

**EAST GOSHEN TOWNSHIP  
PLANNING COMMISSION  
Meeting Agenda  
Wednesday, May 5, 2021  
VIA Telephone / Zoom Video Conference  
7:00 PM**

**During this tele-conference Planning Commission meeting, public participation and comments will be handled as follows:**

- Participants must call in by 6:55 pm and identify themselves with full name and address for the record.
- The public will remain muted during the meeting when the Commission is conducting business.
- The Chairman will ask for any public comment on agenda items. Audience members who wish to make comments must unmute, identify themselves with name and address, to ask questions and make comments.
- Participants wishing to comment **must state their name and address and must speak one at a time.**

- A. Call to Order / Pledge of Allegiance and Moment of Silence
- B. Chairman will ask if anyone is going to record the meeting
- C. Review of Tracking Log / Determine need for Workshop Meeting**
- D. Public Comment on Non-Agenda Items
- E. Approval of Minutes**
  - 1. April 7, 2021**
- F. Subdivision and Land Development Applications
- G. Conditional Uses and Variances**
  - 1. ESKE Development LLC / 1302 Wilson Dr. / Zoning Variance Request**
  - 2. Greto / 331 Springhouse Ln. / Zoning Variance Request**
- H. Ordinance Amendments
- I. Old Business
  - 1. Paoli Pike Commercial District / (TC - Town Center)
  - 2. Electric Vehicle Charging Stations with and without signage / advertising**
- J. New Business
- K. Any Other Matter
- L. Liaison Reports
- M. Correspondence
- N. Announcements

**Bold Items indicate new information to review or discuss.**

East Goshen Township Planning Commission  
Application Tracking Log

**May 5, 2021 PC Meeting**

Application Name	Application (CU,LD,ZO, SD,V, SE, CA)	Type (Sk, P, F)	Date Filed	Start Date	Date to Township Engineer	Date to CCPC	Date to Abutting Prop. / ABC's	Extension	PC NLT Action Date	BOS NLT Action Date	Hearing Date	Drop Dead date	Comments
ESKE Development LLC	V	S	4/20/2021	4/20/2021	4/27/2021	NA	4/27/2021		5/5/2021	5/11/2021	5/26/2021	6/18/2021	
Albert and Lynn Greto	V	S	4/26/2021	4/26/2021	NA	NA	4/29/2021		5/5/2021	6/1/2021	6/8/2021	6/25/2021	

**Bold = New Application or PC action required**

**Completed in 2021**

1365 Enterprise Drive	V	Sk	4/1/2021	4/1/2021	NA	NA	4/1/2021		5/5/2021	5/18/2021	TBD	5/31/2021	
198 Oneida Ln	V	Sk	1/26/2021	1/27/2021	NA	NA	1/28/2021		2/3/2021	1/16/2021	2/25/2021	3/26/2021	
Pipeline HMS / Consultation Zone Ord.	ZO / SALDO	DRAFT	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA

**Completed in 2020**

1631 E. Strasburg Rd	V	Sk	9/29/2020	9/29/2020	NA	NA	10/2/2020		10/7/2020	10/20/2020	10/27/2020	11/28/2020	
Solar Ordinance Amendment	ZO	Sk	10/30/2020	NA	NA	NA	NA		NA	NA	12/1/2020	NA	NA
Synthes USA / 1303 Goshen Parkway	LD	P/F	4/27/2020	5/6/2020	4/28/2020	4/30/2020	4/30/2020	1	9/15/2020	9/2/2020	NA	10/2/2020	
Boyle, 1137 N. Chester Rd.	V	Sk	7/29/2020	7/29/2020	NA	NA	7/31/2020		9/2/2020	9/15/2020	8/26/2020	9/25/2020	

**Draft**  
**EAST GOSHEN TOWNSHIP**  
**PLANNING COMMISSION MEETING**  
**April 7, 2021**

The East Goshen Township Planning Commission held their regular monthly meeting on Wednesday April 7, 2021. Because of the COVID-19 restrictions the meeting was held via teleconference using Zoom.

Members present are highlighted:

**Chair – Ernest Harkness**

**Vice Chair – John Stipe**

**Dan Daley**

**Edward Decker**

**Michael Koza**

Mark Levy

**Michael Pagnanelli**

Also present were:

**Mark Gordon, Zoning Officer**

**Keith Montone – CTDI representative**

**Brian Nagle, Esq. – CTDI representative**

**Tom Kilburn – Futurist Committee**

**George Martynick, Resident**

Marty Shane, Township Supervisor

Bill Wegemann, Vice Chair, East Goshen Pipeline Task Force

**COMMON ACRONYMS:**

*BOS – Board of Supervisors*

*BC – Brandywine Conservancy*

*CB – Conservancy Board*

*CCPC – Chester Co Planning Commission*

*CPTF – Comprehensive Plan Task Force*

*CVS – Community Visioning Session*

*SWM – Storm Water Management*

*ZHB – Zoning Hearing Board*

**FORMAL MEETING – 7 p.m.**

1. Ernest called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and a moment of silence to remember our first responders, military and healthcare providers.
2. Ernest asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
3. The tracking log was checked and no need for a workshop meeting.
4. The minutes of the March 3, 2021 meeting were approved.
5. Mark Gordon explained the procedure for public comments.

**CONDITIONAL USES AND VARIANCES**

1. 1365 Enterprise Dr/zoning variance request - Mark introduced Keith Montone from CTDI and Brian Nagle, Esq. Brian explained the application for a new sign at this property recently acquired by CTDI from QVC. The QVC signs are being removed. They are requesting 2 variances. Mark showed the application and the deed. A sign is proposed for two corners. Mark showed photos of the proposed signs. Brian reviewed the size of the sign allowed under the ordinance in relation to the size of the walls. The signs will have subtle LED lighting. Dan asked what impact there would be to the adjoining residential properties. Keith feels it would be no more than the QVC signs were. Mark pointed out that there is a buffer to block the lights which is well established. Keith mentioned that the plan is all interior demolition and fit out work.

George Martynick lives in the residential area behind the business park. He doesn't feel there is a need to have the signs lit at night. They don't need any more ambient light. Dan asked George if light is visible through the buffering. George commented that it shines through at this time of the year because there are no leaves on the deciduous trees. Mark mentioned that when CTDI applied for signs on their building along Paoli Pike, they agreed to install a dimmer that would turn the lights off at 10 p.m. Brain commented that they would agree to do that for these signs. Mark reviewed the conditions on the previous variance for Paoli Pike regarding lights turning off at 10 p.m.

Dan made a motion to recommend that the BOS support the zoning variance requests for CTDI at 1365 Enterprise Dr. §240-22.Q(5) as outlined in their application with conditions. The property is located in the Business Park District of the Township and the proposed relief will not pose significant impact to the character of the Business Park nor pose significant impacts to the adjacent residential neighborhood.

1. Permit a maximum of two (2) wall signs for the subject building.
2. Permit the wall signs to have a maximum area of 166.8 sq. ft. for each sign.
3. The applicant agrees to provide a dimming function so that the signage lighting can be adjusted to the satisfaction of the Township.
4. The applicant agrees to turn off the wall sign lighting no later than 10:00 p.m.
5. The lighting shall be installed as depicted in the application.

After some discussion and a few changes Ed seconded the motion. The motion passed unanimously. Keith thanked everyone for their time and consideration of this application.

### **OLD BUSINESS**

1. Paoli Pike Commercial District/(TC – Town Center) – Ernie thanked staff for providing the lists of uses in the C2 & C5 zones. He feels that, based on what was provided, they should go ahead and combine both lists except gas stations. Mark described the current C2 & C5 areas along Paoli Pike between Boot Road and Rte. 352. The TC ordinance would be a new ordinance which will remove C2 & C5 and put uses from the new TC ordinance in place. Ed mentioned that the residents did not want residential. Ernie feels it was the density of residential which was the concern. Mark explained what live/work units would be. Tom commented that the idea of the TC concept was to create a walkable retail area and no offices. Mark explained the types of office uses allowed in the C2 & C5. Mike K. spoke about density and the concern was large apartment complexes as in Exton. Mike P. feels they need to discuss offices more. Dan commented that he agrees to exclude gas service stations in the TC. The current gas service station falls in the BP area and won't be affected. He wants to exclude fast food restaurants. The types of restaurants were discussed. With the TD Bank closing and not being sure of what it will be, he doesn't want fast food. Ernie feels they need to review and change the definitions of restaurants. Mark mentioned that the Swiss Farms is considered retail not a restaurant. Ernie wants to see it laid out on paper. Mark will meet with the Township Solicitor and have something for the June meeting.

### **ANY OTHER MATTER**

#### **1. Electric Vehicle Charging Stations with and without signage/advertising**

Mark provided photos of some current charging stations. Volta is the company proposing to install charger stations at the Giant on Boot Road. Mark explained that this is really a sign with a charging system. It has ads running while you're charging your car (as in some current gas stations). The Giant property owner has not talked with Volta yet. Mark feels this is something that needs to be considered. Ed asked if the ads are running on both sides or just the one facing the car. He mentioned that they claim they are free for now but.....

Mike P. commented that he is starting to see more of these. They are large because of the ads.

Ernie suggested contacting the Chester County Planning Commission to see if they have anything about zoning for charging stations.

Tom asked if an apartment complex could install them. Mark commented probably anywhere you can park. He feels we need to approve the use and decide where to allow it.



1 **LIASION REPORTS**

2 1. Business Park Task Force – John reported that Mark sent letters to the businesses. The Task Force  
3 members were assigned to businesses and will contact them with the survey.

4 2. KEGBD – Mark reminded everyone about Keep East Goshen Beautiful Day on Saturday April 17<sup>th</sup>.  
5 The Township is not using Blosenski to pick up trash along the roads, so it is starting to collect.

6  
7 **ADJOURNMENT**

8 There being no further business, John Stipe made a motion to adjourn the meeting. Ed Decker seconded  
9 the motion. The meeting was adjourned at 8:25 pm. The next regular meeting will be held on  
10 Wednesday, May 5, 2021 at 7:00 pm.

11  
12  
13 Respectfully submitted,

14  
15  
16  
17  
18 *Ruth Kiefer, Recording Secretary*

# Memorandum

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East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [mgordon@eastgoshen.org](mailto:mgordon@eastgoshen.org)

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**Date:** 4/28/2021  
**To:** Planning Commission  
**From:** Mark Gordon, Zoning Officer *mlg*  
**Re:** ESKE Development LLC / 1302 Wilson Drive / Dimensional Variance Request

Dear Commissioners,

The Township has received a Zoning Hearing Board Application from ESKE Development LLC, owner of 1302 Wilson Drive (Ducklings Learning Center). The applicant is requesting a dimensional variance from the rear yard setback requirement for the building located at 1302 Wilson Drive, West Chester, 19380.

## **BACKGROUND:**

The subject property is located in the I-1 Light Industrial district. The property received Conditional Use approval for a Child Daycare Center in 2018 and was developed with a Child Daycare Center in 2019.

ESKE Development is seeking relief from **\$240-19 G. Lot area, width, building coverage, height and yard regulations**. Specifically, the applicant is requesting relief of 3.5 feet from the rear yard setback requirement of the ordinance.

As you can see from the application and supporting materials, the surveyor misinterpreted the plans resulting in a 3.5 foot error in the placement of the building foundation. This error was discovered when the As-Built drawings were being prepared to close-out the project.

The rear yard setback in the I-1 District is 100 feet. A 3.5 foot variance will continue to provide a rear yard setback of 96.5 feet.

## **STAFF RECOMMENDATION:**

Staff believes that this variance is necessary to properly document this non-conformity for the historical record for the property. Although the building may be 3.5 feet closer to the property boundary the parking lot consumes most of the rear yard area, which was built as planned and approved. This variance, if granted, will not alter the character of the zoning district, or impair the use or development of adjacent properties nor be detrimental to the public welfare.

The alternative, requiring the building to be modified to meet the rear yard setback requirement would be extremely expensive and provide no measurable benefit at this point.

Staff recommends that the PC take action on this application if the members believe they have enough information to do so.

**DRAFT MOTION:**

Mr. Chairman, I move that the Planning Commission forward a recommendation of support to the Board of Supervisors for the ESKE Development, LLC dimensional variance request for 3.5 feet of relief from the rear yard setback requirement. This will creating a rear yard setback of 96.5 feet for the existing building on the property, 1302 Wilson Dr. This relief will not alter the character of the zoning district, or impair the use or development of adjacent properties nor be detrimental to the public welfare.

# EAST GOSHEN TOWNSHIP ZONING HEARING BOARD APPLICATION

1580 PAOLI PIKE WEST CHESTER, PA 19380-6199  
PHONE (610)-692-7171 FAX (610)-692-8950

Name of Applicant: ESKE Development LLC c/o Anthony Diver

Applicant Address: 1390 Birmingham Road  
West Chester, PA 19382

Telephone Number: (610) 364-0144 Fax Number: (616) 364-0192

Email Address: ajdiver@tamora.com

Property Address: 1302 Wilson Avenue  
West Chester, PA 19380

Tax Parcel Number: 53-3-1.2C Zoning District: I-1 Acreage: 4.00 Acres

## Purpose of Application (check one)

- ☒ Variance ( Type: ☐ Use Variance ☒ [De-mimimus] Dimensional Variance )  
☐ Special Exception  
☐ Appeal determination of the Zoning Officer  
☐ Other \_\_\_\_\_

## Sections of Zoning Ordinance in which relief is sought:

240-19.G. Requirements - Minimum rear yard 100 feet.

## Description of the Zoning Relief requested and the future use of the property:

Applicant seeks relief from the rear yard requirement of 100 feet to 96.5 feet. Use of the property is the Ducklings Day Care facility with outdoor play area and 66 parking spaces. The Day Care facility was approved to be a total of 13,815 sq.ft., but was built to 14,540 sq.ft. 440 sq.ft. of the building was constructed within the rear yard setback.

## Description of the Hardship:

Applicant is requesting relief under the "De-mimimus" Dimensional Variance Request. During development of the architectural plans, the building was designed with the misinterpretation that the inside line of the rear sidewalk was the building setback line. The building was staked out in the field and constructed. It was not until the as-built survey was performed, the building measured, and the building location was tied into the boundary, that it was discovered it was 3.5 feet over the rear setback line.

We hereby acknowledge that we have read this application and state that the above is correct and agree to comply with all provisions of the East Goshen Township Zoning Ordinance applicable to this project and property.

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

**\*Please review the formal application and review procedures on page three.**

# EAST GOSHEN TOWNSHIP

## ZONING HEARING BOARD APPLICATION

1580 PAOLI PIKE WEST CHESTER, PA 19380-6199

PHONE (610)-692-7171 FAX (610)-692-8950

This checklist outlines the steps and items needed to insure completeness of the application and to insure the application follows the process and conforms to the timeframe outlined by the state of Pennsylvania and East Goshen Township. This checklist is broken into two parts, the Application process and the Review Process. The application process must be completed in its entirety prior to the applications advancement into the Review Process.

Applicant Name: ESKE Development LLC

### **Application Process Checklist (Administration use only):**

<b><u>Item</u></b>	<b><u>Date Complete</u></b>
1. Completed Township Application Form: .....	_____
2. All related materials submitted: .....	_____
3. Township application and review fees paid: .....	_____

Application accepted on \_\_\_\_\_ by \_\_\_\_\_

Official Signature \_\_\_\_\_ Title \_\_\_\_\_

### **Review Process Checklist**

<b><u>Item</u></b>	<b><u>Date</u></b>
1. Start date: .....	_____
2. Date of first formal Planning Commission Meeting following complete application: .....	_____
3. Date sent to CCPC: .....	_____
4. Date sent to Township Engineer: .....	_____
5. Date presented to Planning Commission: .....	_____
6. Date sent to CB: .....	_____
7. Date sent To MA: .....	_____
8. Date sent to HC: .....	_____
9. Date sent to PRB: .....	_____
10. Date sent to TAB: .....	_____
11. Date by which the PC must act: .....	_____
12. Date by which Board of Supervisors must act: .....	_____
13. Drop Dead Date; (Day 60): .....	_____
14. Zoning Hearing Date: .....	_____
15. Dates of public advertisement: .....	_____ & _____

# **EAST GOSHEN TOWNSHIP ZONING HEARING BOARD APPLICATION**

1580 PAOLI PIKE WEST CHESTER, PA 19380-6199

PHONE (610)-692-7171 FAX (610)-692-8950

## **Procedures for the processing and review of Subdivision, Land Development, Conditional Use, Variance, and Special Exception Applications**

**August 19, 2002**

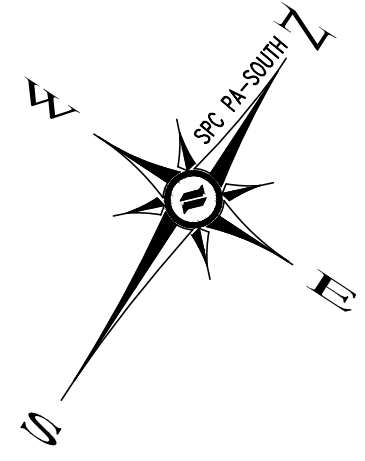
**2<sup>nd</sup> Revision: March 2, 2006**

1. In order for any application to be considered by the Planning Commission it must be submitted to the Township with all required documentation as per the Township Code and with all applicable fees paid. The Township will use a checklist to verify all required documentation has been submitted. Until the application is complete the application will not be considered "filed" by the Township staff. The Planning Commission will acknowledge receipt of the application at their next regularly scheduled meeting.
2. All materials to be considered at the next regular meeting of the Planning Commission must be submitted with at least eleven (11) copies to the Township Staff by not later than close of business the previous Tuesday. Any materials submitted after that time will be held for the following meeting and not provided to the Commission at the upcoming meeting.
3. The application review cycle for Subdivision and Land Development Applications shall begin with the next regular meeting of the Commission after the complete application is filed. The application review cycle for Conditional Use, Variance, and Special Exception Applications shall begin the day a complete application is filed with the Township.
4. Applicants should not distribute material to the Commission during a meeting unless it is directly related to the initial presentation of the application. All materials for the Planning Commission, including any material to be used at a meeting, must be delivered to the Township Staff not later than close of business the previous Tuesday.
5. The burden of supplying necessary materials to the Planning Commission in a timely manner is on the applicant. Late delivery of material may require an extension on the part of the applicant or a recommendation for denial of the application by the Planning Commission.
6. Formal application presentations to the Planning Commission will only be made at the regular meeting after the complete application is submitted and accepted by the Township staff.
7. The application will remain on the Planning Commission's agenda until such time as the Commission has made its recommendation to the Board of Supervisors and or Zoning Hearing Board.
8. Applicants are encouraged to attend each Planning Commission meeting in order to answer questions or address issues concerning their application.
9. Applications will be voted on only during the regular Planning Commission meetings.
10. The Chairman, in his sole discretion, may waive or modify any of this procedure.

## **Zoning Hearing Board Procedural Rule for Hearing Continuances: ADOPTED: May 13, 2009**

1. The Zoning Hearing Board may grant one application for hearing continuance. Subject to the limited circumstances referenced in paragraph 2 below, the rescheduled hearing shall be held unless the applicant withdraws the application.
2. The continuance after the first one shall only be granted in an extraordinary circumstance.
3. The Zoning Hearing board has the sole discretion whether to grant any continuance.





#### KEY TO ABBREVIATIONS

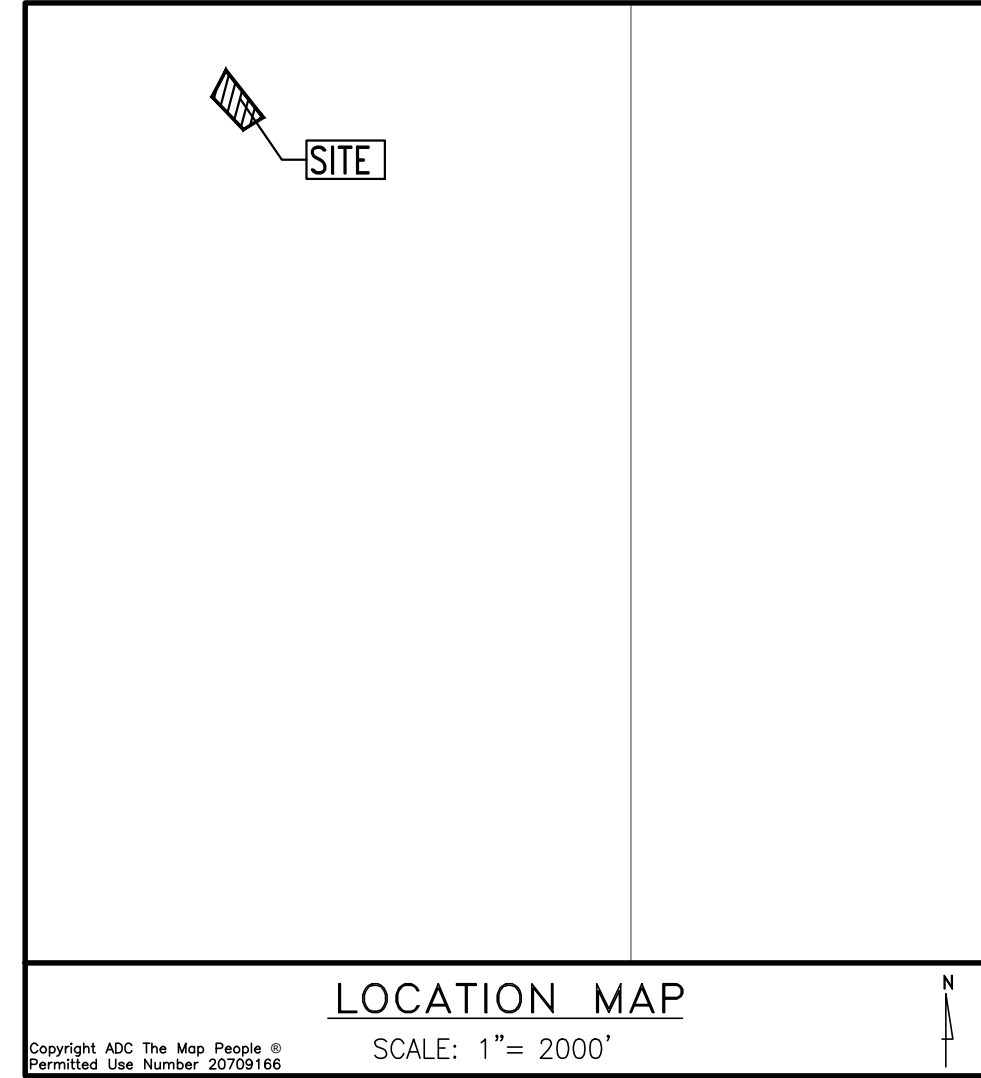
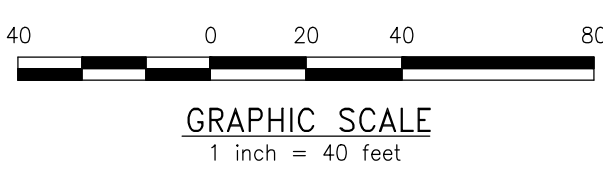
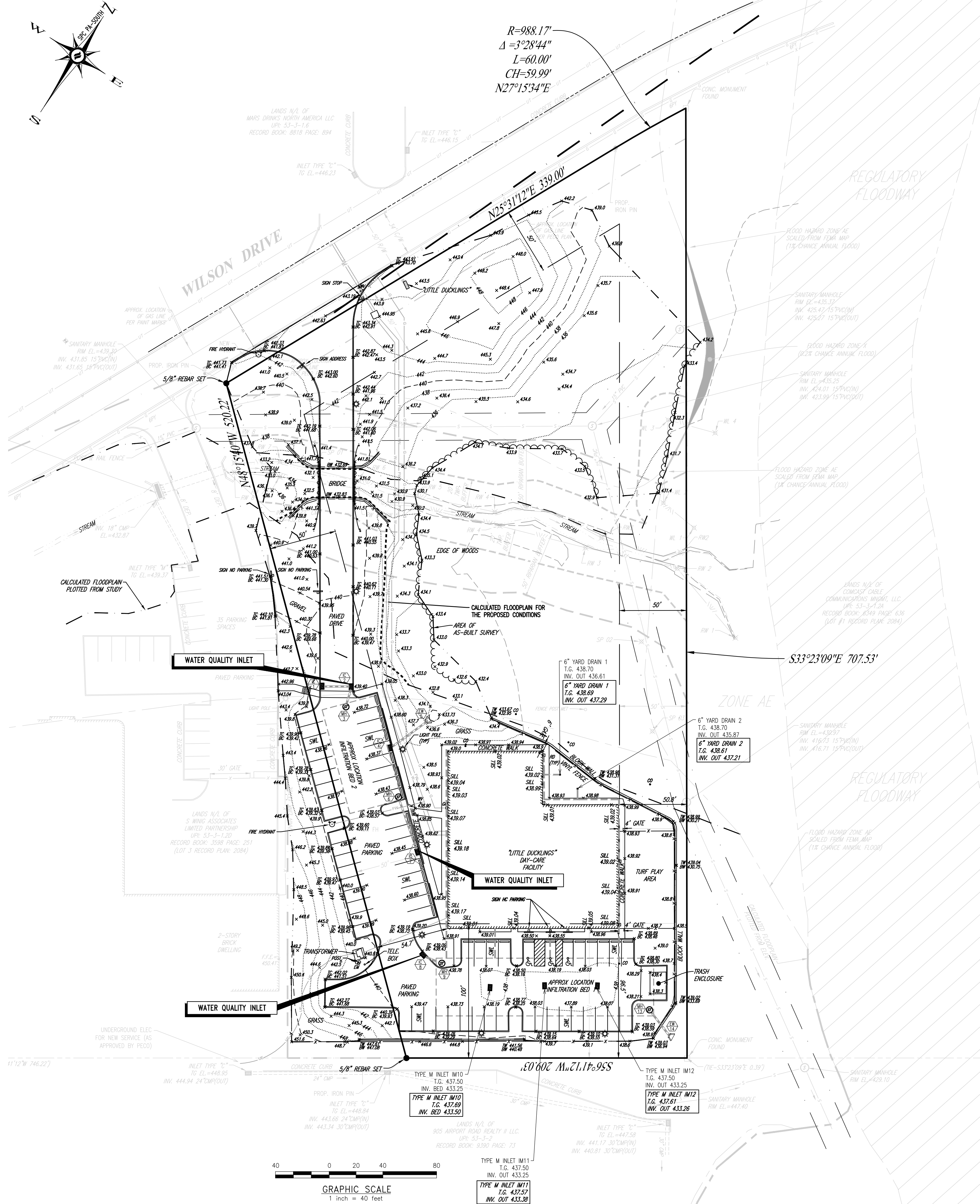
ACC = AGGREGATE  
BC = BOTTOM OF CURB  
BW = BOTTOM OF WALL  
CD = CLEAN OUT  
C/W = C/WAY  
D = DEED DESCRIBED  
DEP = DEEPENED CURB  
DYL = DOUBLE YELLOW LINE  
EL = ELEVATION  
EM = ELECTRIC METER  
EOP = EDGE OF PAVING  
F1 = FIRST FLOOR ELEVATION  
GM = GAS METER  
GR = GRATE ELEVATION  
GW = GUY WIRE  
GV = GAS VALVE  
HCP = HANDICAP PARKING SIGN/SPOT  
INV = INVERT ELEVATION  
LA = LANDSCAPED AREA  
OH = OVERHEAD WIRES  
RD = ROAD DRAIN  
R/W = RIGHT-OF-WAY  
S = SURVEY  
S/W = SINGLE WHITE LINE  
SYL = SINGLE YELLOW LINE  
TC = TOP OF CURB  
TG = TOP OF GRATE  
TW = TOP OF WALL  
UP = UTILITY POLE  
WE = WETLAND  
WM = WATER METER  
WV = WATER VALVE

#### LEGEND

PROPERTY BOUNDARY  
ADJACENT PROPERTY LINE  
FLOOD PLAIN LINE  
EDGE OF PAVING  
EDGE OF GRAVEL  
CENTERLINE  
BUILDING LINE  
MUNICIPAL BOUNDARY LINE  
SOILS LINE  
SOIL TYPE DESIGNATION  
EASEMENT LINE  
WATER/STREAM/POND  
STORM PIPE  
SANITARY SEWER  
SANITARY LATERAL  
BUILDING SETBACK LINE  
GAS LINE  
OVERHEAD WIRES  
OVERHEAD ELECTRIC TELECOMMUNICATION, CABLE LINES  
OVERHEAD ELECTRIC LINE  
UNDERGROUND ELECTRIC LINE  
OVERHEAD TELECOMMUNICATION LINE  
UNDERGROUND TELECOMMUNICATION LINE  
WATER SERVICE LINE  
FENCE LINE  
GUARD RAIL  
CONCRETE CURB LINE  
LEGAL RIGHT-OF-WAY  
TREE LINE  
BRUSH LINE  
WETLANDS

GUY WIRE  
UTILITY POLE  
ELECTRIC BOX  
AIR CONDITIONING UNIT  
COMMUNICATIONS BOX  
WATER METER  
ELECTRIC METER  
GAS METER  
WELL  
STREET SIGN  
GAS MANHOLE  
SANITARY MANHOLE  
STORM MANHOLE  
ELECTRIC MANHOLE  
COMMUNICATIONS MANHOLE  
WATER MANHOLE  
GENERAL UTILITY MANHOLE  
STORM INLET TYPE "C"  
STORM INLET TYPE "M"  
STORM INLET TYPE "S"  
CITY STORM INLET  
LIGHT POST  
FIRE HYDRANT  
SANITARY CLEAN OUT  
WATER VALVE  
GAS VALVE  
WETLAND FLAG  
ROOF DRAIN  
MONUMENT FOUND  
MONUMENT SET  
PIPE/REBAR FOUND  
5/8" REBAR SET  
STAKE FOUND  
STAKE SET  
SITE BENCHMARK  
DECIDUOUS TREE  
CONIFER TREE  
SLANTED TEXT=EXISTING INFORMATION  
UPRIGHT TEXT=PROPOSED INFORMATION  
TITLE REPORT NOTE

UPI#: 53-3-1.2C



#### GENERAL NOTES

- RECORD OWNER/MAILING ADDRESS:  
ESKE DEVELOPMENT, LLC  
1302 BROWNSHAW ROAD  
WEST CHESTER, PA 19382
- SITE ADDRESS:  
1302 WILSON DRIVE  
WEST CHESTER, PA 19380
- TAX PARCEL #: 53-3-1.2C
- SOURCE OF TITLE: RECORD BOOK 9892, PAGE 602  
(LOT #4, "BRANDYWINE INDUSTRIAL PARK",  
RECORD PLAN BOOK #2084)
- LOT AREA: 4.00 ACRES
- AS-BUILT INFORMATION SHOWN ARE FROM FIELD SURVEY BY HOWELL KLINE SURVEYING, LLC,  
PERFORMED ON 02/26/21, 02/26/21 & 03/17/21.
- CONTOURS PLOTTED FROM FIELD RUN TOPOGRAPHIC SURVEY BY HOWELL KLINE SURVEYING,  
LLC. DATUM: NAVD 88 (COMPUTED USING GEOID12A) & NAD 83 (2011) (EPOCH2010.0000)  
(AS DETERMINED BY GPS OBSERVATION), SITE BENCH = SANITARY MANHOLE LOCATED NEAR THE  
WESTERLY PROPERTY CORNER, ELEVATION= 439.30', CONTOUR INTERVAL: 2 FEET.
- THIS PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE A, AE, AN AREA OF 1% CHANCE  
ANNUAL FLOOD, AND X AN AREA OF 0.2% CHANCE ANNUAL FLOOD PER THE NATIONAL FLOOD  
INSURANCE RATE MAP FOR CHESTER COUNTY, PA. MAP NO. 42029C0210G, PANEL 210 OF 380,  
DATED SEPTEMBER 29, 2017. FLOOD PLAN BOUNDARIES SHOWN HEREON WERE SCALED FROM  
THE ABOVE MENTIONED MAP.

#### REFERENCE PLAN(S)

- PLAN ENTITLED "PRELIMINARY/FINAL LAND DEVELOPMENT PLAN", PREPARED BY DL  
HOWELL & ASSOCIATES, DATED 01/11/19, LAST REVISED 12/03/19.

#### ZONING INFORMATION

240-19. I-1 LIGHT INDUSTRIAL DISTRICT  
C. PERMITTED CONDITIONAL USES  
(26) DAY-CARE CENTER, CHILD OR ADULT

AREA AND BULK REGULATIONS	REQUIRED	UPI #53-3-1.2C PROPOSED	UPI #53-3-1.2C AS-BUILT
MINIMUM LOT AREA (NET):	4.00 ACRES	4.00 ACRES	4.00 ACRES
MINIMUM LOT WIDTH:			
BUILDING SETBACK LINE	200 FT	384 FT	394 FT
STREET ROW LINE	150 FT	398 FT	398 FT
MAXIMUM LAND COVERAGE:			
BUILDINGS	30%	7.93%	8.34%
TOTAL IMPERVIOUS COVERAGE	50%	29.91%	27.70%
MAXIMUM BUILDING HEIGHT			
STORIES	3	1	1
FEET	35 FT	< 35 FT.	< 35 FT.
MINIMUM FRONT YARD:	50 FT	321 FT	319.9 FT
MINIMUM SIDE YARD:	50 FT EA.	53.3 FT/57.7 FT	50.8 FT/54.7 FT
MINIMUM REAR YARD:	100 FT	102.2 FT	96.5 FT
(*) EXISTING NON-CONFORMITY			



HowellKline

Land Surveying  
Boundary / Topographic  
Construction / Alta-NSPS

www.HowellKline.com

HowellKline Surveying, LLC

1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9004  
Fax: (610) 918-9005

THIS PLAN IS NOT AN OPINION, IT IS A LIMITED SURVEY.  
DOES NOT APPEAR IN THIS BLOCK

REVISIONS

NO.	DATE	DESCRIPTION
6		
7		
5		
6		
4		
3		
2		
1		

PLAN OF  
AS-BUILT SURVEY  
CLIENT: ESKE DEVELOPMENT, LLC.  
PROJECT: DUCKLINGS EARLY LEARNING CENTER  
LOCATION: 1302 WILSON DRIVE  
EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA

DRAWN BY: AAR  
CHECKED BY: MAW  
PROJECT NO.: 13079  
C/D FILE: 13079 AS-BUILT  
DRAWING NO.: S1  
SHEET 1 OF 2





HowellKline

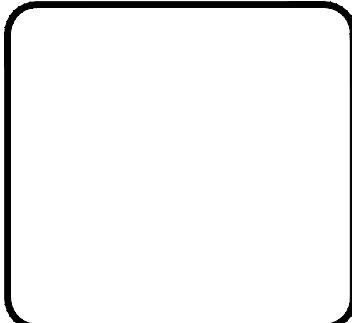
Land Surveying  
Boundary / Topographic  
Construction / Alta-NSPS

www.HowellKline.com

HowellKline Surveying, LLC

1250 Wrights Lane  
West Chester, PA 19380  
Phone: (610) 918-9004  
Fax: (610) 918-9005

THIS PLAN IS NOT AN OPINION. IT IS AN UNLIMITED DESIGN.  
DOES NOT APPEAR IN THIS BLOCK.



REV.	DATE	DESCRIPTION
8		
7		
6		
5		
4		
3		
2		
1		

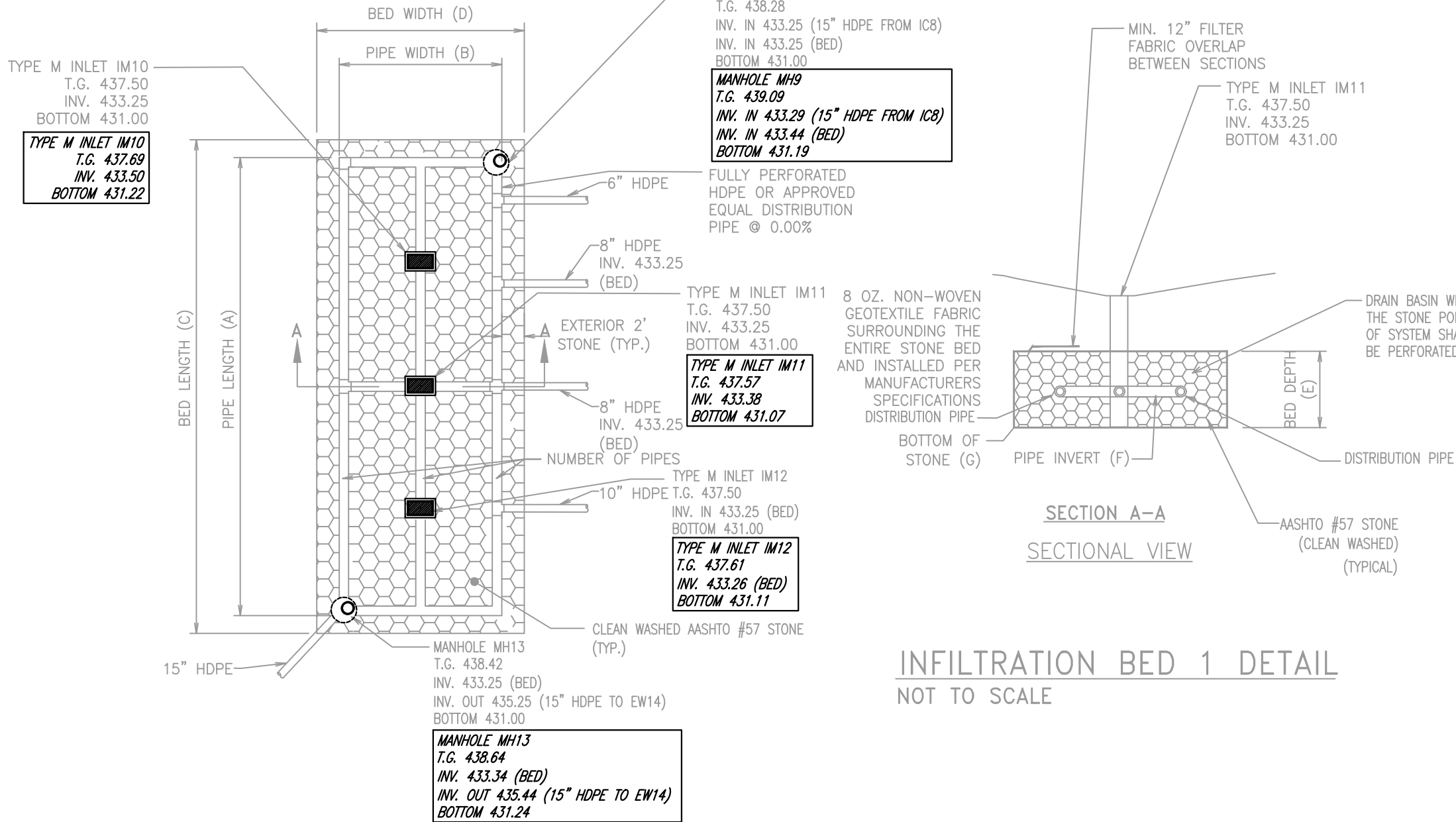
PLAN OF  
AS-BUILT SURVEY  
CLIENT: ESKE DEVELOPMENT, LLC.  
PROJECT: DUCKLINGS EARLY LEARNING CENTER  
LOCATION: 1302 WILSON DRIVE  
EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA

DATE: 03/01/2021  
SCALE: 1"=40'  
DRAWN BY: AAR  
CHECKED BY: MAW  
PROJECT NO.: 13079  
CAD FILE: 13079 AS-BUILT  
DRAWING NO.: S1  
SHEET 2 OF 2

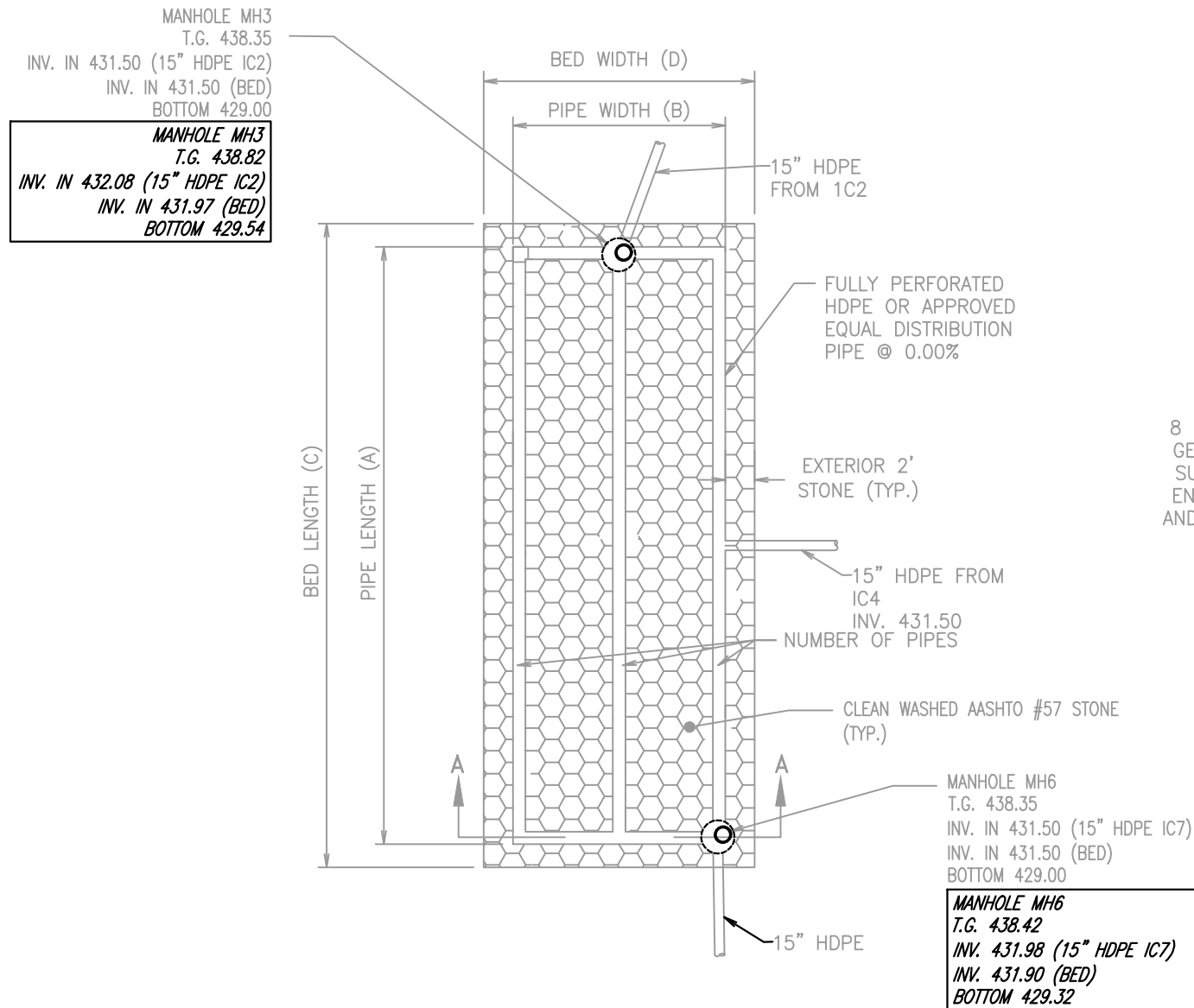
### BMP 6.4.3: SUBSURFACE INFILTRATION BED



THE INSTALLATION OF THIS BMP IS A CRITICAL STAGE WHERE THE DESIGN ENGINEER MUST BE CONTACTED AT LEAST 48 HOURS IN ADVANCE TO PROVIDE CONSTRUCTION OVERSIGHT.



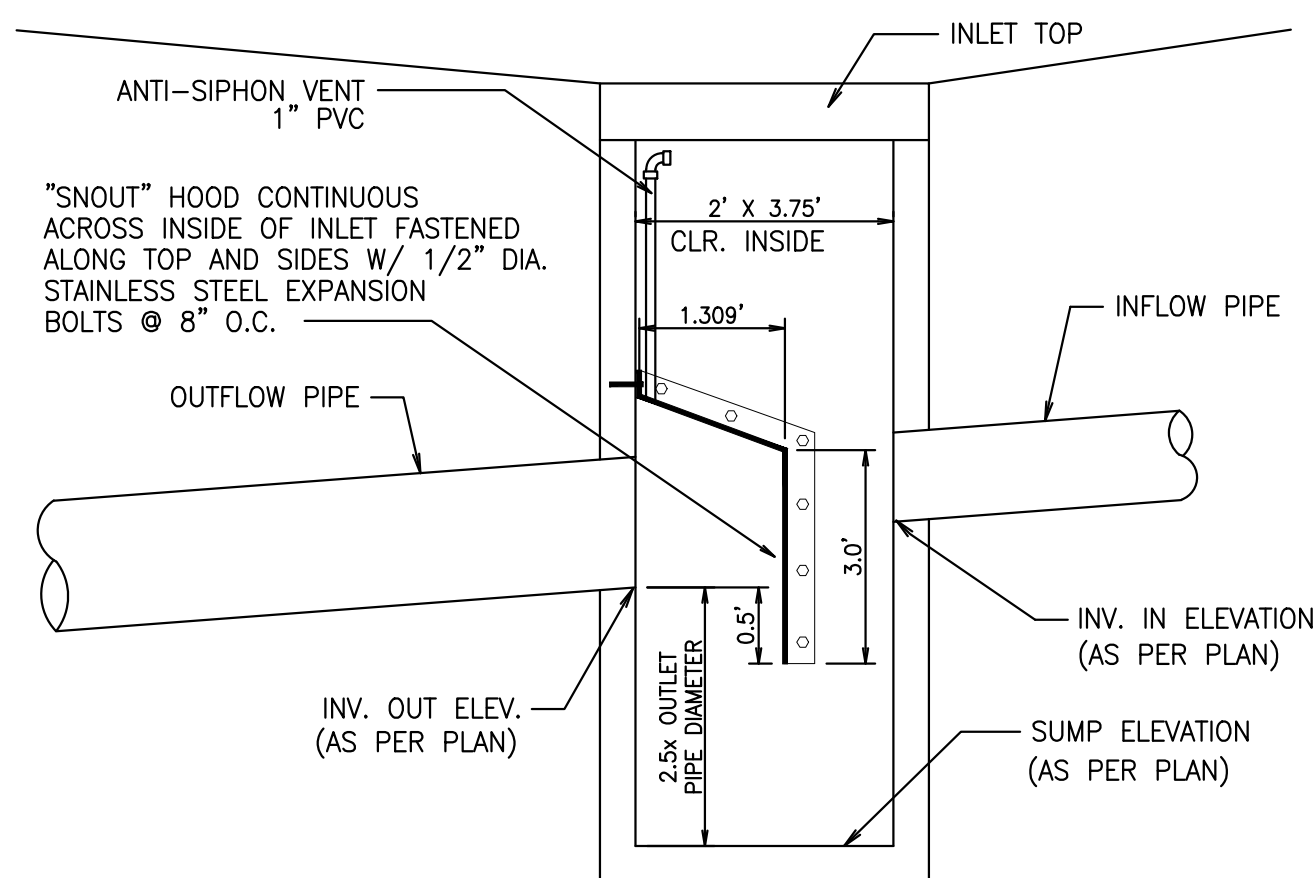
INFILTRATION BED 1 DETAIL  
NOT TO SCALE



INFILTRATION BED 2 DETAIL  
NOT TO SCALE

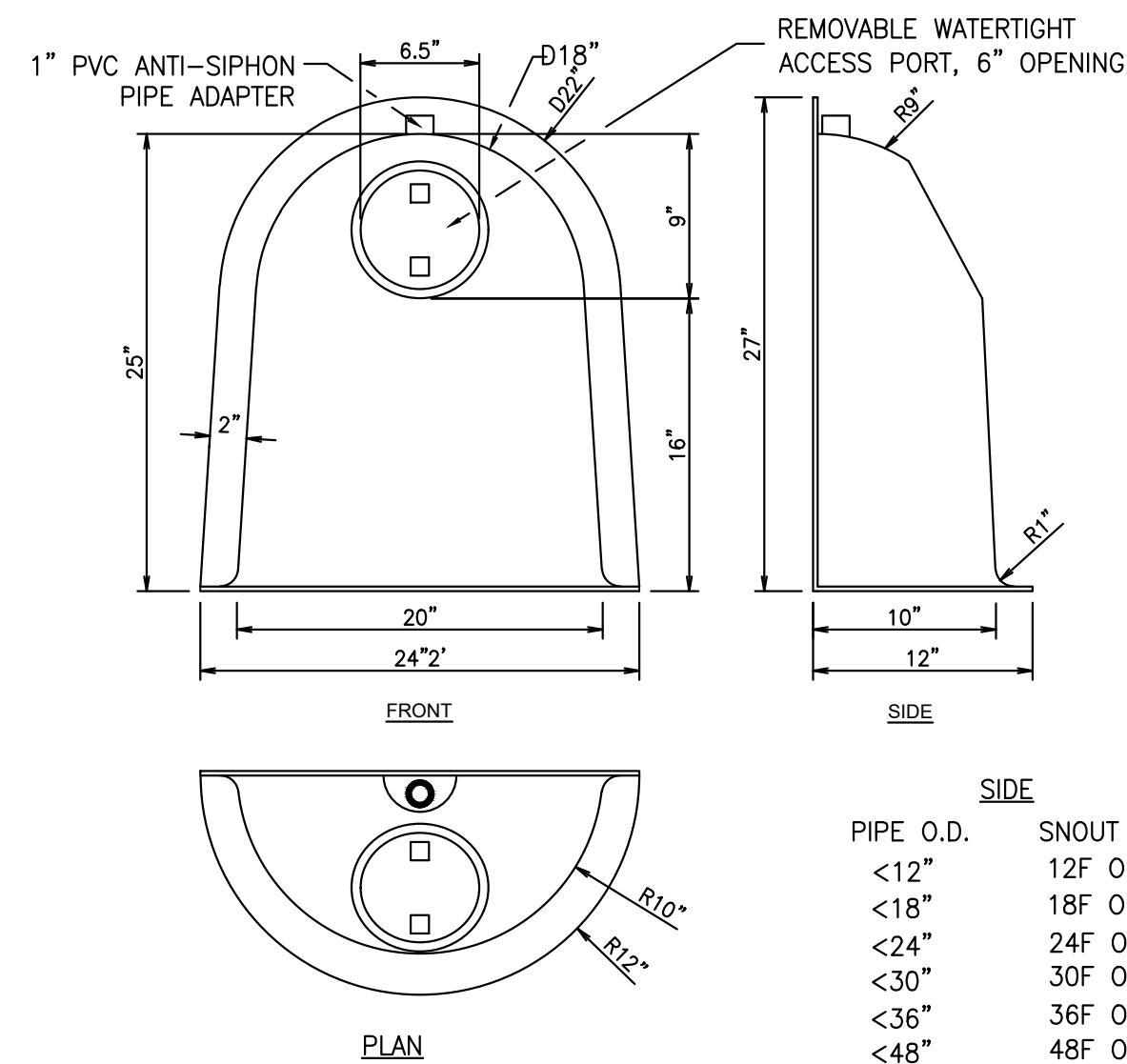
### BMP 6.6.4: WATER QUALITY FILTERS

THE INSTALLATION OF THIS BMP IS A CRITICAL STAGE WHERE THE DESIGN ENGINEER MUST BE CONTACTED AT LEAST 48 HOURS IN ADVANCE TO PROVIDE CONSTRUCTION OVERSIGHT.



### WATER QUALITY STRUCTURE DETAIL

NOT TO SCALE

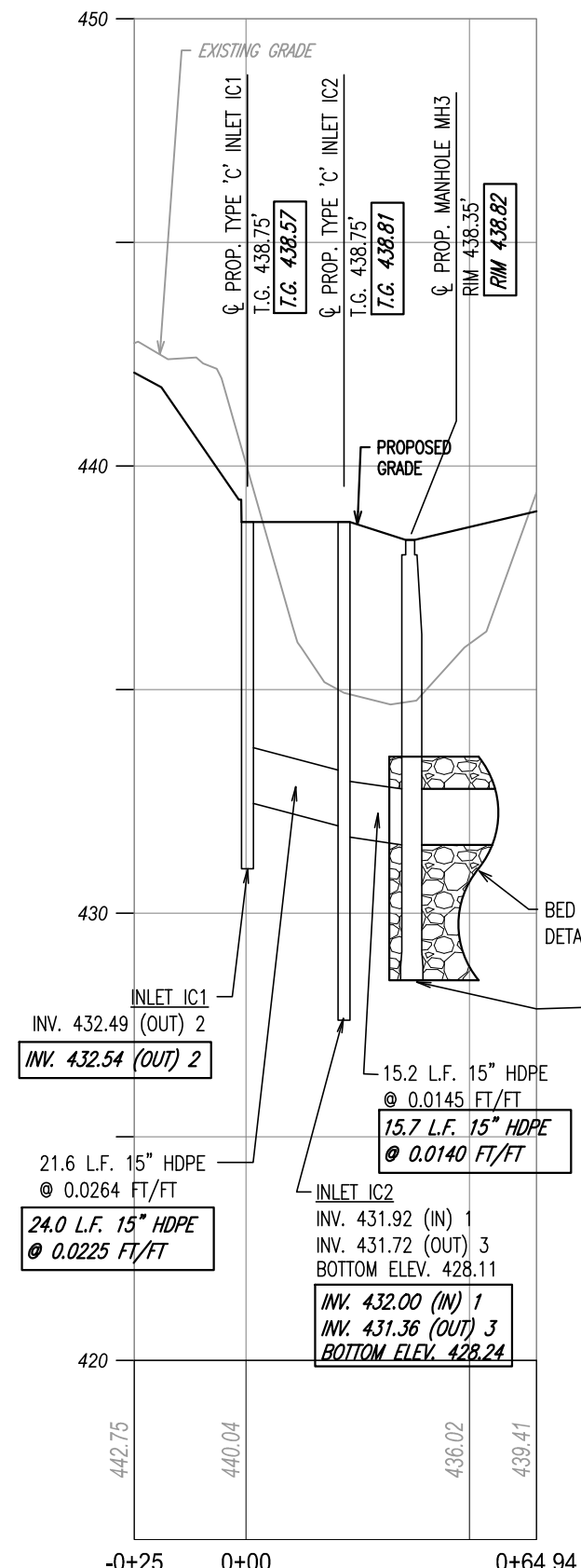


NOTE:  
1. DIMENSIONS SHOWN FOR A 18F SNOOT OIL & DEBRIS STOP. DIMENSIONS VARY DEPENDING ON SNOOT SIZE. SEE TABLE FOR SNOOT SIZES GUIDE.  
2. SNOOTS SHALL BE SIZED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

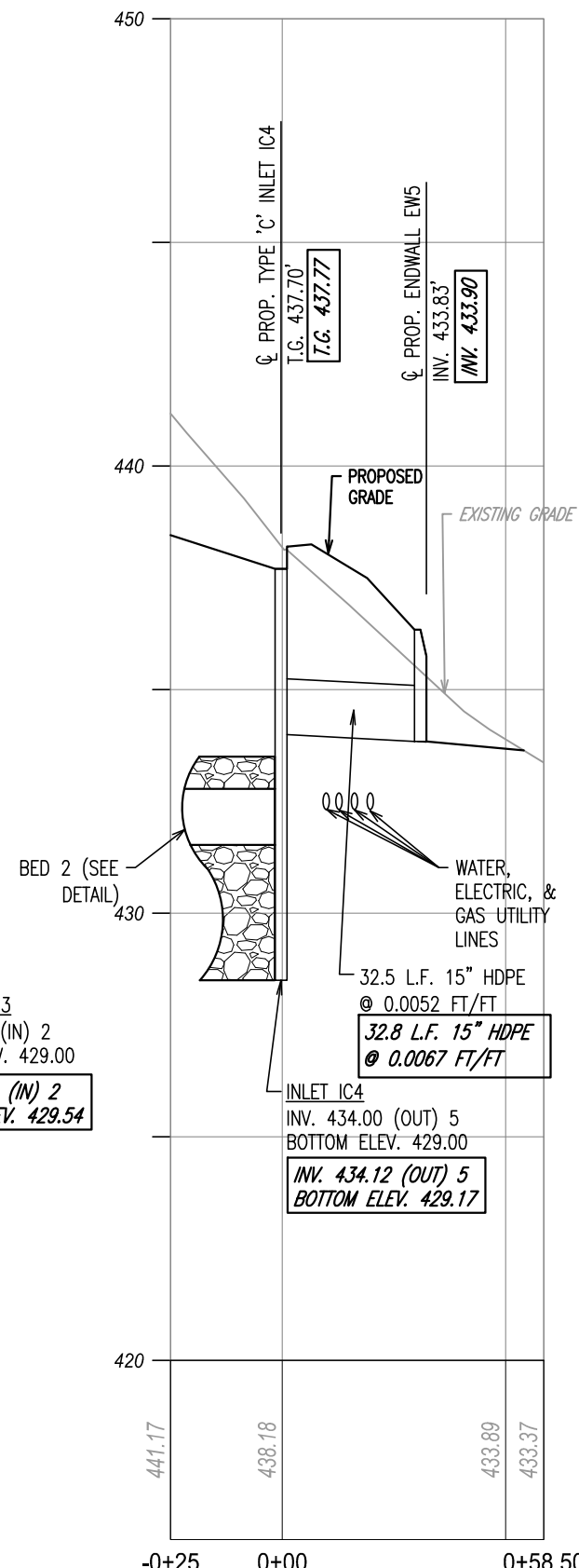
### 18F SNOOT OIL & DEBRIS STOP

NOT TO SCALE

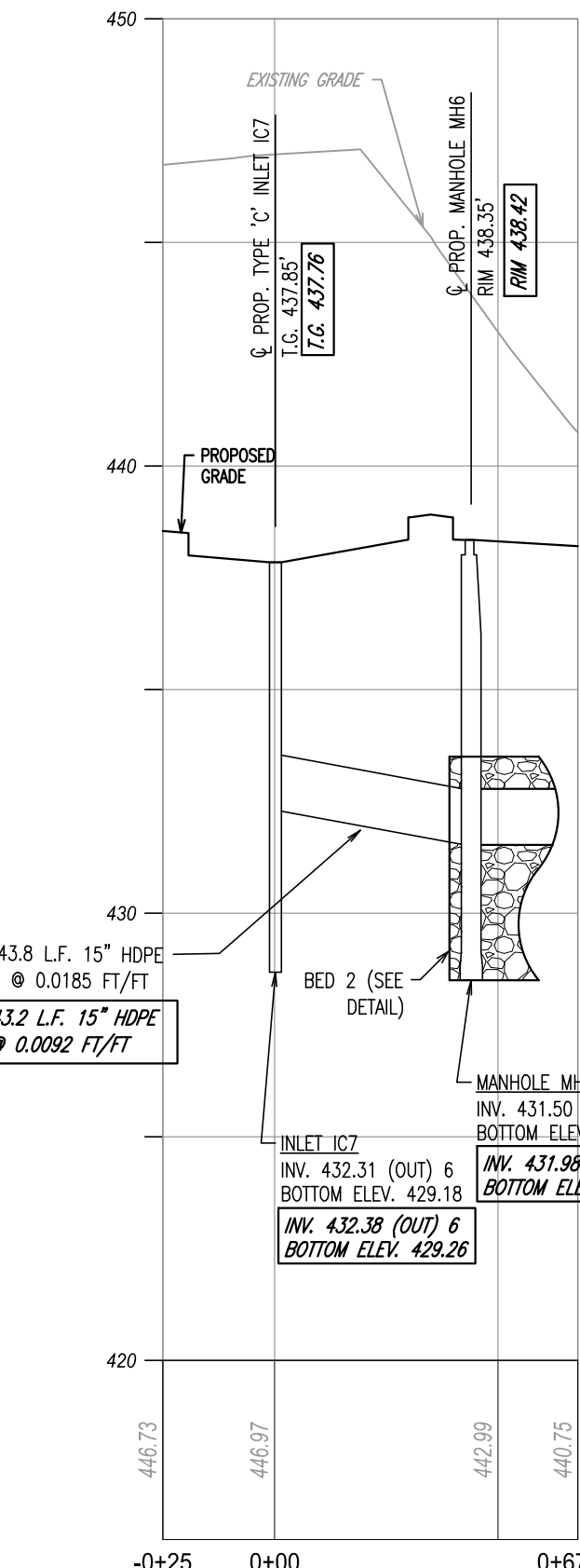
BED	PIPE OR STONE	PIPE MATERIAL	PIPE ID	SIZE OD	NUMBER OF PIPES	A PIPE LENGTH	B PIPE WIDTH	C BED LENGTH	D BED WIDTH	E BED DEPTH	F PIPE INVERT	G BOT. OF STONE	BASIN SLOPE
BED 1	STONE	* HDPE	1.25	1.50	3	156'	37'	162'	43'	4.25'	433.25	431.00	0.0000
BED 2	STONE	* HDPE	1.25	1.50	3	76'	36'	80'	40'	4.5'	431.50	429.00	0.0000



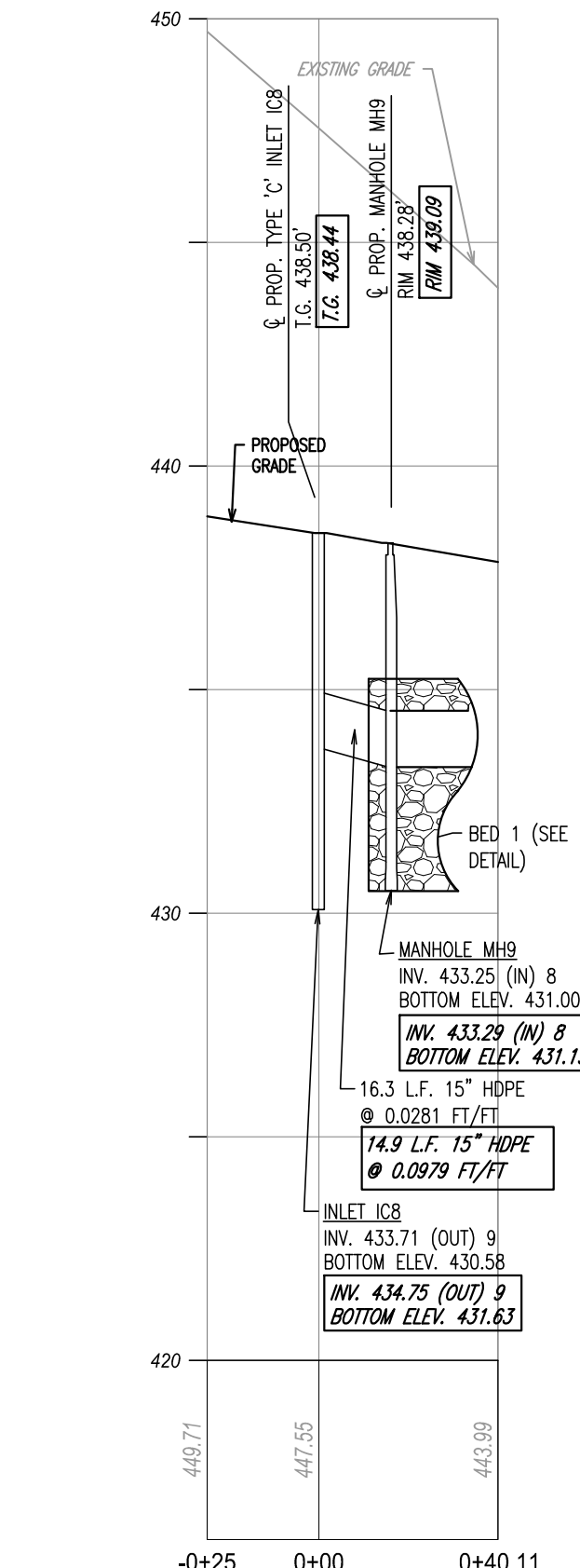
IC1 TO MH3 PROFILE  
HORIZ SCALE: 1"=40'  
VERT SCALE: 1"=4'



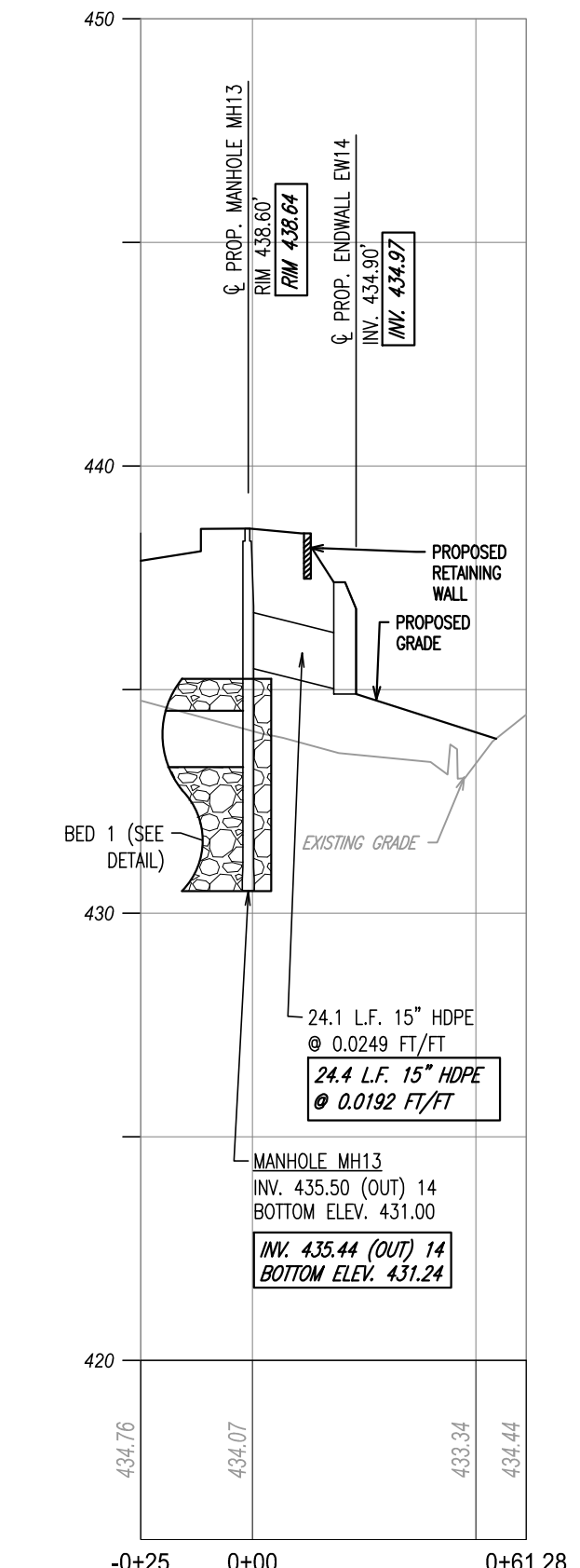
IC4 TO EW5 PROFILE  
HORIZ SCALE: 1"=40'  
VERT SCALE: 1"=4'



IC7 TO MH6 PROFILE  
HORIZ SCALE: 1"=40'  
VERT SCALE: 1"=4'

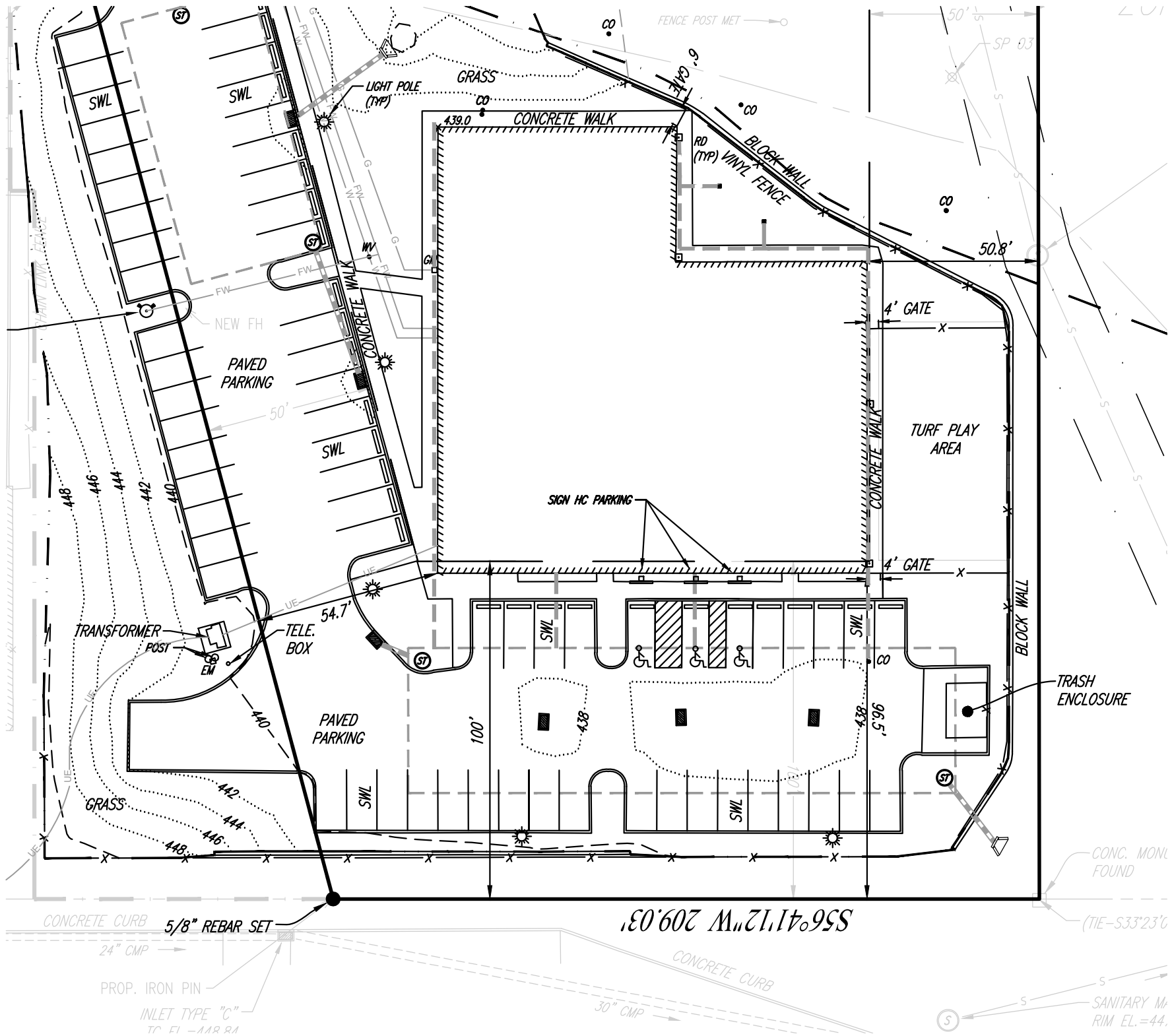


IC8 TO MH9 PROFILE  
HORIZ SCALE: 1"=40'  
VERT SCALE: 1"=4'



MH13 TO EW14 PROFILE  
HORIZ SCALE: 1"=40'  
VERT SCALE: 1"=4'





# Memorandum

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**East Goshen Township**  
**1580 Paoli Pike**  
**West Chester, PA 19380**

Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [mgordon@eastgoshe.org](mailto:mgordon@eastgoshe.org)

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**Date:** 4/29/2021  
**To:** Planning Commission  
**From:** Mark Gordon, Zoning Officer *mlb*  
**Re:** **Albert and Lynn Greto / 331 Springhouse Ln. / Dimensional Variance Request**

Dear Commissioners,

The Township has received a Zoning Hearing Board Application from Albert and Lynn Greto, owners of 331 Springhouse Ln. The applicant is requesting a dimensional variance from fence regulations of the Zoning Ordinance.

## **BACKGROUND:**

The subject property is located in the R-2 Low Density Suburban Residential district. Fences are a permitted accessory use in the R-2 district. The Zoning ordinance regulates the type and height of fences that may be installed on residential properties.

The Greto's have replaced a 6 foot privacy fence with a 6 foot privacy fence that includes brick pillars that are approximately 7.5 feet tall in some cases.

FENCE is defined in the ordinance as:

## **FENCE**

A man-made barrier placed or arranged as a line of demarcation, enclosure or visual barrier that is constructed of wood, chain link metal, vinyl or aluminum and/or plastic inserts. Man-made barriers constructed principally of masonry, concrete, cinder block or similar materials shall be considered a wall. The term "wall" does not regulate engineering retaining walls, which are permitted uses as needed in all districts.

## **Zoning Ordinance:**

§240-32 Accessory Uses

### **E. Fences and walls.**

[Amended 7-16-2002 by Ord. No. 129-O-02]

**(1)** Fences and walls which are erected in the side or rear yards shall not exceed six feet in height on a residential lot and eight feet in height on any other lot, except tennis court fences, which may not exceed 10 feet in height. Such fences may be solid.

**(2)** Fences and walls which are erected within the required front yard shall not exceed four feet in height and shall maintain a minimum one to one ratio of open to structural areas (such as a picket-style or split-rail fence).

**(3)** A fence or wall which is erected along the side street yard which extends to the rear property line shall not exceed four feet in height.

**(4)** If one side of a fence is more finished or is flatter than the other side of the fence, and the fence faces another abutting dwelling or a street, then such more-finished or flatter side shall face such other dwelling or such street.

[Added 7-1-2008 by Ord. No. 129-D-08]

**EAST GOSHEN TOWNSHIP  
ZONING HEARING BOARD APPLICATION**

1580 PAOLI PIKE WEST CHESTER, PA 19380-6199

PHONE (610)-692-7171 FAX (610)-692-8950

Name of Applicant: August M. Greta & Lynne A. Greta  
Applicant Address: 331 Spruce House Ln  
West Chester, PA 19380  
Telephone Number: 610.637.3321 Fax Number: 484.899.9901  
Email Address: AGreta @ GretaLaw. com  
Property Address: 331 Spruce House Lane  
West Chester, PA 19380  
Tax Parcel Number: 5304R00380000 Zoning District: R-10 Acreage: 4.25

**Purpose of Application (check one)**

- ☒ Variance (Type: ☐ Use Variance ☒ Dimensional Variance)  
☐ Special Exception  
☐ Appeal determination of the Zoning Officer  
☐ Other \_\_\_\_\_

**Sections of Zoning Ordinance in which relief is sought:**

240-32E FENCE & WALLS

**Description of the Zoning Relief requested and the future use of the property:**

DIMENSIONAL VARIANCE FOR HEIGHT OF EXISTING & PROPOSED FENCE

**Description of the Hardship:**

REPAIR & REPLACED PREEXISTING 6' PRIVACY FENCE w/ POSTS 80" +/-  
w/ BUCK COLUMNS OF SIMILAR HEIGHT. THE COST TO MODIFY  
& THE SLOPE OF GRADE CREATES HANDSHIP SEE "EXHIBIT A"

We hereby acknowledge that we have read this application and state that the above is correct and agree to comply with all provisions of the East Goshen Township Zoning Ordinance applicable to this project and property.

[Signature]  
Signature of Applicant

4-23-2021  
Date

**\*Please review the formal application and review procedures on page three.**

# EAST GOSHEN TOWNSHIP ZONING HEARING BOARD APPLICATION

1580 PAOLI PIKE WEST CHESTER, PA 19380-6199  
PHONE (610)-692-7171 FAX (610)-692-8950

This checklist outlines the steps and items needed to insure completeness of the application and to insure the application follows the process and conforms to the timeframe outlined by the state of Pennsylvania and East Goshen Township. This checklist is broken into two parts, the Application process and the Review Process. The application process must be completed in its entirety prior to the applications advancement into the Review Process.

Applicant Name: ALBERT A. GLETO AND LYNN A. GLETO

## Application Process Checklist (Administration use only):

<u>Item</u>	<u>Date Complete</u>
1. Completed Township Application Form: .....	<u>4-23-2021</u>
2. All related materials submitted: .....	<u>4-26-2021</u>
3. Township application and review fees paid: .....	<u>4-26-2021</u>

Application accepted on \_\_\_\_\_ by \_\_\_\_\_

Official Signature \_\_\_\_\_ Title \_\_\_\_\_

## Review Process Checklist

<u>Item</u>	<u>Date</u>
1. Start date: .....	_____
2. Date of first formal Planning Commission Meeting following complete application: .....	_____
3. Date sent to CCPC: .....	_____
4. Date sent to Township Engineer: .....	_____
5. Date presented to Planning Commission: .....	_____
6. Date sent to CB: .....	_____
7. Date sent To MA: .....	_____
8. Date sent to HC: .....	_____
9. Date sent to PRB: .....	_____
10. Date sent to TAB: .....	_____
11. Date by which the PC must act: .....	_____
12. Date by which Board of Supervisors must act: .....	_____
13. Drop Dead Date; (Day 60): .....	_____
14. Zoning Hearing Date: .....	_____
15. Dates of public advertisement:..... & _____	_____

**East Goshen Township Zoning Hearing Board Application of  
Albert M. Greto and Lynn A. Greto, 331 Spring House Lane, T.P.N. 53-6-31**

**SUMMARY OF RELIEF SOUGHT WITH TABLE OF DIMENSIONS**

Applicants seek relief from the 6' height restriction that applies to the privacy fence that was repaired/replaced and depicted in Figures 3-24. The finials on the pre-existing privacy fence were no less than 81" above grade. Applicants seek relief up to and not exceeding 82" (when measuring from grade to top of column on the right side, uphill side, of the column) and relief up to and not exceeding 89" (when measuring from grade to the top of the left side, downhill side of the column). The odd numbered Photo IDs are measurements for the right, or uphill, side of the columns and the even numbered Photo IDs are measurements for the left, or downhill, side of the columns. It should be noted that the final measurements may very well be reduced once the ground cover is planted along the fence to reduce the need to trim the grass along the fence line.

See the table on the following page

<b>Photo ID#</b>	<b>Height</b>	<b>Difference from Pre-Existing</b>	<b>Variance</b>
Fig #3	78.50	-2.50	6.50
Fig #4	89.00	8.00	17.00
Fig #5	79.50	-1.50	7.50
Fig #6	82.50	1.50	10.50
Fig #7	78.75	-2.25	6.75
Fig #8	86.00	5.00	14.00
Fig #9	79.00	-2.00	7.00
Fig #10	83.00	2.00	11.00
Fig #11	80.00	-1.00	8.00
Fig #12	84.50	3.50	12.50
Fig 13	80.00	-1.0	8.00
Fig #14	86.50	5.50	14.50
Fig #15	80.75	-0.25	8.75
Fig #16	86.00	5.00	14.00
Fig #17	82.00	1.00	10.00
Fig #18	85.50	4.50	13.50
Fig #19	81.50	0.50	9.50
Fig #20	85.50	4.50	13.50
Fig #21	80.50	-0.50	7.50
Fig #22	88.50	7.50	16.50
Fig #23	80.00	-1.00	8.00

Additionally, Applicants are in the process of constructing a 4' aluminum, black, powder coated fence from the 6' privacy along Spring House Lane to the corner of Spring House Lane and Strasburg Road and from that intersection to the northeast corner of the property, and along the east property line to rear yard where an existing post and rail fence is located and in the process of being repaired/replaced with a post and rail fence made from black locust.

The stock height of the aluminum, black, powder coated fence is 4'. Applicants propose that the top of the block be 4' in height so that the 4' aluminum, black, powder coated fence can be secured thereto. The Pennsylvania stone to cap the proposed brick columns is 2" thick. A dimensional variance of not more than 2 courses of brick above that to which the 4' aluminum, black, powder coated fence is to be secured is requested so the cap clears the 4' aluminum, black, powder coated fence and can be secured to the inner structure of the column.

Applicants are removing several pine trees and some maple and oak trees that are dying or dead along Strasburg Road. The existing post and rail fence in this area is within the right of way for Strasburg Road. The proposed 4' aluminum, black, powder coated fence with brick columns is to be approximately 20' from the fog line of the eastbound lane of travel on Strasburg Road, resulting in a dramatically improved sight line for vehicles exiting Spring House Lane and Applicants' driveway on to Strasburg Road.



In light of the foregoing, Applicants respectfully submit this Summary with Table of Dimensions to the East Goshen Township Zoning Hearing Board Application for a Dimensional Variance, seeking relief from the above referenced Ordinance.

Submitted by: \_\_\_\_\_  
Albert M. Greto

Date: \_\_\_\_\_

Submitted by: \_\_\_\_\_  
Lynn A. Greto

Date: \_\_\_\_\_

331 Springhouse Ln



COUNTY OF CHESTER  
PENNSYLVANIA



Find UPI Information

PARID: 5304R00380000  
UPI: 53-4R-38  
Owner1: GRETO LYNN A  
Owner2: GRETO ALBERT M  
Mail Address 1: 331 SPRINGHOUSE LA  
Mail Address 2: WEST CHESTER PA  
Mail Address 3:  
ZIP Code: 19380  
Deed Book: 9173  
Deed Page: 2334  
Deed Recorded Date: 9/1/2015  
Legal Desc 1: SE OF E STRASBURG RD &  
SPR  
Desc 2: 4.2 AC DWG & POOL LOT 23  
Acres: 4.25  
LUC: R-10  
Lot Assessment: \$ 144,540  
Property Assessment: \$ 241,910  
Total Assessment: \$ 386,450  
Assessment Date: 12/18/2020  
Property Address: 331 SPRINGHOUSE LA  
Municipality: EAST GOSHEN  
School District: West Chester Area

Map Created:  
Thursday, April 8, 2021

MG

County of Chester

ET Code Dept.



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# Exhibit A

**Exhibit A to the East Goshen Township Zoning Hearing Board Application of Albert M. Greto and Lynn A. Greto, 331 Spring House Lane, T.P.N. 53-6-31**

On August 28, 2015, Albert M. Greto and Lynn A. Greto (hereinafter “Applicants”), purchased the subject property. As a condition of obtaining a certificate of occupancy the prior owner was directed by the Township to make certain repairs to the fence enclosing the pool. The fence was a 6’ privacy fence that extended from the rear corner of the garage attached to the dwelling, thence extending to the property line common to the right of way along the East boundary of Spring House Lane. (See Figure 1). It should be noted that the pool deck, coping, pool, and enclosure for the pumps and filter were in disrepair.

In December of 2016, Applicants sought and obtained a permit to construct a new building to serve as an enclosure for the pool heater, pumps and filter, as well as storage for pool incidentals, and an outdoor bar. Applicants also began to repair/replace the existing 6’ privacy fence. The pre-existing 6’ privacy fence had decorative posts with a finial on the top. The finial extended 8” above the 6’ privacy fence, causing the same to be approximately 80” above grade. (See Figure 2).

In 2017, high winds caused 4 or 5 panels of the existing 6’ privacy fence to fail. Applicants made temporary panels from trees on the property that were damaged by the storm. In 2017, the Applicants made new 6’ panels from black



locust logs to replace the preexisting 6' panels. The Applicants made columns constructed from blocks, bricks, and mortar and capped them with Pennsylvania field stone to repair/replace the pre-existing posts with finials. The Applicants repair/replacement of the fence was done and completed while the work was being done pursuant to the above-described permit for the pool building. In fact, the repair/replacement of the pre-existing 6' privacy fence was completed two years before the permit for the pool building was closed. The delay in closing out the permit occurred because the Applicants were of the mistaken belief that the independent electrical inspector advised the Township of the same. After the Applicants received an inquiry from the Township in 2020, the Applicants advised the Township who then inspected the work and closed out the permit.

To repair/replace the pre-existing 6' privacy fence, the Applicants secured the new 6' panels made from black locust to new block, brick, and mortar columns as work progressed along the pre-existing fence. The work that is the subject of this request for a Dimensional Variance was completed 2 or 3 years ago. The Applicants were not aware of any concern or issue until the Applicants received a letter of April 5, 2021 requesting that the Applicants adjust the fence to 6' in height. (See Exhibit B).

To the extent a Dimensional Variance is required, the block, brick, and mortar columns consist of minor, relatively insignificant or slight variations from

the relevant zoning ordinance (240-32E), as did the pre-existing privacy fence. The new fence does not adversely affect the public welfare or public policy concerns inherent in the East Goshen Ordinance. The alternative to the relief requested herein, specifically, removal of the top of the columns constructed of block, brick, and mortar would be excessively costly in the context of a mere “trifling” shortfall, and even then, would require replacement panels to be notched at the top on each end. The Applicants therefore submit that the Board may even consider or grant the Dimensional Variance requested herein as “De Minimis,” even though the hardship was self-created.

East Goshen Zoning Ordinance 240-32E. Fences and walls., states:

- (1) Fences and walls which are erected in the side or rear yards shall not exceed six feet in height on a residential lot and eight feet in height on any other lot, except tennis court fences, which may not exceed 10 feet in height. Such fences may be solid.
  - (2) Fences and walls which are erected within the required front yard shall not exceed four feet in height and shall maintain a minimum one to one ratio of open to structural areas (such as a picket-style or split-rail fence).
  - (3) A fence or wall which is erected along the side street yard which extends to the rear property line shall not exceed four feet in height.
  - (4) If one side of a fence is more finished or is flatter than the other side of the fence, and the fences face another abutting dwelling or a street, then such more finished or flatter side shall face such other dwelling or street.
- [Added 7-1-2008 by Ord. No. 129-D-08]

The preexisting 6' privacy fence had posts with a finial on the top. The preexisting posts were approximately 80" in height. (See Figure 2). The columns are constructed of block, brick, and mortar range from approximately 80" in height to 89" in height, depending on which side of the column one measures due to the slope of grade. (See Figures 3 through 22). The variation in the height of the columns is a result of the slope of the grade in the subject area. (See Figures 3 through 22 and compare to the locations where the measurements were obtained identified in Figure 23). The height of the columns does not adversely affect the public welfare, or the public policy concerns inherent in the Ordinance. Removing the top of the column would be excessively costly in the context of the shortfall presented.

If the Applicants' request is not considered "De Minimus," the five criteria for consideration in a request for a dimensional variance are as follows:

1. Whether there are any unique physical conditions or circumstances relating or attributable to the subject property itself;
2. Whether the property cannot be developed in strict conformity with the Zoning Ordinance because of the unique physical conditions or circumstances;
3. Whether the hardship has not been self-created or induced by the applicant;

4. Whether the granting of the dimensional variance relief requested will alter the essential character of the neighborhood or zoning district, or be detrimental to adjacent properties or to public health generally; and
5. Whether the scope of the extent of the dimensional variance would be the minimum required to afford relief and would be the minimum modification possible to the extent dimensional regulation at issue.

As to the first consideration, the pre-existing posts were 80" above grade and the top of the columns are approximately 80" above grade at the uphill side of the column, but 89" above grade at the downhill side of the column. Between the columns, the panels were installed on level with the uphill side of each new 6' fence panel notched into the grade so there was no gap between grade and the bottom of the panel at the downhill side.

As to the second consideration, when installing a 6' tall fence panel that is 8' in length so that the panel is level (and not parallel with a sloping grade), there is going to be some variation. The run and fall of grade along the bottom of the level fence panel is the cause of the variation and cannot be avoided with a rigid fence panel on level.

As to the third consideration, the Applicants repaired/replaced a pre-existing 6' privacy fence (pressure treated pine in shadow box configuration) that was supported by 80" posts, with 6' black locust panels that are far more heavy and



sturdier than the pre-existing pine panels, and supported them by columns that are substantially similar in height as the pre-existing posts (but for the sloping grade) while bringing the pool up to present standards with the guidance of the Township.

As to the fourth consideration, granting the dimensional variance will not alter the essential character of the neighborhood or zoning district, or be detrimental to adjacent properties or the public health generally. One need not look far for 6' privacy fences with decorative posts extending above 6' akin to that which is depicted in Fig. 2 and oriented to the property as the 6' privacy fence the Applicants repaired/replaced.

As to the fifth consideration, the dimensional variance requested is the minimum required to afford relief and would be the minimum modification possible to the dimensional regulation at issue. Here the Pennsylvania field stone cap protects the block, brick, and mortar from water penetration during freezes and thaws. The cap (like the final of the pre-existing posts) must be taller than the height of the panel so one can secure the panel to a flat surface.

Applicants intend to install a 4' black, powder coated, aluminum fence between similar columns from the existing, above described 6' fence, along Spring House Lane to the corner of Spring House Lane and Strasburg Road, and along Strasburg Road from said corner to the North-East corner of the property, and turning 90 degrees within and along the East property line to the post and rail fence

in the rear yard. Applicants request a variance to permit the brick columns for the 4' black, powder coated, aluminum fence such that they extend 1 or 2 courses of brick above the 4' fence for the reasons previously stated. The proposed brick columns are to be set no less than 27' apart from each other and are proposed to extend above the 4' black, powder coated, aluminum fence like the posts of the existing post and rail fence. Applicants seek to set the elevation of the columns for the driveway gates at the same height as the proposed brick columns for the 4' fence.

In light of the foregoing, Applicants respectfully submit this East Goshen Township Zoning Hearing Board Application for a Dimensional Variance, seeking relief from the above referenced Ordinance.


Submitted by:

  
Albert M. Greto

Date:

4-26-2021

Submitted by:

  
Lynn A. Greto

Date:

4/26/2021

331 Springhouse Ln

COUNTY OF CHESTER

PENNSYLVANIA



Find UTM Information

PARID: 5304 RD038 0000  
 UPE 53-4R-38  
 Owner1: GRETO LYNN A  
 Owner2: GRETO ALBERT M  
 Mail Address 1: 331 SPRINGHOUSE LA  
 Mail Address 2: WEST CHESTER PA  
 Mail Address 3:  
 ZIP Code: 19380  
 Deed Book: 9173  
 Deed Page: 2334  
 Deed Recorded Date: 9/1/2015  
 Legal Desc 1: SE OF E STRASBURG RD &  
 SPR Legal  
 Desc 2: 4.2 AC DWG & POOL LOT 23  
 Acres: 4.25  
 LUC: R-10  
 Lot Assessment: \$ 144,540  
 Property Assessment: \$ 241,910  
 Total Assessment: \$ 386,450  
 Assessment Date: 12/18/2020  
 Property Address: 331 SPRINGHOUSE LA  
 Municipality: EAST GOSHEN  
 School District: West Chester Area

Map Created:  
 Monday, April 5, 2021

MG

County of Chester

EGT Code Dept.



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 County of Chester, Pennsylvania makes no claims to the completeness, accuracy, or content of any data contained herein, and makes no representation of any kind, including, but not limited to, the warranties of merchantability or fitness for a particular use, nor are any such warranties to be implied or inferred with respect to the information or data furnished herein. For information on data sources visit the GIS Services page listed at [www.chesco.org/gis](http://www.chesco.org/gis).



Fig #1

—— 6' Privacy Fence  
 --- 4' Black Aluminum Padded curved Fence  
 - - - 4' Post and Rail Fence



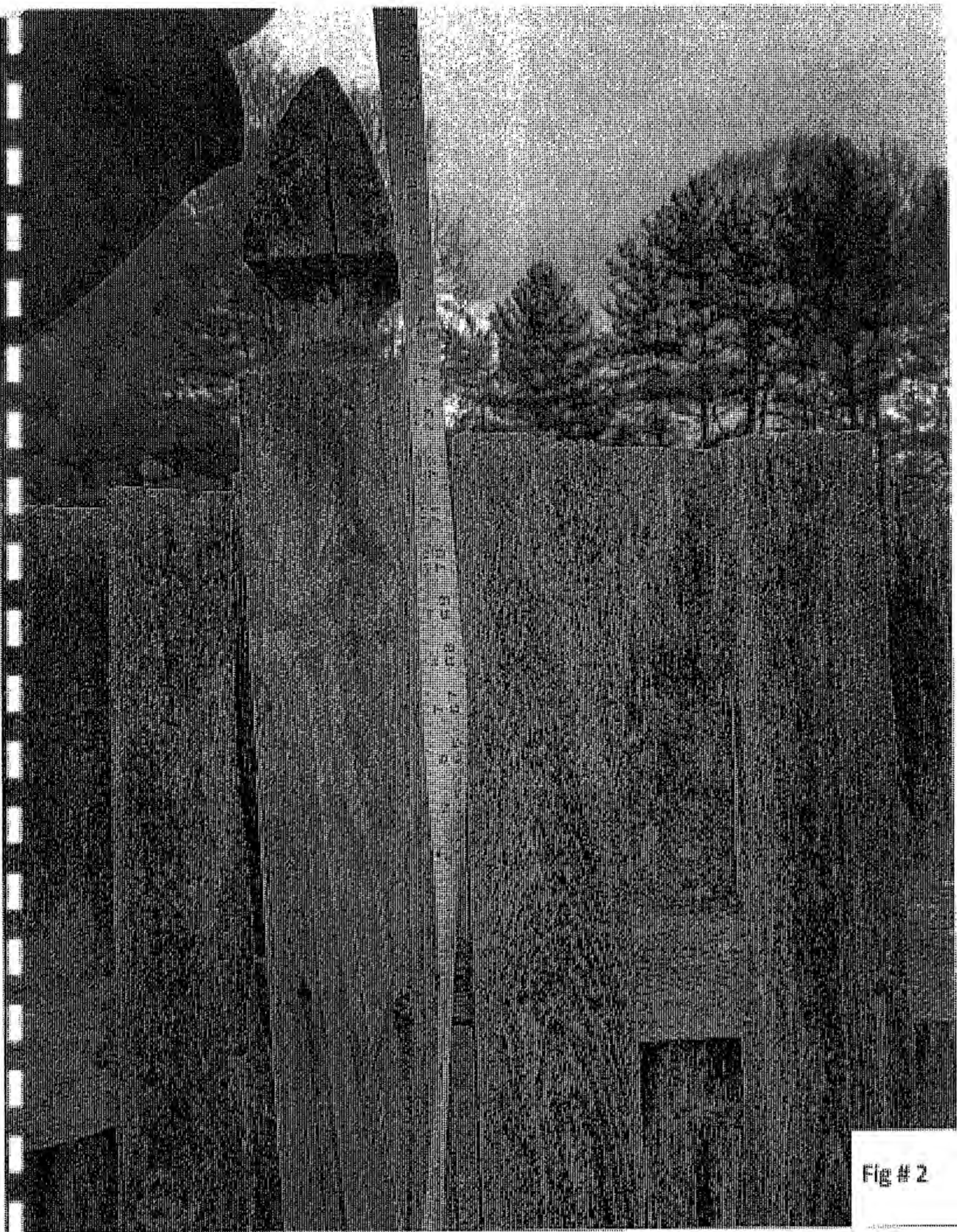


Fig #2



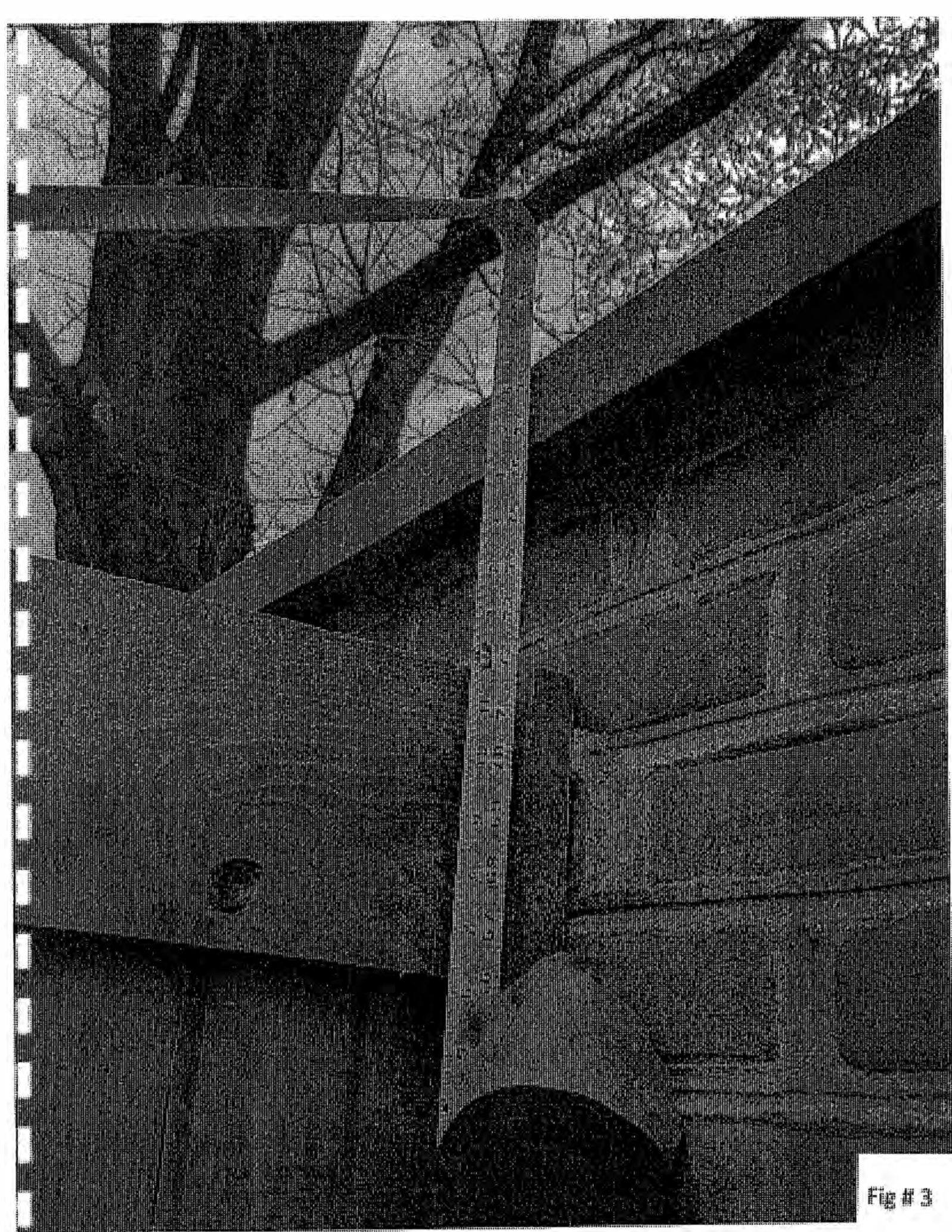


Fig #3



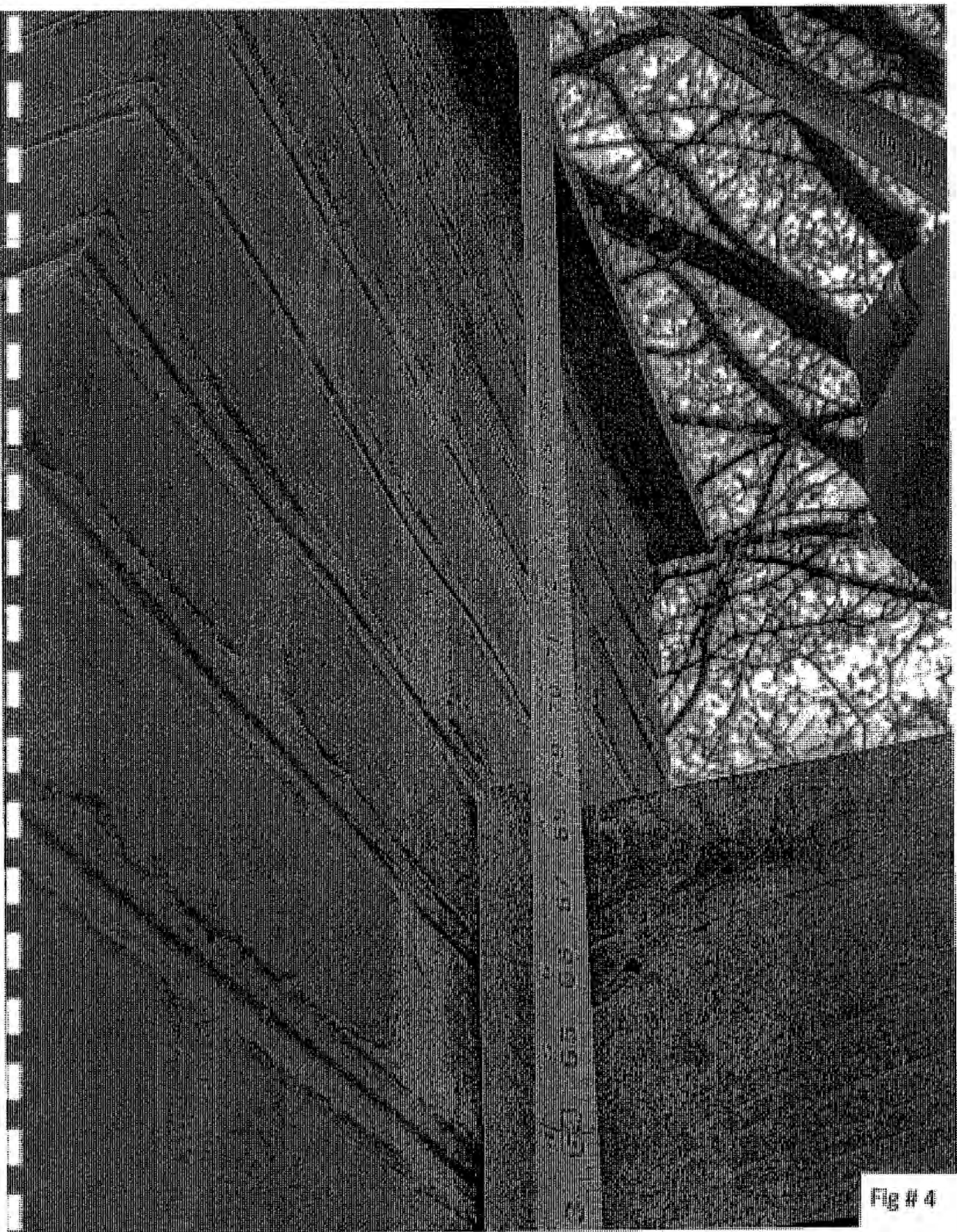


Fig # 4



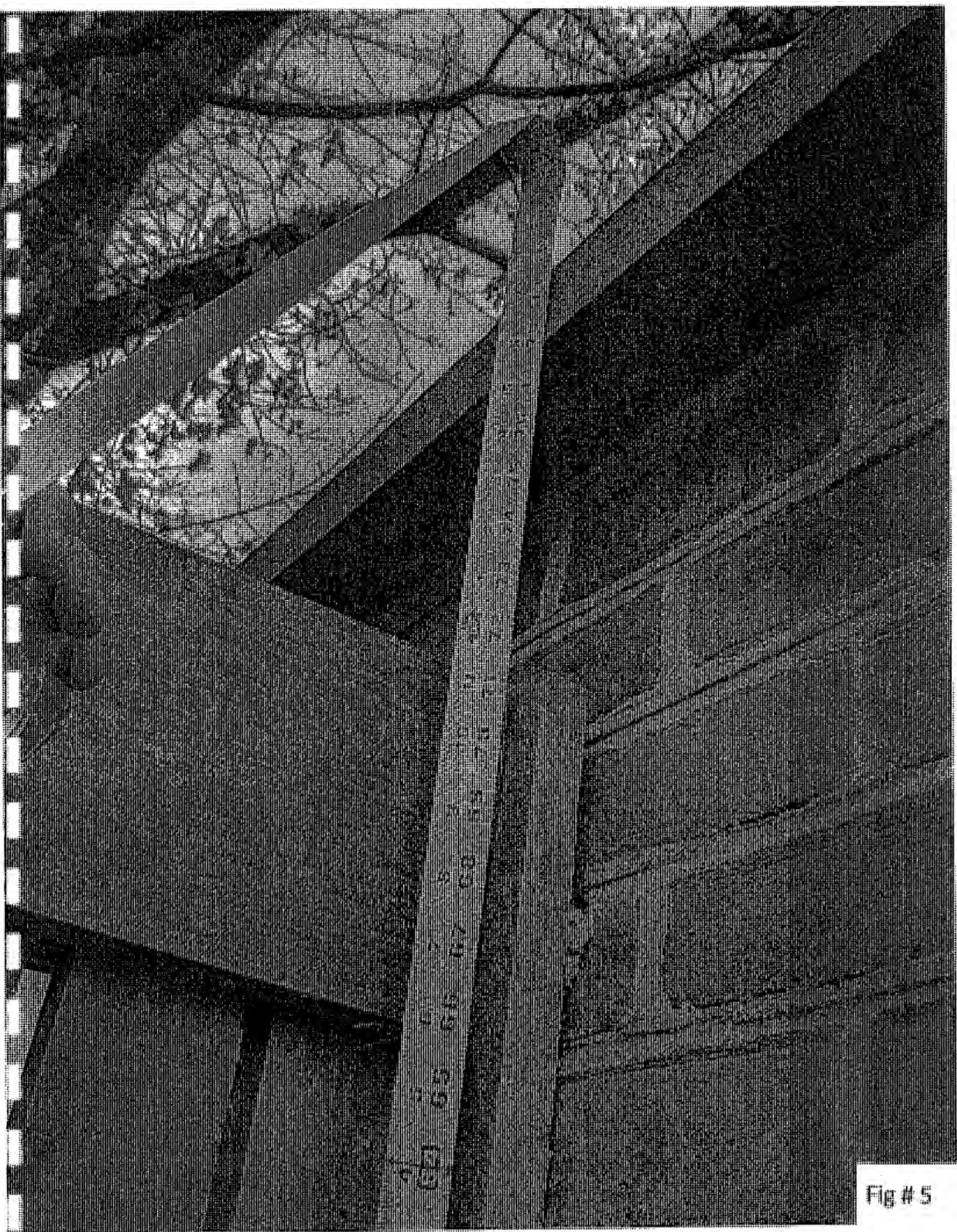


Fig #5



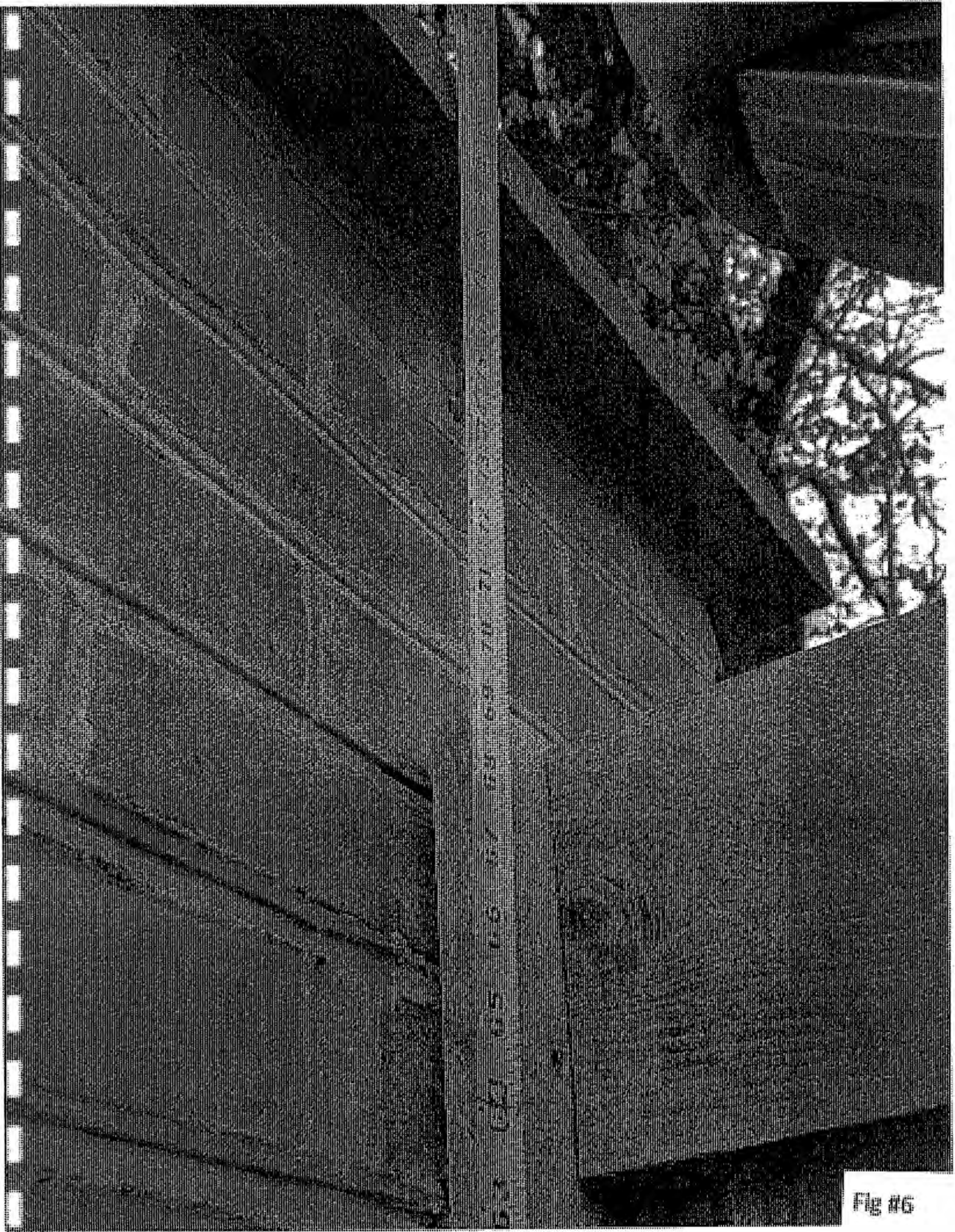


Fig #6



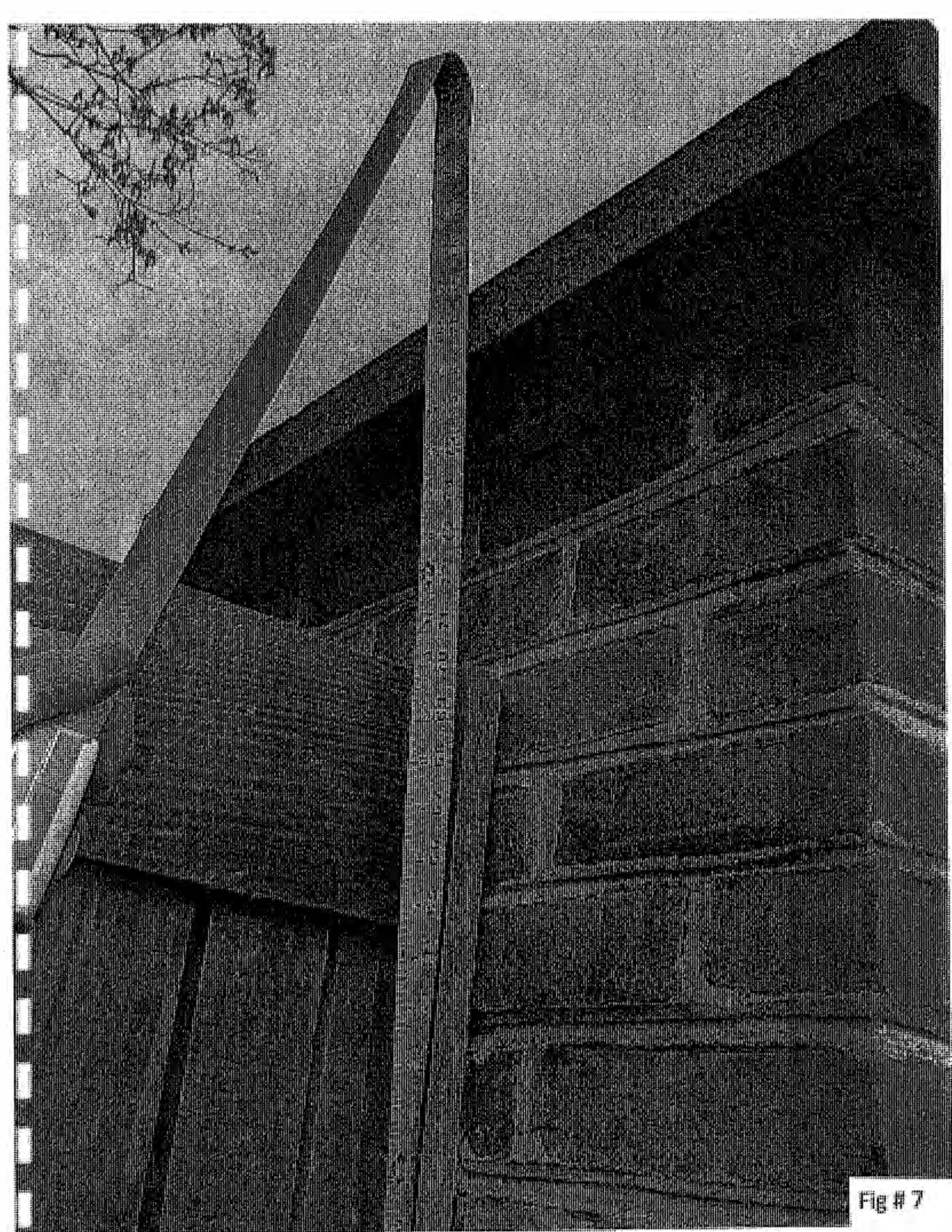


Fig # 7



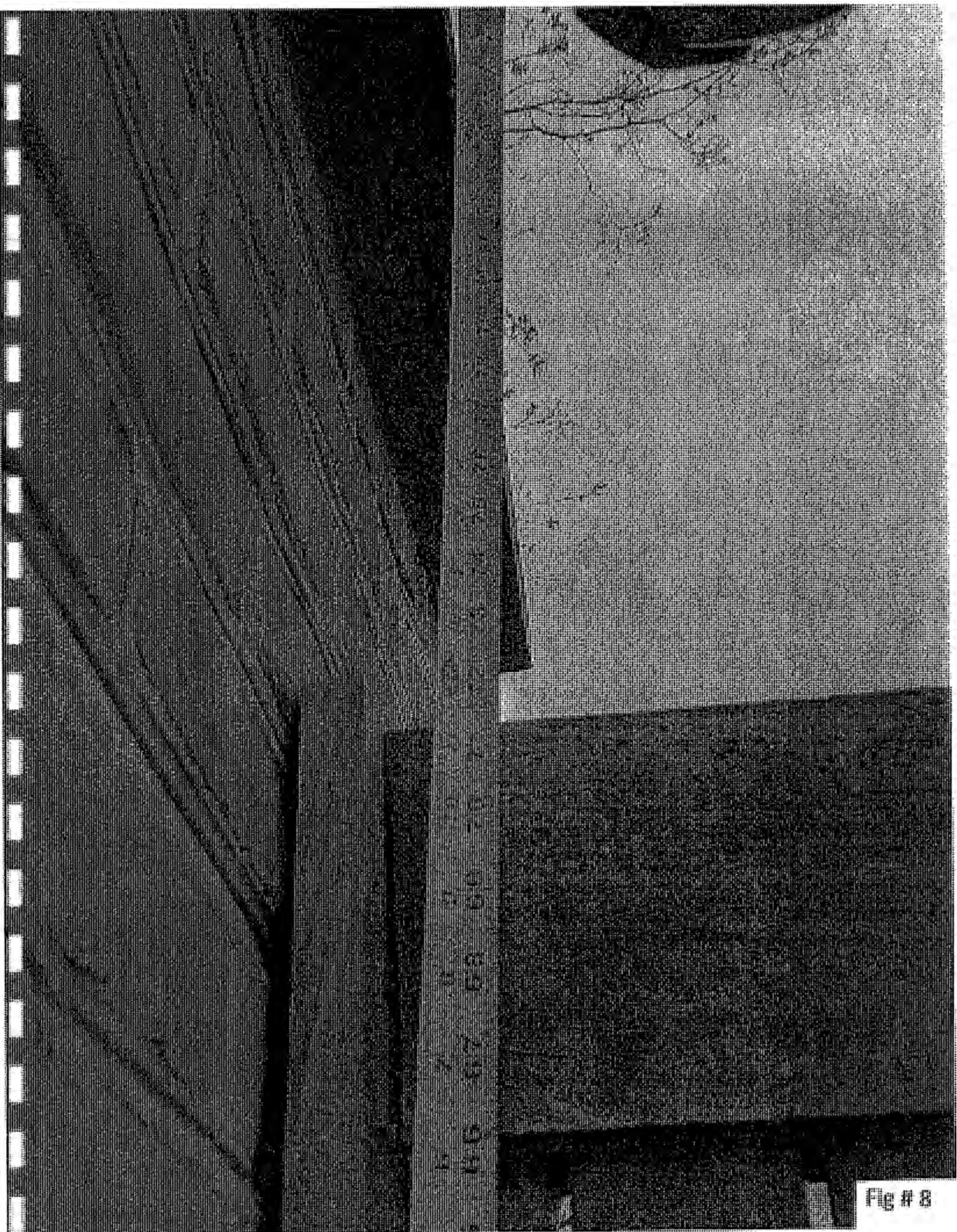


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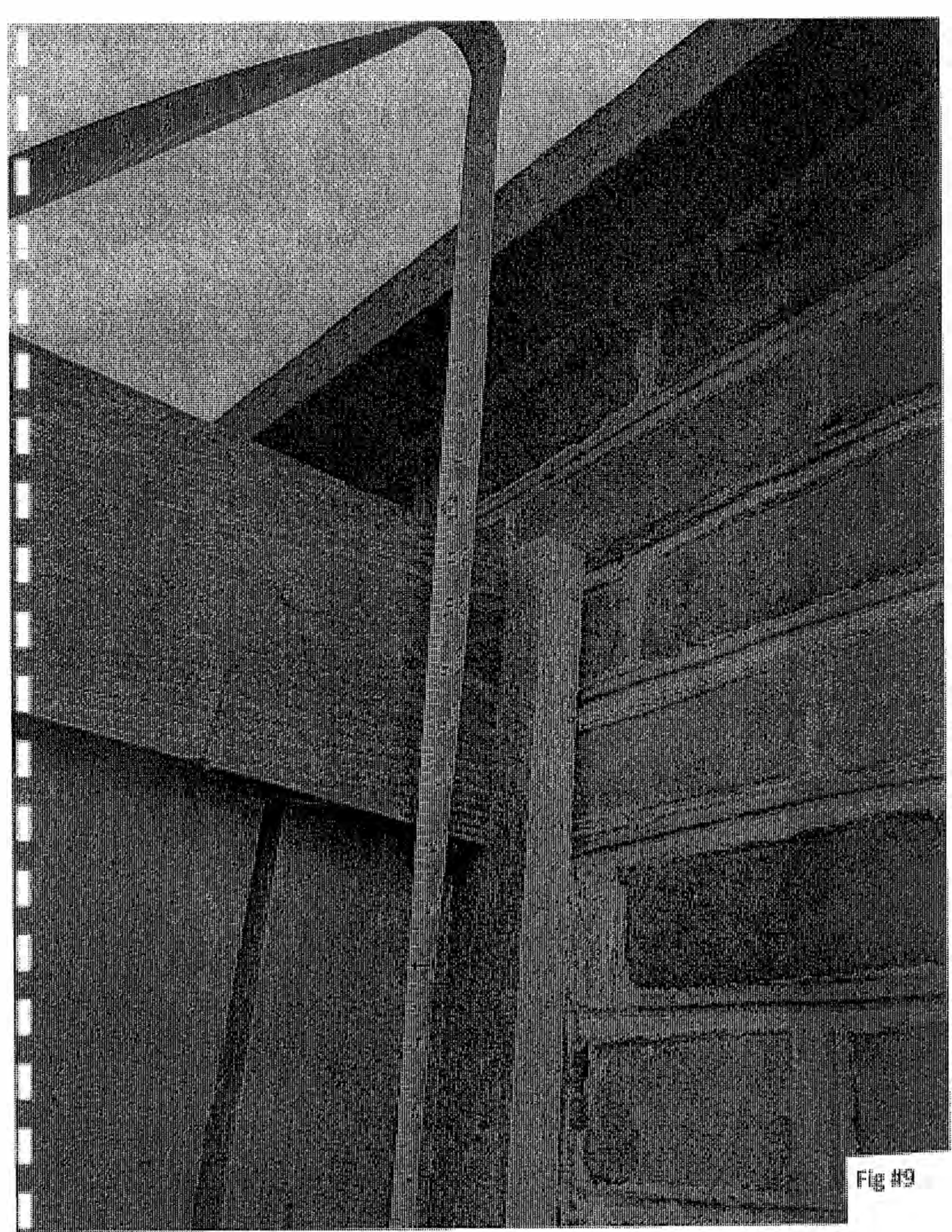


Fig. 13



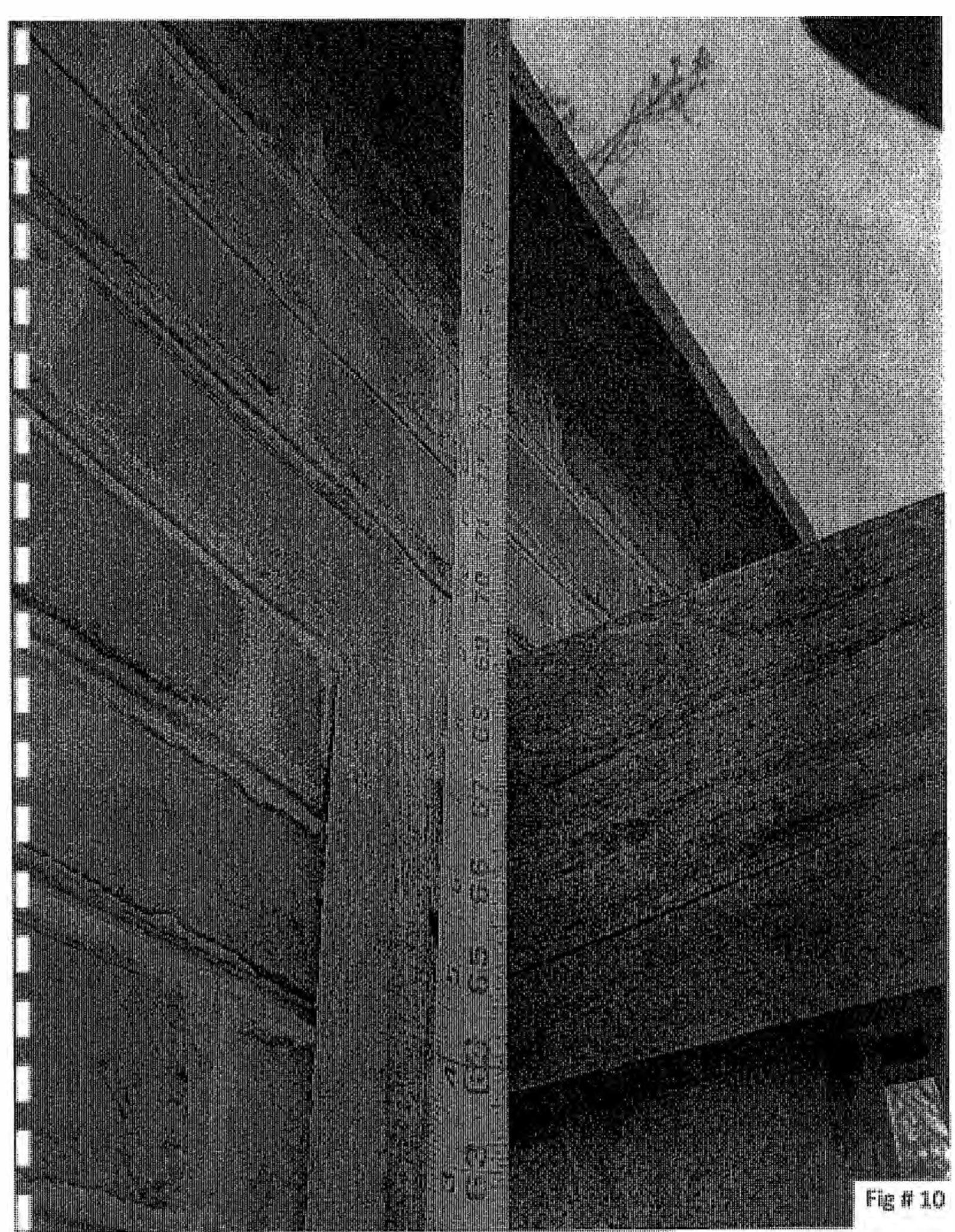


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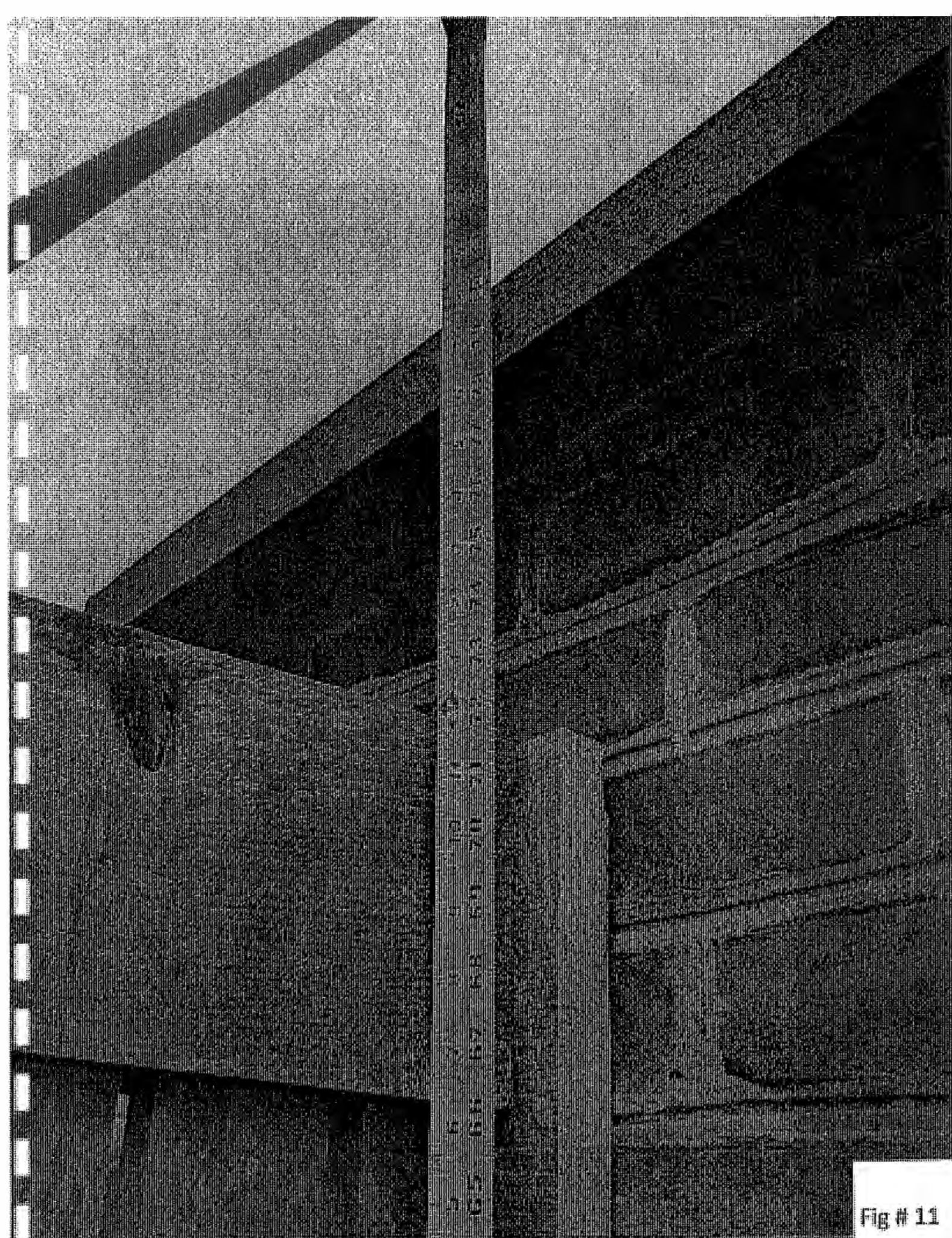


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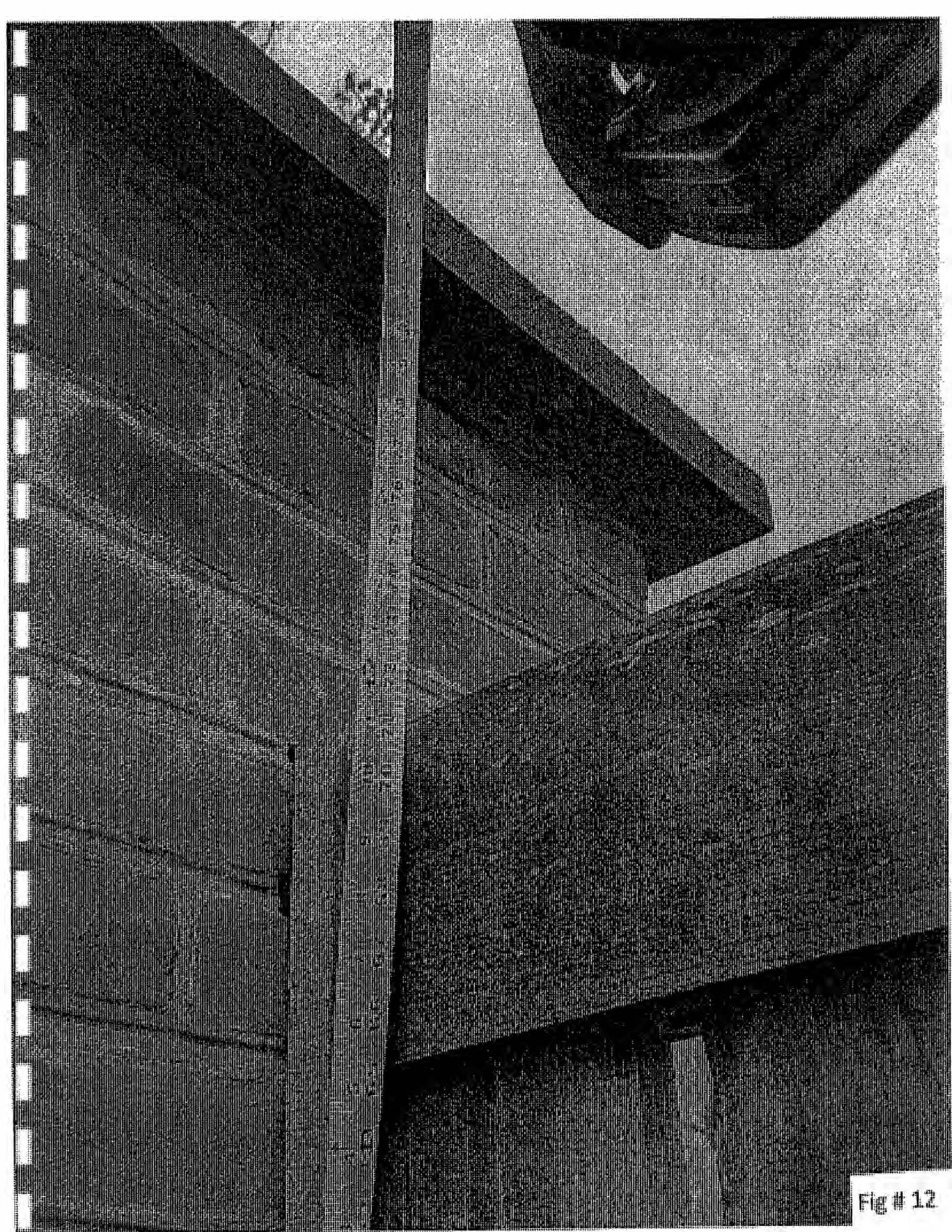


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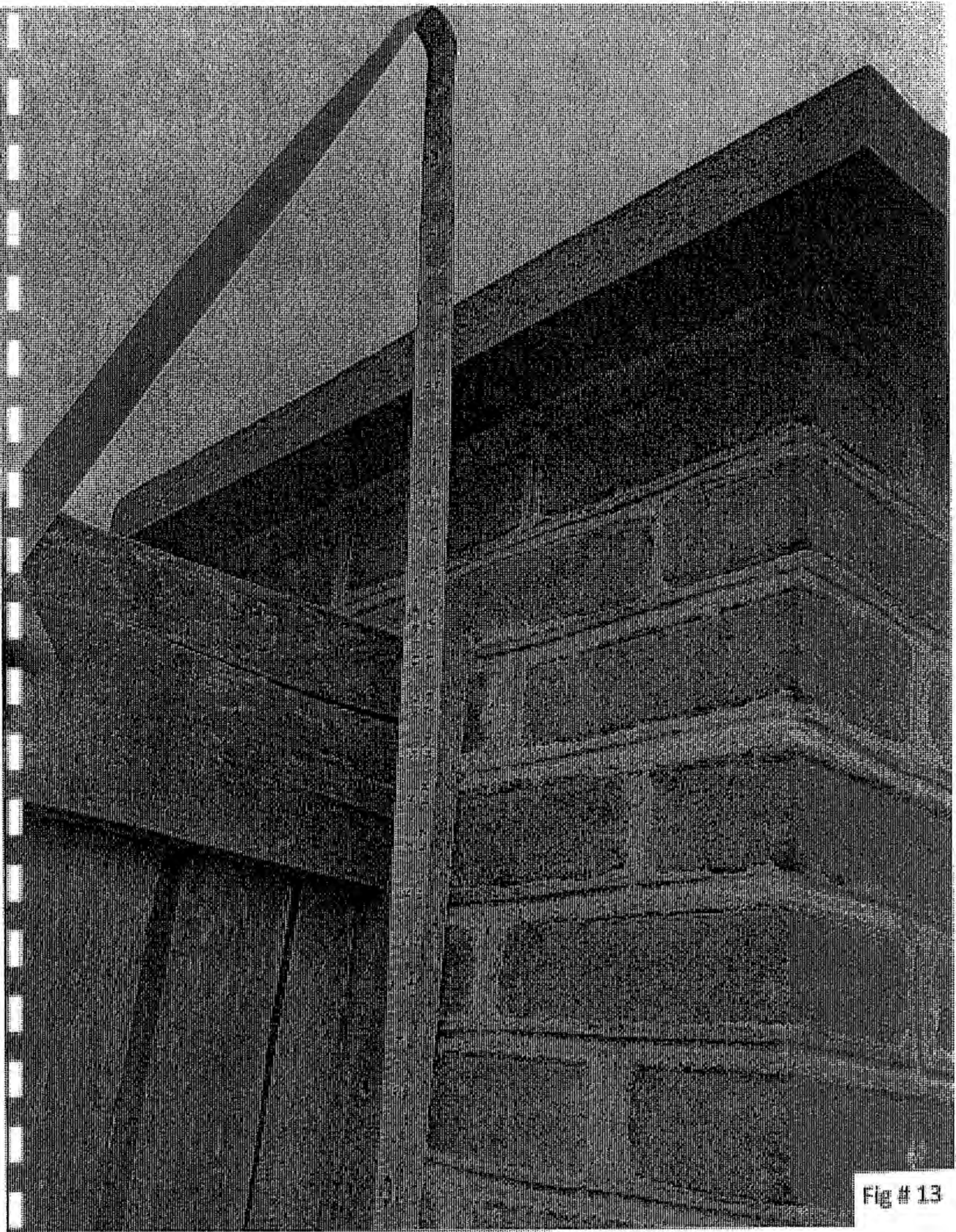


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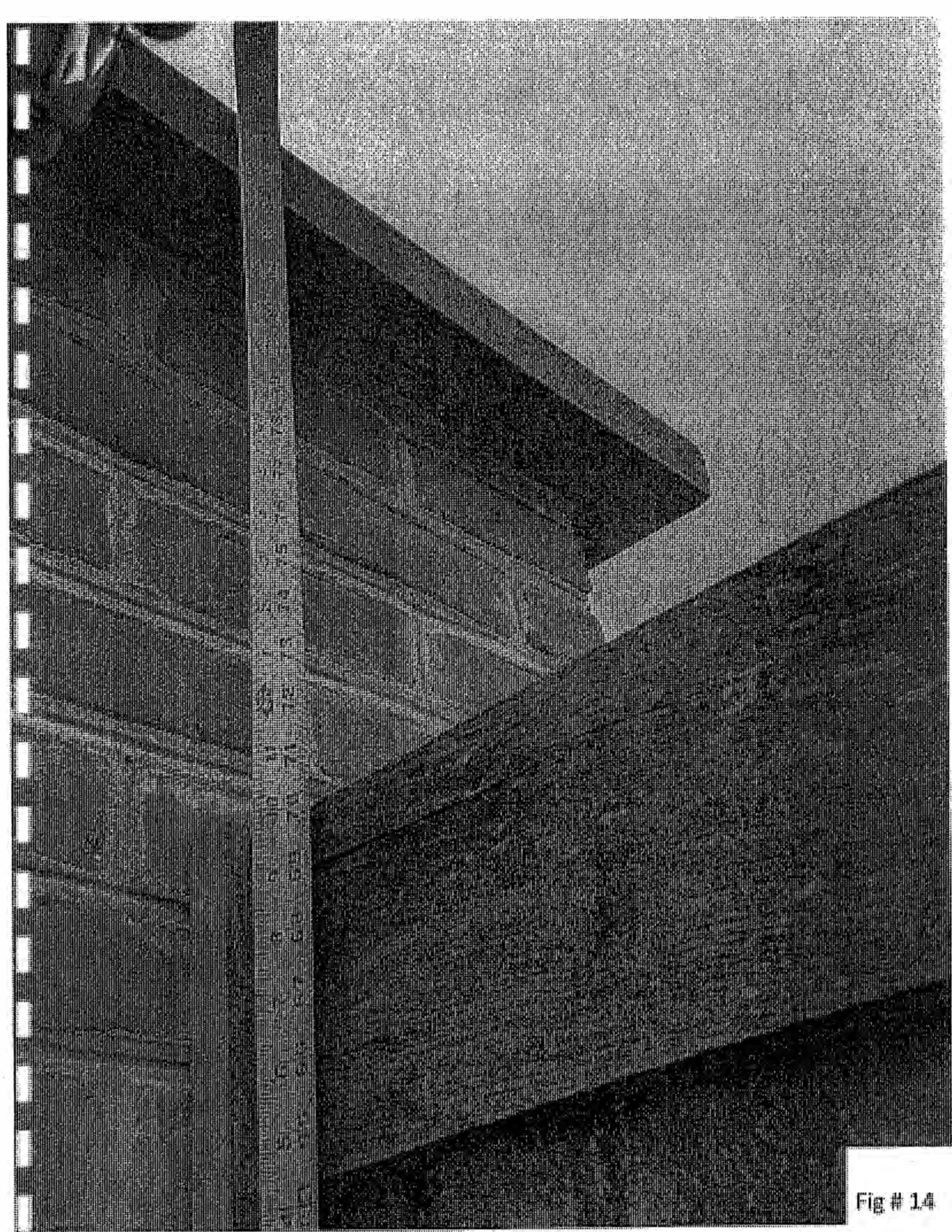


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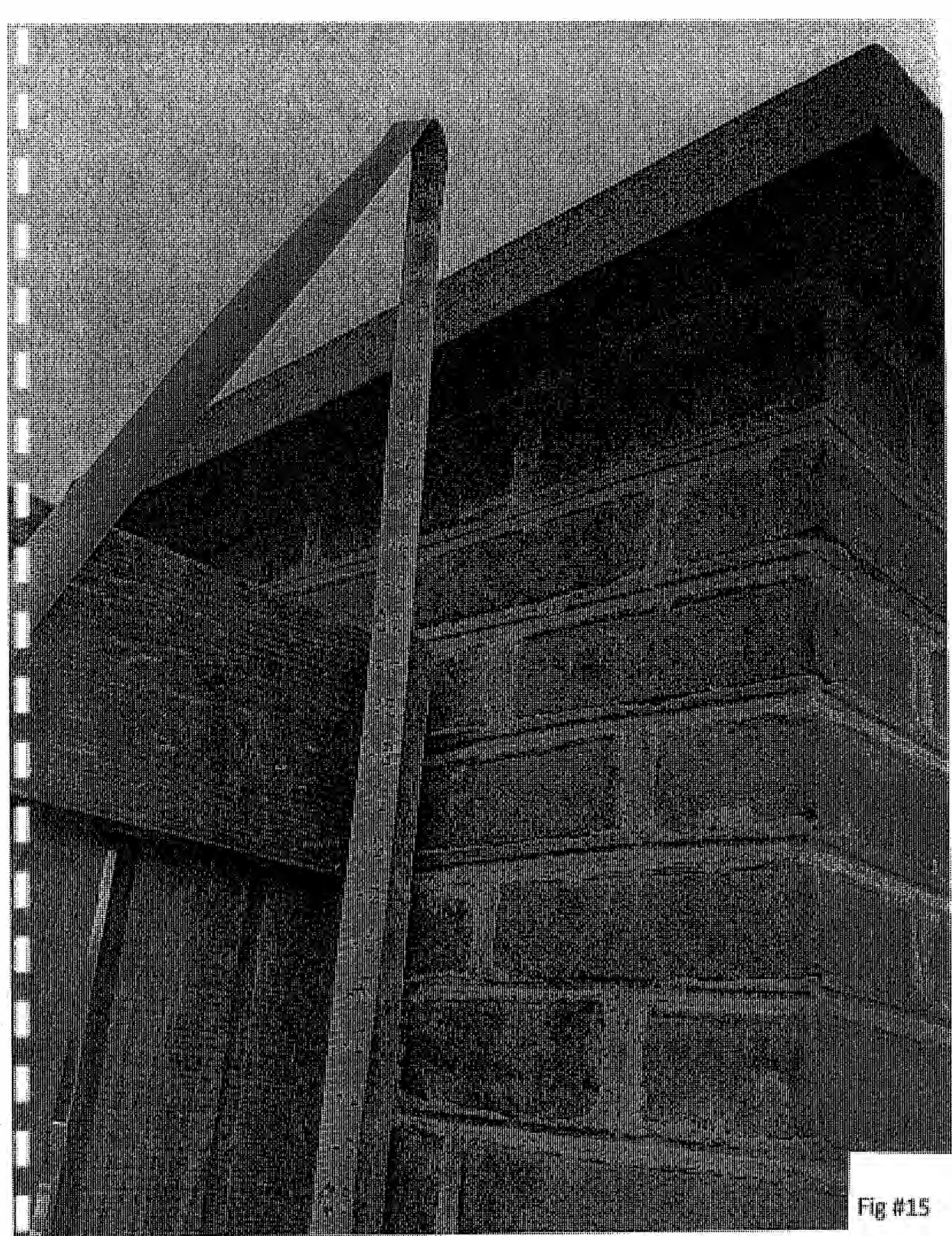


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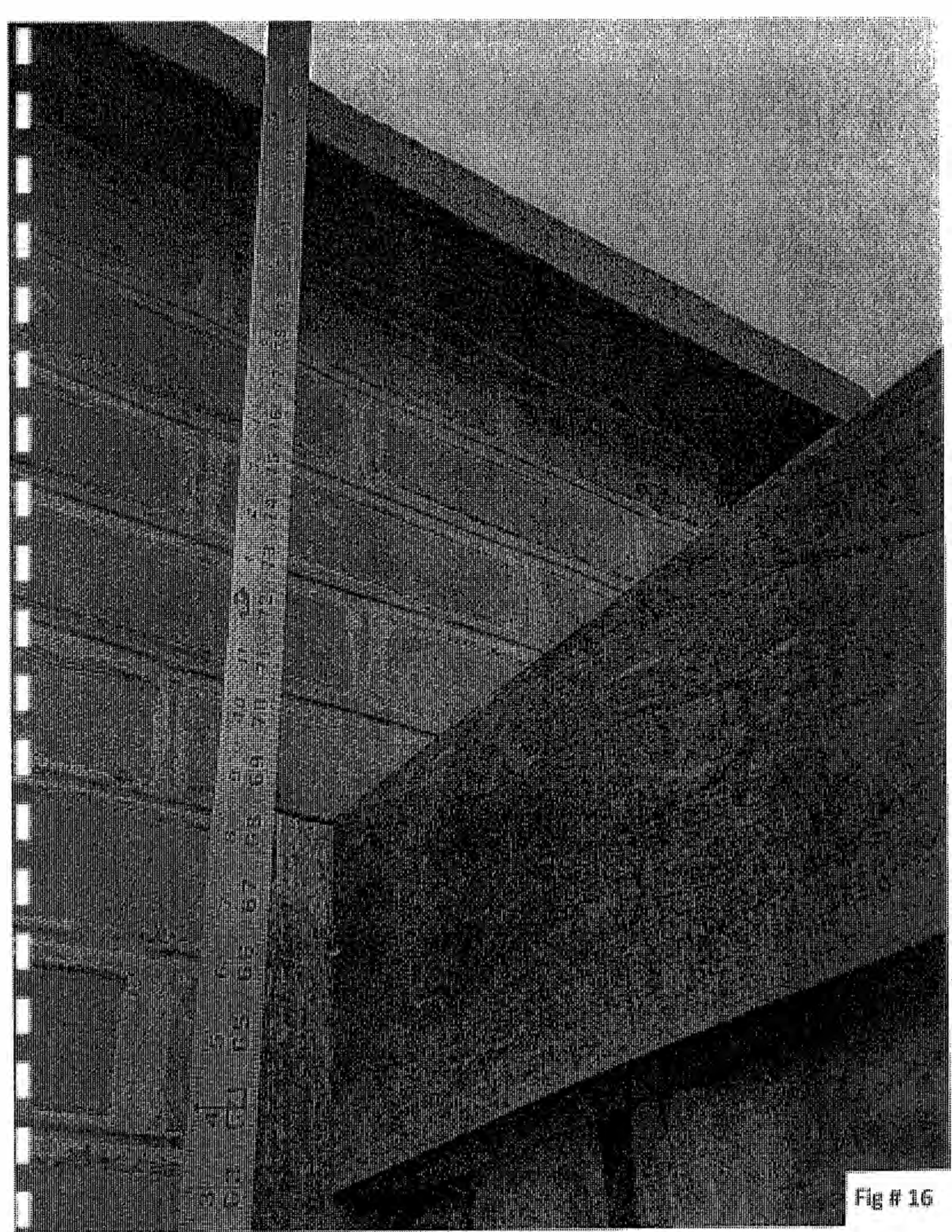


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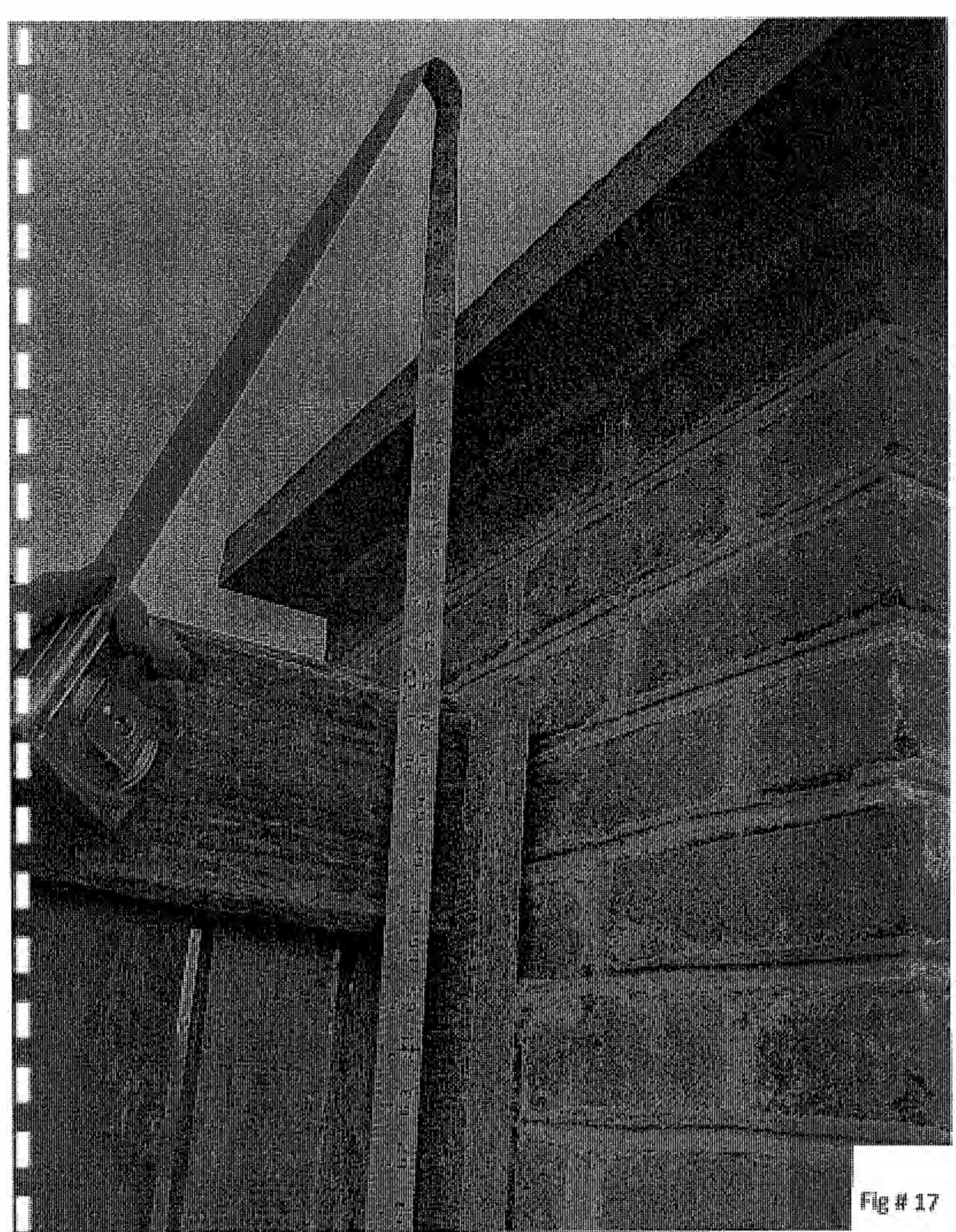


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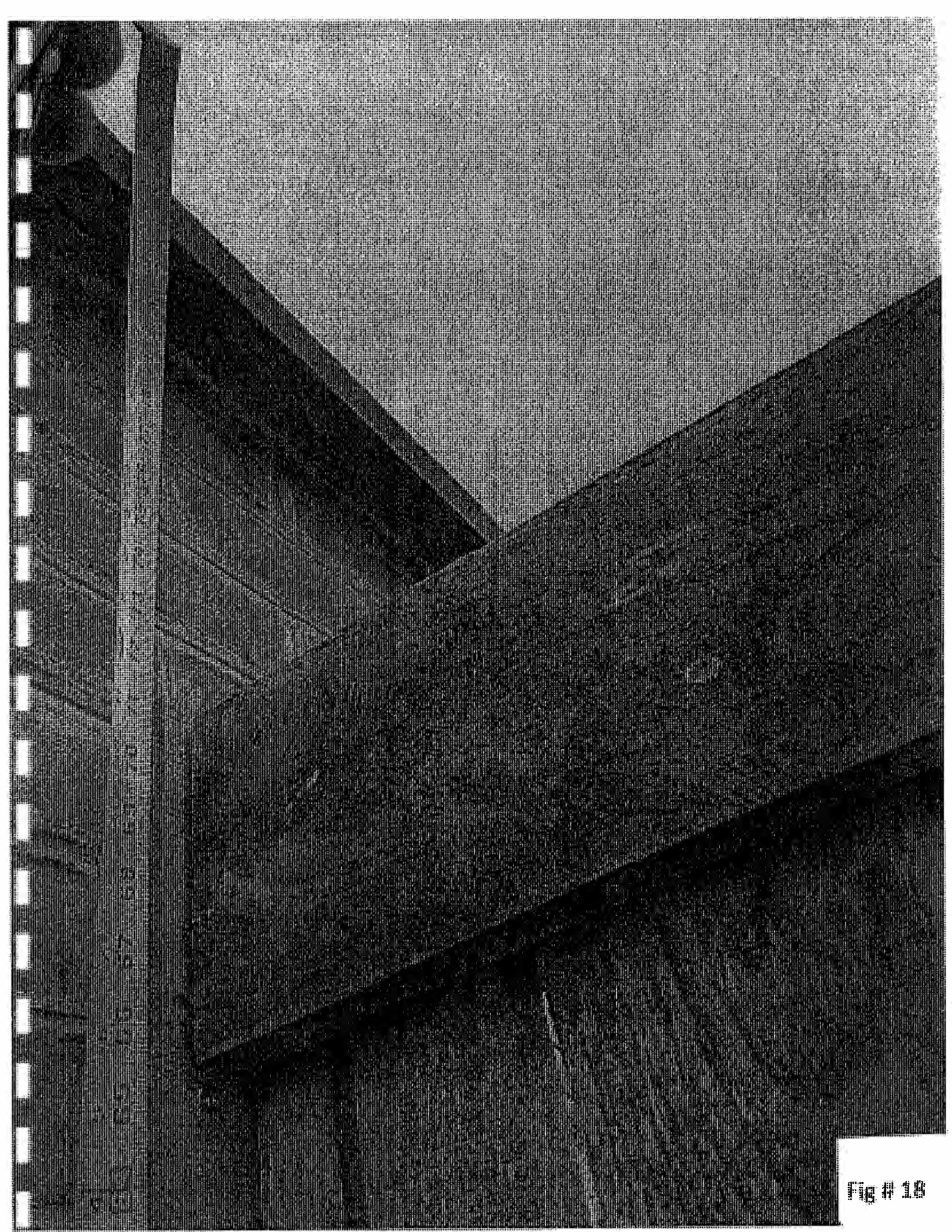


Fig # 1B



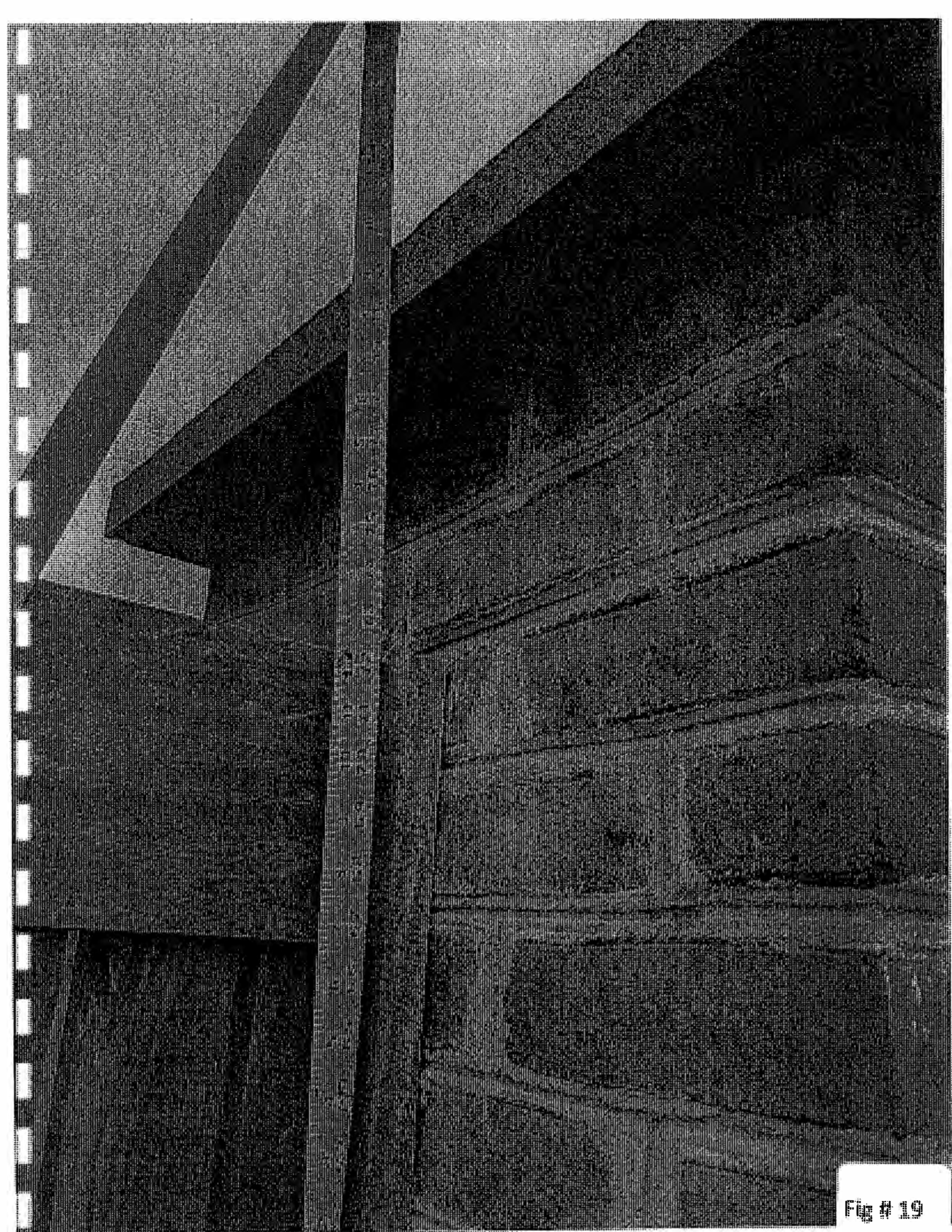


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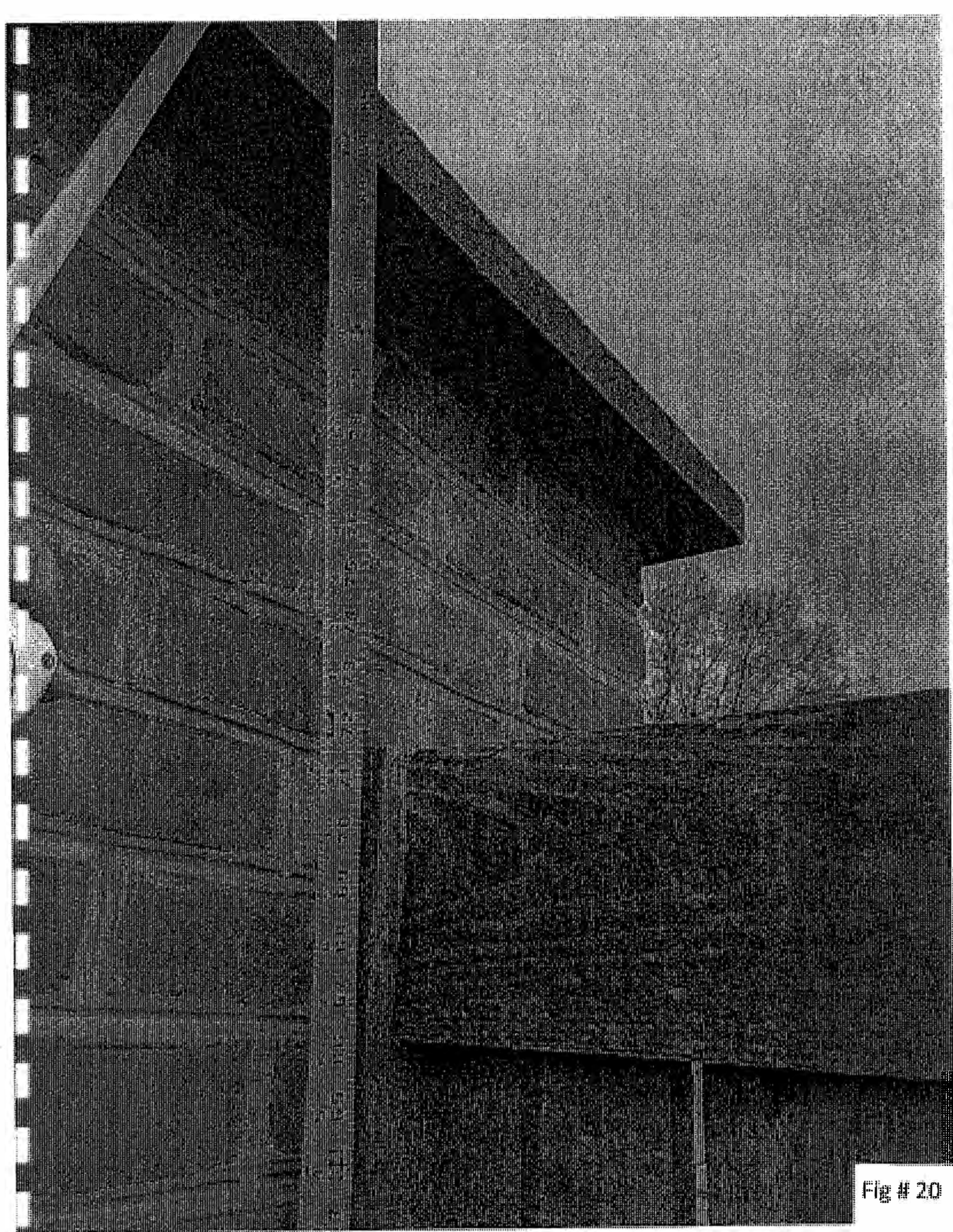


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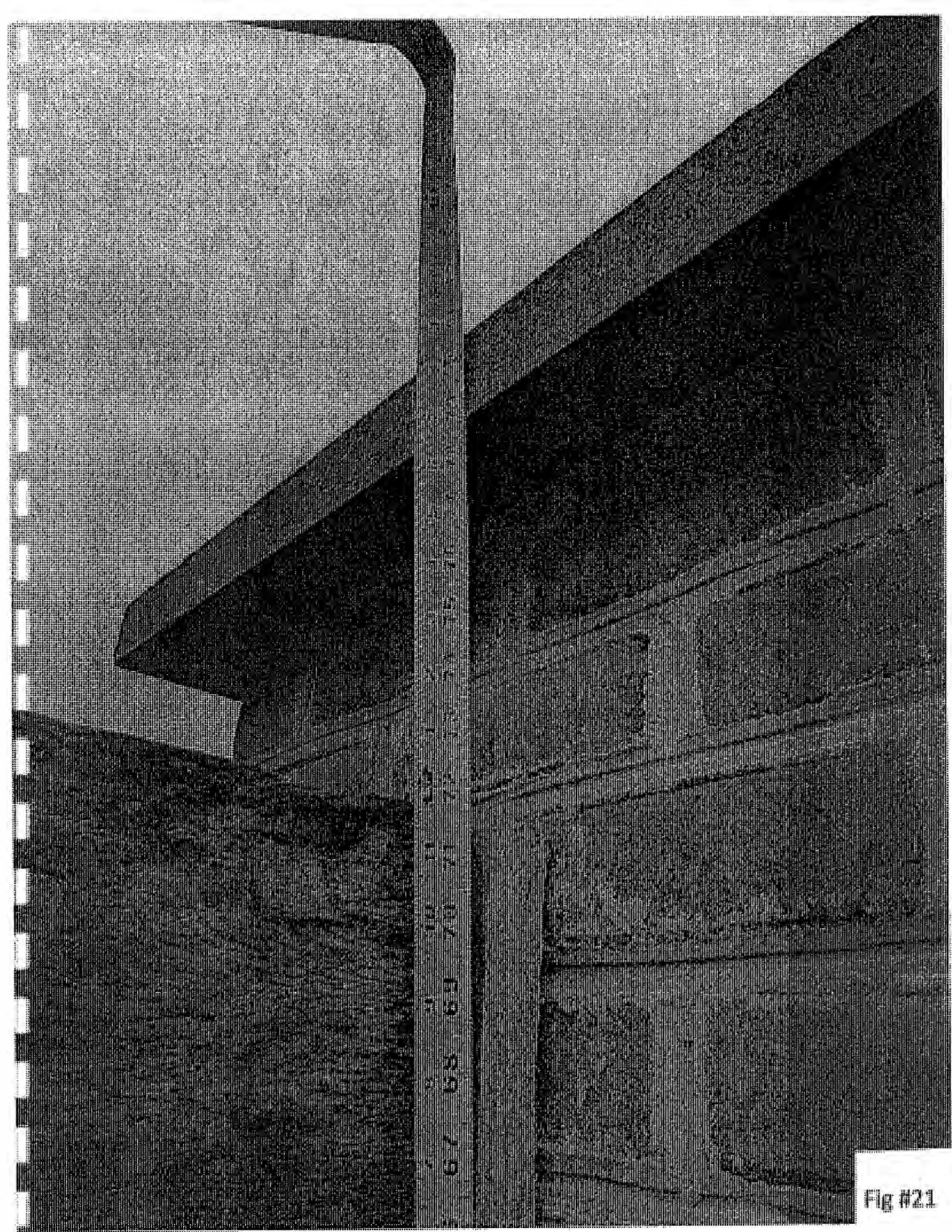


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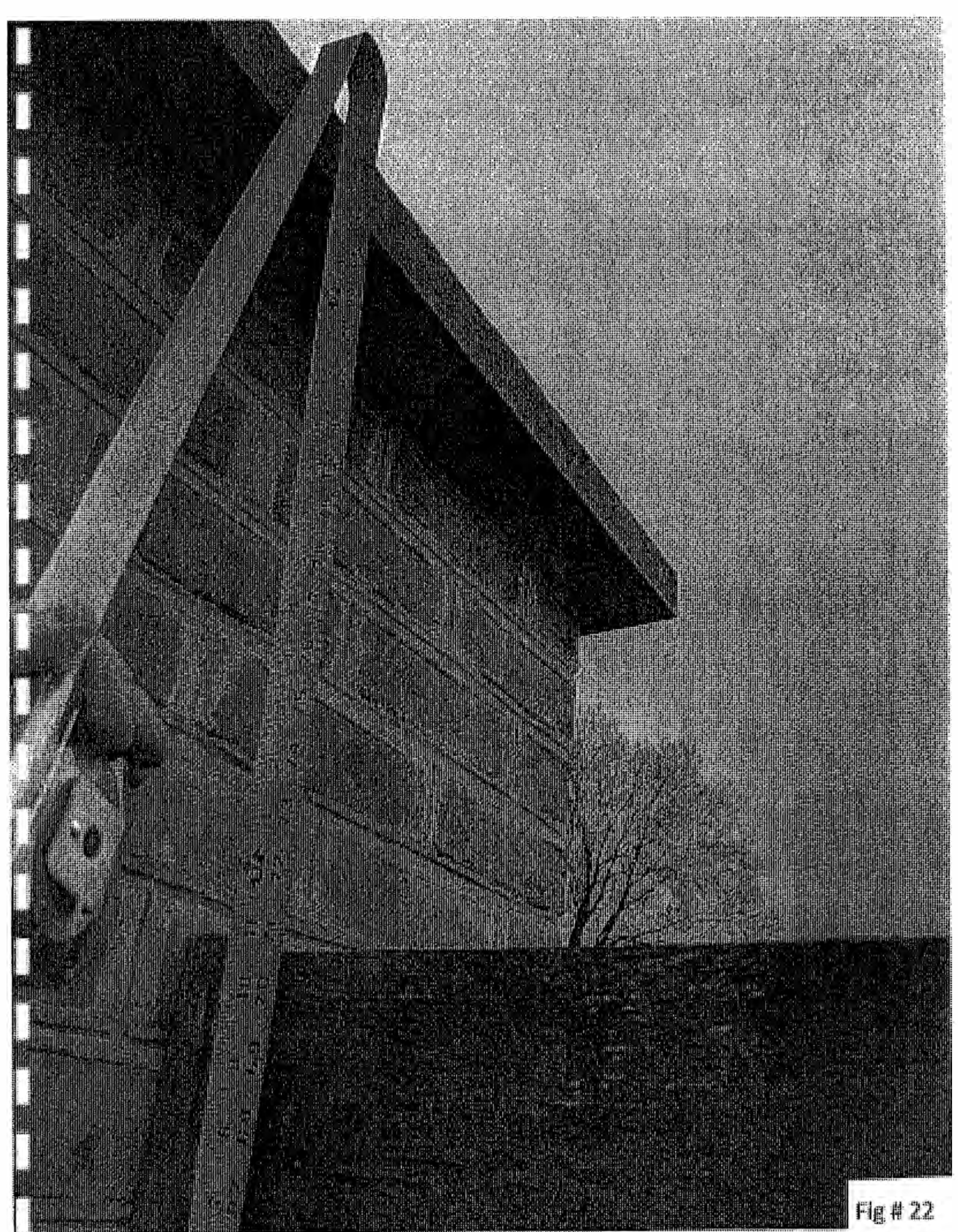


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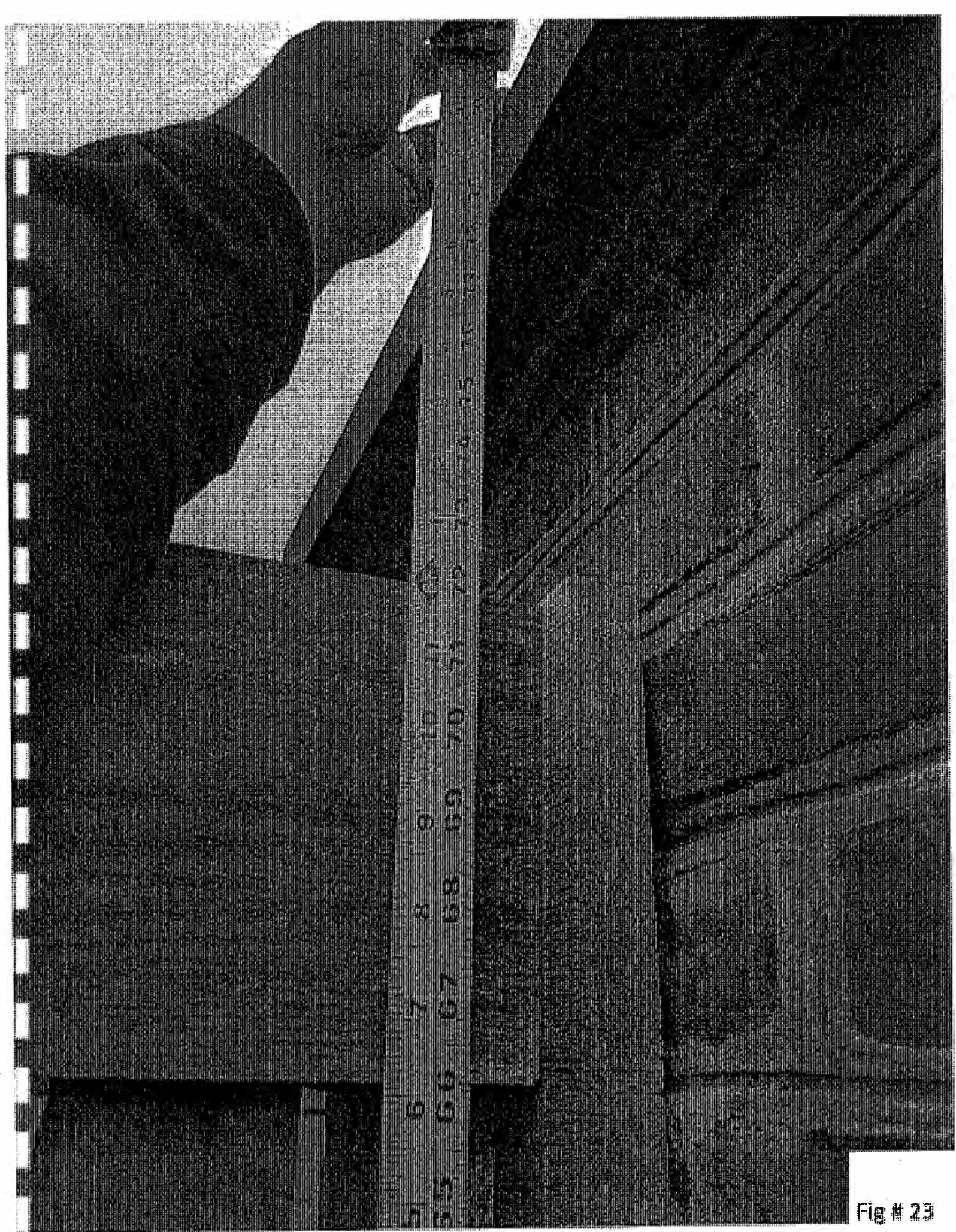


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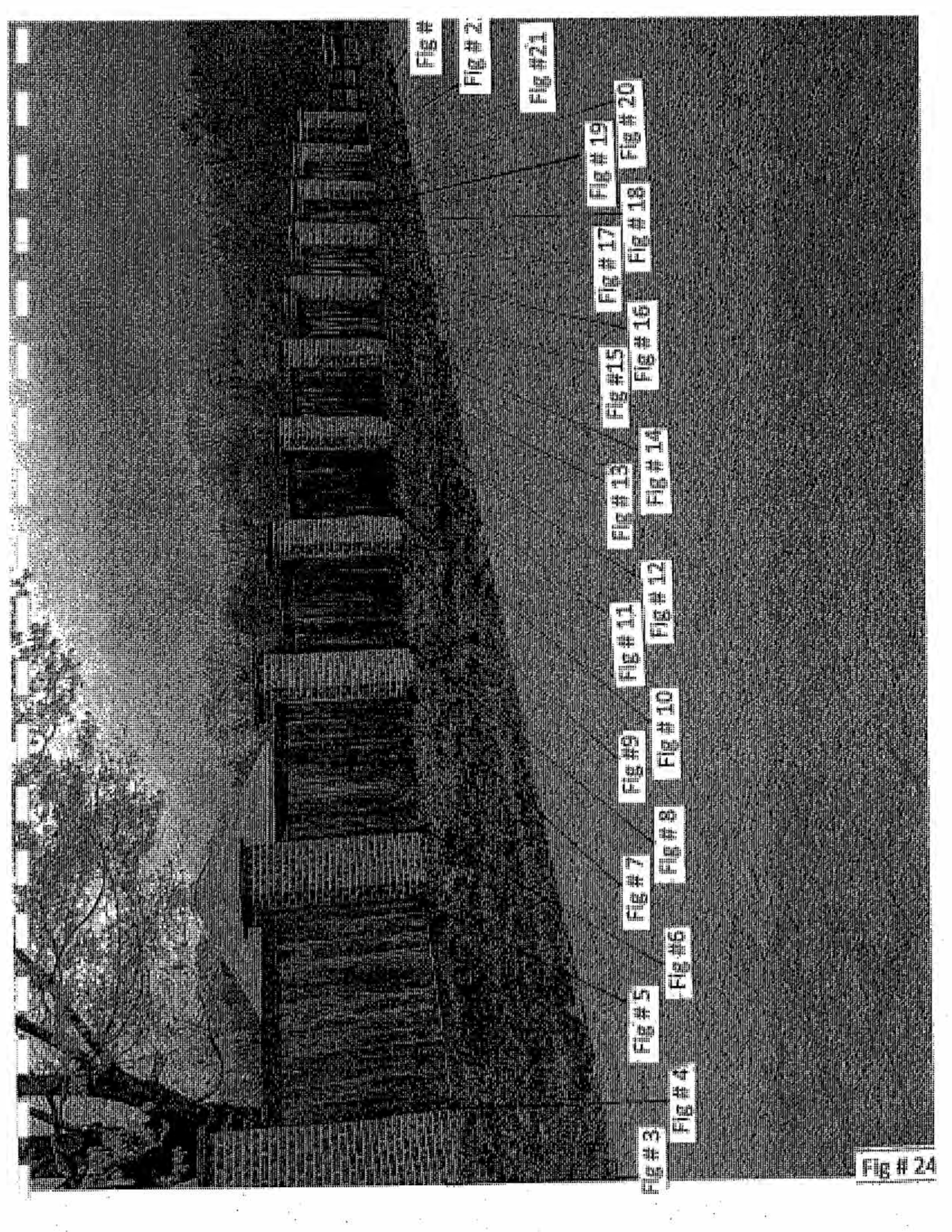


Fig #

Fig #2

Fig #21

Fig #19

Fig #20

Fig #17

Fig #18

Fig #15

Fig #16

Fig #13

Fig #14

Fig #11

Fig #12

Fig #9

Fig #10

Fig #7

Fig #8

Fig #5

Fig #6

Fig #3

Fig #4

Fig # 24

# Exhibit B

**BOARD OF SUPERVISORS**  
**EAST GOSHEN TOWNSHIP**

CHESTER COUNTY  
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

April 5, 2021

Mr. Albert M. Greto  
Mrs. Lynn A. Greto  
331 Springhouse Ln.  
West Chester PA 19380

Re: 331 Springhouse Ln. / Fence and Fence Pillars  
T.P.N. 53-6-31

Mr. and Mrs. Greto:

It has been brought to the Township's attention that you are installing fencing around your property. The Township Zoning Ordinance permits fences as an accessory use in residential districts with specific requirements for fences erected within the front, and side yard setback areas.

240-32E. Fences and walls.

- (1) Fences and walls which are erected in the side or rear yards shall not exceed six feet in height on a residential lot and eight feet in height on any other lot, except tennis court fences, which may not exceed 10 feet in height. Such fences may be solid.
  - (2) Fences and walls which are erected within the required front yard shall not exceed four feet in height and shall maintain a minimum one to one ratio of open to structural areas (such as a picket-style or split-rail fence).
  - (3) A fence or wall which is erected along the side street yard which extends to the rear property line shall not exceed four feet in height.
  - (4) If one side of a fence is more finished or is flatter than the other side of the fence, and the fence faces another abutting dwelling or a street, then such more-finished or flatter side shall face such other dwelling or such street.
- [Added 7-1-2008 by Ord. No. 129-D-08]

The fence and fence pillars you have erected is greater than 6' in height. Please adjust the fence and pillars to meet the Township Zoning Ordinance requirements listed above.

Thank you for your cooperation. Please call me if you have any questions.

Sincerely,



Mark A. Gordon  
Township Zoning Officer



# Memorandum

---

East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

Voice: 610-692-7171

Fax: 610-692-8950

E-mail: [mgordon@eastgoshen.org](mailto:mgordon@eastgoshen.org)

---

Date: 4/28/2021

To: Planning Commission

From: Mark Gordon, Township Zoning Officer *mlb*

Re: Electric Vehicle Charging Stations / Signs

---

Dear Commissioners,

I took pictures of and measured the advertisement display panels on the Volta Electric Vehicle Charging stations recently installed at the Westtown Giant supermarket on West Chester Pike.

Two charging stations have been installed at the Giant. They both have display panels on both side of the EV Charging stations. The dimensions of each display panels is 27' x 47". The advertisement copy changes approximately every 10 seconds.

I believe this type of advertisement panel is an LED Sign as outlined in our sign ordinance. I suggest amending the sign ordinance to permit these signs in commercial shopping centers.

## **§240-22 Signs**

**W.** LED signs. LED signs may be used on the following types of signs subject to the regulations in this **§ 240-22W**: i) an off-premises sign along West Chester Pike between Westtown Way and the Township's border with West Goshen Township; ii) an off-premises sign along Route 202; and iii) on a wall sign or freestanding sign in the C-1 District.

[Added 9-4-2012 by Ord. No. 129-F-2012]

**(1)** The message displayed on the digital off-premises sign shall be static and nonanimated and shall remain fixed for a minimum of 10 seconds;

**(2)** The sign shall not display any message that moves, appears to move, scrolls, or changes in intensity during the fixed display period;

**(3)** The transition time between changes in the sign face or message shall be less than one second;



**(4)** The sign must be equipped with brightness controls which shall be used to reduce the intensity of the light based on outside light levels; and

**(5)** The digital LED display shall not have lighting that would compete with or distract from traffic signal lighting.

Basic EV Charging systems should also be allowed as an accessory use in all commercial, industrial, and business park districts,

**STAFF RECCOMENDATION:**

Staff recommends that a draft ordinance be prepared to address EV Charging stations as an accessory use and to permit LED display signage associated with EV Charging stations in commercial shopping centers. If the PC concurs I will work with the solicitor to prepare a draft ordinance for the PC to review.





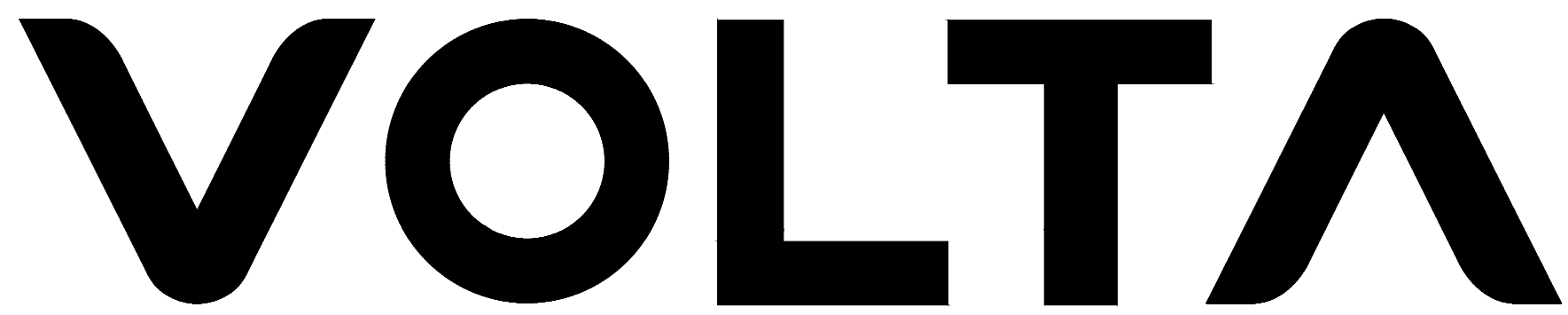












# GIANT # 6505 - HERSHEY'S MILLS VILLAGE

1375 BOOT ROAD  
WEST CHESTER, PA 19380

WASHINGTON, DC MARKET



155 DE HARO STREET  
SAN FRANCISCO, CA 94103



EV CHARGING INSTALLERS  
OF AMERICA, LLC

188 Breakneck Rd. Suite 204  
Highland Lakes, NJ 07422  
Phone: 855-373-9566

#### APPLICABLE CODES AND AGENCIES:

International Accreditation Service, Inc.—The International Accreditation Service, Inc., 5360 Workman Mill Road, Whittier, California 90601.

International Building Code—An International Building Code issued by the ICC. Chapter 11 and Appendix E of the "International Building Code 2018" issued by the ICC. The term includes all errata issued by the ICC.

International Energy Conservation Code—An International Energy Conservation Code issued by the ICC. The term includes all errata issued by the ICC.

International Existing Building Code—An International Existing Building Code for Buildings and Facilities issued by the ICC. The accessibility provisions in the "International Existing Building Code for Buildings 2018" issued by the ICC. The term includes all errata issued by the ICC.

International Fire Code—An International Fire Code issued by the ICC. The term includes all errata issued by the ICC.

All codes are to be used with applicable state and local changes.

#### VOLTA PROPOSES TO INSTALL:

(2) ELECTRIC VEHICLE CHARGING STATIONS AND ALL RELATED ELECTRICAL AND CIVIL ACTIVITIES. PAINTING AND MARKING OF EV CHARGING PARKING SPACES AND INSTALLATION OF NECESSARY PARKING SIGNS.

#### DISCLAIMER

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#### APPLICANT:

VOLTA  
155 DE HARO STREET  
SAN FRANCISCO, CA 94103  
CONTACT: SUNG PAEK  
PHONE #: 571-309-0212  
EMAIL: SUNG.PAEK@VOLTACHARGING.COM

#### PROJECT MANAGER:

VOLTA  
155 DE HARO STREET  
SAN FRANCISCO CA 94103  
CONTACT: SUNG PAEK  
PHONE #: 571-309-0212  
EMAIL: SUNG.PAEK@VOLTACHARGING.COM

#### ENGINEERING:

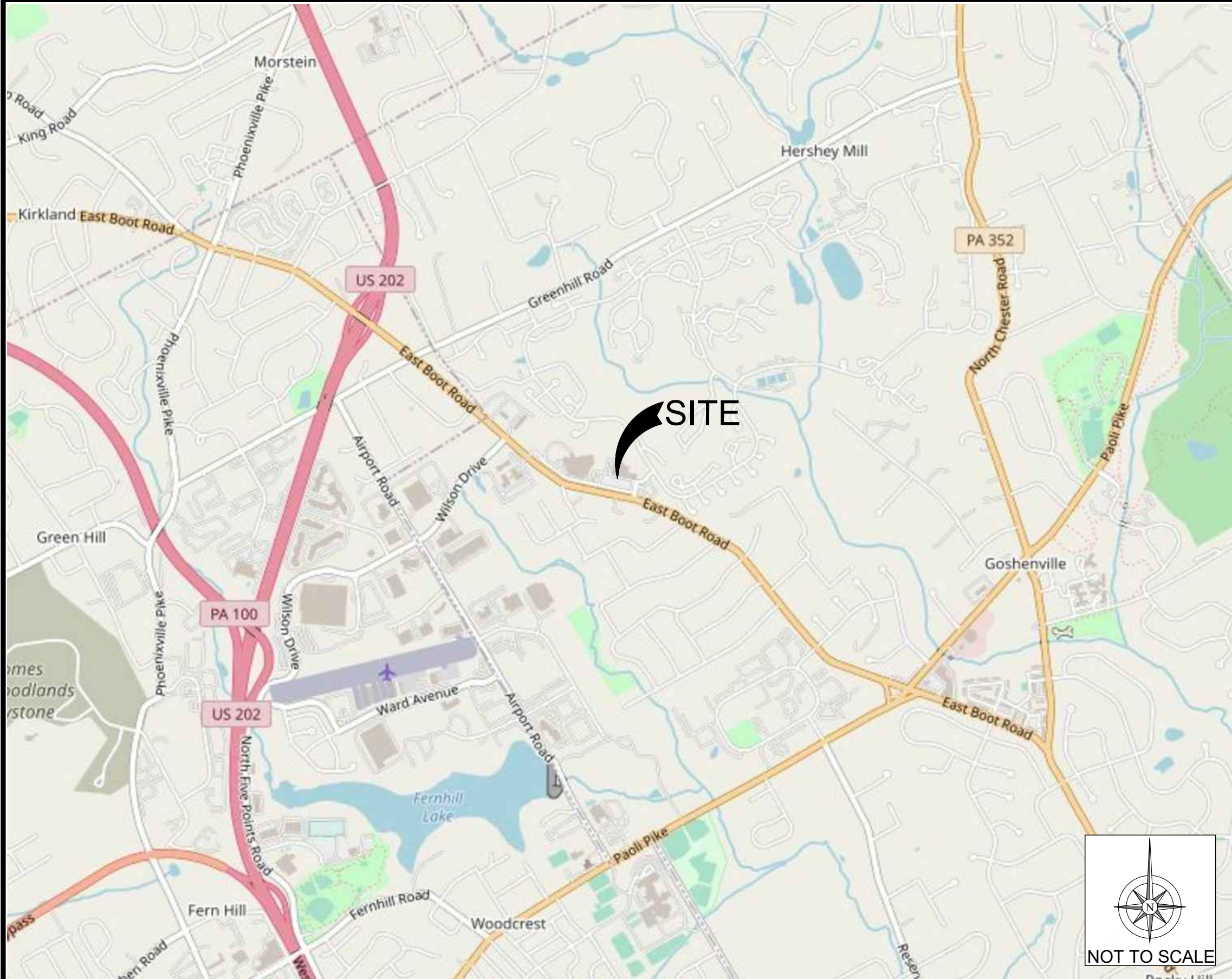
DURAK EVRIM ERCAN, P.E.  
PO BOX 32  
CEDAR GROVE, NJ 07009  
PHONE #: 201-920-2899  
EMAIL: EVRIM@AMPERENGINEERING.COM

(SPARE)

CODE BLOCK

PROJECT DESCRIPTION

PROJECT TEAM



SHEET	DESCRIPTION
T-1.0	COVER
T-2.0	NOTES AND LEGENDS
C-1.0	OVERALL SITE PLAN
C-3.0	FOUNDATION DETAILS
C-3.1	DETAILS
C-4.0	STRIPING DETAILS
E-1.0	CONDUIT PLAN
E-1.1	ELECTRICAL ONE-LINE / RISER

#### SHEET INDEX



Know what's below.  
CALL before you dig.

**DIG ALERT**

CALL AT LEAST TWO WORKING  
DAYS BEFORE YOU DIG

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING LOCATIONS, CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME

VICINITY MAP

LOCAL MAP

DO NOT SCALE DRAWINGS

ISSUE DATE  
06/02/2020

ISSUED FOR  
REVIEW

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT AND OR ENGINEER, TO ALTER THIS DOCUMENT.

ELECTRIC VEHICLE  
CHARGING STATIONS  
GIANT # 6505

EVCIA JOB # 1028  
1030-PA-EV-Giant-6505-072320.dwg

SHEET TITLE  
COVER

SHEET NUMBER  
T-1.0



NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

GENERAL NOTES:

1. THIS DOCUMENT DOES NOT CONTAIN ALL SPECIFICATIONS AND DETAILS NECESSARY FOR CONSTRUCTION. REFER TO INSTALLATION GUIDES AND OTHER DOCUMENTS PROVIDED BY VOLTA FOR ADDITIONAL INFORMATION.
2. ALL EXISTING CONDITIONS SHOWN ARE APPROXIMATE. EXISTING UTILITY LOCATIONS AND CROSSINGS ARE TO BE LOCATED IN THE FIELD. CONTRACTOR IS TO CONTACT 811 PRIOR TO BEGINNING ANY EXCAVATION WORK.
3. ALL PAVEMENT, LANDSCAPING, UTILITIES, AND OWNER PROPERTY THAT IS DAMAGED OR AFFECTED BY CONSTRUCTION SHALL BE RETURNED TO EXISTING CONDITIONS AT THE CONTRACTOR'S EXPENSE.
4. PROPOSED PAVEMENT STRIPING SHALL LINE UP WITH EXISTING STRIPING WHEREVER POSSIBLE. ADDITIONAL PAVEMENT STRIPE IS NOT NECESSARILY PARALLEL TO THE CONSTRUCTED CHARGING ISLAND.
5. CONTRACTOR IS TO SUBMIT SKETCH OF ESTIMATED EXTENTS OF PROPOSED PAVEMENT WORK TO VOLTA PRIOR TO BEGINNING PAVEMENT WORK.
6. PROPOSED TRANSFORMER AND SWITCHGEAR CABINET LOCATIONS ARE APPROXIMATE. CONTRACTOR CAN FIELD LOCATE AS NECESSARY WITH APPROVAL FROM VOLTA.
7. THE ACCESSIBILITY REVIEW WAS UNDERTAKEN TO IDENTIFY DESIGN FEATURES OF THE PROJECT THAT MAY BE CONSIDERED BY GOVERNMENTAL AGENCIES OR DEPARTMENTS, OR NON-GOVERNMENTAL GROUPS TO BE NON-COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, REVISED 2010 ADA REGULATIONS AND STANDARDS. THE AMERICAN WITH DISABILITIES ACT OF 1990 IS A FEDERAL CIVIL RIGHTS LAW. THERE IS NO FEDERAL REVIEW PROCESS TO ENSURE FULL COMPLIANCE WITH THE GUIDELINES, EXCEPT THROUGH THE FEDERAL COURT SYSTEM. THE DEPICTIONS, NOTES, AND RECOMMENDATIONS EXPRESSED ON THIS PLAN ARE BASED ON PROFESSIONAL JUDGEMENT GAINED FROM PAST EXPERIENCE WITH ACCESSIBILITY LAWS, CODES, AND STANDARDS AND THE WORKING INVOLVEMENT TO DEVELOP ACCESSIBILITY STANDARDS THAT WILL MEET OR EXCEED THE APPLICABLE FEDERAL GUIDELINES. ACCORDINGLY, NO CLAIMS OR WARRANTIES, EXPRESSED OR IMPLIED, ARE MADE THAT IN PREPARING THIS PLAN AND PROPOSING RECOMMENDATIONS, THAT ALL POSSIBLE BARRIERS TO ALL PEOPLE HAVE BEEN IDENTIFIED.
8. CONTRACTOR SHALL ACHIEVE A MINIMUM OF 1% BUT NO MORE THAN 2% SLOPE IN ANY DIRECTION WITHIN ADJACENT ACCESSIBLE SPACE AND BLEND ASPHALT OVERLAY TO EXISTING GRADES AS REQUIRED. CONTRACTOR SHALL PROVIDE A SKETCH TO VOLTA OF PROPOSED LIMITS OF ASPHALT OVERLAY TO ACHIEVE THIS REQUIREMENT PRIOR TO BEGINNING PAVEMENT WORK.
9. ACCESSIBLE EV STALLS WERE DESIGNED BASED ON EXISTING CONDITIONS AND WITHOUT BENEFIT OF SURVEY DATA. ALL ADA AND LOCAL REQUIREMENTS INCLUDING, BUT NOT LIMITED TO SCOPE AND SPACING SHALL BE CONFIRMED BY THE CONTRACTOR AND MET AT THE TIME OF CONSTRUCTION.
10. CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN ACCESSIBILITY PRIOR TO CONSTRUCTION.
11. ANY NOTES ON DRAWING PAGES CONTAINED HEREIN SHALL BE CONSIDERED PART OF THESE NOTES.
12. CONTRACTOR RESPONSIBILITIES INCLUDE CHARGING STATION MOUNTING, OVERHEAD CONDUIT INSTALLATION, AND WIRING.
13. CONTRACTOR TO PAINT PROPOSED EV PARKING SPACES PER JURISDICTIONAL REQUIREMENTS.
14. CONTRACTOR TO FIELD SCAN/XRAY EXISTING CONCRETE SLAB TO ENSURE REINFORCEMENT IS NOT DAMAGED DURING EQUIPMENT OR CONDUIT ANCHORING, ENSURE 1" GAP MIN. BETWEEN REBAR AND ANCHORAGE.
15. EXACT STATION PLACEMENT AND ROTATION ANGLE MAY VARY SLIGHTLY UPON INSTALLATION DEPENDING ON SITE CONDITIONS.

ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON-SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (NEC) STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT THE TIME OF CONSTRUCTION.
2. UTILITY EQUIPMENT INSTALLATIONS AND PREP WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY ENGINEER AT THE TIME OF THE PRE-CONSTRUCTION MEETING TO ENSURE ACCURACY OF INSTALLATIONS.
3. CONDUIT PATHS ARE REPRESENTATIVE ONLY. EXACT CONDUIT PLACEMENT TO BE DETERMINED ON SITE BASED ON FIELD CONDITIONS.
4. ANY NOTES ON ELECTRICAL DRAWINGS CONTAINED HEREIN SHALL BE CONSIDERED PART OF THESE NOTES.
5. THE USE OF UNDERGROUND HDPE SHALL BE IN ACCORDANCE WITH NEC SPECIFICATIONS AND BE UL APPROVED. MINIMUM STANDARD DIMENSION RATIO TO BE SDR 11.
6. EMT OR RIGID CONDUIT SHALL BE USED OVERHEAD AND ABOVE GROUND.

GRADING NOTES:

1. ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
2. DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION. MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
3. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
4. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES, PRIOR TO, AND CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
5. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
6. SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT.
7. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN. THE CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.






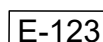














EROSION CONTROL NOTES:

1. STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCKPILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.
2. CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
3. MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED (WITHING 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. STEEP SLOPES (GRATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
4. PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION EXIT THE CONSTRUCTION AREA, MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
5. DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.

ADDITIONAL NOTES:

THE FOLLOWING PAGES CONTAIN ADDITIONAL NOTES.

NOTES

SYMBOLS	DESCRIPTIONS
	VOLTA CHARGING STATION (CORD TOWARD VEHICLE)
	WALL MOUNTED JUNCTION BOX
	IN-GROUND JUNCTION/PULL BOX (PLAN VIEW)
	UNDERGROUND CONDUCTORS AND CONDUIT
	INTERIOR OVERHEAD CONDUCTORS AND CONDUIT
	ELECTRICAL PANEL
	NON-FUSED DISCONNECT
	PARKING LOT LIGHT POLES
	LANDSCAPING UP-LIGHT
	LANDSCAPING ELECTRICAL DEVICE
	WATER VALVE
	FIRE HYDRANT
	BOLLARDS, ANCHORED / IN-GROUND CONCRETE SET
	CONDUIT TURNS (UP/DN)
	MANHOLE, SEWER OR OTHER
	MANHOLE, STORM DRAIN
	SPECIAL ATTENTION NEEDED
	ADA PARKING STALL
	SIGN
	GROUND

SOME LEGENDS MAY NOT BE USED ON THESE DRAWINGS.  
SOME LEGENDS USED MAY NOT APPEAR OF THIS LIST.

LEGENDS



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**VOLTA**

**155 DE HARO STREET  
SAN FRANCISCO, CA 94103**



**EV CHARGING INSTALLERS  
OF AMERICA, LLC**

188 Breakneck Rd. Suite 204  
Highland Lakes, NJ 07422  
Phone: 855-373-9566

A	07/02/20	CD50	MM
REV	DATE	DESCRIPTION	BY

ISSUE DATE  
**06/02/2020**

ISSUED FOR  
**REVIEW**

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AND OR ENGINEER, TO ALTER THIS DOCUMENT.

**ELECTRIC VEHICLE  
CHARGING STATIONS  
GIANT # 6505**

**EVCIA JOB # 1028**  
1030-PA-EV-Giant-6505-072320.dwg

SHEET TITLE  
**NOTES AND LEGENDS**

SHEET NUMBER  
**T-2.0**



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CHARGING STATIONS  
GIANT # 6505

EVCIA JOB # 1028  
1030-PA-EV-Giant-6505-072320.dwg

SHEET TITLE  
OVERALL SITE PLAN

SHEET NUMBER  
C-1.0

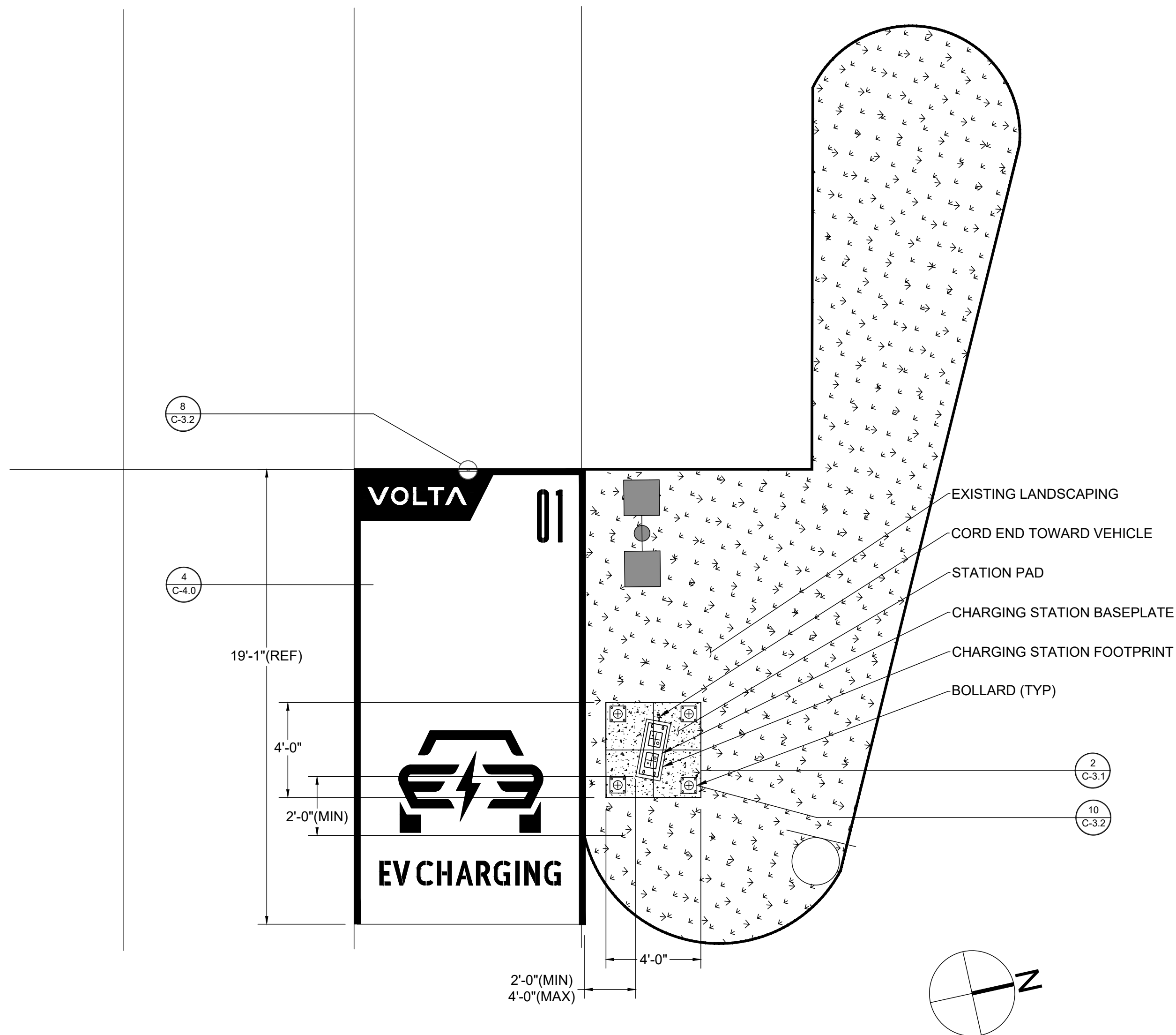
OVERALL SITE PLAN

15' 0' 7.5' 15' SCALE: 1" = 15'-0" (24x36)  
(OR) 1/2" = 15'-0" (11x17)

1

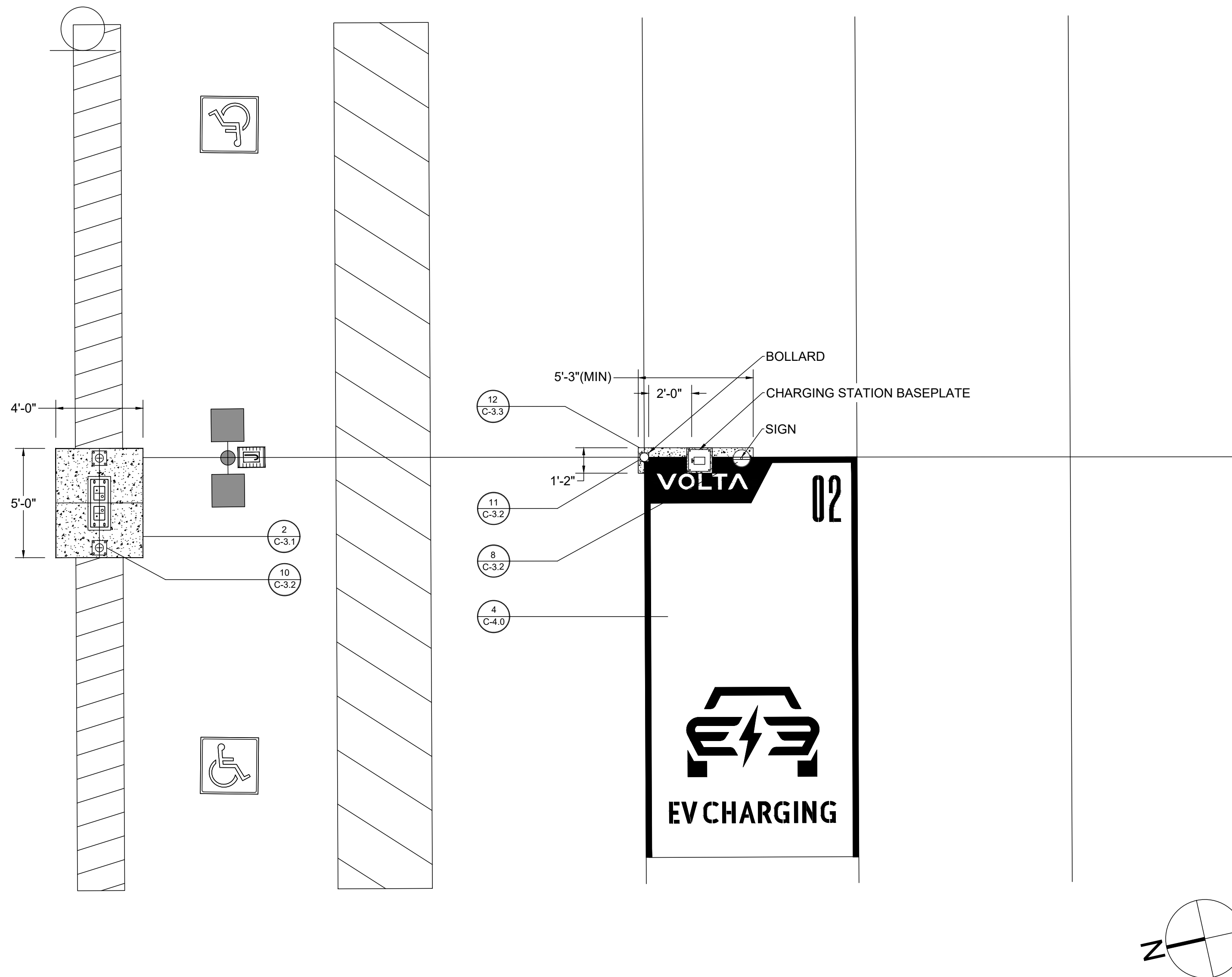


NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



FOUNDATION-01 DETAIL PLAN

SCALE  
N.T.S. 1



FOUNDATION-02 DETAIL PLAN

SCALE  
N.T.S. 2

**VOLTA**

155 DE HARO STREET  
SAN FRANCISCO, CA 94103



EV CHARGING INSTALLERS  
OF AMERICA, LLC

188 Breakneck Rd, Suite 204  
Highland Lakes, NJ 07422  
Phone: 855-373-9566

REV	DATE	DESCRIPTION	BY
A	07/02/20	CD50	MM

ISSUE DATE  
06/02/2020

ISSUED FOR  
REVIEW

IT IS A VIOLATION OF LAW FOR ANY PERSON,  
UNLESS THEY ARE ACTING UNDER THE DIRECTION  
OF A LICENSED PROFESSIONAL ARCHITECT  
AND/OR ENGINEER, TO ALTER THIS DOCUMENT.

ELECTRIC VEHICLE  
CHARGING STATIONS  
GIANT # 6505

EVCIA JOB # 1028  
1030-PA-EV-Giant-6505-072320.dwg

SHEET TITLE  
FOUNDATION DETAILS

SHEET NUMBER  
C-3.0



CONSTRUCTION NOTES:

1. CONTRACTOR RESPONSIBILITIES INCLUDE CHARGING STATION MOUNTING, OVERHEAD CONDUIT INSTALLATION, AND WIRING.
2. CONTRACTOR TO PAINT PROPOSED EV PARKING SPACES PER JURISDICTIONAL REQUIREMENTS.
3. CONTRACTOR TO FIELD SCAN/XRAY EXISTING CONCRETE SLAB TO ENSURE REINFORCEMENT IS NOT DAMAGED DURING EQUIPMENT OR CONDUIT ANCHORING, ENSURE 1" GAP MIN. BETWEEN REBAR AND ANCHORAGE.
4. EXACT STATION PLACEMENT AND ROTATION ANGLE MAY VARY SLIGHTLY UPON INSTALLATION DEPENDING ON SITE CONDITIONS.
5. JUNCTION BOX LOCATIONS AND SIZES TO BE DETERMINED BY INSTALLER AND SHALL MEET NEC REQUIREMENTS.
6. EXACT LOCATION OF BOLLARD PLACEMENT TO BE DETERMINED IN FIELD TO MEET LOCAL JURISDICTION REQUIREMENTS AND TO PROVIDE THE BEST PROTECTION OF ELECTRICAL COMPONENTS FROM DAMAGE.
7. BOLLARD LOCATIONS NOT TO OBSTRUCT STATION MONITORS,

ANCHOR NOTES

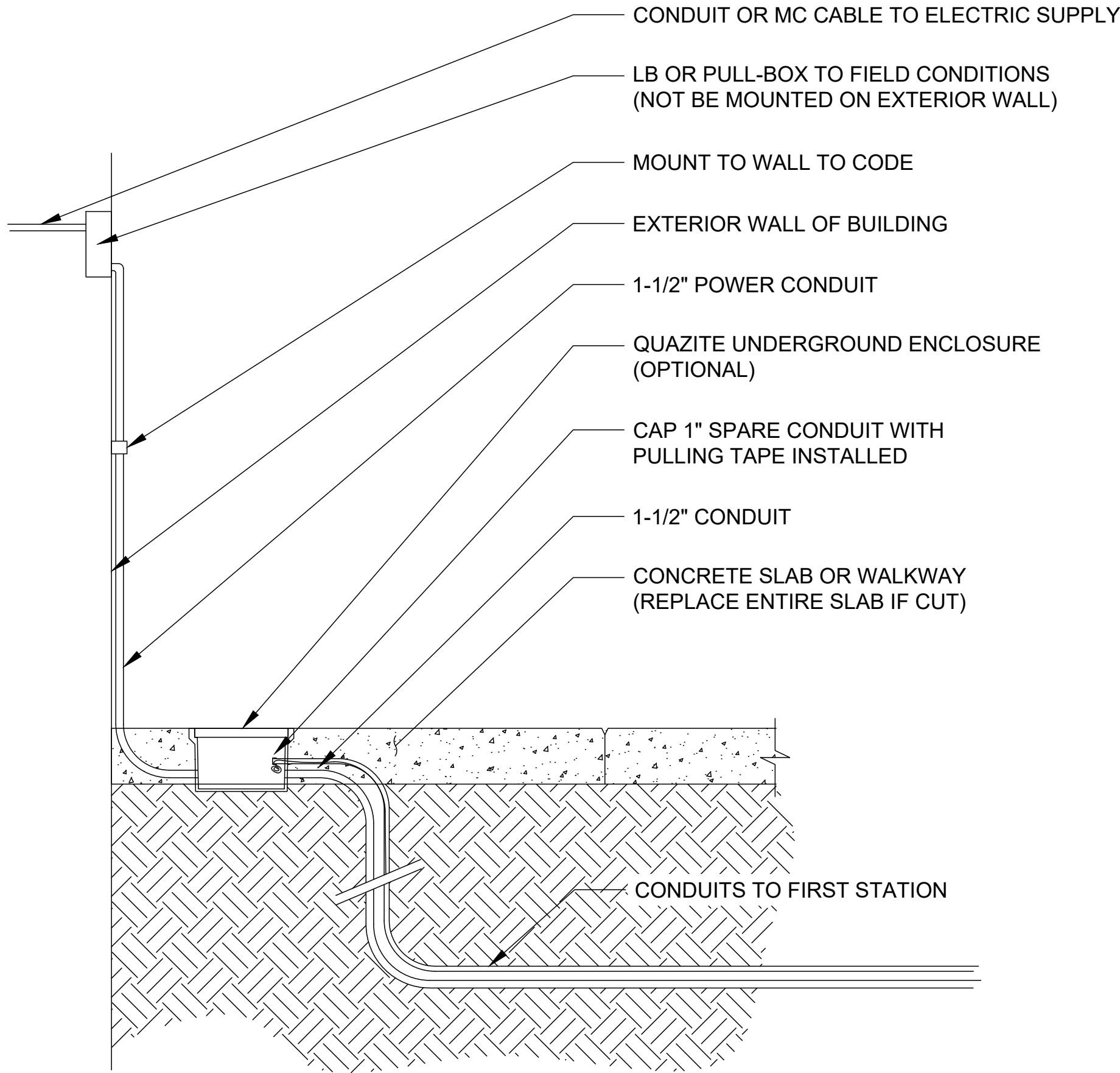
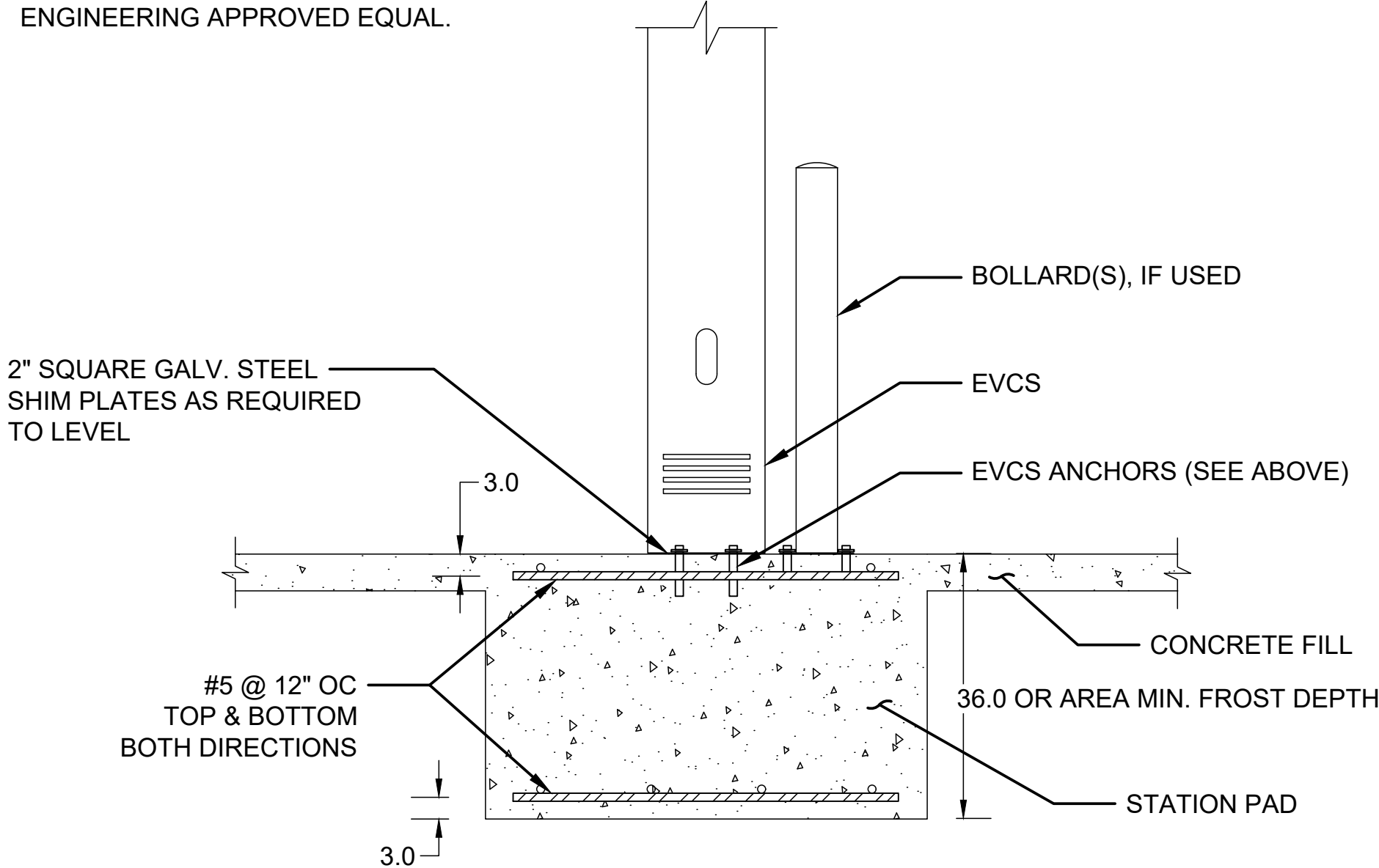
CONTRACTOR TO VERIFY POST INSTALLATION OR CAST IN PLACE ANCHOR AS LISTED BELOW BASED ON FIELD MEASURMENTS AND JURISDICTIONAL REQUIREMENTS.

CAST IN PLACE ANCHOR:

(6) 1/2" DIAMETER STAINLESS STEEL GR. SS304 CAST-IN-PLACE ANCHORS WITH MINIMUM EFFECTIVE EMBEDMENT OF 3 1/4" OR ENGINEERING APPROVED EQUAL

POST INSTALLATION MECHANICAL ANCHOR:

(6) 1/2" DIAMETER HILTI KWIK BOLT TZ-SS304 ANCHOR ROD WITH MINIMUM EFFECTIVE EMBEDMENT OF 3 1/4" OR ENGINEERING APPROVED EQUAL.



**VOLTA**

155 DE HARO STREET  
SAN FRANCISCO, CA 94103



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ELECTRIC VEHICLE  
CHARGING STATIONS  
GIANT # 6505

EVCIA JOB # 1028  
1030-PA-EV-Giant-6505-072320.dwg

SHEET TITLE  
DETAILS 1

SHEET NUMBER  
C-3.1

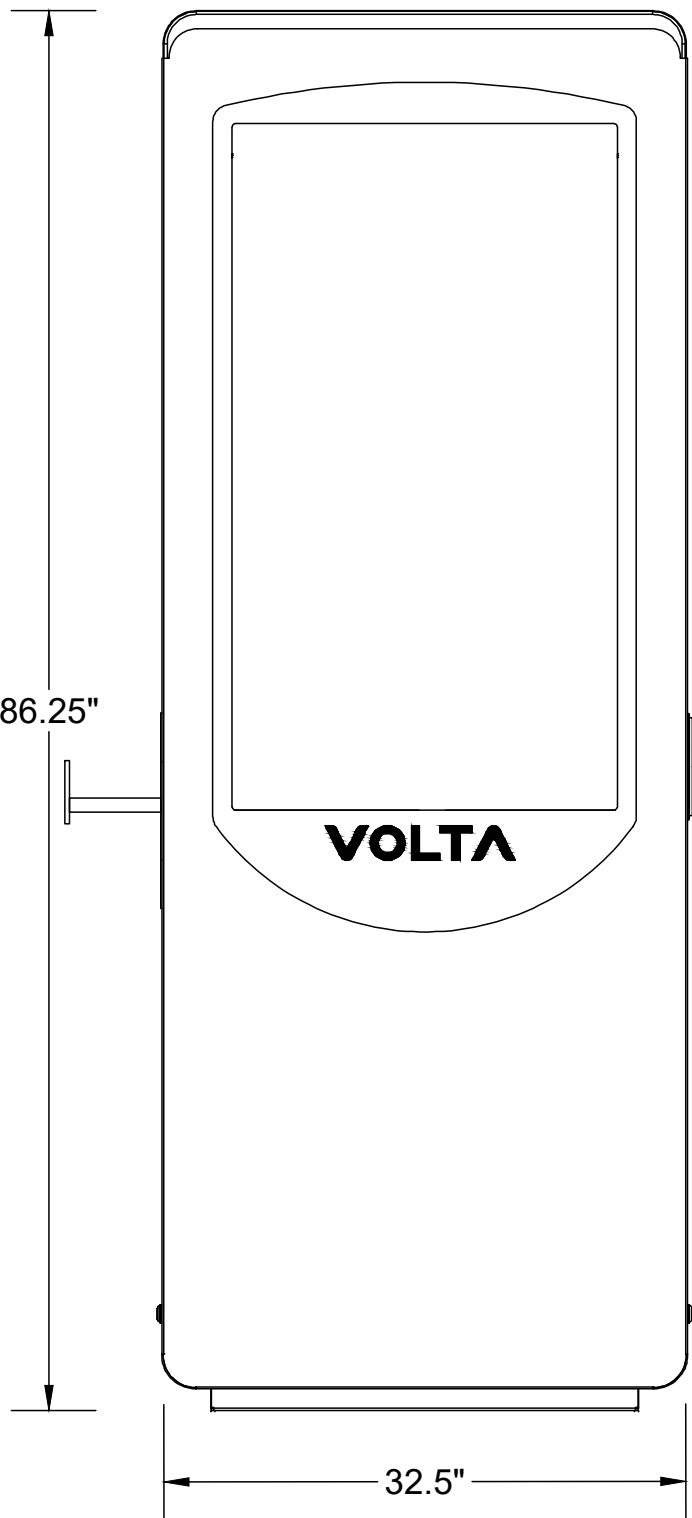
NOTES

CHARGER SPECIFICATIONS

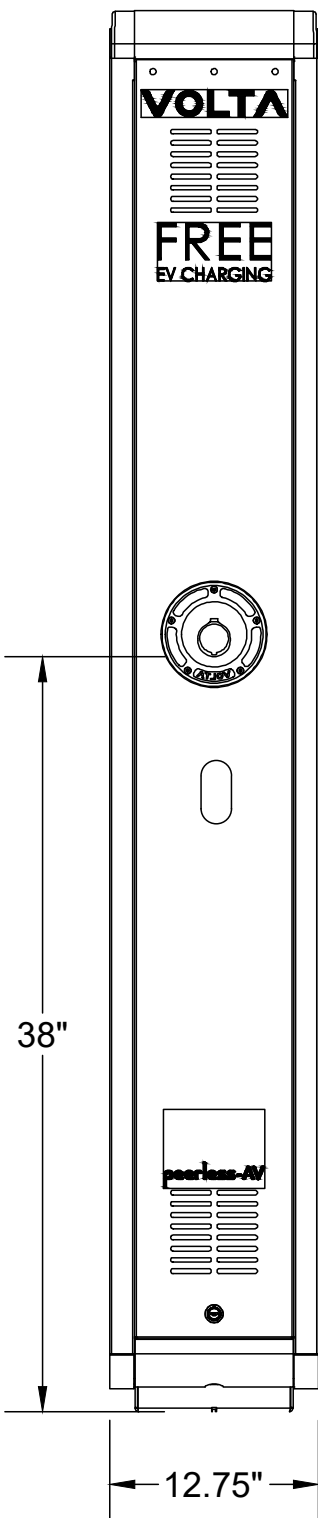
SIZE: 83.5"H x 32"W x 10"D  
POWER: 208V & 120V 40/5 A 60Hz.  
PLUG: SAE 1772 COMPLIANT  
CONNECTOR  
LISTINGS: ETL LISTED TO UL  
E472596

NOTES:

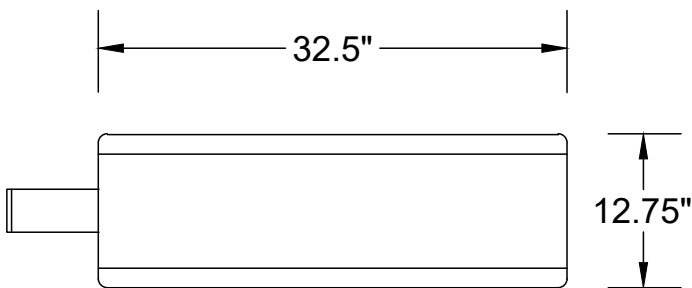
1. THE GRIP RANGE FOR THE CHARGE CABLE BEGINS AT 32" ABOVE PARKING SURFACE.
2. CORD SIDE TOWARD VEHICLE



FRONT



SIDE

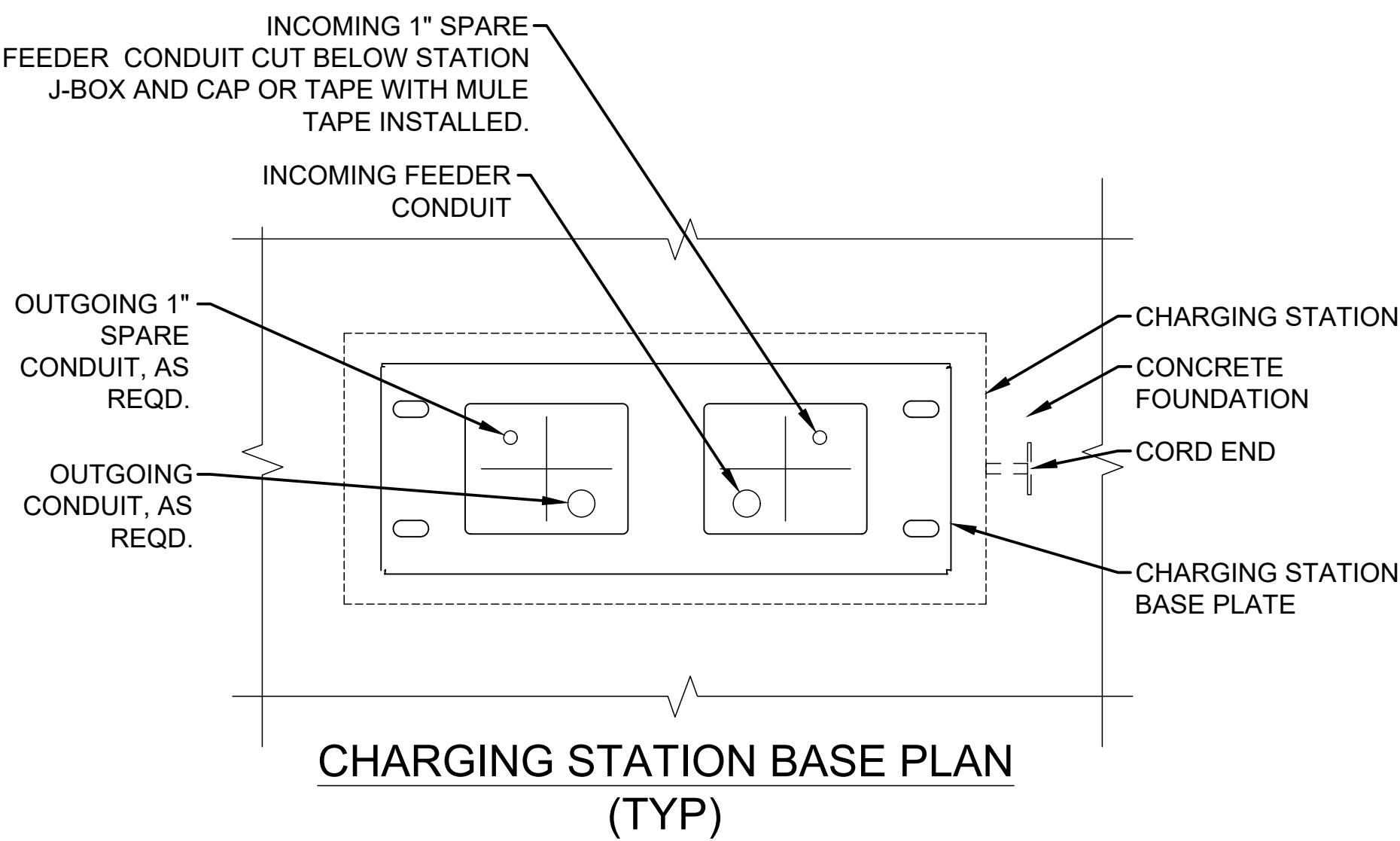


PLAN

FOUNDATION SECTION

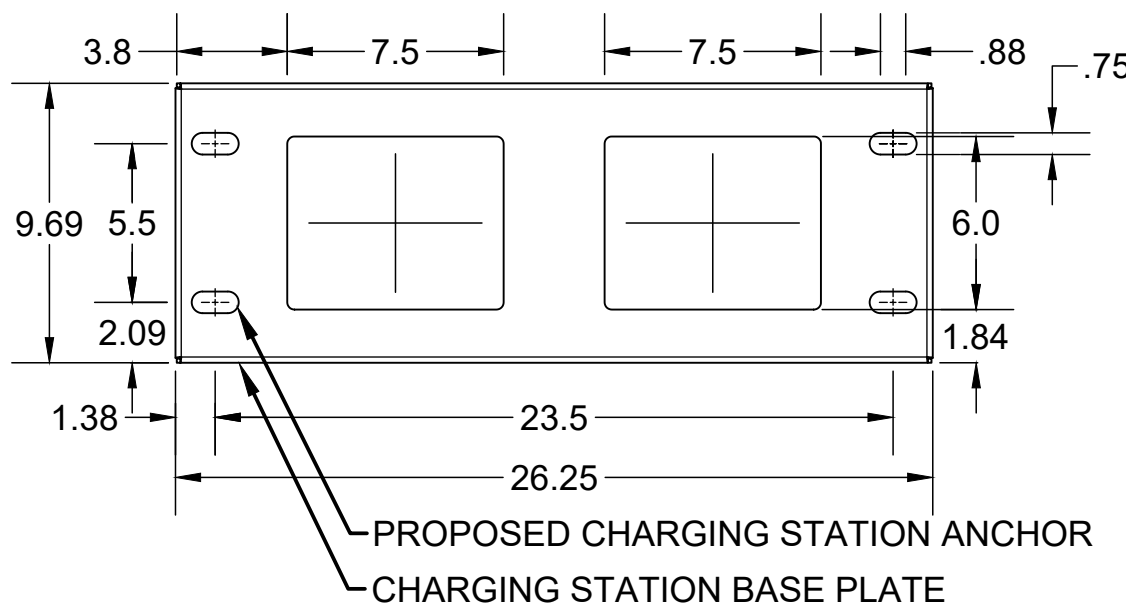
SCALE  
N.T.S.

2



CONDUIT STUB-UP  
LOCATION NOTE

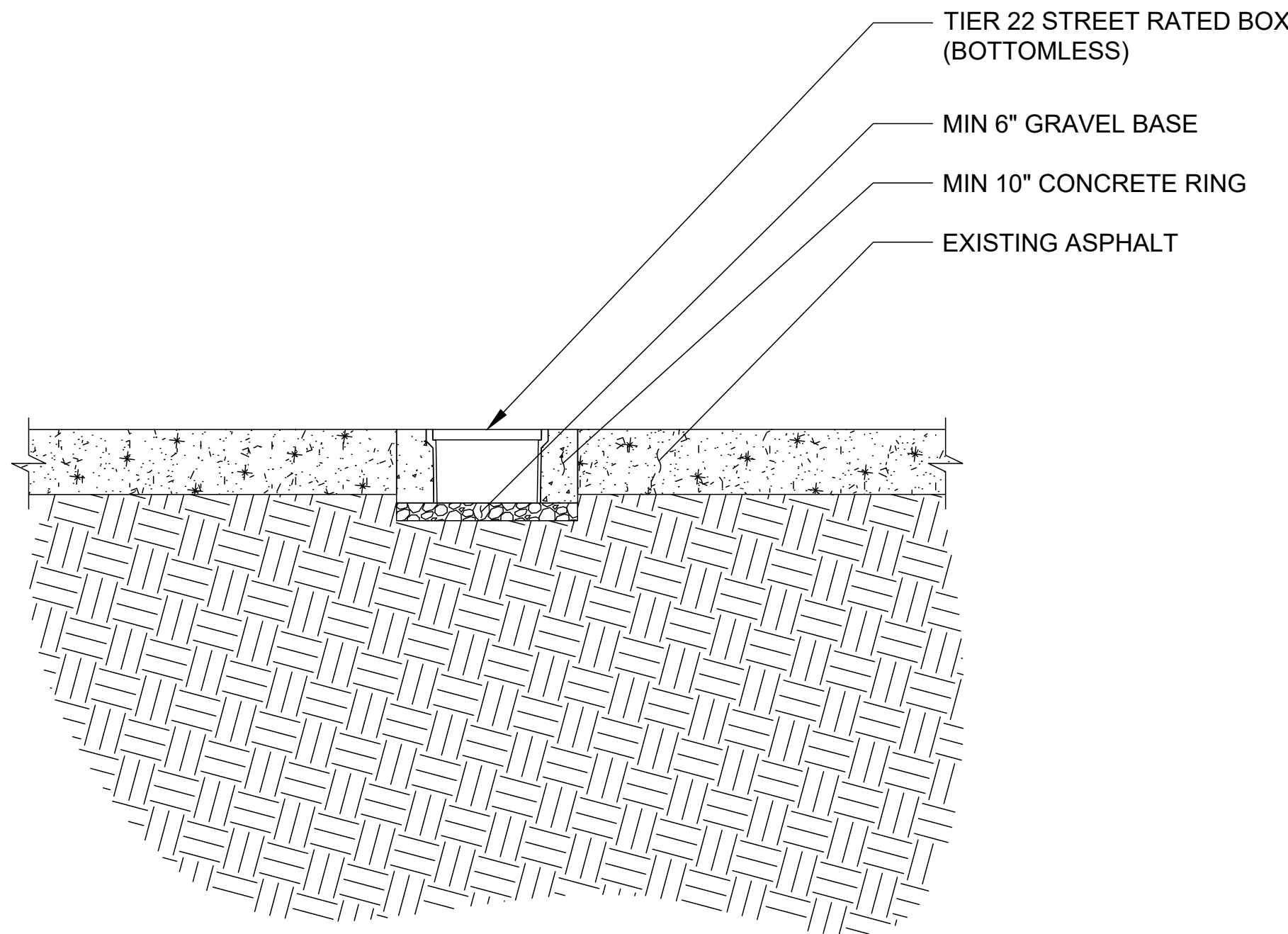
LOCATIONS SHOWN IN RELATION TO THE CHARGING STATION BASE PLATE TO ACCOMMODATE THE LOCATION OF THE STATION INTERNAL JUNCTION BOX



BUILDING ENTRY DETAIL

SCALE  
N.T.S.

3



BASE PLATE DETAIL

SCALE  
N.T.S.

5

QUAZITE BOX DETAIL

SCALE  
N.T.S.

6

VOLTA EVCS DETAIL

SCALE  
N.T.S.

4









Know what's below.  
CALL before you dig.



DIG ALERT

CALL AT LEAST TWO WORKING  
DAYS BEFORE YOU DIG

VOLTA

155 DE HARO STREET  
SAN FRANCISCO, CA 94103



EV CHARGING INSTALLERS  
OF AMERICA, LLC

188 Breakneck Rd. Suite 204  
Highland Lakes, NJ 07422  
Phone: 855-373-9566

A	07/02/20	CD50	MM
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ELECTRIC VEHICLE  
CHARGING STATIONS  
GIANT # 6505

EVCIA JOB # 1028  
1030-PA-EV-Giant-6505-072320.dwg

SHEET TITLE  
CONDUIT PLAN

SHEET NUMBER  
E-1.0

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



Know what's below.  
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DIG ALERT

CALL AT LEAST TWO WORKING  
DAYS BEFORE YOU DIG

CONDUIT PLAN

10' 0' 5' 10' SCALE: 1" = 10'-0" (24x36)  
(OR) 1/2" = 10'-0" (11x17)

1



ELECTRICAL NOTES:

- ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON-SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (NEC) STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT THE TIME OF CONSTRUCTION.
- UTILITY EQUIPMENT INSTALLATIONS AND PREP WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY ENGINEER AT TIME OF PRECONSTRUCTION MEETING TO ENSURE ACCURACY OF INSTALLATIONS.
- CONDUIT PATHS ARE REPRESENTATIVE ONLY. EXACT CONDUIT PLACEMENT TO BE DETERMINED ON SITE BASED ON FIELD CONDITIONS.
- A NATIONALLY RECOGNIZED TESTING LABORATORY SHALL LIST ALL EQUIPMENT IN COMPLIANCE WITH NEC ARTICLE 110.3
- ALL EXTERIOR EQUIPMENT SHALL BE RAIN TIGHT AND APPROVED FOR USE IN WET CONDITIONS.
- ALL CONDUCTORS TO BE THHN COPPER
- ALL CONDUCTORS AND CABLES SHALL BE PROVIDED WITH STRAIN RELIEF UPON ENTRY INTO ENCLOSURES
- EACH UNGROUNDED CONDUCTOR SHALL BE IDENTIFIED BY PHASE AND SYSTEM PER NEC 210.5
- ALL METALLIC COMPONENTS SHALL BE GROUNDED VIA ELECTRIC GROUNDING CONDUCTORS.
- ALL UNDERGROUND CONDUIT TO BE HDPE SDR11 (OR BETTER), UL RATED, MINIMUM 24" DEEP.
- WIRING FOR VOLTA CHARGING STATIONS TO BE INSTALLED PER MANUFACTURER'S DIRECTIONS AND SPECIFICATIONS.
- CHARGING UNITS ARE EQUIPPED WITH AN INTEGRATED CONTACTOR TO PREVENT BACK FEEDING OF POWER TO THE SOURCE.
- CONTRACTOR TO ENSURE THAT ALL FEEDERS, CONDUITS, CONDUCTORS, OCPD, TRANSFORMERS, ELECTRICAL PANELS AND OTHER ELECTRICAL EQUIPMENT IS SIZED TO COMPLY WITH WITH CURRENT NEC AND LOCAL AHJ CODES.
- CONTRACTOR IS RESPONSIBLE TO VERIFY DESIGN, ENGINEERING ASSUMPTIONS AND EXISTING FIELD CONDITIONS. REPORT ANY INSUFFICIENCIES TO ENGINEER OF RECORD PRIOR TO ANY WORK BEING PERFORMED.

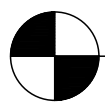
ABBREVIATIONS:

A	AMPERE
AC	ALTERNATING CURRENT
AL	ALUMINUM
ART	ARTICLE
AUX	AUXILIARY
BLDG	BUILDING STRUCTURE
CONC	CONCRETE
CU	COPPER
DC	DIRECT CURRENT
EGC	EQUIPMENT GROUNDING CONDUCTOR
(E)	EXISTING
EMT	ELECTRIC METALLIC TUBING
EV	ELECTRIC VEHICLE
EVSE	ELECTRIC VEHICLE SUPPLY EQUIPMENT
GALV	GALVANIZED
GND	GROUND
HDG	HOT DIPPED GALVANIZED
I	CURRENT
KVA	KILOVOLT AMPERE
KW	KILOWATT
M	METER
MAX	MAXIMUM
MIN	MINIMUM
N	NEUTRAL
NEC	NATIONAL ELECTRIC CODE
NTS	NOT TO SCALE
(N)	NEW
OC	ON CENTER
PL	PROPERTY LINE
PH	PHASE
PVC	POLYVINYL CHLORIDE
RMC	RIGID METALLIC CONDUIT
SCH	SCHEDULE
SS	STAINLESS STEEL
TYP	TYPICAL
V	VOLT
W	WATT
XFMR	TRANSFORMER

PANEL CALCULATIONS

MANUFACTURER: CUTLER-HAMMER TYPE/MODEL: MOUNTING: RECESSED ENCLOSURE: NEMA 1 LOCATION: PIZZA PREP										BUS RATINGS: 225 A MAIN: MLO VOLTAGE: 208 /120V WIRING: 3 PH 4 W FEEDER SIZE: FEEDER AMPACITY: 225 A FEEDER BREAKER SIZE: 225 A FEED FROM: SDP									
PANEL CALCULATIONS PANEL ID: PRC																			
CKT NO.	LOAD DESCRIPTION	NO. POLES	CB AMPS	CONT. KVA	NON CONT. KVA	LOAD KVA	KVA PER PHASE			LOAD KVA	NON CONT. KVA	CONT. KVA	CB AMPS	NO. POLES	LOAD DESCRIPTION	CKT NO.			
							A	B	C										
1	REMOOT SODA RACKS	1	20	0.60	0.80	0.80	1.56			0.96	0.96	0.96	20	1	REFRIGERATED STAND	2			
3	MANUAL SLICER	1	20	0.40	0.40	0.40	1.30			0.50	0.50	0.50	20	1	HOOD - LITS AND CONTROL	4			
5	BEER TABLE RECEP.TS	1	20	0.40	0.40	0.40	0.43			0.63	0.63	0.63	50	1	(SHUNT TRIP)	6			
7	RECEP.TS-SANDWICHES (SPCI)	1	20	0.40	0.40	0.40	5.20			4.80	4.80	4.80	50	3	BP-9 PIZZA PREP	8			
9	BLIC RE-THERMALIZER	1	20	0.82	0.82	0.82	5.62			4.80	4.80	4.80	X	X	X	10			
11	(SHUNT TRIP)	1	20	0.03	0.03	0.03				4.80	4.80	4.80	X	X	X	12			
13	LTS-PREP COOLER/FREEZER	1	20	0.50	0.50	0.50				0.90	0.90	0.90	20	1	ELECTRIC WATER COOLER	14			
15	BP-1 (MEN/WOMEN)	1	20	0.46	0.46	0.46	0.96			0.50	0.50	0.50	20	1	SODA MACHINE	16			
17	ROOF TOP RECEP.TS	1	20	0.40	0.40	0.40				1.00	0.60	0.60	20	1	ICE DISPENSER	18			
19	BEER CASE SIGN RECEP.TS	1	20	0.40	0.40	0.40	0.90			0.50	0.50	0.50	20	1	MICROWAVE OVEN - CAFE	20			
21	REFRIGERATED TABLE	1	20	1.44	1.44	1.44	1.94			0.50	0.50	0.50	20	1	MICROWAVE OVEN - CAFE	22			
23	BREWER	2	20	2.30	2.30	2.30				2.30	0.00				WATER (SHUNT TRIP FOR BELOW)	24			
25	X	X	X	2.30	2.30	2.30				0.00			70	3	WATER	26			
27	REFRIGERATED TABLE	1	20	1.44	1.44	1.44	1.44			0.00			X	X	X	28			
29	SPARE	1	20		0.00	0.00				1.18	1.18	1.18	X	X	X	30			
31	PAVANI GRILL	2	30	1.62	1.62	1.62	2.70			1.08	1.08	1.08	20	1	GRINDER	32			
33	X	X	X	1.62	1.62	1.62	2.70			1.08	1.08	1.08	20	1	GRINDER	34			
35	(2) WELL-FRYER***	1	20	0.82	0.82	0.82				0.82	0.00				BAD BUSS	36			
37	(SHUNT TRIP)	1	20	0.03	0.03	0.03	1.47			1.44	1.44	1.44	20	3	QUICK CHILLER	38			
39	HOT TABLE	2	40	1.20	1.20	1.20				4.64	1.44	1.44	X	X	X	40			
41	X	X	X	1.20	1.20	1.20				4.64	1.44	1.44	X	X	X	42			
							14.1	18.6	16.8										
TOTAL EVCS ADDED TO THIS PANEL= 2							TOTAL CONNECTED LOAD KVA: 49			NOTES: 1) IF ACTUAL CONNECTED LOAD VALUES ARE NOT AVAILABLE FOLLOWING ASSUMPTIONS ARE MADE: 1.A) FOR CONTINUOUS LOADS CONNECTED LOAD ASSUMED TO BE THE 180% OF THE OCPD RATING. 1.B) FOR NON-CONTINUOUS LOADS CONNECTED LOAD ASSUMED TO BE 100% OF THE OCPD RATING. 2) EVCS ARE CONSIDERED CONTINUOUS LOADS AND ACTUAL NAME PLATE VALUES ARE USED FOR CALCULATION. 3) ELECTRICAL CONTRACTOR TO VERIFY FEEDER CONDUCTOR SIZE AND FEEDER BREAKER SIZE TO THIS PANEL PRIOR TO CONSTRUCTION. IF NOT ADEQUATE INCREASE THE CONDUCTOR SIZE AND COORDINATE WITH BREAKER SIZE ACCORDING TO NEC. 4) NEW DESIGN IS BASED ON NEC TABLE 310.15(B)(16) COPPER THHN CONDUCTORS. EXISTING CONDUCTORS AND WIRING MAY NEED TO BE RE-DESIGNED AND VERIFIED BY ELECTRICAL CONTRACTOR. 5) IF EXISTING BRANCH CIRCUIT CONSIST OF ONLY RECEPTACLE LOADS FOLLOWING ASSUMPTION IS MADE: BRANCH CIRCUIT CONTAINS 6 DUPLEX RECEPTACLE. LOAD IS NON-CONTINUOUS AND SA 1.08KVA.									
							TOTAL CONNECTED AMPS: 138												
							DEMAND LOAD KVA: 60												
							DEMAND LOAD AMPS: 146												
V111319																			

MANUFACTURER: CUTLER-HAMMER TYPE/MODEL: MOUNTING: RECESSED ENCLOSURE: NEMA-1 LOCATION: PIZZA PREP										BUS RATINGS: 225 A MAIN: MLO VOLTAGE: 208 /120V WIRING: 3 PH 4 W FEEDER AMPACITY: 225 A FEEDER BREAKER SIZE: 225 A FEED FROM: SDP									
PANEL CALCULATIONS PANEL ID: JPD																			
CKT NO.	LOAD DESCRIPTION	NO. POLES	CB AMPS	CONT. KVA	NON CONT. KVA	LOAD KVA	KVA PER PHASE			LOAD KVA	NON CONT. KVA	CONT. KVA	CB AMPS	NO. POLES	LOAD DESCRIPTION	CKT NO.			
1	HOOD - LITS AND CONTROL	1	20	0.50	0.50	1.10				0.60	0.60	0.60	20	1	RECEPT - HOT FOODS	2			
3	(SHUNT TRIP)	1	20	0.03	0.03		0.23			0.20	0.20	0.20	20	1	RECEPT - VESTIBULE	4			
5	BREAD DRAWER	1	20	0.90	0.90			1.40		0.50	0.50	0.50	20	1	HOOD - LITS AND CONTROL	6			
7	HOOD - LITS AND CONTROL	1	20	0.50	0.50	0.53				0.63	0.63	0.63	20	1	(SHUNT TRIP)	8			
9	(SHUNT TRIP)	1	20	0.03	0.03		0.43			0.40	0.40	0.40	20	1	ROOF TOP RECEP.TS	10			
11	POTSTERIE	2	20	0.57	1.60			2.10		0.50	0.50	0.50	20	1	RECEPTS - TOILETS	12			
13	X	X	20	0.57	0.57					0.60	0.60	0.60	20	1	RECEPTS - HOT FOODS	14			
15	(SHUNT TRIP)	1	20	0.03	0.03	0.43				0.40	0.40	0.40	20	1	BUS LIGHT	16			
17	DOOR AND DRAIN HEAT (GFCI)	1	20	0.50	0.50		1.12	0.82		0.82	0.82	0.82	20	1	FEVER	18			
19	MOP CLOSET	1	20		0.10	0.10	0.10			0.00	0.00	0.00	20	1	SPARE	20			
21	RECEPTS-SANDWICHES	1	20		0.60	0.60		2.10		1.50	1.50	1.50	20	1	WRAPPER	22			
23	SPARE	1	20		0.00	0.00			0.00	0.00	0.00	0.00	20	1	SPARE	24			
25	HOOD #5	1	20	0.58	0.58	0.58				0.00	0.00	0.00	20	1	SPARE	26			
27	X	X	X	0.58	0.58	0.58	2.13			1.55	1.55	1.55	20	1	TOASTER	28			
29	X	X	X	0.58	0.58	0.58		2.13		1.55	1.55	1.55	X	X	X	30			
31	4" HOT FOODS CASE	3	30	2.45	2.45	2.45	4.13			1.68	1.68	1.68	20	3	TILTING STEAM TABLE	32			
33	X	X	X	2.45	2.45	2.45		4.13		1.68	1.68	1.68	X	X	X	34			
35	X	X	X	1.45	1.45	1.45			3.13	1.68	1.68	1.68	X	X	X	36			
37	6" HOT FOODS CASE	3	30	2.57	2.57	2.57	4.25			1.68	1.68	1.68	20	3	TILTING STEAM TABLE	38			
39	X	X	X	2.57	2.57	2.57		4.25		1.68	1.68	1.68	X	X	X	40			
41	X	X	X	2.57	2.57	2.57			4.25	1.68	1.68	1.68	X	X	X	42			
TOTAL EVCS ADDED TO THIS PANEL= 2							10.7	13.7	14.3										
TOTAL CONNECTED LOAD KVA							99												
TOTAL CONNECTED AMPS							108												
DEMAND LOAD KVA							46												
DEMAND LOAD AMPS							127												
NOTES: 1) IF ACTUAL CONNECTED LOAD VALUES ARE NOT AVAILABLE FOLLOWING ASSUMPTIONS ARE MADE: 1.A) FOR CONTINUOUS LOADS CONNECTED LOAD ASSUMED TO BE THE 180% OF THE OCPD RATING. 1.B) FOR NON-CONTINUOUS LOADS CONNECTED LOAD ASSUMED TO BE 100% OF THE OCPD RATING. 2) EVCS ARE CONSIDERED CONTINUOUS LOADS AND ACTUAL NAME PLATE VALUES ARE USED FOR CALCULATION. 3) ELECTRICAL CONTRACTOR TO VERIFY FEEDER CONDUCTOR SIZE AND FEEDER BREAKER SIZE TO THIS PANEL PRIOR TO CONSTRUCTION. IF NOT ADEQUATE INCREASE THE CONDUCTOR SIZE AND COORDINATE WITH BREAKER SIZE ACCORDING TO NEC. 4) NEW DESIGN IS BASED ON NEC TABLE 310.15(B)(16) COPPER THHN CONDUCTORS. EXISTING CONDUCTORS AND WIRING MAY NEED TO BE RE-DESIGNED AND VERIFIED BY ELECTRICAL CONTRACTOR. 5) IF EXISTING BRANCH CIRCUIT CONSIST OF ONLY RECEPTACLE LOADS FOLLOWING ASSUMPTION IS MADE: BRANCH CIRCUIT CONTAINS 6 DUPLEX RECEPTACLE. LOAD IS NON-CONTINUOUS AND SA 1.08KVA.																			
V111319																			



BAKERY PANEL

J-BOX  
CAP 1" CONDUIT

1-1/2" CONDUIT  
1" COND. (SP)  
4 - # 2  
4 - # 10  
1 - # 6 GND

VD-1

System Parameters		Input Parameters	
UNITS FOR LENGTH OF CABLE RUN FEET METERS		MINIMUM CONDUCTOR SIZE MINIMUM CROUT DISTANCE	
PHASES THREE		VOLTAGE (VOLTS) 208	
INSTALLATION DIRECT BURIED CONDUIT OVERHEAD		CURRENT AT END OF CABLE RUN (AMPS) 48	
Voltage Drop 2.38%		Minimum Conductor Size 2 AWG	

VD-2

System Parameters		Input Parameters	
UNITS FOR LENGTH OF CABLE RUN FEET METERS		MINIMUM CONDUCTOR SIZE MINIMUM CROUT DISTANCE	
PHASES THREE		VOLTAGE (VOLTS) 180	
INSTALLATION DIRECT BURIED CONDUIT OVERHEAD		CURRENT AT END OF CABLE RUN (AMPS) 4	
Voltage Drop 2.97%		Minimum Conductor Size 10 AWG	

CONDUIT FILL CALCULATOR					Select wire type	THHN		
					Select Conduit	EMT		
Wire Size	Enter number of conductors for each size	Total Area sq-inch	Conduit Trade Size	Trough and Conduit ID Sizes	Total area in square inches	20% Fill of Trough 40% Fill of Conduit	Current total Area sq. inches	Current fill percent
12		0.0000	0.50	0.62200	0.304	0.122	0.5983	
10	4	0.0844	0.75	0.82400	0.533	0.213	0.5983	
8		0.0000	1	1.0400	0.849	0.340	0.5983	
6	1	0.0507	1.25	1.3000	1.496	0.598	0.5983	
4		0.0000	1.50	1.6100	2.036	0.814	0.5983	29.39%
3		0.0000	2	2.06700	3.356	1.342	0.5983	17.63%
2	4	0.4632	3	3.35600	8.846	3.538	0.5983	6.78%
1		0.0000	3.5	3.83400	11.545	4.618	0.5983	5.18%
1/0		0.0000	4.0	4.33400	14.753	5.901	0.5983	4.06%
2/0		0.0000						
3/0		0.0000						
4/0		0.0000						
250		0.0000						
300		0.0000						
350		0.0000						

NOTE:

1) All dimensions are from manufacturers specifications.

2) Dimensions are based on 2017 NEC.

3) ID area based on NEC 2017 Table 4 Chapter 9.



# Level 2 Media Station



Volta Charging is driving the transition to clean electric transportation by transforming properties with electric vehicle charging. No longer will people drive to fuel, but fuel where they drive.

Volta's turn-key electric vehicle charging is tailored to each location's needs and desired customer experience to increase traffic and customer engagement. Our fully integrated EV chargers include high-impact digital media screens that provide properties with branding and messaging as well as additional revenue opportunities.

## Charger Specs

- Output power: 10 kW max (AC)
- Safety certification: UL 2202

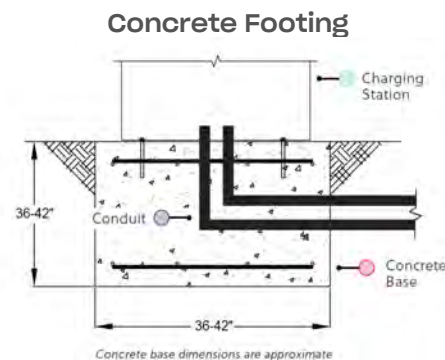
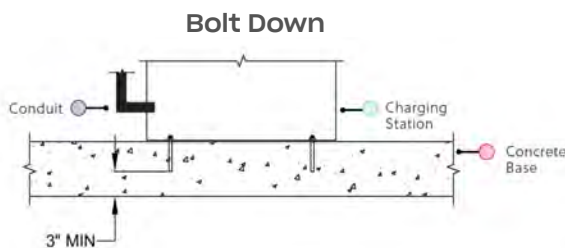
## Power Requirements

- Input voltage: 208 - 240 VAC
- Output voltage: 208 - 240 VAC
- Circuit size: 60A/2P, 208/240 breaker
- Network connectivity: Cell connection or LAN access

## Display Screen Specs

- Size: 55" outdoor LED back light system x2
- Picture: Full HD 1080p resolution
- Power requirements: 20A/1P, 120V breaker
- File type: JPEG or PNG

## Example Level 2 Media Foundation Plans



## Installation Requirements

- Foundation req: 36"L x 36"W x 36"D
  - Conduit diameter: 1.5" min per station approx\*
- \*Separate conduit for communication maybe required

BOARD OF SUPERVISORS  
EAST GOSHEN TOWNSHIP  
CHESTER COUNTY  
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

FYI

April 29, 2021

Dear Property Owner:

The purpose of this letter is to inform you that the Township has received a Zoning Hearing Board Application from Albert and Lynn Greto owners of 331 Springhouse Ln. The Greto's are requesting dimensional relief from the height requirement for fencing on residential properties.

Fences are regulated in §240-32 E. of the zoning ordinance. Fences are a permitted use and allowed to be a maximum of 6 feet tall within a side or rear yard of residential properties. Specifically, the applicant is requesting relief to permit fencing they have installed to exceed the height requirements of the ordinance.

All property owners within 1000 feet of the property seeking zoning relief are notified of the meeting dates when the application will be discussed. **The scheduled public meetings for review and potential approval of this application are as follows, AND ARE SUBJECT TO CHANGE WITHOUT ADDITIONAL WRITTEN NOTICE:**

**May 5, 2021** - Planning Commission meeting (7:00 pm, virtually via ZOOM)

**June 1, 2021** - Board of Supervisors meeting (7:00 pm, virtually via ZOOM)

**June 8, 2021** - Zoning Hearing Board (7:00 pm, virtually via ZOOM)

Due to COVID 19 protocols all meetings and hearings will be held virtually. The ZOOM meeting information will be available on the Township website prior to the meeting at, [www.eastgoshen.org](http://www.eastgoshen.org). **The application materials are available for review during normal business hours.** Call the Township if you have questions on how to observe or participate in the meetings and or the hearing.

Sincerely,

*Mark A. Gordon*

Mark A. Gordon  
Township Zoning Officer



# BOARD OF SUPERVISORS

EAST GOSHEN TOWNSHIP

CHESTER COUNTY

1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

**FYI**

April 27, 2021

Dear Property Owner:

The purpose of this letter is to inform you that the Township has received a Zoning Hearing Board Application from ESKE Development LLC, owner of 1302 Wilson Drive. ESKE Development is requesting a dimensional variance from the rear yard setback requirement for the building located at 1302 Wilson Drive, West Chester, 19380.

ESKE Development is seeking relief from §240-19 G. Lot area, width, building coverage, height and yard regulations. Specifically, the applicant is requesting relief 3.5 feet from the rear yard setback requirement of the ordinance.

All property owners within 1000 feet of the property seeking zoning relief are notified of the meeting dates when the application will be discussed. **The scheduled public meetings for review and potential approval of this application are as follows, AND ARE SUBJECT TO CHANGE WITHOUT ADDITIONAL WRITTEN NOTICE:**

**May 5, 2021** - Planning Commission meeting (7:00 pm, virtually via ZOOM)

**May 11, 2021** - Board of Supervisors meeting (7:00 pm, virtually via ZOOM)

**May 26, 2021** - Zoning Hearing Board (7:00 pm, virtually via ZOOM)

Due to COVID 19 protocols all meetings and hearings will be held virtually. The ZOOM meeting information will be available on the Township website prior to the meeting at, [www.eastgoshen.org](http://www.eastgoshen.org). **The application materials are available for review during normal business hours.** Call the Township if you have questions on how to observe or participate in the meetings and or the hearing.

Sincerely,

*Mark A. Gordon*

Mark A. Gordon  
Township Zoning Officer

BOARD OF SUPERVISORS  
EAST GOSHEN TOWNSHIP  
CHESTER COUNTY  
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

**FYI**

April 27, 2021

Dear Property Owner:

The purpose of this letter is to inform you that the Township has received a Zoning Hearing Board Application from CTDI, owner of 1365 Enterprise Drive. CTDI is requesting zoning variances for two proposed wall signs for their property at 1365 Enterprise Drive, West Chester, 19380.

CTDI is seeking relief from §240-22 Q.(5) of the Zoning Ordinance, specifically, relief is being requested for:

- (1) the maximum number of signs permitted on a building
  - a. The applicant is seeking relief to install 2 wall signs (the ordinance permits one wall sign per building)
- (2) the maximum area of wall signs
  - a. The applicant is seeking a variance to install wall signs that are approximately 166.8 square feet each, in area. (the zoning ordinance permits a maximum sign area of 100 square feet)

Additionally the applicant is requesting the Zoning Hearing Board grant such other relief as may be necessary in the judgement of the Board to allow each of the proposed wall signs.

All property owners within 1000 feet of the property seeking zoning relief are notified of the meeting dates when the application will be discussed. **The date of the HEARING is as follows:**

**Zoning Hearing Board (Zoning Variance Hearing) – Wednesday, May 26, 2021 @ 7:00 PM**

Due to COVID 19 protocols this hearing will be held virtually. The ZOOM meeting information will be available on the Township website, [www.eastgoshen.org](http://www.eastgoshen.org), no later than May 24<sup>th</sup>. **The application materials are available for review at the Township building during normal business hours.** Call the Township if you have questions on how to observe or participate in the hearing.

Sincerely,

*Mark A. Gordon*

Mark A. Gordon  
Township Zoning Officer