIVERED TO THE SITE IN NEW, CLEAN, SEALED CONTAINERS WHICH BEAR A LABEL FULLY DESCRIBING THE CONTENTS, THE CHEMICAL ANALYSIS OF EACH NUTRIENT, THE FERTILIZER GRADE, THE NET BULK, THE BRAND AND THE NAME AND ADDRESS OF THE MANUFACTURER. THE FERTILIZER AND LABELS SHALL CONFORM TO ALL EXISTING STATE AND FEDERAL REGULATIONS.
- 12. MULCH: THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE MULCH TO PROTECT THE NEWLY SEEDED AREAS FROM THE AFFECTS OF DRYING, FROST OR OTHER ADVERSE WEATHER CONDITIONS PRIOR TO GERMINATION. ALL MULCH SHALL BE HAY WHICH IS FREE OF WEEDS AND SEEDS, NOT MOLDY OR ROTTEN, AND SHALL BE APPLIED 8. IMMEDIATELY TO ALL SEEDED AREAS AT A RATE OF 1,200 POUNDS PER 1,000 SQ YARDS (3.0 TONS PER ACRE).
- O BE STAPLED OVER MULCH ACCORDING TO MANUFACTURERS SPECIFICATIONS. 14. **GUARANTEE:** ALL LAWN AREAS SHALL BE GUARANTEED UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THE LAWN MUST BE IN A VIGOROUS, HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ANY AREAS OF THE LAWN NOT IN EXCELLENT CONDITION WILL BE OVER-SEEDED BY THE CONTRACTOR WITH THE SPECIFIED SEED MIX.

13. ANCHORING: MULCH SHALL BE ANCHORED USING LIGHTWEIGHT FIBER OR PAPER NETS,

- TEMPORARY STABILIZATION AND PERMANENT STABILIZATION HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
- . MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 4:1 OR STEEPER. 3. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY
- 4. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGARDING, RESEEDING, REMULCHING, AND RENETTING, MUST BE DONE IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS TO THOSE INSTALLED WILL BE
- SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPE AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES. 6. THE OPERATOR SHALL REMOVE FROM THIS SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING

MATERIAL OR WASTES AT THIS SITE.

AND TRAP BERMS. THE CONSERVATION DISTRICT REQUIRES THE USE OF ECB FOR SWALE STABILIZATION AND FOR SEDIMENT BASIN AND TRAPS AND BERM STABILIZATION. THE DISTRICT MAY WAIVE THIS REQUIREMENT FOR SEDIMENT BASIN AND TRAPS AND BERMS DURING SEED GERMINATION PERIODS. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

PROVIDE EROSION CONTROL BLANKET (ECB) ON ALL SWALES AND ALL SEDIMENT BASIN

- AT LEAST 21 DAYS SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. 3. PROPOSED GRADES WHICH HAVE SLOPES EQUAL TO OR GREATER THAN 3:1 SHALL BE STABILIZED WITH AN APPROVED EROSION CONTROL FABRIC. 4. SEDIMENT CONTROL FENCING SHALL BE INSTALLED AROUND THE PROJECT AREA AS
- DEPICTED ON THE PLANS SHEETS. 5. SILT LADEN WATER OR WATER CONTAMINATED BY ACID SOIL SHALL NOT BE DISCHARGED DIRECTLY INTO STORM SEWERS, SURFACE WATERS, STREAMS OR CROSSINGS OF WETLANDS. CARE SHALL BE TAKEN NOT TO DAMAGE OR KILL VEGETATION BY EXCESSIVE WATERING OR BY SILT ACCUMULATIONS IN THE DISCHARGE AREA. SETTLEMENT BASINS SHALL BE EMPLOYED WHERE NECESSARY TO REMOVE SILT AND TREAT ACID WATER TO THE AMBIENT PH OF THE RECEIVING
- SILTATION DEPOSITS RESULTING FROM THE DISCHARGE OF WATER FROM THE PROJECT SITE SHALL BE REMOVED TO RESTORE PROFILES AND CONDITIONS TO THAT EXISTING PRIOR TO COMMENCEMENT OF THE WORK. CONTRACTOR SHALL DEVOTE PARTICULAR ATTENTION TO ALL DRAINAGE FACILITIES
- KEEPING THEM FULLY OPERATIVE AT ALL TIMES. 8. DISTURBED AREAS AND STOCKPILED MATERIALS, WHICH WILL NOT BE RE-DISTURBED WITHIN 21 DAYS, SHALL BE STABILIZED WITHIN 14 DAYS BY USE OF MULCHING, SEEDING, GEOTEXTILE FABRIC, OR OTHER APPROVED METHODS. 9. ALL SLOPES 3:1 OR GREATER AS WELL AS THOSE DESIGNATED SHALL RECEIVE
- 10. PROVIDE INLET PROTECTION AS DETAILED AT ALL CATCH BASIN GRATES TO PREVENT THE ACCUMULATION OF SILT IN THE BASINS DURING CONSTRUCTION. CLEAN AND MAINTAIN STORM STRUCTURE SUMPS AT REGULAR INTERVALS AND AT THE COMPLETION OF CONSTRUCTION. 11. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE PADEP EROSION

EROSION CONTROL FABRIC AS SPECIFIED.

- AND SEDIMENT POLLUTION CONTROL MANUAL. 12. EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED IN ADVANCE OF ANY UPGRADE DISTURBANCE/CONSTRUCTION ACTIVITY. 13. A CONSTRUCTION ENTRANCE WILL NOT BE UTILIZED AS THE EQUIPMENT NEEDED TO
- PERFORM THE DEMOLITION ACTIVITIES WILL REMAIN ON THE ADJACENT ASPHALT SURFACES AND PERFORM THEIR WORK FROM THOSE LOCATIONS. DUMP TRUCKS HAULING MATERIALS TO AND FROM THE CONSTRUCTION PROJECT AREA SHALL BE COVERED WITH A TARPAULIN TO REDUCE DUST. ANY SEDIMENT AND DEBRIS TRACKED FROM THE WORK AREA ALONG PUBLIC ROADWAYS SHALL BE IMMEDIATELY REMOVED WITH A STREET SWEEPER OR EQUIVALENT SWEEPING METHOD. FURTHER SWEEPING OF STREETS ADJACENT TO DISTURBED AREAS SHALL BE PERFORMED PRIOR TO THE END OF EACH WORK DAY (AT A MINIMUM) WHEN TRACKING OF
- SEDIMENT IS OCCURRING. 14. DUST SHALL BE CONTROLLED ON DISTURBED AREAS SUBJECT TO SURFACE DUST MOVEMENT AND BLOWING. 15. PERIMETER CONTROLS SHALL BE INSTALLED TO CONTAIN RUNOFF ALONG THE

- (WHEN ONE IS UTILIZED). 17. SEED AND MULCH SHALL BE APPLIED IMMEDIATELY FOLLOWING THE COMPLETION OF
- GRADING OPERATIONS. 18. SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED WEEKLY, AND FOLLOWING ANY RAIN STORM EVENT, OR AS PER THE CONTROL DETAIL DICTATES IF INSPECTIONS ARE REQUIRE MORE FREQUENTLY. CLEAN OUT, REPAIRS,
- REPLACEMENT, RE-SEEDING AND RE-MULCHING MUST BE PERFORMED IMMEDIATELY. 19. EXCAVATED STOCKPILES SHALL BE PROTECTED, STABILIZED AND PLACED IN A LOCATION AWAY FROM ANY STORM DRAINS AND BODIES OF WATER. 20. ALL DEWATERING ACTIVITIES SHALL BE DONE IN ACCORDANCE WITH PADEP
- 21. ANY SPOIL MATERIALS HAULED TO AN OFFSITE LOCATION WILL NEED TO BE PERMITTED BY THE REQUIRED AGENCY WHICH MAY INCLUDE NJDEP AND THE COUNTY CONSERVATION DISTRICT.
- 22. ANY FILL MATERIALS HAULED ON SITE FROM ON OFFSITE LOCATION SHALL BE CLEAN FILL AS DEFINED BY PADEP AND THE SOIL CONSERVATION DISTRICT REQUIREMENTS.
- 23. UNTIL SITE IS STABILIZED ALL EROSION AND SEDIMENT CONTROLS MUST BE MAINTAINED PROPERLY. 24. PRIOR TO DEMOBILIZATION ALL CONSTRUCTION WASTE GENERATED DURING THE CONSTRUCTION OF THIS PROJECT SHALL BE REMOVED FROM THE SITE AND TAKEN TO A PERMITTED DISPOSAL OR RECYCLING FACILITY.
- 25. SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE, OR OF STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES MUST BE IMPLEMENTED IMMEDIATELY BY THE CONTRACTOR TO ELIMINATE ALL SUCH 26. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED TEMPORARY EROSION AND
- SEDIMENT CONTROLS SHALL BE REMOVED. AREAS DISTURBED AS A RESULT OF SUCH REMOVALS SHALL BE STABILIZED. THE CRITERIA TO BE USED FOR SUCCESSFUL PERMANENT VEGETATION SHALL BE AS FOLLOWS: NOT LESS THAN 80% GROUND COVER PER SQUARE YARD NOT LESS THAN 90% GROUND COVER PER CRITICAL SQUARE YARD. 27. VISUAL INSPECTION OF VEGETATION COVER WILL BE MADE 4 TO 6 WEEKS AFTER
- RE-SEEDED. 28. UPON COMPLETION OF DEMOLITION WORK AND ACCEPTANCE OF SITE STABILIZATION BY THE OWNER, THE RESPONSIBILITY FOR KEEPING CONTROL OF PERMANENT FACILITIES (SUCH AS SEEDING AND MULCHING) IN REPAIR WILL SHIFT FROM THE CONTRACTOR TO THE OWNER. PERMANENT CONTROL FACILITIES SHALL BE INSPECTED ON A PERIODIC BASIS (NOT TO EXCEED QUARTERLY). REPAIR OF

FACILITIES AS REQUIRED SHALL BE ACCOMPLISHED WITHIN 1 WEEK.

SEEDING AND GERMINATION. AREAS DEEMED TO HAVE INADEQUATE COVER SHALL BE

- WASHED WITH CLEAN WATER. DURING WASHING OPERATIONS CONTRACTOR SHALL PROVIDE
 - (COMPOST FILTER SOCK) DOWNSLOPE OF ALL RUNOFF AREAS. CONTRACTOR SHALL ENSURE THAT WASH WATER SHALL NOT FLOW ONTO PAVED ROADWAYS OR INTO UNPROTECTED STORM DRAINAGE

SEDIMENT CONTROL DEVICES



Drawing Title **CONSERVATION PLAN**

rawing No.

DAVID F. CITE \ ENGINEER

DAVID F. CITRO REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF PENNSYLVANIA

Johnsrud & Associates Architects, LLC

2700 Interplex Drive, Trevose, PA 19053

Phone 215-639-4200 ■ www.Johnsrud.com

CIVIL & STRUCTURAL ENGINEERS 1750 WALTON ROAD, BLUE BELL, PA 19422

MEG PROJECT NO. 19360

THESE DRAWINGS SHALL NOT BE UTILIZED FOI CONSTRUCTION UNLESS EXPLICITLY NOTED AS

THESE DRAWINGS SHALL BE ONLY AS INDICATE

INC. SHALL ASSUME NO LIABILITY FOR DRAWING

THAT ARE USED FOR ANY PURPOSE OTHER THAN INDICATED ON THESE DRAWINGS.

F 07-27-2020 REV TWP & CCCD ISSUE

B | 04-23-2020 | LAND DEVELOPMENT ISSUE A 03-31-2020 ISSUE FOR OWNER REVIEW

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ISSUE FOR BID

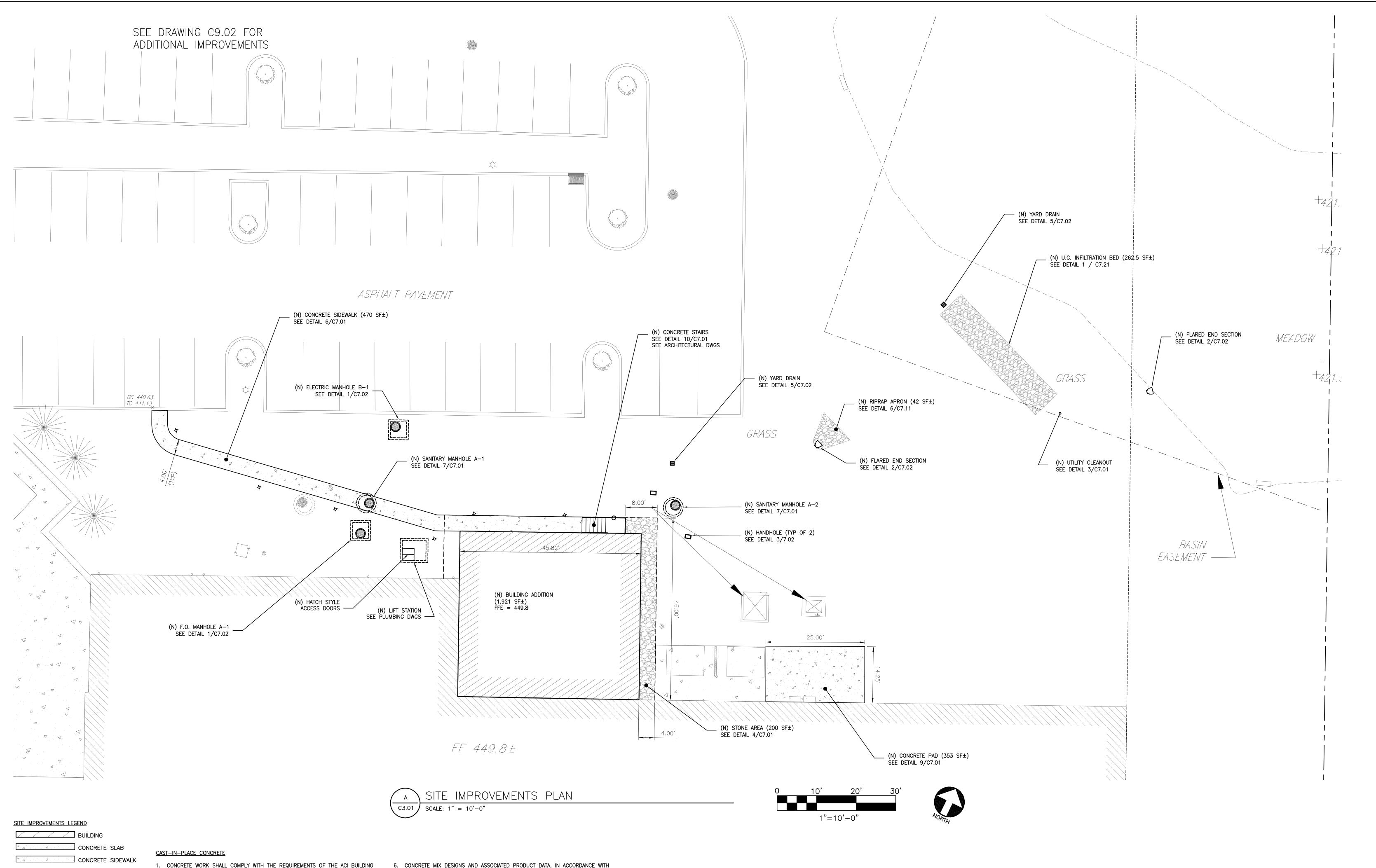
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Description

E 06-12-2020

Rev. Rev. Date

A Bergmann Company



STONE LIGHT POLE

____ CONCRETE SIDEWALK

FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301). 2. CONCRETE SHALL BE READY MIX IN COMPLIANCE WITH ASTM C94. MANUFACTURER SHALL BE CERTIFIED ACCORDING TO THE NATIONAL READY MIXED CONCRETE ASSOCIATION'S CERTIFICATION.

3. CONCRETE EXPOSED TO FREEZE-THAW CYCLES (WEATHER) SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AT 28 DAYS AND CONTAIN AN AIR-ENTRAINING ADMIXTURE TO PRODUCE AN AIR-ENTRAINMENT OF 6 PERCENT (MAX). OMIT AIR-ENTRAINMENT FOR CONCRETE TO RECEIVE A TROWELED FINISH. 4. CONCRETE CONTRACTOR SHALL FOLLOW ACI RECOMMENDATIONS FOR PLACEMENT

CODE (ACI318), THE ACI DETAILING MANUAL (ACI 315), AND THE SPECIFICATIONS

OF CONCRETE IN COLD WEATHER PER ACI 306.1 AND/OR HOT WEATHER PER ACI 5. CONCRETE MIX MATERIALS SHALL MEET THE FOLLOWING: CEMENT: PORTLAND TYPE I/II ASTM C150 BLENDED HYDRAULIC CEMENT PER ASTM C595 IS PROHIBITED.

FLY ASH: ASTM C618 CLASS C OR F (25% MAX) NORMAL WEIGHT AGGREGATE: 3/4 INCH ASTM C33 (UNIFORMLY GRADED) CLASS

WATER: POTABLE COMPLYING WITH ASTM C94 ADMIXTURES: AIR ENTRAINING: ASTM C260 WATER REDUCING: ASTM C494 TYPE A HIGH RANGE WATER REDUCING: ASTM C494 TYPE F WATER REDUCING AND ACCELERATING: ASTM C494 TYPE E WATER REDUCING AND RETARDING: ASTM C494 TYPE D CORROSION-INHIBITING: ASTM C494 TYPE C (WHERE INDICATED) DCI MANUFACTURED BY W.R. GRACE & CO. (OR APPROVED

EQUIVALENT) WATER CEMENT RATIO: 0.42 INITIAL SLUMP: 3 INCHES MAX SLUMP WITH SUPER PLASTICIZER: 8 INCHES MAX AIR CONTENT: 3% MAX (SLAB-ON-GRADE)

UNIT WEIGHT: 150 PCF MAX (NORMAL WEIGHT)

AIR CONTENT: 6% MAX WITH AIR ENTRAINING ADMIXTURE (EXTERIOR CONCRETE)

6. CONCRETE MIX DESIGNS AND ASSOCIATED PRODUCT DATA, IN ACCORDANCE WITH ACI 301, ACI 211.1, AND ACI 211.2, SHALL BE SUBMITTED FOR REVIEW PRIOR TO PLACEMENT. SUBMITTAL SHALL INCLUDE COMPRESSIVE STRENGTH TEST RESULTS, MIX PROPORTIONS, AND PRODUCT DATA. PRODUCT DATA SHALL INCLUDE CEMENT MILL TEST CERTIFICATE, AGGREGATE GRADATION RESULTS, AND ADMIXTURE MANUFACTURER DATA SHEETS AND COMPATIBILITY LETTER. ADMIXTURES SHALL BE

FROM A SINGLE SOURCE MANUFACTURER. REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM A615, GRADE 60. EPOXY-COATED REINFORCING (WHERE INDICATED) SHALL CONFORM TO ASTM A775. WELDED WIRE FABRIC (FLAT SHEETS) SHALL COMPLY WITH ASTM A1064 (FORMER ASTM A185).

8. LAP BARS A MINIMUM 48 DIAMETERS. LAP WELDED WIRE FABRIC A MINIMUM OF 9. REINFORCING STEEL SHALL BE PLACED WITHIN TOLERANCES IN ACCORDANCE WITH ACI 117 AND SHALL HAVE CLEAR COVER PER ACI 318.

10. REINFORCING SHOP DRAWINGS, IN CONFORMANCE WITH ACI 315 AND ACI SP-66,

INCLUDING BAR AND WELDED WIRE FABRIC REINFORCING, SHALL BE SUBMITTED FOR REVIEW PRIOR TO PLACEMENT. 11. THE CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS AND MISCELLANEOUS TRADES FOR OPENINGS, INSERTS, EMBEDMENTS, SLEEVES, ETC. REQUIRED TO BE

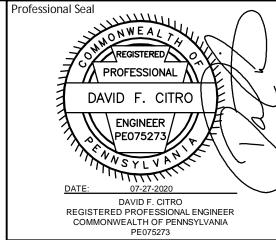
CAST-IN-PLACE. 12. EXPOSED CONCRETE WALLS SHALL HAVE CONTROL JOINTS AT 30 FEET MAX ON CENTER UNLESS OTHERWISE NOTED. 13. CONCRETE SHALL BE MOIST CURED FOR SEVEN DAYS. PROVIDE MOISTURE

RETAINING COVERS WITH EDGES LAPPED 12 INCHES AND SEALED WITH WATERPROOF TAPE OR ADHESIVE. CONCRETE CONTRACTOR SHALL COORDINATE CONCRETE FINISHES WITH ARCHITECTURAL DRAWINGS AND FINISH SCHEDULE. 14. BONDING AGENT SHALL BE EPOXY ADHESIVE PER ASTM C881, TYPE V, GRADE 2.

15. GROUT SHALL BE NON-METALLIC, NON-SHRINK, 5000 PSI GROUT CONFORMING TO

ASTM C1107. 16. JOINT FILLER SHALL BE ASPHALT-SATURATED CELLULOSIC FIBER CONFORMING TO ASTM D1751.

17. JOINT SEALANT FOR ASPHALT PAVING SHALL BE HOT-APPLIED, SINGLE-COMPONENT POLYMERIC COMPOUND COMFORMING TO ASTM D6690 TYPES II/III. JOINT SEALANT FOR CONCRETE SHALL BE COLD-APPLIED, SINGLE-COMPONENT ELASTOMERIC MATERIAL CONFORMING TO ASTM C920-T.



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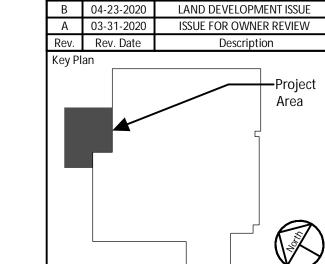
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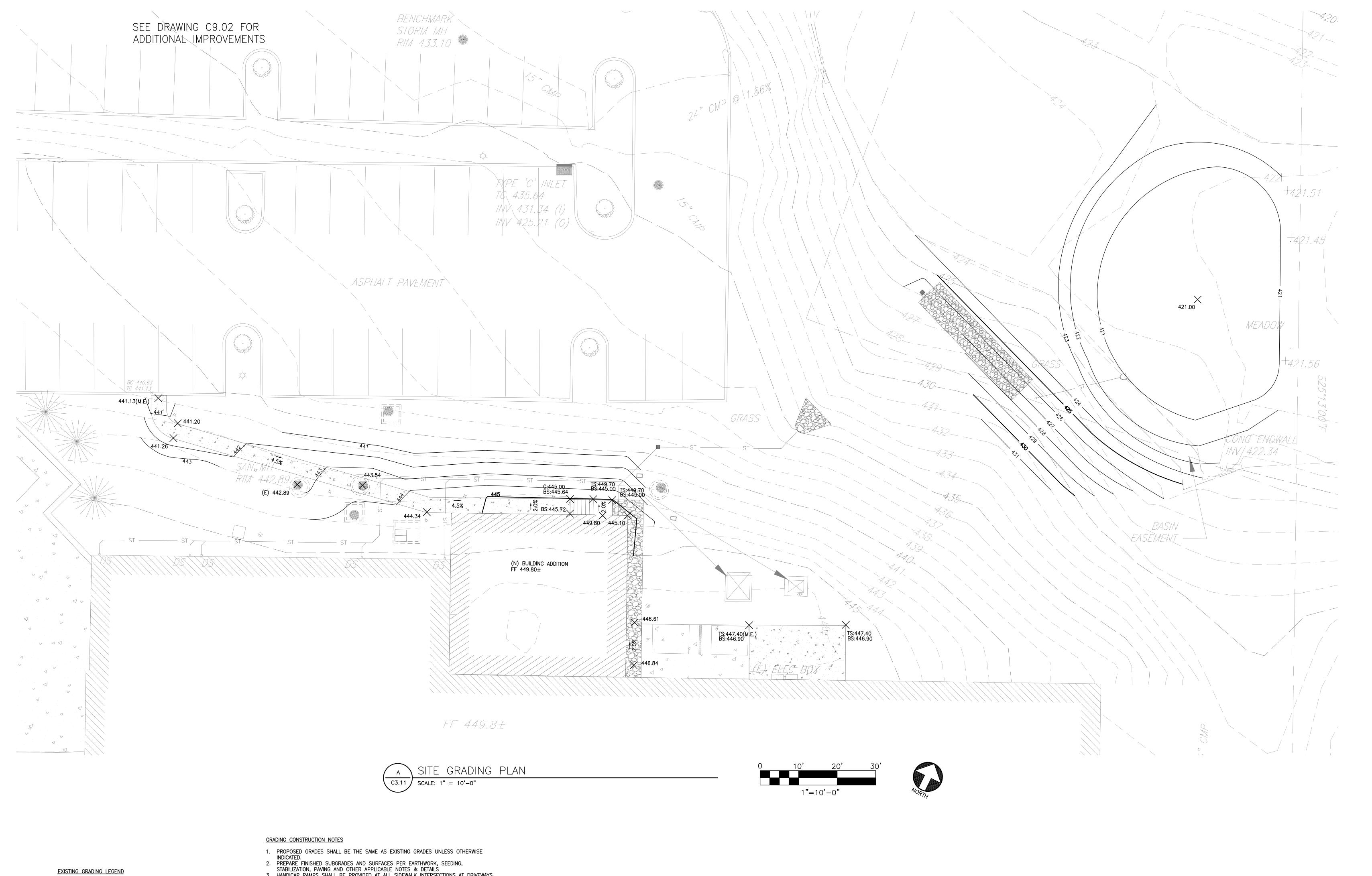
FINISHING PLANT **EXPANSION**

JA Project No. Drawn By: Lead: Checked By: 064-WC-02-006 AFH DFC MEH

Drawing Title

SITE IMPROVEMENTS

PLAN Drawing No.



HANDICAP RAMPS SHALL BE PROVIDED AT ALL SIDEWALK INTERSECTIONS AT DRIVEWAYS, PARKING AREAS, ETC., AND SHALL COMPLY WITH A.D.A. REQUIREMENTS.
 NO DRIVEWAY/CURB APRON SLOPE SHALL BE GREATER THAN 12:1 (±8%)

MAJOR CONTOUR

MINOR CONTOUR

SPOT ELEVATION

TOP OF STAIR

TOP OF CURB

BOTTOM OF STAIR

BOTTOM OF CURB

MATCH EXISTING

TOP OF GRATE

× 350.50 SPOT ELEVATION

PROPOSED GRADING LEGEND

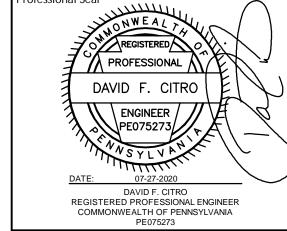
______375____ MAJOR CONTOUR

_____374_____ MINOR CONTOUR

5. NO PARKING LOT SLOPE SHALL BE GREATER THAN 17:1 (±6%)
6. NO YARD SLOPE SHALL BE GREATER THAN 5:1 (20%) OR PER THE MAXIMUM PERMITTED GRADE PERMITTED BY MUNICIPAL STANDARDS.

7. SIDEWALK SLOPE/CROSS-SLOPES, ADA RAMP REQUIREMENTS AND CURB REVEALS SHALL BE AS SHOWN ON THE APPLICABLE DETAILS.

8. MINIMUM SLOPE FOR ALL FINISHED PAVEMENTS SHALL BE 0.05 FT/FT (1/2%). ALL LOW SPOTS TO OCCUR OFFSITE OR AT AN EXISTING DRAINAGE STRUCTURE.





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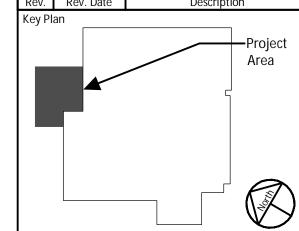




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F	07-27-2020	REV TWP & CCCD ISSUE
Е	06-12-2020	ISSUE FOR BID
D	06-12-2020	LAND DEVELOPMENT ISSUE #2
С	05-01-2020	ISSUE FOR BID
В	04-23-2020	LAND DEVELOPMENT ISSUE
Α	03-31-2020	ISSUE FOR OWNER REVIEW
Rev.	Rev. Date	Description
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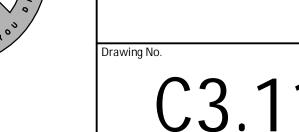


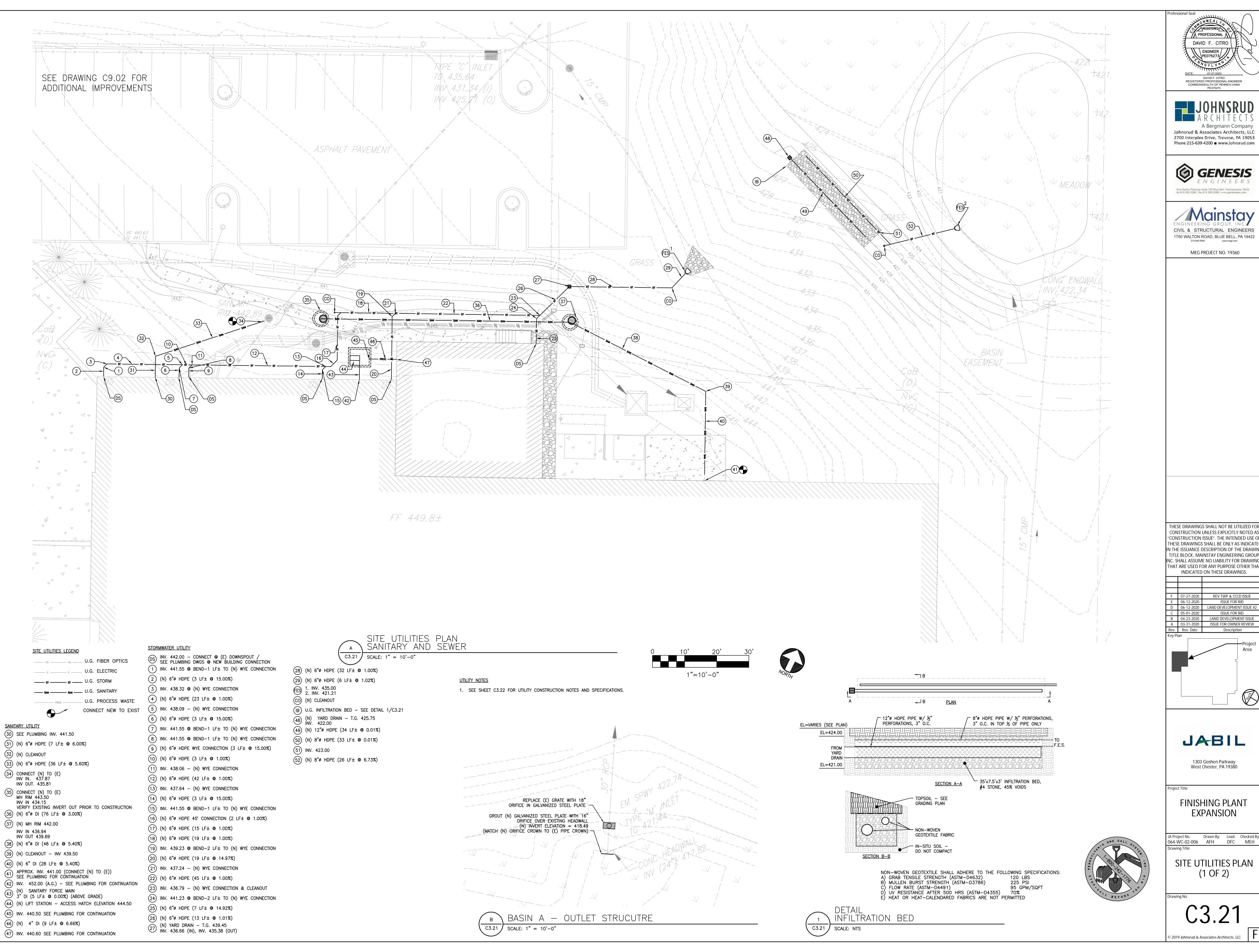
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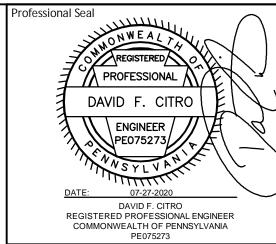
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SITE GRADING PLAN









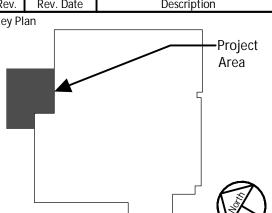
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INDICATED ON THESE DRAWINGS.					
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E	06-12-2020	ISSUE FOR BID			
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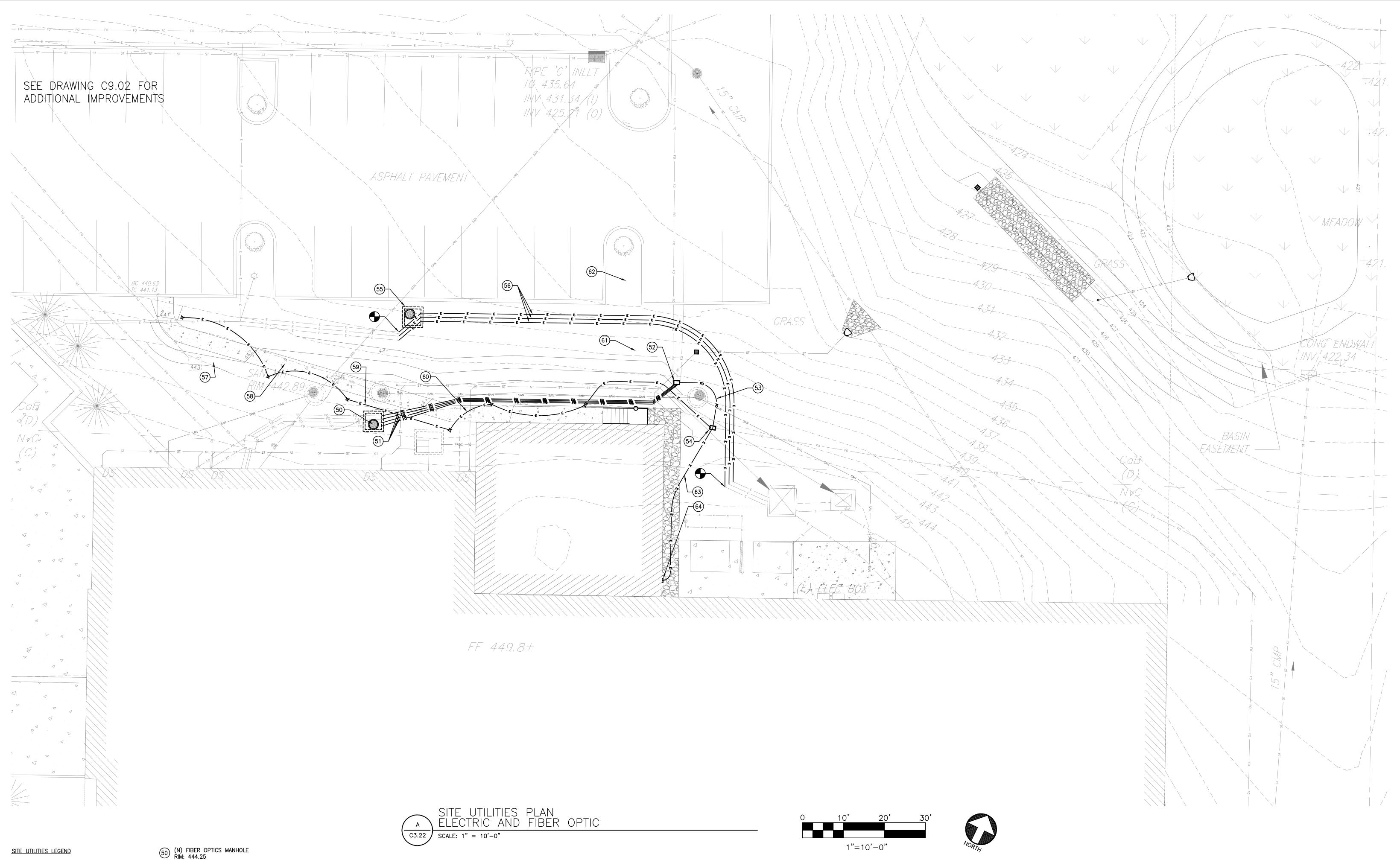


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SITE UTILITIES PLAN (1 OF 2)



U.G. FIBER OPTICS

L.G. FIBER OPTICS

U.G. ELECTRIC

ST U.G. STORM

U.G. SANITARY

(N) FIBER OPTICS FEED (75 LF±)
(52) (N) HANDHOLD
(53) (N) FIBER OPTICS (45 LF±)
(54) (N) FIBER OPTICS PULL BOX
(55) (N) ELECTRIC MANHOLE RIM: 439.00

U.G. PROCESS WASTE

CONNECT NEW TO EXIST

(56)

CONNECT NEW TO EXIST (S6) (N) ELECTRICAL FEED (114 LF±)

(N) PATHWAY SITE LIGHTING (TYP OF 3)

SEE DETAIL 4/C7.02 & ELECTRICAL DWGS

(S8) (N) ELECTRICAL FEED (35 LF±)

(59) (N) ELECTRICAL FEED (26 LF±)
(60) (N) ELECTRICAL FEED (78 LF±)

(N) ELECTRICAL FEED (44 LF±)
(N) AREA SITE LIGHTING
SEE DETAIL 4/C7.02 & ELECTRICAL DWGS

63 (N) ELECTRICAL FEED (41 LF±)

(A) PULL BOX
SEE ELECTRICAL DWGS

UTILITY CONSTRUCTION NOTES

ALL WATER PIPING AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE UTILITIES AUTHORITY/COMPANY AND PADEP REQUIREMENTS AND STANDARDS.
 EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS/HER SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT

ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.

3. THE CONTRACTOR SHALL CALL THE STATE "ONE—CALL' SYSTEM (DIAL 811), NOT LESS THAN 72 HOURS NOR MORE THAN 10 WORKING DAYS PRIOR TO PLANNED WORK TO NOTIFY UTILITY OWNERS OF THE INTENT TO START WORK. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING NON—MEMBER OR NON—RESPONSIVE UTILITY OWNERS INDIVIDUALLY. ALL WORK SHALL BE COORDINATED WITH UTILITY OWNERS INCLUDING, BUT NOT LIMITED TO, ELECTRIC, GAS, COMMUNICATIONS, WATER, SANITARY AND STORM

INDIVIDUALLY. ALL WORK SHALL BE COORDINATED WITH UTILITY OWNERS INCLUDING,
BUT NOT LIMITED TO, ELECTRIC, GAS, COMMUNICATIONS, WATER, SANITARY AND STORM
SEWER OWNERS, PRIOR TO THE START OF CONSTRUCTION.

4. SANITARY SEWER AND WATER MAIN TO BE SEPARATED BY A MINIMUM DISTANCE OF 10.0'
HORIZONTALLY WHEN PARALLEL OR 18" VERTICALLY (WATER OVER SEWER) WHEN
HORIZONTAL SEPARATION IS LESS THAN 10.0'. CONCRETE ENCASEMENT SHALL BE

PROVIDED FOR UTILITY CROSSINGS THAT ARE SEPARATED BY LESS THAN 18".

5. WATER MAIN VALVES SHALL BE PROVIDED AS REQUIRED.

6. MINIMUM PIPE COVER SHALL BE PER MANUFACTURER'S RECOMMENDATIONS OR MUNICIPAL REQUIREMENTS, WHICHEVER IS GREATER.

MUNICIPAL REQUIREMENTS, WHICHEVER IS GREATER.

7. PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

8. ALIGNMENT OF UTILITIES WHICH CROSS EXISTING VEGETATION SHALL BE ADJUSTED IN ORDER TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION SUBJECT TO PROPER UTILITY

SPACING AND EASEMENT REQUIREMENTS.

9. EXISTING TREES SHALL BE PRESERVED WHEREVER POSSIBLE. FIELD ADJUSTMENTS TO PROPOSED GRADING, UTILITY STRUCTURE LOCATIONS, ETC. WILL BE MADE IN AN EFFORT

TO PRESERVE EXISTING TREES.

10. ALL UTILITY TRENCHES LOCATED IN PUBLIC ROADWAYS SHALL BE REPAIRED IN ACCORDANCE WITH APPLICABLE STANDARDS.

11. METERING DEVICES AND OTHER UTILITY APPURTENANCES, INCLUDING BUT NOT LIMITED

TO WATER, SEWER, ELECTRIC, CABLE, TELEPHONE, AND NATURAL GAS SHALL BE

INSTALLED WHERE AND AS REQUIRED BY MUNICIPAL OR UTILITY COMPANY STANDARDS.

12. NEW ELECTRIC AND TELEPHONE UTILITIES TO BE INSTALLED UNDERGROUND.

13. PRECAST OR CAST—IN—PLACE REINFORCED CONCRETE STRUCTURES MAY BE UTILIZED FOR DRAINAGE, AND SANITARY SEWER SYSTEMS INCLUDING DETENTION OUTLET STRUCTURES UPON SUBMISSION TO AND APPROVAL OF SHOP DRAWINGS BY ENGINEER. ALL SHOP DRAWINGS ARE TO BE CERTIFIED BY A STATE—LICENSED PROFESSIONAL

14. ALL PRECAST AND CAST-IN-PLACE STRUCTURES ARE TO BE DESIGNED TO AASHTO HS-20 LOADING REQUIREMENTS.

UTILITY PIPE SPECIFICATIONS

ALL STORM SEWERS, PRECAST STORM SEWER STRUCTURES AND APPURTENANCES
 SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PENNDOT STANDARD

SPECIFICATIONS, LATEST REVISION.

2. <u>HIGH DENSITY POLYETHYLENE PIPE</u> (4"+): AASHTO M252, TYPE S AND AASHTO M294. WATERTIGHT PER ASTM D2321. POLYISOPRENE GASKETS PER ASTM F477.

3. <u>DUCTILE IRON (DI) PIPE AND FITTINGS</u>: ASTM A 746 SERVICE CLASS, FLEXIBLE LINED,

4. PVC PIPE (SIZES 4" - 12" IN DIAMETER): C-900 "BLUE BRUTE" PIPING PER AWWA C900-07 AND FM1612. PRESSURE CLASS 165 PSI (DR25), 235 PSI (DR18); 305 PSI (DR14). GASKETS PER ASTM F477 AND JOINTS PER ASTM D3139. FM APPROVED FOR PRESSURE CLASS 150 PSI (DR18) AND 200 PSI (DR14).

INSTALL PIPING BEGINNING AT LOW POINT OF SYSTEMS, TRUE TO GRADES AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. PLACE BELL ENDS OF PIPING FACING UPSTREAM.
 INSTALL PIPING PITCHED DOWN IN DIRECTION OF FLOW, AT SLOPES AND COVER

7. ALL PRECAST DRAINAGE STRUCTURES SHALL CONTAIN REINFORCING STEEL AND BE DESIGNED FOR AASHTO HS-20 LOADING.

8. STATE CERTIFIED PE SIGNED AND SEALED SHOP DRAWINGS OF ALL PRECAST DRAINAGE STRUCTURES SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.

PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
 ALL RCP JOINTS SHALL BE MORTARED WITH 2:1 SAND MORTAR UNLESS OTHERWISE NOTED ON THE PLANS.
 CONDUIT OUTLET PROTECTION SHALL BE INSTALLED PRIOR TO THE CONSTRUCTION OF ANY PIPE RIIN

ANY PIPE RUN.

12. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS CONSTRUCTION OF STORM SEWER PROGRESSES IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION.

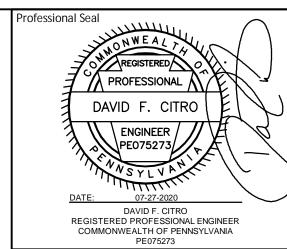
13. INFILTRATION/ DETENTION BEDS/PIPING TO BE INSTALLED WITH NO SLOPE (S=0.00%).
14. ALL PROPOSED CLEANOUTS TO BE SET FLUSH WITH FINISHED GRADE.
15. FINAL GRATE ELEVATIONS OF ALL MANHOLE CASTINGS TO BE FLUSH WITH FINISHED PAVEMENT GRADE (PAVED AREAS) AND SIX-INCHES (6") ABOVE FINISHED GRADE IN

ALL LAWN AREAS.

16. PRECAST OR CAST—IN—PLACE REINFORCED CONCRETE STRUCTURES MAY BE UTILIZED FOR DRAINAGE, AND SANITARY SEWER SYSTEMS INCLUDING DETENTION OUTLET STRUCTURES UPON SUBMISSION OF AND APPROVAL OF SHOP DRAWINGS BY ENGINEER.

ALL SHOP DRAWINGS ARE TO BE CERTIFIED BY A STATE-LICENSED PROFESSIONAL ENGINEER.

17. ALL PRECAST AND CAST-IN-PLACE STRUCTURES ARE TO BE DESIGNED TO AASHTO HS-25 LOADING REQUIREMENTS.



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A R (H | T E (T S A Bergmann Company Johnsrud & Associates Architects, LLC 2700 Interplex Drive, Trevose, PA 19053 Phone 215-639-4200 www.Johnsrud.com

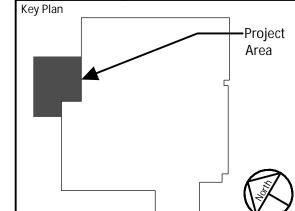


CIVIL & STRUCTURAL ENGINEERS
1750 WALTON ROAD, BLUE BELL, PA 19422

MEG PROJECT NO. 19360

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Rev.	Rev. Date	Description			
Key Pl	Key Plan				
	E D C B A Rev.	E 06-12-2020 D 06-01-2020 C 05-01-2020 B 04-23-2020 A 03-31-2020 Rev. Rev. Date			





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1303 Goshen Parkway West Chester, PA 19380

FINISHING PLANT

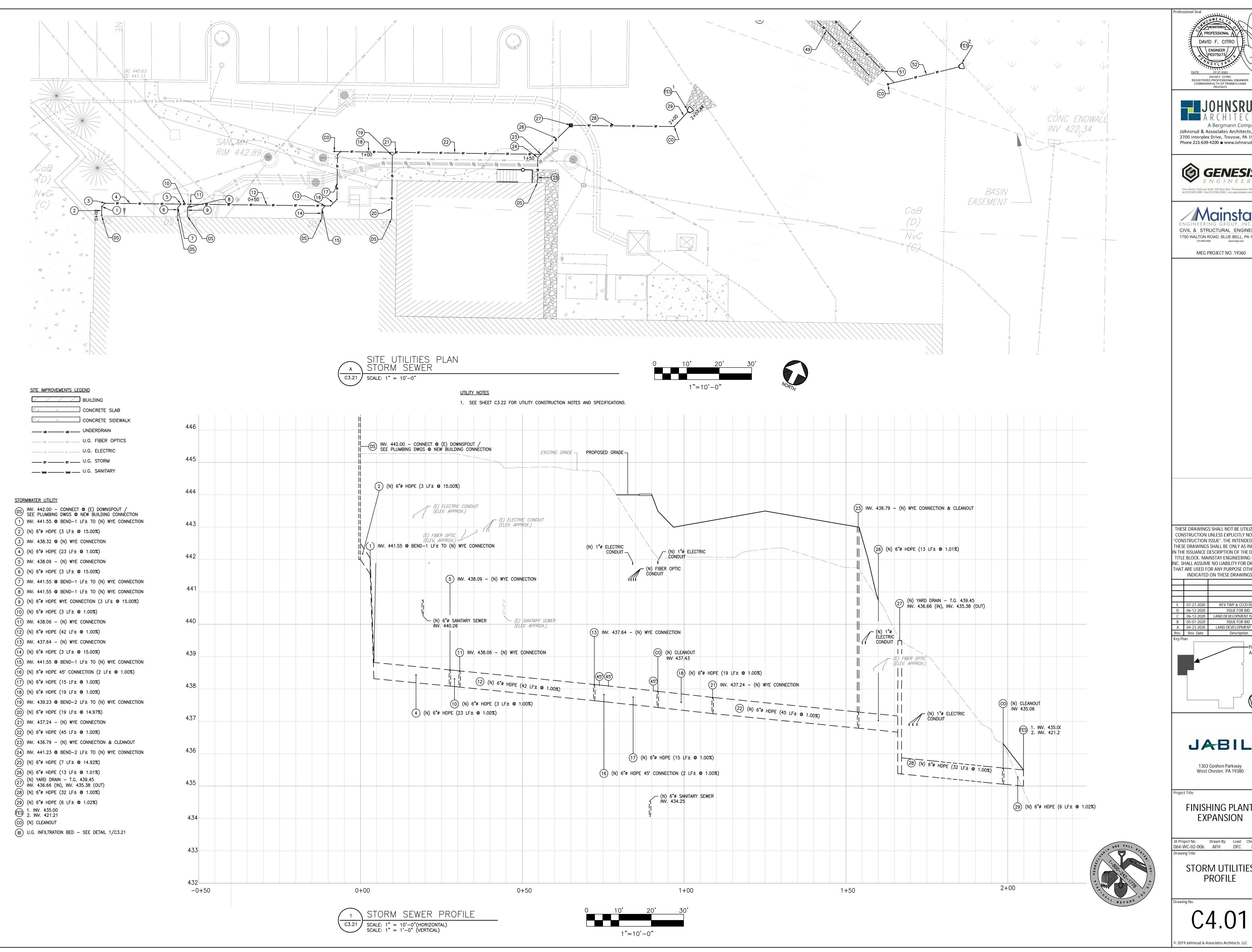
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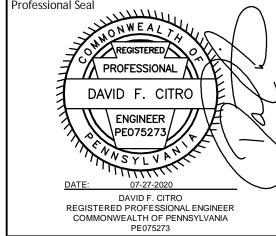
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Drawing Title

SITE UTILITIES PLAN (2 OF 2)

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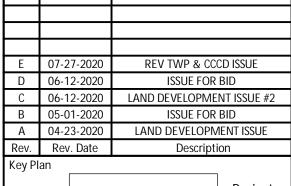
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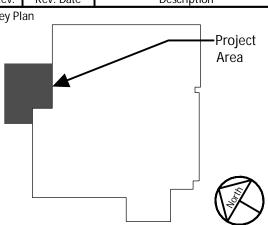
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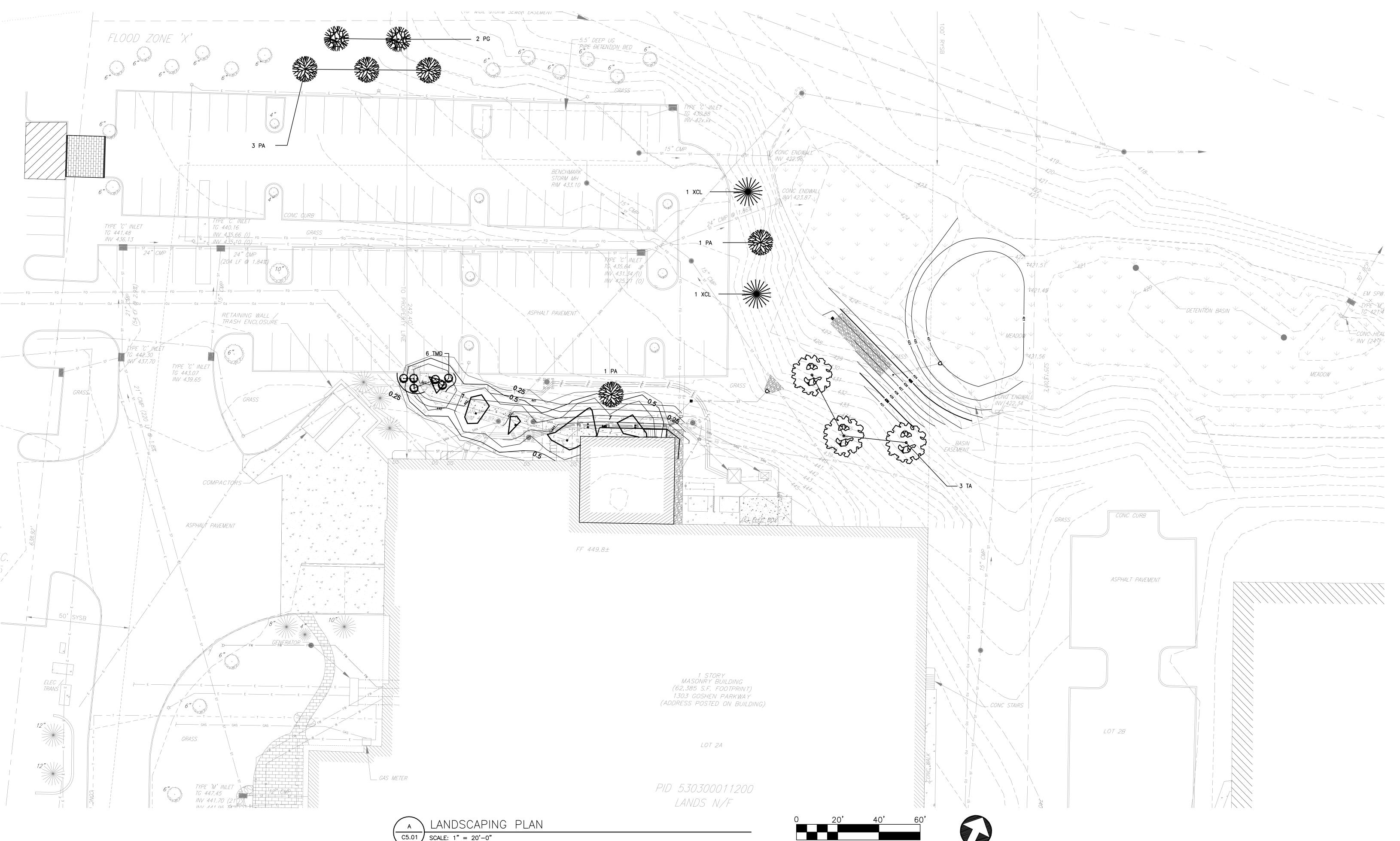
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STORM UTILITIES

PROFILE

C4.01



GENERAL LANDSCAPING NOTES

- 1. ALL PLANTS SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS, AND DISEASE, AND SUITABLE FOR PARK USE AND DURABLE UNDER THE MAINTENANCE CONTEMPLATED. NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE FINISHED GRADING OF THE PARK HAS BEEN COMPLETED. ALL MATERIALS, INSTALLATION AND MAINTENANCE PROVISIONS SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN. MAINTAIN PROPER SEPARATION BETWEEN TREES AND UTILITIES. TREES MUST BE PLANTED A MINIMUM DISTANCE OF 3' (THREE FEET) FROM CURBS AND SIDEWALKS, 15' (FIFTEEN
- FEET) FROM OVERHEAD UTILITIES, AND 6' (SIX FEET) FROM UNDERGROUND UTILITIES. LOCATIONS OF UTILITIES SHOWN ON THE DRAWINGS MIGHT NOT COINCIDE PRECISELY WITH ACTUAL LOCATIONS IN THE FIELD. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO COMMENCING PLANTING OPERATIONS.
- 4. MAINTENANCE: ALL REQUIRED PLANTINGS, INCLUDING BUT NOT NECESSARILY LIMITED TO BUFFER AND SCREENING PLANTS, STREET TREES, AND PERIMETER LANDSCAPING, SHALL BE PERPETUALLY MAINTAINED. THE OWNER OR OWNER'S LANDSCAPE INSTALLER SHALL BE RESPONSIBLE FOR MAINTAINING PLANTINGS FOR A PERIOD OF EIGHTEEN (18) MONTHS FOLLOWING COMPLETION OF THE IMPROVEMENTS DURING THE MAINTENANCE/GUARANTEE PERIOD. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE AFTER THIS PERIOD HAS
- 5. GUARANTEE: ALL PLANTS SHALL BE GUARANTEED FOR EIGHTEEN (18) MONTHS AFTER FINAL PROJECT CLOSEOUT. PLANTS SHALL BE REPLACED DURING THIS PÉRIOD IF THEY DIE, FAIL TO EXHIBIT TYPICAL GROWTH DURING THE FOLLOWING GROWING SEASON OR BECOME DISFIGURED. THE REPLACEMENT PLANT SHALL MATCH THE ORIGINAL PLANT IN SIZE AND SPECIES. AT THE END OF THE 18 MONTH MAINTENANCE/GUARANTEE PERIOD, ANY MATERIAL THAT, IN THE OPINION OF THE ENGINEER OR OWNER REPRESENTATIVE, IS SIGNIFICANTLY DISFIGURED OR 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE BY THE LANDSCAPE INSTALLER. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR THERE IS 25% OR MORE
- OF THE CROWN DEAD. 6. ALL TREE WRAP AND STAKING MATERIALS MUST BE REMOVED BY THE CONTRACTOR AT THE CONCLUSION OF THE 18 MONTH MAINTENANCE/GUARANTEE PERIOD.

- PLANTING NOTES

 1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS, AS SPECIFIED, AND IN QUANTITIES
- INDICATED ON THE PLANT LIST. WHEN A DISCREPANCY ARISES IN QUANTITY, THE ACTUAL NUMBER OF PLANTS SHOWN ON THE DRAWINGS SHALL GOVERN. 2. ALL PLANTS SHALL BE QUALITY NURSERY GROWN MATERIAL COMPLYING WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND ANSI Z60.1. THEY SHALL BE FRESHLY DUG AND SUPPLIED TO THE SITE FREE OF HARMFUL INSECTS. DISEASE. DISFIGUREMENT, OR DAMAGE TO ROOT BALLS, BARK, STEMS. OR BRANCHES. THREE PLANTS OF EACH SPECIES SHALL BEAR A LABEL LISTING THE FULL BOTANICAL NAME OF THE PLANT AND SHALL BE CERTIFIED BY THE
- SUPPLIER TO BE THE SPECIES LABELED. 3. ANY PLANT FOUND TO BE DAMAGED, DISEASED, DISFIGURED, OR IN NON-COMPLIANCE WITH ANSI SPECIFICATIONS, SPECIES, OR QUALITY WILL BE REJECTED AND SHALL BE REMOVED FROM THE SITE. 4. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. ALL PLANT MATERIAL SHALL MINIMALLY BE HARDY WITHIN THE USDA HARDINESS ZONE 6B. 6. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OR GROWTH. THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE CERTIFIED BY
- APPROPRIATE STATE AND FEDERAL AUTHORITIES TO BE FREE OF DISEASE AND INSECT PESTS, EGGS OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. FALL DIGGING HAZARD: ANY SPECIES LISTED BELOW, IF INCLUDED ON THE PLANT LIST, MUST NOT BE DUG IN THE FALL (OCTOBER THROUGH DECEMBER) BECAUSE OF RISK TO THE TREE'S SURVIVAL. SPECIAL EXCEPTIONS MAY BE GRANTED IF HE OWNER IS NOTIFIED AND AN EXTENDED WARRANTY ON THESE PLANTS IS AGREED UPON PRIOR TO DIGGING. THE FOLLOWING VARIETIES SHOULD NOT BE DUG IN FALL: BETULA, CARPINUS, CELTIS, CERCIDIPHYLLUM, CRATAEGUS, CRYPTOMERIA, FAGUS, HALESIA, ILEX (TREE FORM VARIETIES), KOELREUTERIA, LIQUIDAMBAR, LIRIODENDRON, NYSSA, OSTRYA, PRUNUS, PYRUS, QUERCUS (EXCEPT QUERCUS PALUSTRIS), SALIX (WEEPING VARIETIES), SORBUS, TAXODIUM, TILIA TOMENTOSA, AND ULMUS. DIGGING FOR MALUS AND ZELKOVA VARIETIES SHOULD BE AVOIDED IN FALL ONLY WHEN IN LEAF.
- 8. SUBSTITUTIONS: WHEN PLANTS OF A SPECIFIED KIND OR SIZE ARE NOT AVAILABLE WITHIN A 150 MILE RADIUS OF PROJECT SITE, SUBSTITUTIONS MAY BE MADE UPON REQUEST BY THE CONTRACTOR, IF APPROVED BY THE ENGINEER AND OWNER. NOTIFY OWNER IN WRITING WITH ALL SUBSTITUTION REQUESTS TO OBTAIN APPROVALS. 9. SIZE: ALL PLANTS SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE PLANT LIST, UNLESS AUTHORIZED IN WRITING BY THE OWNER. 10. MEASUREMENT: DIMENSIONS OF TREES AND SHRUBS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK

ANSI Z60.1, LATEST EDITION.

- 11. SHADE TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SEVEN (7) FEET ZEROINCHES ABOVE THE GROUND AS GROWN IN THE NURSERY. MINOR PRUNING OF LOWER BRANCHES MIGHT BE NECESSARY. HOWEVER, TREES WITH DISFIGURED HEADS CAUSED BY THE NEED FOR SIGNIFICANT REMOVAL OF LOWER BRANCHES WILL NOT BE ACCEPTED AND MUST BE REPLACED IMMEDIATELY. 12. TREES IN LEAF, INCLUDING EVERGREENS, WHEN PLANTED SHALL BE TREATED WITH ANTI-DESICCANT (WILT-PROOF OR EQUAL) IF PLANTED DURING THE MONTHS OF JUNE THROUGH SEPTEMBER, NOVEMBER, AND DECEMBER. 13. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH, OF DIAMETER AND DEPTH TO
- INCLUDE MOST OF THE FIBROUS ROOTS. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER. 14. ROOT BALLS OF ALL PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST. 15. PLANTS WITH BROKEN ROOT BALLS OR EXCESSIVE DAMAGE TO THE CROWN, STEM OR HEAD SHALL BE REPLACED PRIOR TO PLANTING. ANY PLANT SIGNIFICANTLY DAMAGED AFTER PLANTING SHALL BE REPLACED PRIOR TO PROJECT CLOSEOUT. THE
- REPLACEMENT PLANT SHALL MAINTAIN A FULL GUARANTEE FOR THE DURATION SPECIFIED FOR THE PROJECT. 16. ALL PLANT MATERIAL TO BE INSTALLED IN ACCORDANCE WITH THE PLANTING PRACTICES STATED IN CHAPTER 3 OF "TREE MAINTENANCE" BY P.P. PIRONE (LATEST EDITION).
- 18. PREPARE TREE AND SHRUB PLANTING PITS WITH PROPER SIZE EXCAVATIONS AND BACKFILL DURING PLANTING WITH

17. TAKE EXTREME CARE IN HANDLING AND INSTALLING ALL PLANTS TO PREVENT DAMAGE TO BARK, BRANCHES, AND ROOT

- PREPARED BACKFILL MIXTURE. BACKFILL IN LAYERS, WATER THOROUGHLY TO ALLOW SETTLEMENT AND REMOVE AIR POCKETS. 19. PLANT ROOT BALLS AT THE SAME RELATION TO GRADE AS PREVIOUSLY GROWN AT THE NURSERY. HIGH OR LOW ROOT BALLS SHALL NOT BE ACCEPTED.
- PLANTING SOIL AND 2/3 EXISTING SOIL. 21. FERTILIZE ALL PLANTS WITH APPROPRIATE STARTER FERTILIZER AT TIME OF PLANTING. 22. ALL PLANTINGS MUST BE THOROUGHLY WATERED WITHIN THE FIRST 12 HOURS OF INSTALLATION. THE CONTRACTOR IS 23. MULCH ALL PLANTINGS AND PLANTING BEDS IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED WITH A 3"(THREE INCH) LAYER OF FINELY SHREDDED BARK MULCH OR LICORICE ROOT. THE MULCH SHALL BE AGED A MINIMUM OF 6

20. BACKFILL PLANTING SOIL OF 50% TOPSOIL AND 50% PEAT MOSS SHALL BE MIXED WITH EXISTING SOIL AT A RATE OF 1/3

- MONTHS. A GRANULAR PRE-EMERGENT WEED CONTROL SHALL BE SPREAD PRIOR TO MULCHING. THE LIMIT OF THIS MULCH FOR DECIDUOUS TREES AND SINGLE EVERGREEN TREES SHALL BE THE AREA OF THE PIT EXCAVATION. FOR ALL EVERGREEN TREE AND SHRUB CLUSTERS. A FULLY MULCHED BED SHALL BE CREATED. MULCH PLANTING BEDS ENTIRELY AROUND AND BETWEEN ALL PLANTS FOR A FULLY MULCHED BED. DEPTH SHALL BE CLEANLY CUT AND TAPERED TO MATCH SURROUNDING LAWN GRADES.
- 24. ALL SHRUBS ARE TO BE MULCHED IN GROUPS. NO SINGULARLY MULCHED SHRUBS WILL BE ACCEPTED, UNLESS A SINGULAR SPECIMAN SHRUB IN LAWN HAS BEEN SHOWN ON THE DRAWINGS. A CONTINUOUS MULCH BED SHALL BE PROVIDED FOR EACH GROUPING OR CLUSTER OF SHRUBS TO THE EXTENT OF THEIR COLLECTIVE BRANCH DRIP LINE,
- UNLESS OTHERWISE DEPICTED ON THE PLANS. 25. WEED CONTROL: ALL PLANTING AREAS SHALL BE FREE FROM WEEDS PRIOR TO THE BEGINNING OF PLANTING OPERATION CONTACT HERBICIDE SPRAYS SHOULD ONLY BE USED AS REQUIRED AND ALL MANUFACTURES SPECIFICATIONS FOLLOWED. 26. TREES SHALL BE STAKED AND GUYED AS SHOWN ON THE PLANTING DETAILS. 27. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. REMOVE DEAD, DYING OR DAMAGED BRANCHES, WEAK CROTCHES, AND POTENTIAL DOUBLE LEADERS BY REMOVING WHOLE BRANCH SECTIONS BACK TO A BRANCH UNION USING PROPER HORTICULTURAL PRACTICES. DO NOT TIP- OR STUB-CUT BRANCHES. THE FORM OF THE PLANT SHALL REMAIN TYPICAL
- OF ITS SPECIES. PRUNING OF THE CENTRAL LEADER, SHEARING, OR END-CUTTING OF BRANCHES SHALL RENDER THE PLANT "DISFIGURED" AND IT SHALL BE REJECTED. 28. ALL PLANTING SHALL BE AT THE LOCATIONS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADES, ALIGNMENT, AND TO THE INDICATED LAYOUT OF THE PLANTING BEDS. 29. LAYOUT OF PLANTING: THE CONTRACTOR SHALL LAY OUT WITH IDENTIFIABLE STAKES THE LOCATION OF ALL PLANTING BEDS AS INDICATED ON DRAWINGS. THE LAYOUT OF PLANTINGS SHALL BE APPROVED BY THE OWNER OR OWNER REPRESENTATIVE
- PRIOR TO ANY EXCAVATION OF PLANT PITS OR PLANTING BEDS. 30. MINOR ADJUSTMENTS TO TREE LOCATIONS MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR SHALL NOTIFY THE OWNER IF MAJOR ADJUSTMENTS ARE REQUIRED. 31. CONDITIONS DETRIMENTAL TO PLANTS: THE CONTRACTOR SHALL NOTIFY THE PROJECT REPRESENTATIVE IN WRITING OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS. THE CONTRACTOR SHALL STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS, INCLUDING ANY
- CHANGE IN COST, FOR REVIEW AND ACCEPTANCE BY THE PROJECT REPRESENTATIVE. 32. ALL PLANTING BEDS SHALL BE DELINEATED BY THE INSTALLATION OF A DURABLE EDGING AND SHALL BE INSTALLED FLUSH WITH THE FINISHED GRADE. 33. ALL LAWN AREAS DISTURBED BY CONSTRUCTION, WHETHER OR NOT OTHERWISE NOTED, ARE TO BE PREPARED AND SEEDED AS PER THE SEEDING NOTES.
- 36. ALL EVERGREEN TREES SHALL HAVE AT LEAST SIX-FEET PLANTED HEIGHT, UNLESS OTHERWISE NOTED. 37. ALL SHRUBS SHALL HAVE AT LEAST TWO FOOT PLANTED HEIGHT OR DIAMETER - WHICHEVER IS GREATER, UNLESS
- OTHERWISE NOTED. 38. ALL TREES AND SHRUBS SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED. 39. ALL TREES SHALL BE STAKED AND PROTECTED FROM ANIMALS AND PESTS, UNLESS OTHERWISE NOTED.

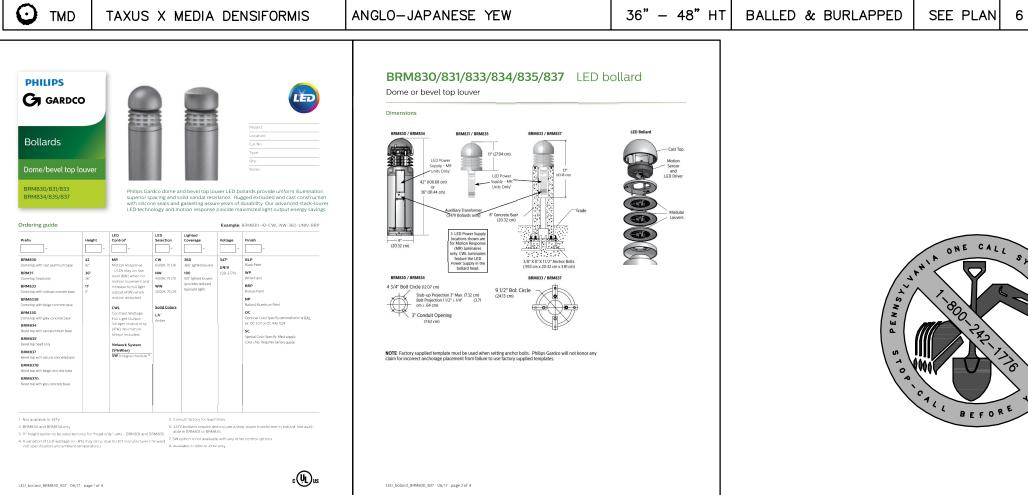
35. ALL DECIDUOUS TREES SHALL BE A MINIMUM 1 ½" CALIPER UNLESS OTHERWISE NOTED.

34. VEHICLES SHALL NOT TRAVEL ON TOPSOIL.



LANDSCAPE PLANTING SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	QTY.
SHADE TREES						
TA	TILIA AMERICANA, CORDATA	AMERICAN LITTLEAF LINDEN	3"-3.5" DBH	BALLED & BURLAPPED	SEE PLAN	3
* XCL	X CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	3"-3.5" DBH	BALLED & BURLAPPED	SEE PLAN	1 2
PA	PICEA ABIES	NORWAY SPRUCE	3"-3.5" DBH	BALLED & BURLAPPED	SEE PLAN	5
PG	PICEA GLAUCA	WHITE SPRUCE	3"-3.5" DBH	BALLED & BURLAPPED	SEE PLAN	1 2
SHRUBS						







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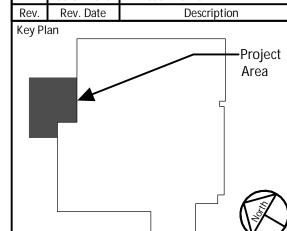


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1303 Goshen Parkway

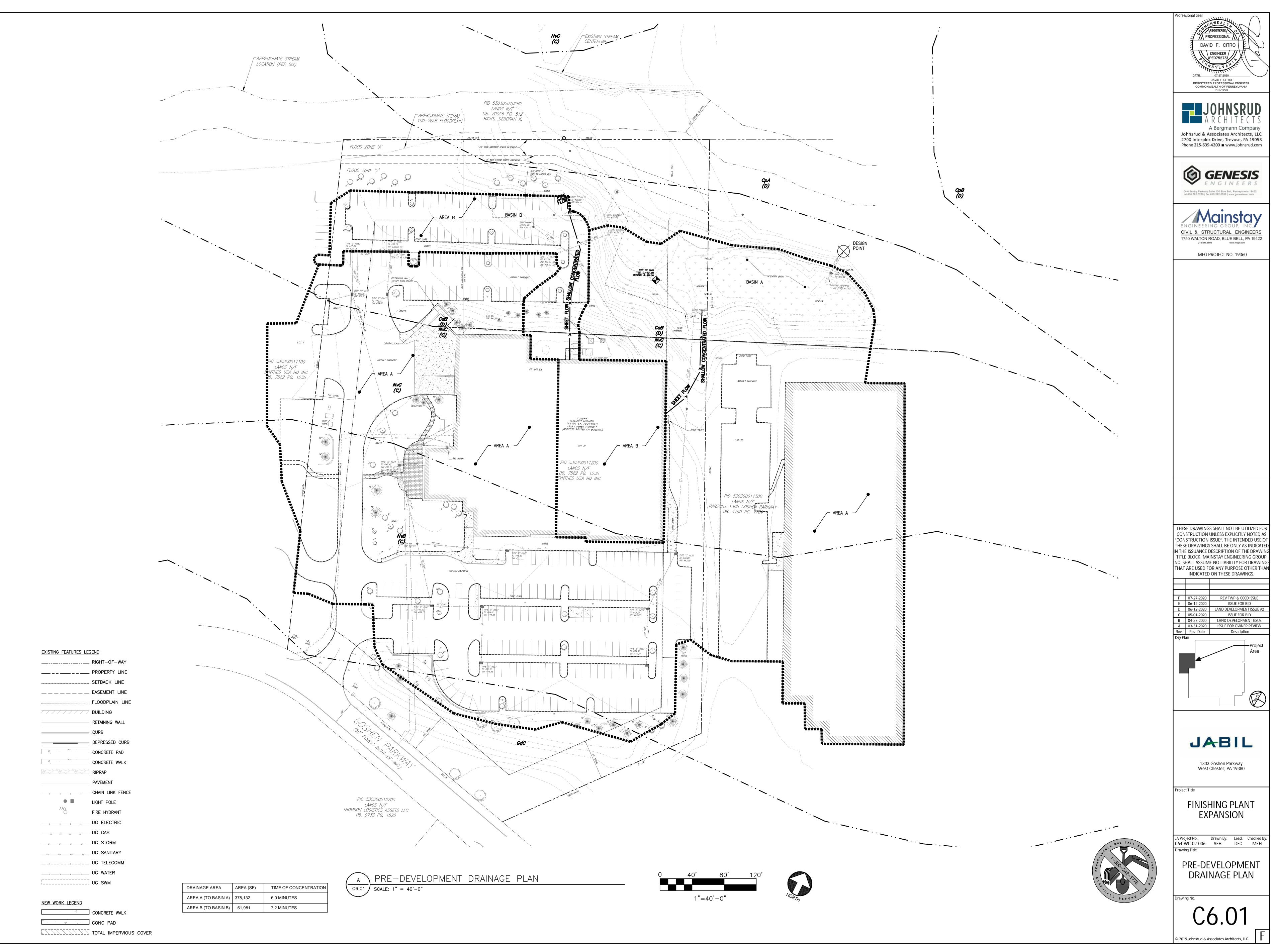
West Chester, PA 19380

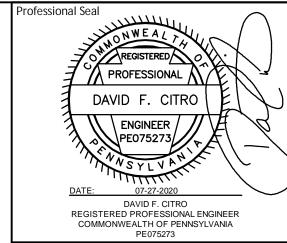
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LANDSCAPING PLAN







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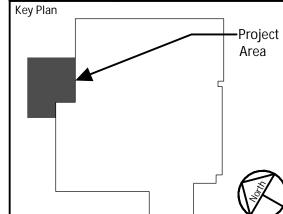


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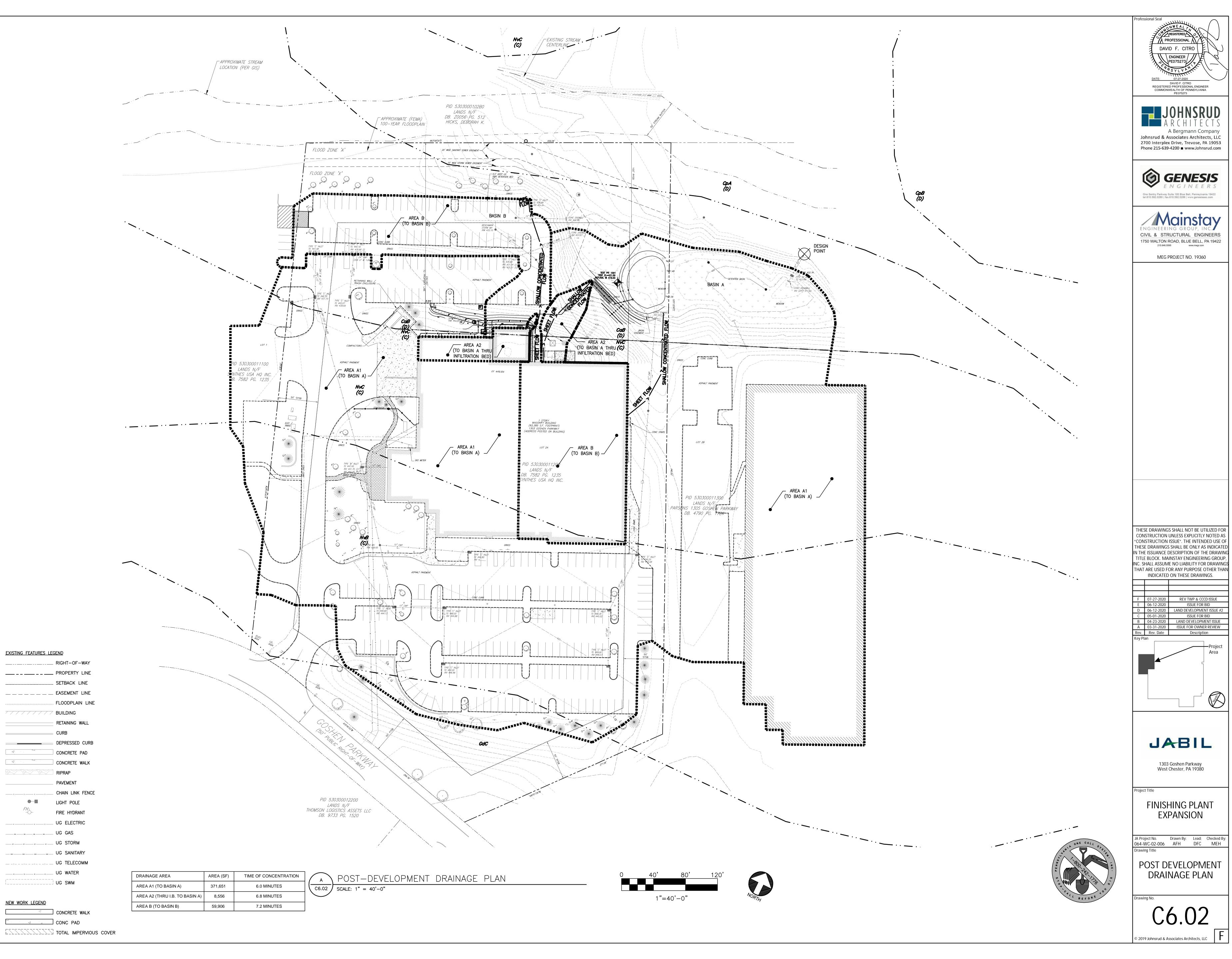


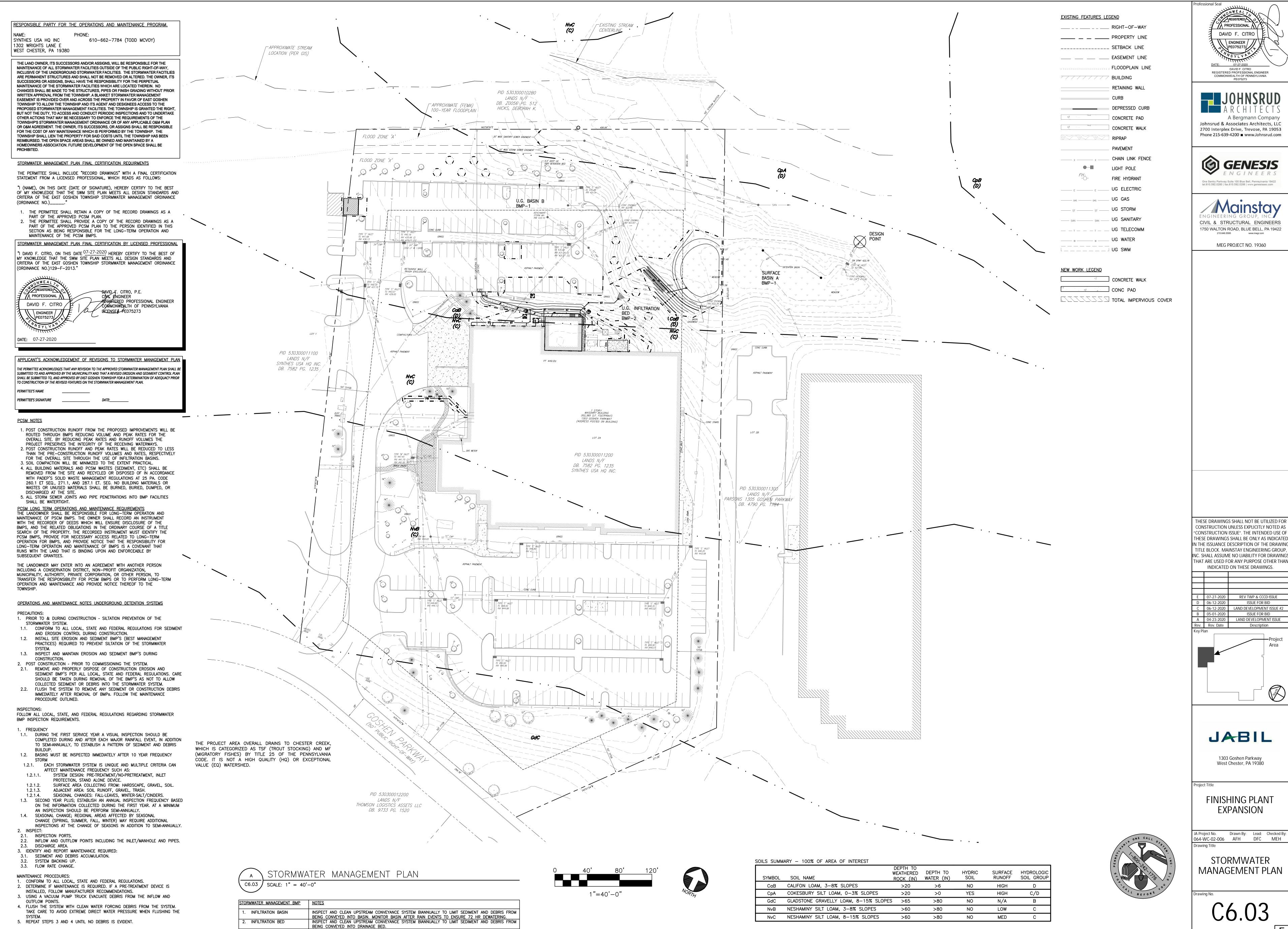
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PRE-DEVELOPMENT DRAINAGE PLAN





DAVID F. CITRO W | ENGINEER / DAVID F. CITRO REGISTERED PROFESSIONAL ENGINEER COMMONWEALTH OF PENNSYLVANIA

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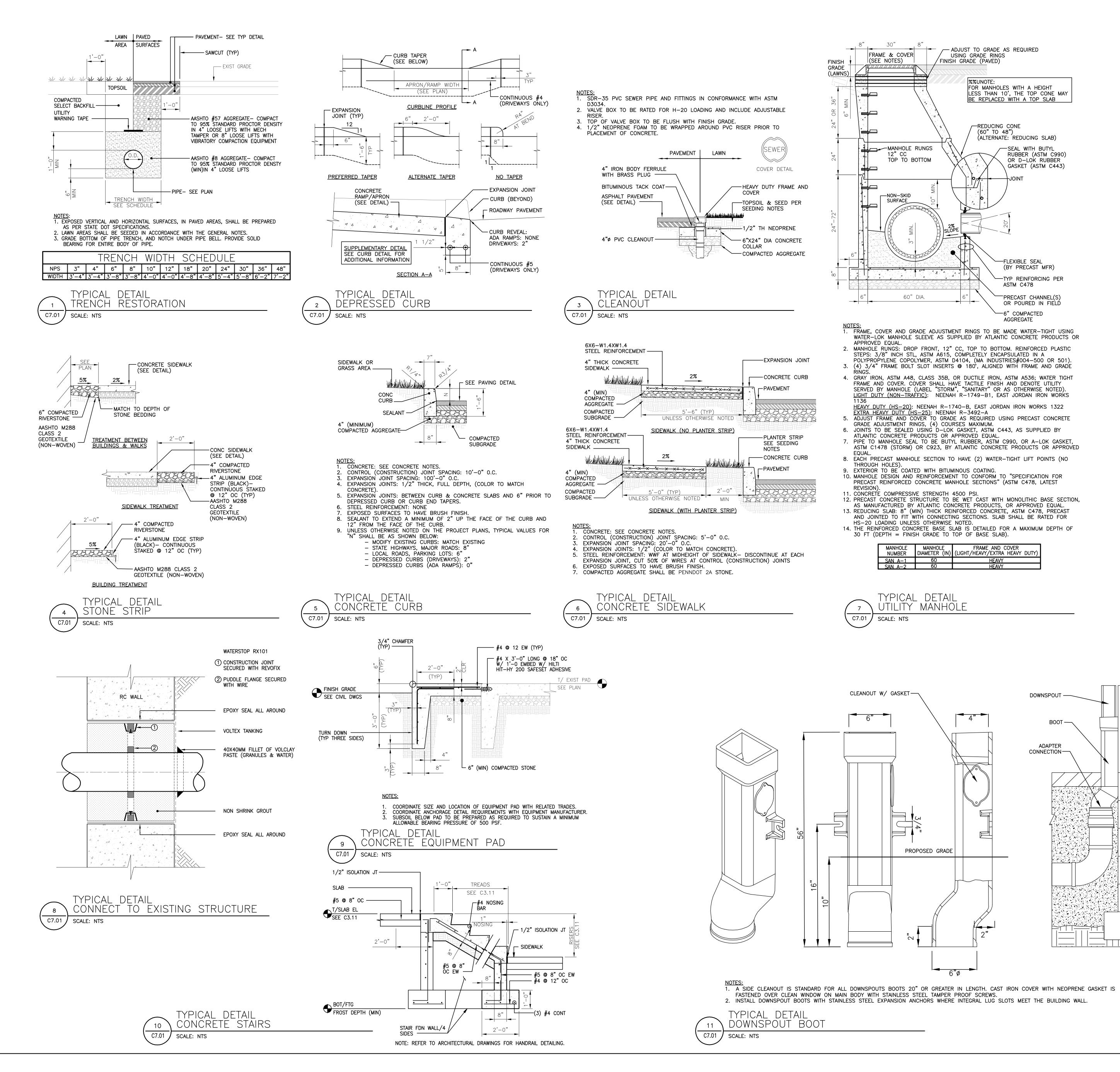
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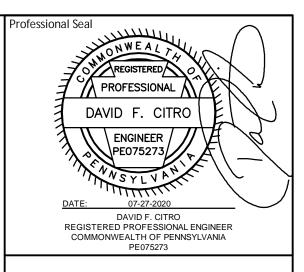
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064-WC-02-006 AFH DFC MEH

STORMWATER MANAGEMENT PLAN







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OR D-LOK RUBBER

GASKET (ASTM C443)

DOWNSPOUT -

B00T —

ADAPTER

CONNECTION —

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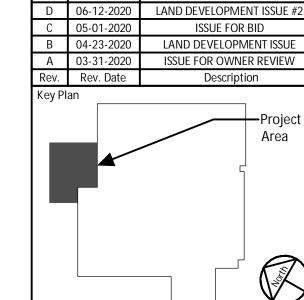
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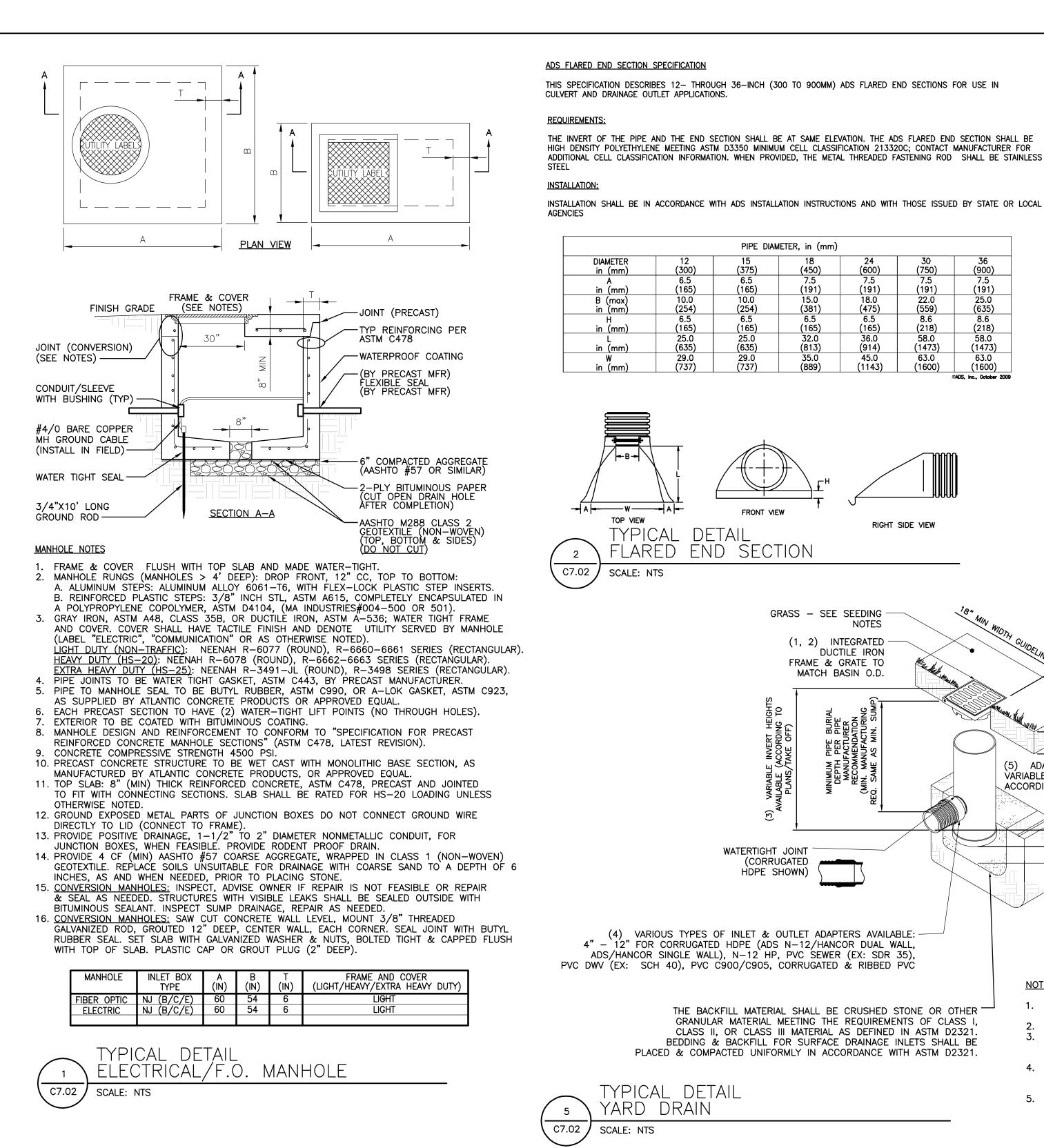
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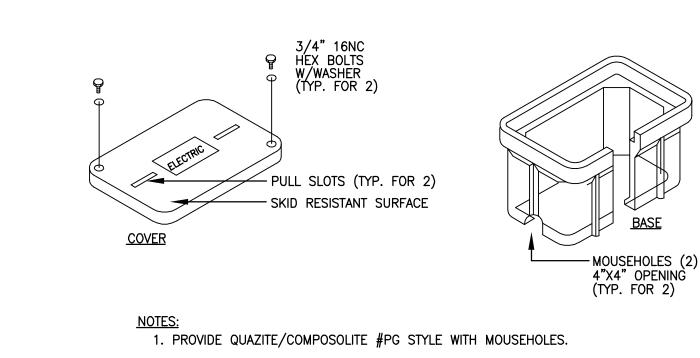
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CIVIL DETAILS SHEET (1 OF 2)

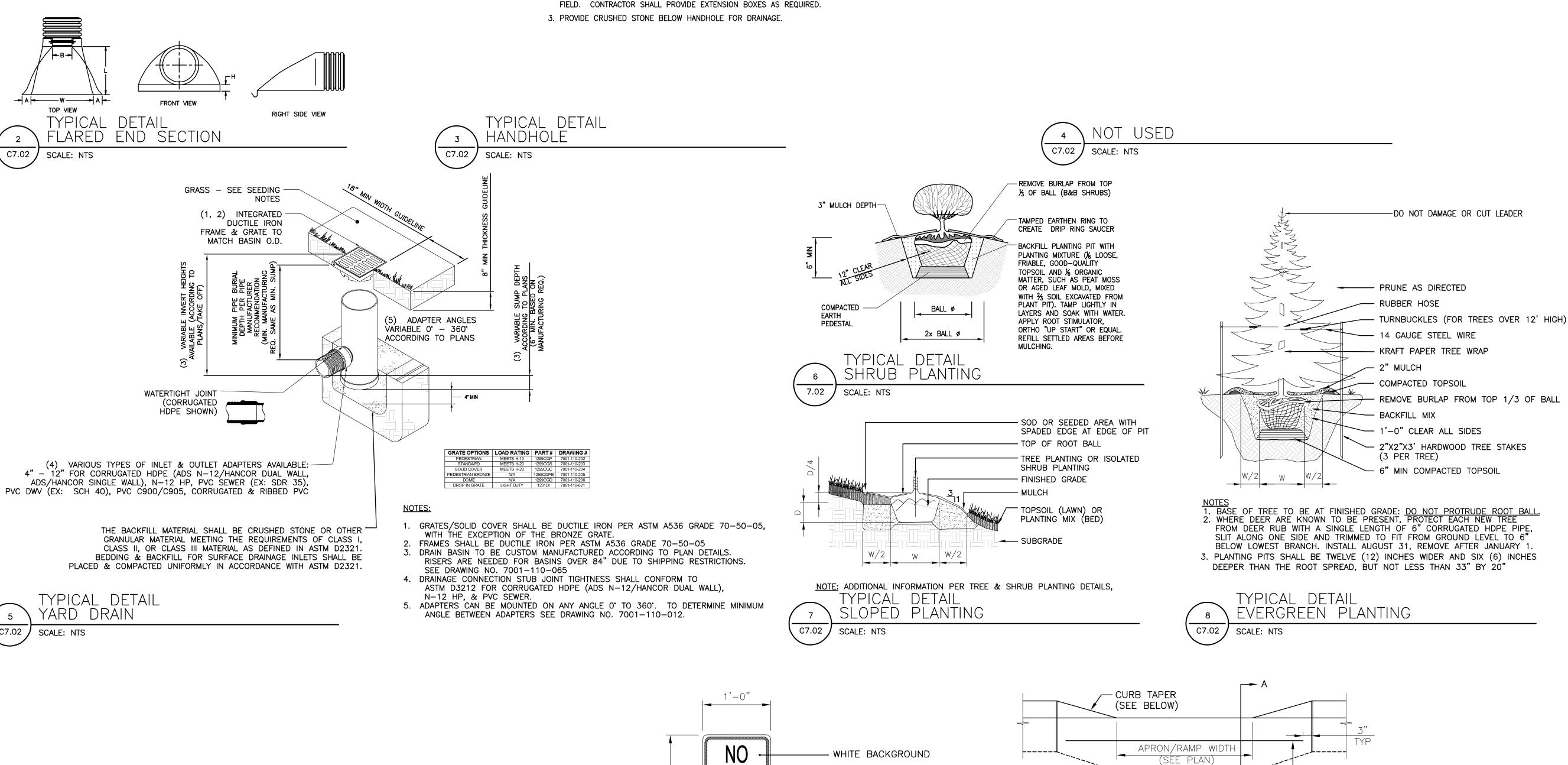


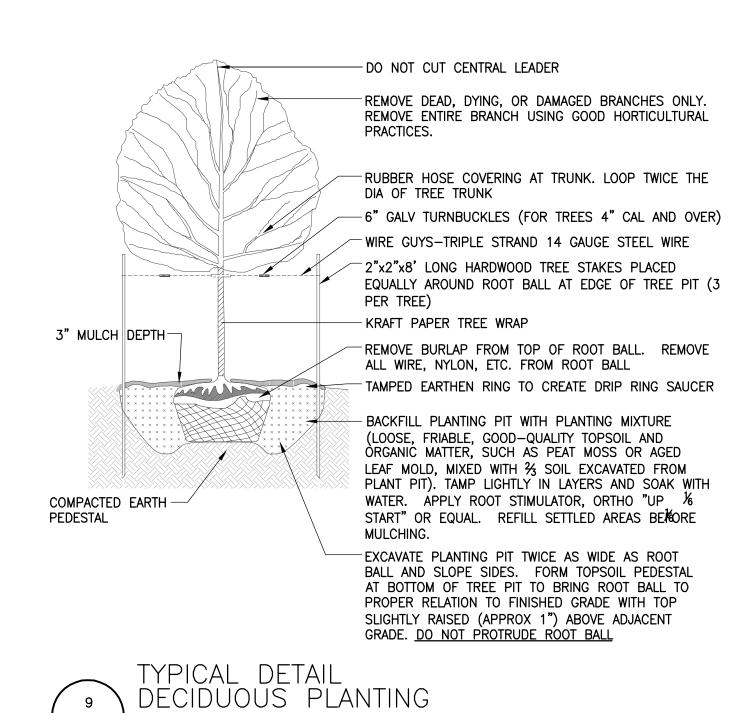


2. COORDINATE DEPTH OF HANDHOLES WITH EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL PROVIDE EXTENSION BOXES AS REQUIRED

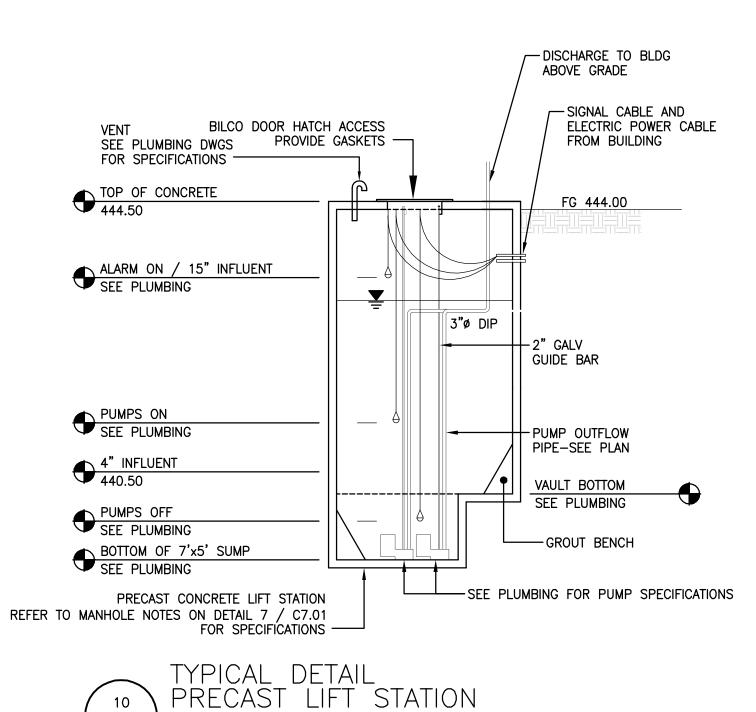
TYPICAL DETAIL FDC / FIRE LANE SIGNAGE

C7.02 SCALE: NTS



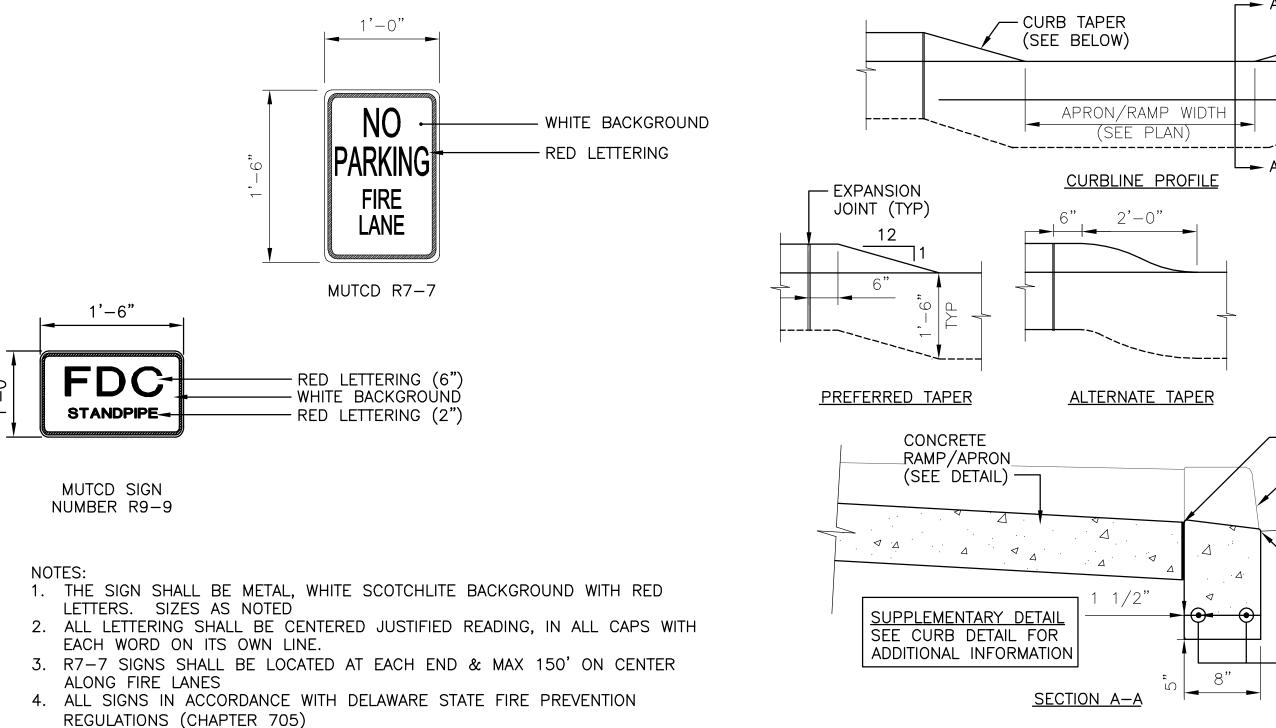


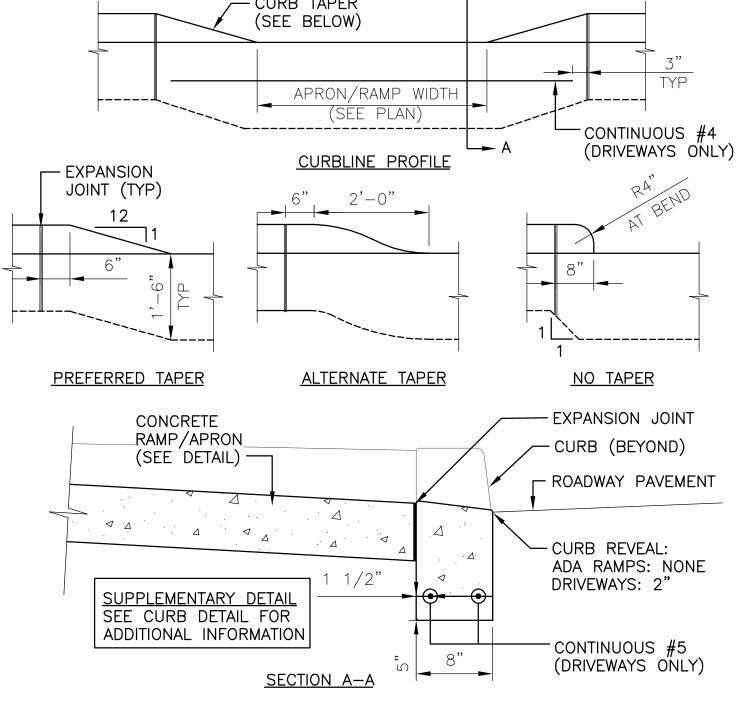
C7.02 SCALE: NTS



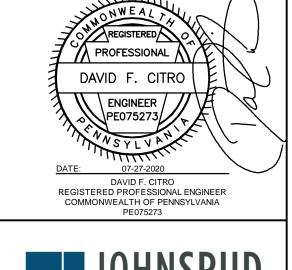
C7.02 SCALE: NTS

PIPE DIAMETER, in (mm)











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Phone 215-639-4200 ■ www.Johnsrud.com

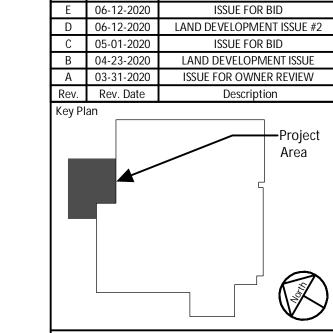


CIVIL & STRUCTURAL ENGINEERS 1750 WALTON ROAD, BLUE BELL, PA 19422

MEG PROJECT NO. 19360

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F 07-27-2020 REV TWP & CCCD ISSUE





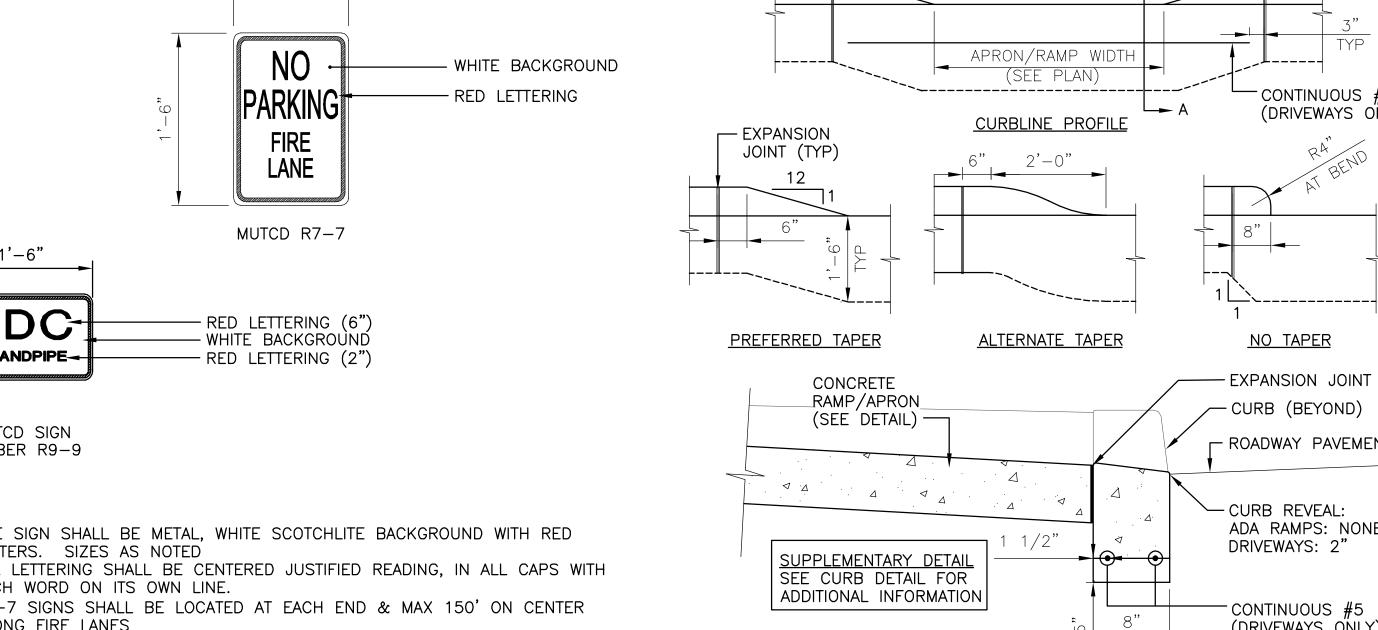
1303 Goshen Parkway West Chester, PA 19380

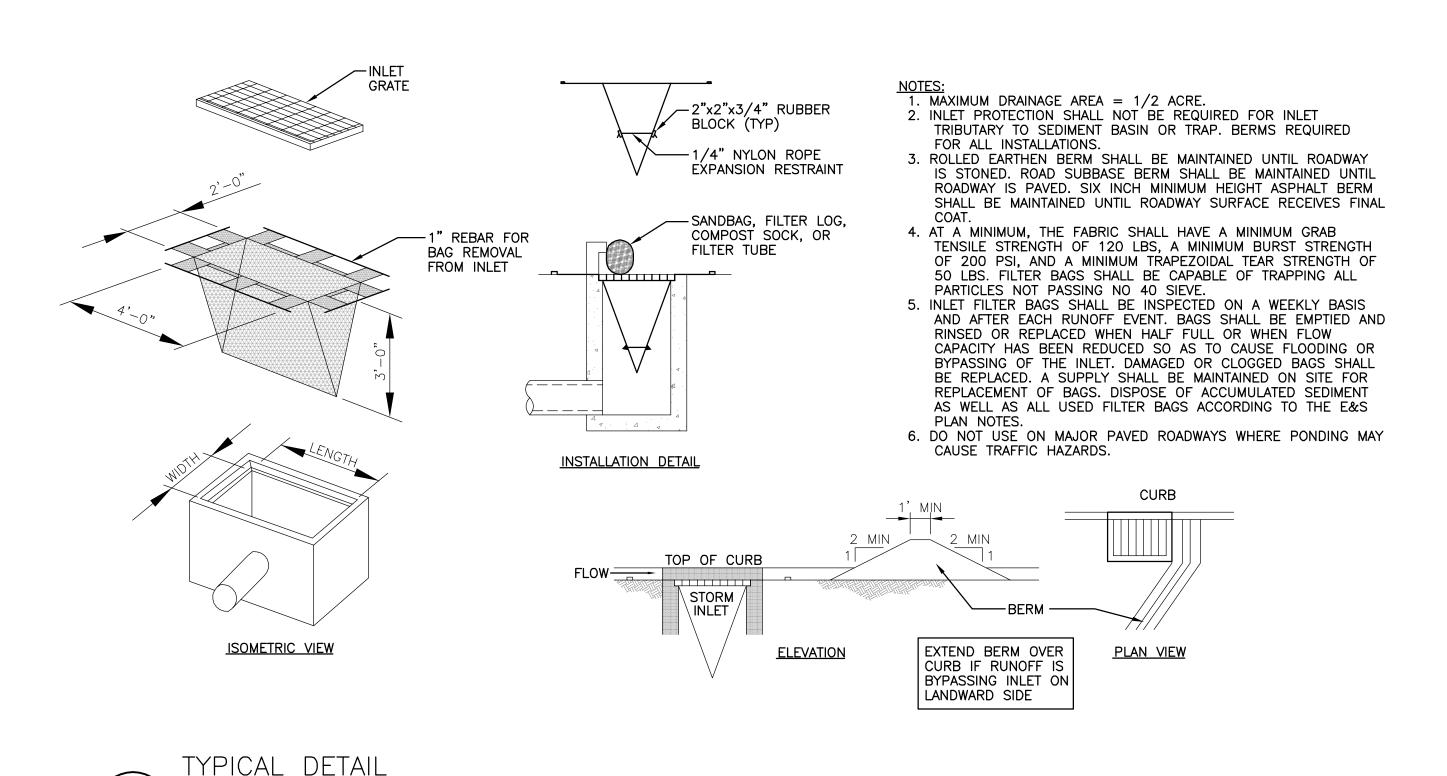
Project Title

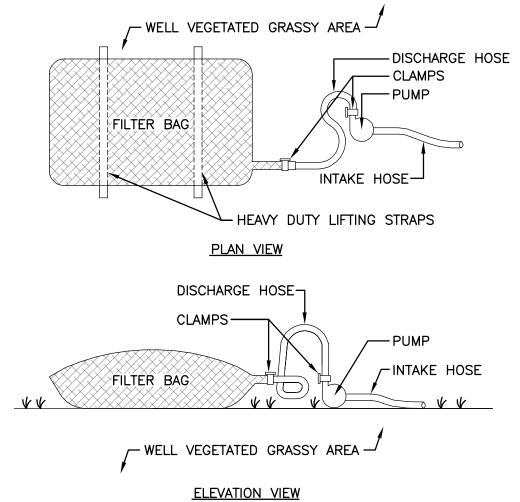
FINISHING PLANT **EXPANSION**

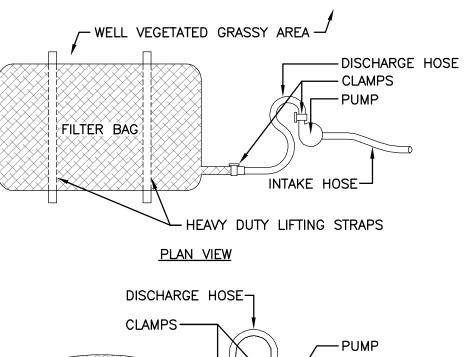
064-WC-02-006 AFH DFC MEH

CIVIL DETAILS SHEET (2 OF 2)









1. LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE-STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY
AVG WIDE WIDTH STRENGTH MINIMUM STANDARD ASTM D-4884 60 LB/IN 205 LB 110 LB ASTM D-4632 GRAB TENSILE PUNCTURE ASTM D-4833 350 PSI 70% MULLEN BURST ASTM D-3786 UV RESISTANCE ASTM D-4355

#80 SIEVE AOS % RETAINED ASTM D-4751 2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

3. BAGS SHALL BE LOCATED IN WELL—VEGETATED (GRASSY) AREAS AND DISCHARGE ONTO STABLE, EROSION—RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISHCARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON—ERODIBLE AND NON—POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

4. NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL EB INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER, OR WHERE GRASSY AREA IS NOT AVAILABLE.

[—]2"X2"X36" WOOD STAKES

PACED 5' O.C.

WATER, OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE SHALL BE USED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREAER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE LOATING AND SCREENED. 7. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

- SEDIMENT BARRIER (STRAW BALE / SILT SOCK) ._____ SLOPE _ ----- EX GRADE - OPTIONAL PLYWOOD (TO PREVENT TEARING OF PLASTIC)

STOCKPILE MANAGEMENT PROCEDURES AND PRACTICES ARE DESIGNED TO REDUCE OR ELIMINATE AIR AND STORMWATER POLLUTION FROM SOIL STOCKPILES. IMPLEMENT IN ALL PROJECTS THAT STOCKPILE SOIL AND OTHER MATERIALS.

• LOCATE STOCKPILES A MINIMUM OF 50 FT AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES, AND INLETS. PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING A TEMPORARY

PERIMETER SEDIMENT BARRIER (SEE DETAIL ABOVE). • ALL STOCKPILES SHOULD BE PROTECTED WITH A TARPAULIN COVER.

• INSPECT AND VERIFY THAT BMPS ARE IN PLACE PRIOR TO THE COMMENCEMENT

• PROVIDE BOTTOM PLASTIC LINER ON ALL STOCKPILES.

OF ASSOCIATED ACTIVITIES. WHILE ACTIVITIES ASSOCIATED WITH THE BMP ARE UNDERWAY, INSPECT WEEKLY TO VERIFY CONTINUED BMP IMPLEMENTATION. • REPAIR AND/OR REPLACE PERIMETER CONTROLS AND COVERS AS NEEDED TO KEEP THEM FUNCTIONING PROPERLY.



GENERAL NOTES:

- MAXIMUM DEPTH OF CONCRETE

SOCK

RING HEIGHT

WASHOUT WATER IS 50% OF FILTER

COMPOST FILTER

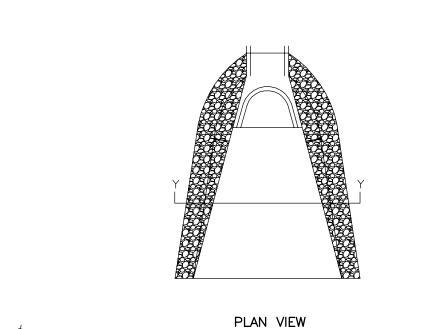
 INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE 2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

3. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS CONCRETE WASHOUT - FOR ANY PROJECT ON WHICH CONCRETE WILL BE POURED OR OTHERWISE FORMED ON SITE, A SUITABLE WASHOUT FACILITY MUST BE PROVIDED FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS. MAKE SURE THAT PROPER SIGNAGE IS PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT

4. WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS. THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED, BUT FAR ENOUGH FROM OTHER VEHICULAR TRAFFIC TO MINIMIZE THE POTENTIAL FOR ACCIDENTAL DAMAGE OR SPILLS. WHEREVER POSSIBLE, THEY SHOULD BE LOCATED ON SLOPES NOT EXCEEDING A 2% GRADE.

COMPOST SOCK WASHOUT

5. WHEREVER COMPOST SOCK WASHOUTS ARE USED, A SUITABLE IMPERVIOUS GEOMEMBRANE SHOULD BE PLACED AT THE LOCATION OF THE WASHOUT. COMPOST SOCKS SHOULD BE STAKED IN THE MANNER RECOMMENDED BY THE MANUFACTURER AROUND PERIMETER OF THE GEOMEMBRANE SO AS TO FORM A RING WITH THE ENDS OF THE SOCK LOCATED AT THE UPSLOPE CORNER (FIGURE 3.18). CARE SHOULD BE TAKEN TO ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE GEOMEMBRANE AT ALL LOCATIONS. WHERE NECESSARY, SOCKS MAY BE STACKED AND STAKED SO AS TO FORM A TRIANGULAR CROSS-SECTION



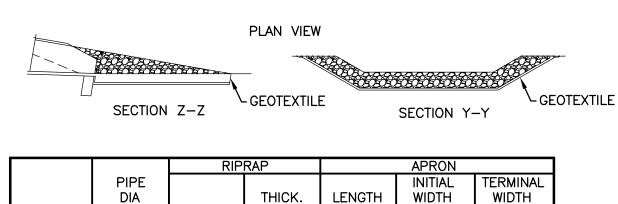
SIZE

C7.11 / SCALE: NTS

OUTLET

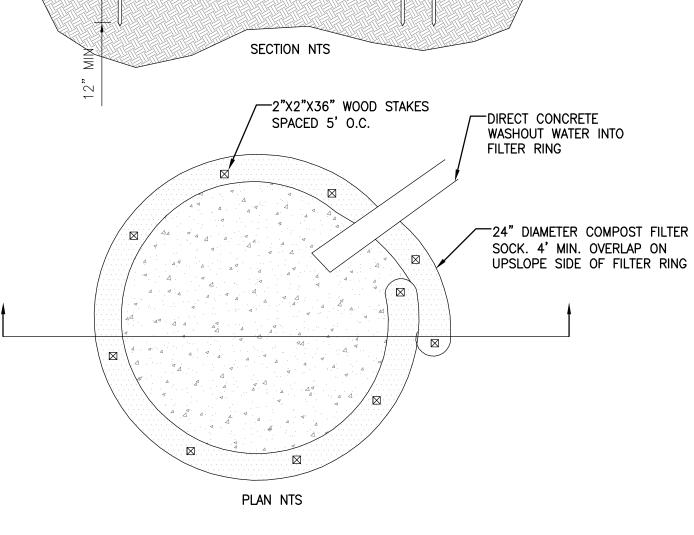
SCALE: NTS

TYPICAL DETAIL PUMPED WATER FILTER BAG



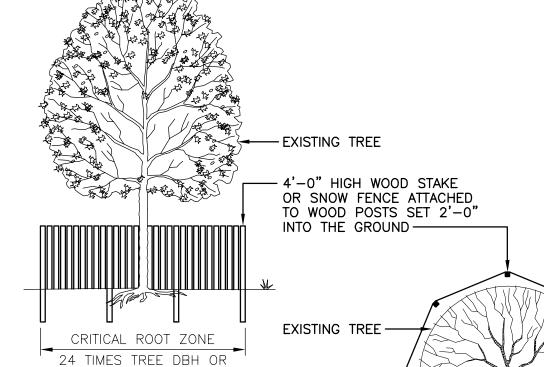
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Atw





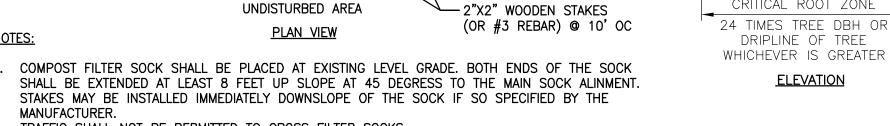
SCALE: NTS



APPLY 3" OF

PROTECTION

MULCH WITHIN



2"X2" WOODEN STAKES

- COMPOST FILTER SOCK

(OR #3 REBAR) @ 10' OC

UNDISTURBED AREA

TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS. . ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN A MANNER DESCRIBED ELSEWHERE IN THE PLAN. 4. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL

BE REPAIRED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24

STAKING DETAIL

DISTURBED AREA

5. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

6. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.



C7.11 / SCALE: NTS

CONTOURS

FILTER SOCK -

BLOWN/PLACED FILTER MEDIA -



ELEVATION



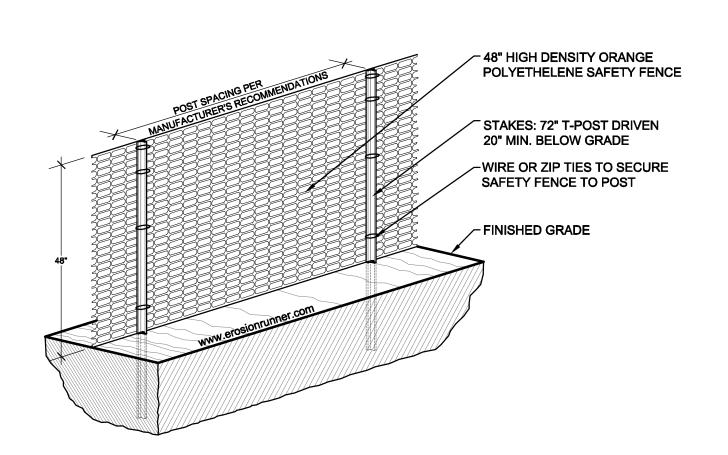
CRITICAL ROOT ZONE

24 TIMES TREE DBH OR

DRIPLINE OF TREE

WHICHEVER IS GREATER

PLAN VIEW

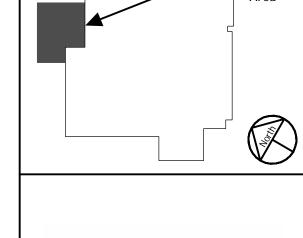


1. ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.

- 2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
- WHEN PRACTICABLE, INSTALL HIGH VISIBILITY 3 FEET OUTSIDE OF THE DRIP LINE OF THE TREE. 4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
- 5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE







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IN THE ISSUANCE DESCRIPTION OF THE DRAWING TITLE BLOCK. MAINSTAY ENGINEERING GROUP, INC. SHALL ASSUME NO LIABILITY FOR DRAWING

That are used for any purpose other than INDICATED ON THESE DRAWINGS.

F 07-27-2020 REV TWP & CCCD ISSUE

D 06-12-2020 LAND DEVELOPMENT ISSUE #2

B 04-23-2020 LAND DEVELOPMENT ISSUE A 03-31-2020 ISSUE FOR OWNER REVIEW

ISSUE FOR BID

ISSUF FOR BID

Description

E 06-12-2020

C 05-01-2020

Rev. Rev. Date

DAVID F. CITRO

\\PE075273/

DAVID F. CITRO REGISTERED PROFESSIONAL ENGINEER COMMONWEALTH OF PENNSYLVANIA

Johnsrud & Associates Architects, LLC

2700 Interplex Drive, Trevose, PA 19053

Phone 215-639-4200 ■ www.Johnsrud.com

CIVIL & STRUCTURAL ENGINEERS

1750 WALTON ROAD, BLUE BELL, PA 19422

MEG PROJECT NO. 19360

A Bergmann Company



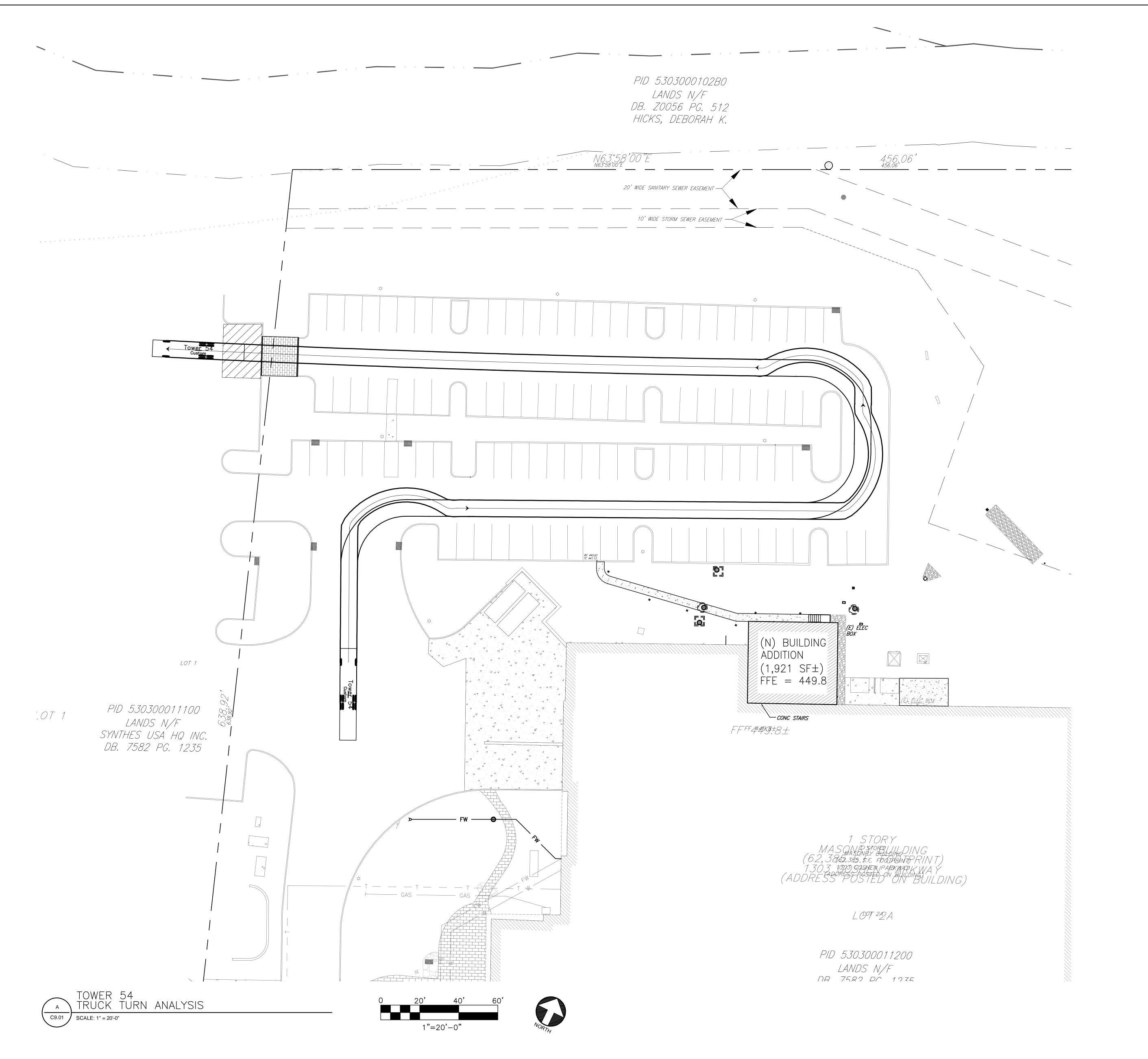
1303 Goshen Parkway West Chester, PA 19380

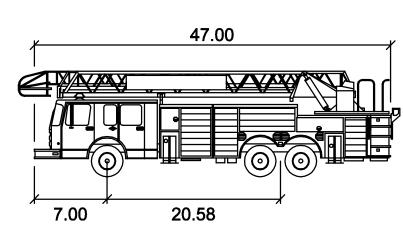
FINISHING PLANT **EXPANSION**

JA Project No. Drawn By: Lead: Checked By 064-WC-02-006 AFH DFC MEH

Project Title

CONSERVATION **DETAILS SHEET**



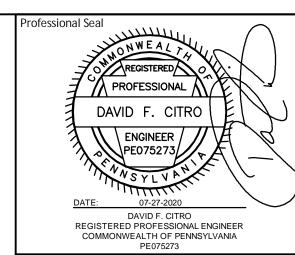


Tower 54

Lock to Lock Time

: 8.50 : 8.50 : 6.0 : 35.8 Steering Angle

EAST GOSHEN TOWNSHIP FIRE APPARATUS C9.01 SCALE: NTS



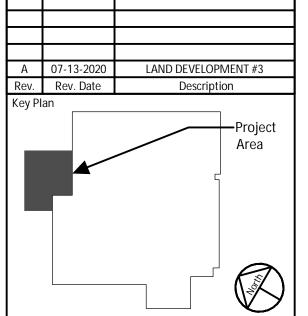
A Bergmann Company Johnsrud & Associates Architects, LLC 2700 Interplex Drive, Trevose, PA 19053 Phone 215-639-4200 ■ www.Johnsrud.com



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JABIL

1303 Goshen Parkway West Chester, PA 19380

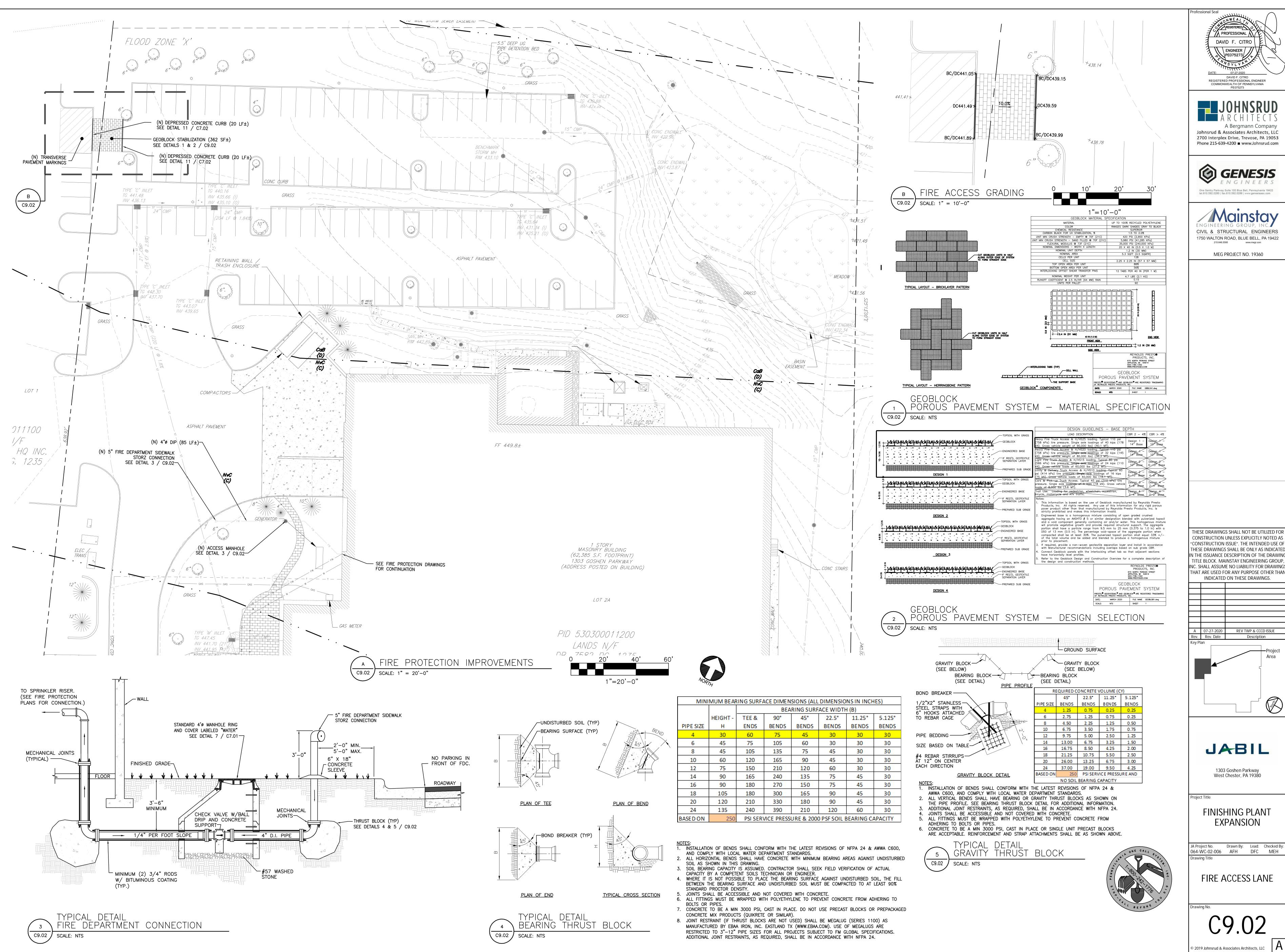
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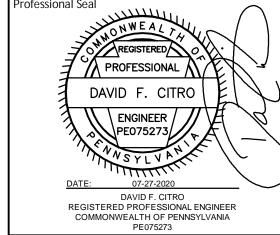
JA Project No. Drawn By: Lead: Checked By: 064-WC-02-006 AFH DFC MEH

Drawing Title

TRUCK TURN ANALYSIS

C9.01







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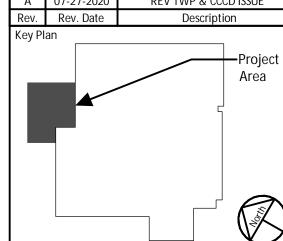


CIVIL & STRUCTURAL ENGINEERS 1750 WALTON ROAD, BLUE BELL, PA 19422

MEG PROJECT NO. 19360

THESE DRAWINGS SHALL NOT BE UTILIZED FO THAT ARE USED FOR ANY PURPOSE OTHER THAI

INDICATED ON THESE DRAWINGS. A 07-27-2020 REV TWP & CCCD ISSUE



JABIL

1303 Goshen Parkway

West Chester, PA 19380

FINISHING PLANT **EXPANSION**

JA Project No. Drawn By: Lead: Checked By: 064-WC-02-006 AFH DFC MEH

FIRE ACCESS LANE

Memorandum

East Goshen Township 1580 Paoli Pike West Chester, PA 19380

Voice: 610-692-7171 610-692-8950 Fax:

E-mail: mgordon@eastgoshen.org

Date: July 30, 2020

From: Mark Gordon, Township Zoning Officer

Re: DRAFT MOTION 2

DRAFT MOTION: Boyle, 1137 N. Chester Rd. Re:

Dear Commissioners,

This application before you is for dimensional relief from the side yard setback. The existing home is a nonconforming structure and sits approximately 14' from the property line. The property owners propose to construct a two-story addition to their home. The application does not propose to encroach any more into the side yard than the existing home already does. This relief is minor and the applicant has support from their neighbors.

STAFF RECOMMENDATION:

This property has a zoning variance for the existing deck in the same location as the proposed two-story addition in this application. Staff supports this application. The one question that the PC may want to consider is if the application desires relief for a deck or outdoor structure like the existing deck.

Draft Motion:

I move that the Planning Commission support this dimensional variance request to permit a side yard setback of 14 feet for the new addition as depicted in the application for the following reasons:

- 1. The dimensional variance relief sought by the applicant will have no adverse effect on the essential character of the neighborhood
- 2. The existing home is a nonconforming structure, which was not created by the applicant.
- 3. An addition cannot be logically accommodated anywhere else on the property
- 4. The relief sought is the minimal relief needed to construct the new addition.

BOARD OF SUPERVISORS

EAST GOSHEN TOWNSHIP

CHESTER COUNTY 1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

July 31, 2020

Dear Property Owner:

The purpose of this letter is to inform you that William and Jessica Boyle, 1137 N. Chester Rd., have applied for a Zoning Variance requesting relief from the zoning ordinance. The Boyles are requesting dimensional relief from the side yard setback requirements of the ordinance; §240-9-G. The applicant proposes to construct a two-story addition that will encroach 6 feet into the required 20' side yard setback area.

Pursuant to Township policy, property owners within 1000 feet of the subject property are notified of Zoning Variance applications.

This application is scheduled to be discussed during the meetings outlined below:

Wednesday August 5, 2020 - Planning Commission meeting (7:00 pm)

<u>Tuesday August 18, 2020</u> – Board of Supervisors meeting (7:00 pm)

Wednesday August 26, 2020 - Zoning Hearing Board (7:00 pm) (Zoning Hearing)

Due to COVID -19 all township meetings and hearings are being held virtually via video / telephone conference. These meetings will be conducted remotely via Zoom teleconference. Members of the public can participate via telephone and view the teleconference on YouTube. Meeting access information can be found on the Township website at https://eastgoshen.org/ under the Latest News posts.

The public is welcome and encouraged to attend and participate in these meetings. The application information is available for public inspection at the Township Building. Please call the Township staff at 610-692-7171 if you need assistance finding the meeting access information, or email me at mgordon@eastgoshen.org if you have any questions or need additional information.

Sincerely,

Mark A. Gordon

Township Zoning Officer

Cc: All Township Authorities, Boards and Commissions

Cover Letter Of Attachments 1137 N. Chester Rd Dimensional Variance

- Variance Application
- Variance Letter
- Neighbor Letters of Support
- Concept Plans
- Site Plan
- Exterior Perspectives
- Explanatory Photo Boards
 - Current Deck and Non-Conforming Structure
 - North Property Line and Non-Conforming Structure
 - Neighbor Proximity
 - Well Location
 - Carport and Horseshoe Driveway
- Previous Decision of Approval (Deck Variance 2010)

EAST GOSHEN TOWNSHIP ZONING HEARING BOARD APPLICATION

1580 PAOLI PIKE WEST CHESTER, PA 19380-6199 PHONE (610)-692-7171 FAX (610)-692-8950

Name of Applicant:	William and Jessica Boyle
Applicant Address:	1137 N. Chester Rd.
	West Chester, PA, 19380
Telephone Number:	(610)608-8503 Fax Number:
Email Address:	bboyle@tristatehvac.com, jessica.boyle@compass.
Property Address:	1137 N. Chester Rd.
	West Chester, PA, 19380
Tax Parcel Number:	<u>53-02-0032</u> Zoning District: <u>F2</u> Acreage: 1.013
Purpose of Applic	cation (check one)
1	☑ Variance (Type: ☐ Use Variance ☑ Dimensional Variance)
	 Special Exception Appeal determination of the Zoning Officer
	Other
Sections of Zoning Ordinance in which relief is sought: Payet II (loan text 240 Arcticle II 240 - 9 G City 14 Favorily	
Part II, Chapter 240, Article II, 240-9. G., Single Family Detached Dwelling, Minimum Side yard 20 feet	
<u>Description of the Zoning Relief requested and the future use of the property:</u> We are requesting a variance that will allow the addition of	
atwo-story, 16×20 structure to the east side of the	
Description of the	
Our hardsh	ip is the location of a well and use of our
the proper	driveway that ensures safe exiting from ty (see attached letter for more details).
We hereby ack	nowledge that we have read this application and state that the above is
correct and agree to comply with all provisions of the East Goshen Township Zoning	
Ordinance appr	icable to this project and property. 7/17/2020
Signature	of Applicant Date

*Please review the formal application and review procedures on page three.

William and Jessica Boyle
1137 N Chester Rd
West Chester, PA 19380
610.608.8503 (William I Mobile)
484.343.2524 (Jessica I Mobile)
bboyle@tristatehvac.com
jessica.boyle@compass.com

July 17, 2020

East Goshen Township Zoning Hearing Board 1580 Paoli Pike West Chester, PA 19380-6199

Subject:

Application for Dimensional Variance to East Goshen Township Code Chapter 240, Article II, 240-9. G., Single

Family Detached Dwelling, Minimum Side Yards

Dear Board Member(s),

We are writing this letter to request that the board kindly grant a dimensional variance allowing for the addition of a two-story structure to the east side of our house, which is a non-conforming structure. The planned addition will replace the existing non-covered 16' x 20' deck at our residence, 1137 N. Chester Rd, West Chester, PA 19380.

A dimensional variance for the current deck as described above was granted by the Zoning Hearing Board of East Goshen Township on July, 7 2010 as the north edge of the deck is only 14 feet from the north property line, in line with the existing non-conforming structure, whereas the current code requires a 20 foot side yard clearance. The distance between the north property line and our neighbor's house to the north exceeds 50 feet. The addition will not encroach any closer than the existing deck and maintain the same line as the existing house.

Our hardship is the location of a well and use of our horseshoe driveway that ensures safe exiting from the property as outlined below:

There is an access manhole cover for the well that supplies water for our property which is located to the south of the east side of the house, just outside the footprint of the house. If we were to build the addition to conform to the code and avoid building over said well access we would be left with a structure that is too small or oddly shaped.

There is a carport located on the south side of the house. If we were to build the addition in place of said carport we would no longer be able to access or utilize the horseshoe driveway on the property. N. Chester Rd is a busy two-lane road with a 40 mph speed limit. One end of the horseshoe driveway leads onto a straight and level part of N. Chester Rd, whereas the other end of the driveway, where the current carport exists, leads onto a part of N. Chester Rd that slopes and curves. Therefore, not being able to pull forward out of that portion of the driveway, will create a hazardous condition for both those exiting our driveway and for the vehicles traveling on N. Chester Rd.

Furthermore, the addition, as planned, would not in any way impede access (by emergency or other vehicles) to the rear of our property or that of our neighbors'. We have spoken to both these neighbors and have their full support to build the addition. Please see attached their letters of approval stating the fact that they would in no way be negatively impacted by the addition.

Also find attached a copy of the concept plans, exterior perspectives, and explanatory photographs of the following:

- existing deck in relation to the non-conforming structure
- north property line in relation to the non-confirming structure
- neighbor proximity to the north and to the east
- well location in relation to the current deck/non-conforming structure
- carport and horseshoe driveway in relation to N. Chester Rd

If there are any questions regarding our application please feel free to contact us accordingly. Thank you greatly for your consideration on this matter.

Sincerely,

William and Jessica Boyle

East Goshen Township July 9, 2020

Re: Zoning Variance for 1137 N. Chester Rd, West Chester

To Whom It May Concern:

We reside at 1143 N. Chester Rd and give our permission to our neighbors, William and Jessica Boyle, to build a two-story addition to the back of their house at 1137 N. Chester Rd that will require a zoning variance. We believe the granting of this variance will not in any way detract from the view or value of our property.

Sincerely,

Jim and Kate Schroeder

1143 N. Chester Rd

(610) 580-3996

To: East Goshen Township Zoning Board

From: Steve and Renee Romano

RE: Two-Story Addition Construction at 1137 N. Chester Rd

Date: July 9, 2020

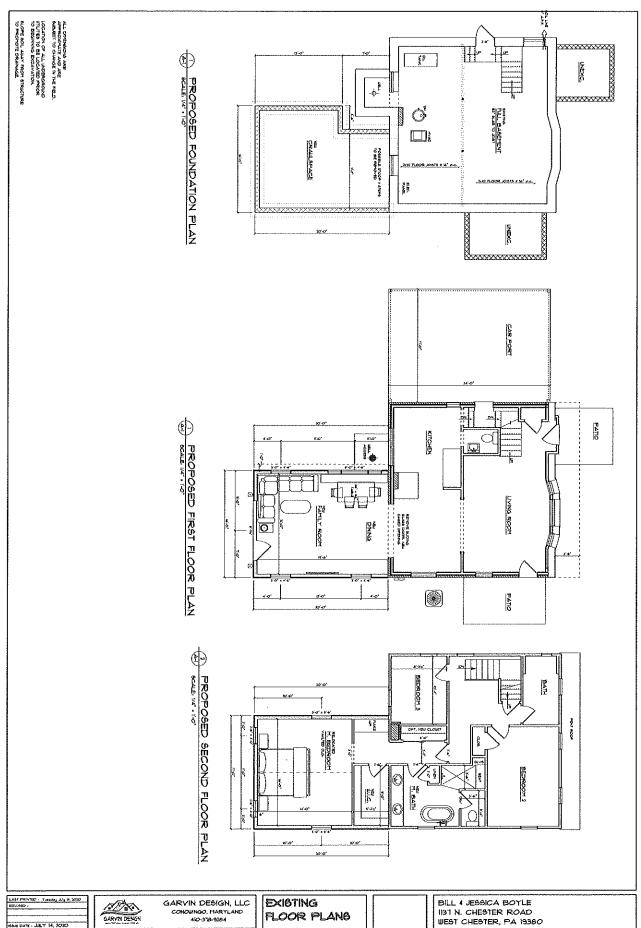
To Whom It May Concern:

We have absolutely no objections to our neighbors, Bill and Jessica Boyle at 1137 N. Chester Rd, building a two-story addition onto the back of their home. Please feel free to contact us with any questions related to this matter. Thank you.

Sincerely,

Steve and Renee Romano 1135 N. Chester Rd

(484) 983-3306



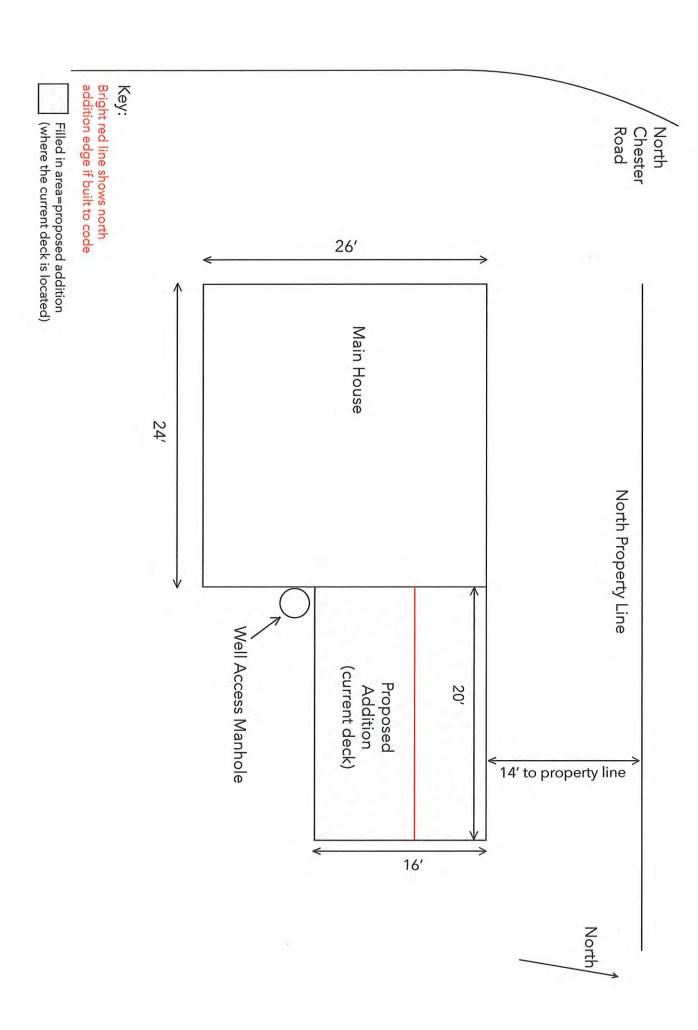
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1131 N. CHESTER ROAD WEST CHESTER, PA 19380 EAST GOSHEN TOWNSHIP CHESTER COUNTY, PA

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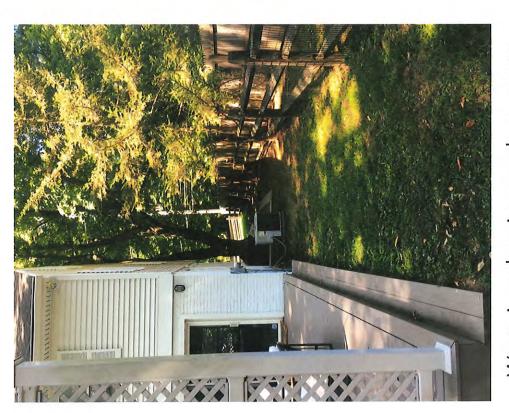


Exterior Perspectives

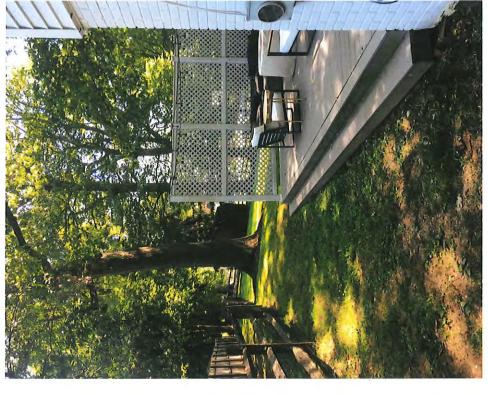




Non-Conforming Structure & Deck



West view showing north property line and non-conforming structure and deck (property line is between the fences)



East view showing north property line and non-conforming structure and deck (property line is between the fences)

Neighbor Proximity



Neighbors to the north Jim & Kate Schroeder 1143 N Chester Rd



Neighbors to the east Steve & Renee Romano 1135 N Chester Rd

Well Location



View of southern end of east elevation



View of east end of elevation with current deck

Carport and Horseshoe Driveway



Carport view facing east



End of horseshoe drive that leads out of the carport onto a part of N.Chester Rd that slopes and curves.



Opposite end of horseshoe drive that leads onto a level part of N. Chester Rd

IN RE: THE APPLICATION OF BENJAMIN MUDRY

BEFORE THE ZONING HEARING

BOARD OF EAST GOSHEN TOWNSHIP

: CHESTER COUNTY, PENNSYLVANIA

DECISION

:

The Zoning Hearing Board of East Goshen Township, Chester County, Pennsylvania (the "Board"), after proper advertisement, met at approximately 7:30 P.M. on Wednesday, June 30, 2010 to hear evidence on the case. Applicant, Benjamin K. Mudry, seeks a variance from the twenty (20) foot minimum side yard requirement of Section 240-9G of the Zoning Chapter of the East Goshen Township Code ("Code") with respect to the property located at 1137 North Chester Road, East Goshen Township, Chester County, Pennsylvania (the "Property"). Although not requested, the Applicant should also seek relief from Section 240-40B(3) which requires enlargements of a nonconforming structure to comply with the yard regulations. Benjamin Mudry appeared on behalf of himself.

Present at the hearing were Zoning Hearing Board Members, Chairman, Janet L. Emanuel, Member, John T. Nicholson, Esquire and Member, Charles Proctor, Esquire. Also present were Joyce Tarsi, Zoning Hearing Board Secretary, Mark Gordon, Zoning Officer, and Ross A. Unruh, Esquire, Solicitor for the Zoning Hearing Board. At the conclusion of the hearing, the Board voted unanimously to grant the requested relief. The Applicant waived the time period in the Pennsylvania Municipalities Planning Code ("MPC") with respect to the issuance and service of this written Decision.

I. FINDINGS OF FACT

- 1. The Property is located at 1137 North Chester Road, East Goshen Township, Chester County, Pennsylvania, which is in the R-2 Low Density Residential District.
- 2. The following exhibits were presented and accepted into evidence at the hearing:
 - B-1 Proof of Publication;

B-2 - Application;

B-3 - Affidavit of Posting;

B-4 - Notice to neighboring property owners;

T-1 - June 4, 2010 Planning Commission Letter; and

T-2 - June 16, 2010 Board of Supervisors Letter.

The Code and Zoning Map are incorporated herein by reference.

- 3. The Applicant is the son of Michael Mudry, owner of the Property.

 Benjamin lives at and takes care of the Property.
- 4. The existing single family home on the Property is nonconforming with respect to north side yard setback. More particularly, the existing house is 14 feet from the north Property line and Section 240-9G of the Code requires a 20 foot setback.
- 5. Applicant is proposing to construct an uncovered deck on the east side of the home with the setback from the northern Property line the same as the existing home; namely 14 feet.
 - 6. Applicant is proposing this location for the following reasons:
 - a. The side yard setback is the same as the existing home.
 - b. If the deck were setback 20 feet the Applicant would not be able to enter onto the deck from the existing sliding glass door.
 - c. If the deck were setback 20 feet the deck would extend over an existing well access manhole.
 - d. At the proposed deck location there currently exists a brick patio which is setback 14 feet 5 inches from the northern property line.
- 7. Section 240-40B(3) permits a nonconforming structure to be enlarged provided the area and bulk requirements for the enlargement are met. Although Applicant did not request variance relief from this section, to be consistent the Board should approve it as well as the variance from Section 240-9G.

- 8. The photographs accompanying the application demonstrate that Jim Schroder, the property owner along the northern boundary, will not see the proposed deck. Further, Mr. Schroeder wrote a letter (attached in the Application) stating that he had no objection to the proposed deck.
- 9. The Edsons, property owners along the eastern boundary line, wrote a letter (attached in Application) that they had no objection to the deck.
- 10. The property owner along the southern property line will not be able to see the proposed deck.
- 11. Both the Planning Commission (Exhibit T-1) and the Board of Supervisors (Exhibit T-2) recommended approval of the application.
 - 12. No one appeared to oppose the application.
- 13. Granting the variances is consistent with the spirit, intent and of the purpose of the Code.
- 14. The granting of the variances is the minimum relief required to afford reasonable use of the deck on the Property.
- 15. The granting of the variances will not be injurious to the neighborhood, or otherwise detrimental to the public health, safety and welfare of the community.

II. DISCUSSION

Section 204-58 of the Code empowers the Zoning Hearing Board to grant variances from the terms of the Code. The MPC and existing case decisions provide that variances from a zoning ordinance may be granted owing to any physical circumstance or condition of the property which causes unnecessary hardship, and which hardship is not self-created. In addition, applicants for a dimensional variance need not be held to the same strict standards imposed on applicants for a use variance. Hertzberg v. Zoning Board of Adjustment of the City of Pittsburgh, 721 A.2d 43 (Pa. 1998).

With respect to the encroachment into the northern side yard, the Board believes that the reasons articulated for the variances set forth in Finding of Fact Number 6 warrant the granting

of the requested relief. In particular, granting of the variances will result in the uncovered deck being no closer to the property line than the existing house. Furthermore, its location will enable the Applicant to have access from the existing sliding glass door and to avoid having to cover the well manhole.

III. CONCLUSIONS OF LAW

- 1. The Applicant's request is the minimum relief necessary to permit reasonable use of the deck on the Property.
 - 2. The Applicant has established entitlement to the dimensional variance.
- 3. So long as the Applicant complies with the conditions set forth herein, the variances will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

IV. ORDER

TUP ZONING OFFICER

EAST GOSHEN TOWNSHIP ZONING HEARING BOARD

Janet I. Emanuel

ohn T. Nicholson, Esquire

Charles Proctor, Esquire

Memorandum

East Goshen Township 1580 Paoli Pike

West Chester, PA 19380 Voice: 610-692-7171

Fax:

610-692-8950 E-mail: mgordon@eastgoshen.org

Date: 7/16/2020

From: Mark Gordon, Zoning Officer **Review of Model Pipeline Ordinances** Re:

Dear Commissioners,

As you all know, as per request by the EGT Pipeline Taskforce and the Board of Supervisors, the PC has spent the last several months reviewing and discussing the two model pipeline ordinances (Zoning and SALDO) drafted in 2014 for the Chester County Association of Township Officials (CCATO). For the record, in 2014 the Township did review these two ordinances and in turn amended the Zoning Ordinance to include language specific to Public Utility Buildings. This amendment is attached for your review.

The PC conducted the following review and analysis of the of the model pipeline Ordinances:

- December 6, 2019: Twp. staff forwarded the PC Members links to three pipeline risk assessments.
 - o Quest Consultants Inc. prepared for Del-Chesco United for Pipeline Safety and Clean Air Council Philadelphia PA,
 - o G2 Intergrated Solutions Mariner East 2 Pipeline and Existing Adelphia Pipeline Risk Assessments prepared for Delaware County,
 - o JH Consulting, LLC prepared for Thornbury Township, in Delaware County.
- Feb 2020: PC Met with members of the EGT Pipeline Taskforce to discuss their concerns and the Model Ordinances from CCATO
- March 4, 2020: The PC discussed the Model ordinances and asked staff to assist with determining how many parcels would be impacted by the ordinances. The PC also asked staff to have the Township Solicitor review and comment on these ordinances.
- April 1, 2020: No Meeting
- May 6, 2020: The PC deferred discussion on this topic until the meeting in June
- June 17, 2020: The PC Reviewed the Twp. Solicitor's review comments and asked her questions about the model ordinances. Staff also demonstrated a GIS tool they developed, which can be used to show the buffers graphically on a map and provide data on how many properties will be impacted by that buffer distance.
- July 1, 2020: PC discuss the ordinances and considered the next course of action.

DISCUSSION and STAFF RECOMMENDATION:

Pipelines in PA are primarily regulated by the PA Public Utility Commission (PUC) or the Federal Energy Regulatory Commission (FERC). The Township has very little if any regulatory authority with the exception of some Zoning for buildings and structures. The Township amended the zoning ordinance in 2015 to address "Public Utility Building" and "Public Utility Facility".

Pursuant to your review of the risk assessments, the proposed ordinances and the GIS analysis of how the requirements could affect existing Industrial, Commercial, and residential uses as well as future uses throughout the entire Township; it does not seem appropriate to adopt such broad regulations without more information and careful study.

Perhaps a more appropriate approach would be to identify uses that should have significant setbacks from pipelines and craft language that will protect those uses.

Staff recommends that the Commission forward a letter to the Board outlining the steps we took to review and analyze these ordinances, the potential impact the ordinances have on existing property, and ask them how they would like the Commission to proceed.

DRAFT MOTION

Mr. Chairman, I move that the Planning Commission recommend the Board of Supervisors review the findings of the Planning Commission, take the matter under advisement, and provide the Commission with guidance and direction, as they deem appropriate.

Memo

To: Conservancy Board, Parks & Rec Commission, Pipeline Task Force, Futurist Commission,

Sustainability Advisory Commission, Planning Commission & Historical Commission

From: Jon Altshul

Re: 2021 Budget Request

Date: July 21, 2020

As we enter the second half of 2020, it is time to begin thinking about the Township's budget for 2021.

To that end, if your ABC has its own budget, attached please find an Excel worksheet with individual tabs for each of your ABCs showing a blank column for the 2020 budget request.

I would be grateful if you could provide me with:

- 1) 2021 budget requests for each line item
- 2) A <u>justification</u> for your 2021 budget request.

Needless to say, 2021 promises to be an exceptionally difficult year for all state and local governments nationwide. The COVID pandemic is having a substantially negative impact on a number of Township revenue streams. Moreover, as you know, the Township cut the ABC budgets in 2020, and we are still staring at an operating deficit of nearly \$500,000 this year, and 2021 could be even worse. Accordingly, the Board of Supervisors will be forced to make a number of stark choices in establishing its budget for next year, which is likely to affect all of our lines of business.

Therefore, my annual reminder about "needs" versus "wants" is even more important now. Remember your group's mission, goals and objectives. Then ask yourselves, what do you need in order to realize your objectives and what do you merely want? Expenditures that don't meet the "need" threshold are unlikely to receive BOS approval, especially for next year.

Note that the Township has many "ABC-related" expenditures. For example, the Township needs to maintain the Blacksmith Shop/Plank House. The Township also incurs legal costs related to the pipeline and consulting costs related to planning work, etc. These line items are separate from your ABC budget.

Please don't hesitate to contact me by phone or email over the summer.

As we plan to have preliminary budget materials prepared for discussions with the Board in early autumn, please return this completed worksheet to me by no later than Friday, September 25th. I will follow up with you if I have any questions.

Thank you!

No spreadsheet attached.

Historically no budget.