

**AGENDA**  
**EAST GOSHEN TOWNSHIP**  
**CONSERVANCY BOARD MEETING**

1580 Paoli Pike, 2<sup>nd</sup> Floor  
September 8, 2021 - 7:00 PM

1. CALL TO ORDER / PLEDGE OF ALLEGIANCE / MOMENT OF SILENCE
2. **APPROVAL OF MINUTES**
  - **August 11, 2021**
3. CHAIRMAN'S REPORT
4. OLD BUSINESS
  - a. Clymer's Woods Trees
  - b. Fall Planting
  - c. **Tree City USA Application Discussion**
  - d. **Invasive Plant Spraying (Applebrook Park / Blacksmith Shop)**
5. **SUBDIVISION / LAND DEVELOPMENT REVIEW – Malvern Institute (LD) / Landscaping Plan**
6. NEW BUSINESS
7. VARIANCES/CONDITIONAL USES – None
8. LIAISON REPORTS
9. CORRESPONDENCE
10. DATES OF IMPORTANCE

<i>Date</i>	<i>Meeting</i>	<i>Time</i>
Sept 8, 2021	Conservancy Board	7:00 pm
Sept 9, 2021	Pipeline Task Force	6:30 pm
Sept 9, 2021	Historical Commission	7:00 pm
Sept 13, 2021	Municipal Authority	7:00 pm
Sept 14, 2021	BOS Workshop	7:00 pm
Sept 15, 2021	Planning Commission (rescheduled from 9/1/21)	7:00 pm
Sept 16, 2021	Futurist Committee	7:00 pm
Sept 20, 2021	Business Park Task Force	7:00 pm
Sept 21, 2021	Board of Supervisors	7:00 pm
Sept 27, 2021	Sustainability Advisory Com	7:00 pm
Sept 28, 2021	BOS Workshop	7:00 pm
Oct 2, 2021	Township Yard Sale	
Oct 6, 2021	Pension Committee	10:00 am
Oct 6, 2021	Planning Commission	7:00 pm
Oct 7, 2021	Park & Rec Commission	7:00 pm
Oct 11, 2021	Municipal Authority	7:00 pm
Oct 12, 2021	BOS Workshop	7:00 pm
Oct 13, 2021	Conservancy Board	7:00 pm

11. PUBLIC COMMENT
12. ADJOURNMENT

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22  
23  
24  
25  
26  
27  
28  
29  
30  
31  
32  
33  
34  
35  
36  
37  
38  
39  
40  
41  
42  
43  
44  
45  
46  
47  
48  
49  
50  
51

**DRAFT**  
**EAST GOSHEN TOWNSHIP**  
**CONSERVANCY BOARD MEETING**  
**August 11, 2021**

The East Goshen Township Conservancy Board held a regularly scheduled meeting on Wednesday, August 11, 2021 at 7:00 p.m. Because of COVID-19 restrictions, the meeting was held via Zoom conferencing. Members in attendance are indicated in **BOLD**:

**Chairman, Walter Wujcik**  
**Vice Chairman, Sandra Snyder**  
**Erich Meyer**  
Scott Sanders  
Dan Flynn  
Leo Sinclair  
**Alice Lenthe**

Others present were:  
**Mark Gordon, Zoning Officer**  
**David Ware, Finance Director**  
**Christina Morley, Pipeline Task Force**  
**Eunice Alexander, West Goshen Park & Rec Board**

**Call to Order**

Walter called the meeting to order at 7:00 p.m.

**Pledge of Allegiance & Moment of Silence**

Walter led those present in the Pledge of Allegiance and then asked for a moment of silence to remember our troops, first responders and healthcare personnel.

**Minutes**

The minutes of the June 9, 2021 meeting were approved.

**Chairman's Report**

1. Walter mentioned that Leo Sinclair has moved out of the township and resigned from the Conservancy Board.

**Old Business**

1. Fall Planting – Walter commented that he recently saw another tree with brown leaves in Clymer's Wood near the intersection of Paoli Pike and Line Road. He will contact Mark Miller and walk with him to see where trees need to be planted. He was thinking of using two Saturdays in October, 1 to plant trees along Hibberd Lane and 1 to mulch. The wood chips pile is large.

2. Tree City USA application – Mark mentioned that he got all of the forms and instructions from the website. He feels it is fairly involved. He feels the BOS has to approve this first. Alice made a motion to recommend that the Board of Supervisors support this application to Tree City U.S.A. Sandy seconded the motion. The motion passed unanimously. Mark will get it on the BOS agenda.

1 **New Business**

2 **1. 2022 Budget** - Walter reviewed the 2021 budget. So far there are no expenses because  
3 the spring planting couldn't be done. Weeds Inc. was discussed. Sandy mentioned that he  
4 used to come out to spray invasive plants at 3 or 4 locations. Eunice mentioned that there  
5 are some shrubs that should be looked at too. Sandy moved to contact Brian of Weeds, Inc.  
6 to do spraying of invasive weeds not to exceed \$500.00. Alice seconded the motion. The  
7 motion passed unanimously.

8 Sandy pointed out that the line item for Blacksmith is not part of the Conservancy Board  
9 budget. Dave acknowledged that and will remove it. He discussed other line items with the  
10 Board. Eric moved to approve the same amounts for 2022 totaling \$4,150.00. Sandy  
11 seconded the motion. The motion passed unanimously.

12 Christina asked about Keep East Goshen Beautiful Day expenses. Walter explained that  
13 those expenses are covered by the Township not the Conservancy Board.

14  
15 **Liaison Reports**

16 **1. Municipal Authority** - Walter reported that the plant is running well. They are working  
17 on the Hershey Mill Estate sewer replacement and the Westtown Way Pump station. He  
18 mentioned that some COVID stimulus funds will go towards these expenses.

19 **2. Pipeline Task Force** - Christina mentioned that Chester County is working on the Hazard  
20 Mitigation Plan. It is very comprehensive and has a number of sections which would be of  
21 interest to the Conservancy Board. She feels all of the committees should be aware and  
22 familiar with it. It is a 5 year plan. It is on the Chester County website.

23  
24 **Correspondence**

25 1. Walter acknowledged that starting in September all meetings will be held in person at  
26 the Township Building. There was discussion about this and the new COVID variant. Mark  
27 will reserve the large meeting room if possible. The Township requires masks.

28  
29 **Any Other Matter**

30 1. Mark mentioned that Malvern Institute will be presenting their landscape plan probably  
31 at the next meeting.

32  
33 **Public Comment**

34 None

35  
36 **Adjournment**

37 There being no further business, Erich moved to adjourn the meeting. Alice seconded the  
38 motion. The meeting was adjourned at 7:45 p.m. The next meeting will be held on  
39 Wednesday September 8, 2021 at 7:00 pm.

40  
41 Respectfully submitted,

42  
43  
44  
45 Ruth Kiefer, Recording Secretary



250 BODLEY ROAD  
ASTON, PA 19014

**WEEDS, INC.**  
**INDUSTRIAL WEED CONTROL**  
[www.weedsinc.com](http://www.weedsinc.com)

(610) 358-9430  
FAX (610) 358-9438

September 2, 2021

East Goshen Township  
Mark Gordon, Township Manager  
1580 Paoli Pike  
West Chester, PA 19380

***PROPOSAL Q-P2-910***

Weed Control


Reservoir Road, Blacksmith Shop, Clymer's Woods, Applebrook Park  
Spray for invasives targeting Canada Thistle, Mugwort, Multiflora Rose as treated in the past per Sandy Snyder's instruction.

Cost \$995.00

If you would like to accept this proposal, please sign and return.

Please contact me with any questions.

Sincerely,

  
Brian G. O'Neill

BGON:kmi

\_\_\_\_\_  
Accepted by

\_\_\_\_\_  
Date



**WEEDS, INC.**

**INDUSTRIAL WEED CONTROL**

250 BODLEY ROAD

ASTON, PA 19014

OFFICE (610) 358-9430 FAX (610) 358-9438

62786

Invoice No.

0055125

Invoice Date

7/1/2020

Job No.

P2-20-469

Payment Terms

NET 30

PO No.

Sandy Snyder

Cust No.

EAST GOSHEN TWP

Quote No.

Q-P2-910

Job Location:

**EAST GOSHEN TOWNSHIP  
1580 PAOLI PIKE  
WEST CHESTER PA 19380**

**VARIOUS  
EAST GOSHEN TOWNSHIP  
WEST CHESTER PA**

**6/30/20 Weed Control**

**Sprayed for invasives targeting Canada Thistle, Mugwort, Multiflora Rose.  
Reservoir Road, Blacksmith Shop & Clymer's Woods, Applebrook Parl  
Areas treated per Sandy Snyder.**

**\$875.00**

B

APPROVED BY: [Signature]

DATE PAID: \_\_\_\_\_

CHECK #: \_\_\_\_\_

CHARGED TO: 1454.3711

<b>Subtotal</b>	<b>\$875.00</b>
<b>Tax</b>	<b>\$0.00</b>
<b>Freight</b>	<b>\$0.00</b>
<b>Deposit</b>	<b>\$0.00</b>
<b>Total</b>	<b>\$875.00</b>

Terms Net 30 Days. All invoices over 30 Days old will be subject to a service charge of 1 1/2% per month.

A surcharge fee will be applied for credit card payments.

# Memorandum

---

East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [mgordon@eastgoshen.org](mailto:mgordon@eastgoshen.org)

---

Date: 9/2/2021  
To: Conservancy Board  
From: Mark Gordon, Township Zoning Officer   
Re: Malvern Institute Land Development / Landscaping Plan

## Conservancy Board Members:

The Township has received a Land Development application and plan for the Malvern Institute. The application and plan were submitted to the Township on 6/28/2021, however, counsel for the applicant had scheduling conflicts so the applicant granted the Township an extension for the review of this project through 12/30/2021. This allowed for the Township Engineer and the CCPC to review the plan and provide review comments ahead of the first meeting on this application.

## **BACKGROUND INFORMATION:**

The Malvern Institute is a drug and alcohol treatment facility located at 940 King Rd. in Malvern, within the R-2 Low Density Suburban Residential zoning district (TPN#'s 53-2-18, and 53-2B-13 [Vacant Parcel]). The facility is a legal non-conforming use improved with the original main house (Historic Resource), attached 1982 addition, a barn, spring house, carriage house, associated parking, driveways, and accessory structures.

The Malvern Institute applied for and was granted Zoning Variances and a Special Exception to expand the floor area of the Drug and Alcohol Treatment facility on November 25, 2020. The Zoning Hearing Board (ZHB) Decision and Order (D&O) was issued on Dec 1, 2020. The LD application before you will address the conditions outlined in the November 25, 2020 ZHB D&O.

In summary, The ZHB D&O outlines the ZHB approval and conditions of approval for the following:

1. A special exception to expand the floor area serving the legal non-conforming use
2. A variance from the maximum 25% increase in total floor area, permitting an expansion of 34.04% (Second story addition)
3. A variance from the four foot maximum height limitation for fences in the front yard

4. A variance for the 24 foot driveway width requirement, to permit a 22 foot driveway width
5. A variance for the or the 18 month time limit for the applicant to implement the relief granted

The Land Development plan, and subsequent reviews by the Township Boards and Commissions, will address and memorialize the Malvern Institutes plan to develop the property as outlined in the ZHB D&O and all 28 conditions of approval.

#### **APPLICATION DETAILS:**

This land development application and plan proposes the following:

1. Construct a 6,200 square foot second story addition to the facility
2. Construct a 2,300 square foot second story loft inside the barn
3. Add an elevator in the barn
4. Add 33 parking spaces to the existing parking lot
5. Add significant landscaping to the property
6. Add solid fencing to screen the use from adjoining properties

#### **STAFF COMMENTS:**

The landscaping for this project was discussed at length during the Special Exception / Zoning Variance application review / hearings and is memorialized within condition 7 of the ZHB D&O, and outlined on page 3 of the Township Engineer's review letter. The Chester County Planning Commission (CCPC) has also reviewed the plan and forwarded their comments.

The Township Engineer has deferred any landscaping comments to the Conservancy Board. The Chester County Planning Commission has recommended that additional landscaping be provided near the parking areas. Staff agrees with this recommendation.

The primary purpose of the robust planting schedule shown on the plans is to effectuate screening of the use and to the extent possible, noise attenuation. Staff is satisfied with the planting schedule and believes that it should remain as shown nature of the screening needs to remain as indicated on the plans in order to create the desired screening. Since this a commercial use in a residential district it is imperative that "Buffer Yards" are provided as part of the application, IAW §240-27C.(2)

The landscape plan (page 9 and 11) and the review letters are attached for your use.

#### **§240-27C. Design and landscaping controls for all uses within commercial, industrial and BP Districts and for townhouses, apartments and mobile home parks.**

*(2) Buffer yards. Buffer yards are required to be provided as part of any new or expanded development of a principal commercial use, principal industrial use, townhouse development or apartment development along any lot line that would be contiguous to lot(s) within a residential district. Also, any outside industrial storage area visible from a lot in a residential district shall be separated by a buffer yard from such lot. All buffer yards shall comply with the following:*

*(a) The buffer yard shall be measured from the applicable district boundary line or lot line. Where a street separates the lots, then the buffer yard shall be measured from the street line. Areas within a street right-of-way shall not count towards the minimum width of a buffer yard.*

**(b) Width.**

*[Amended 11-16-1999 by Ord. No. 129-I-99]*

**[1]** *A fifty-foot-wide buffer yard shall be required, except that the minimum buffer yard width shall be increased to 100 feet for buildings constructed after the effective date of the adoption of this chapter in the I-1 or BP District when the lot abuts a residential district.*

**[2]** *The minimum buffer yard width shall be increased to 100 feet where a I-1 or BP District abuts any residential district whenever a new lot is created or an existing principal building is expanded by more than 10,000 square feet in total floor area.*

**[3]** *n approved as a conditional use, the Board of Supervisors may permit a reduction of the one-hundred-foot minimum buffer yard mandated by this § **240-27C(2)** to a width of not less than 50 feet if the abutting property in any residential district is either improved with either a school, a place of worship or religious institution or is developed or approved for development as a commercial area of a planned residential development and the Board of Supervisors determines that such reduction shall not constitute or result in a violation of any other applicable design standard of the Zoning Ordinance.*

**(c)** *The buffer yard may overlap or be within a required side or rear yard. In case of conflict, the larger yard requirement shall apply.*

**(d)** *In all buffer yards, the exterior width beyond the planting screen, as described in Subsection **C(3)**, shall be planted with grass seed, sod or other attractive vegetative ground cover and shall be maintained and kept clear of all debris, rubbish, noxious weeds and grass over 12 inches high.*

**(e)** *The buffer yard shall be a landscaped area free of structures, materials and vehicular parking. No driveways or streets shall be permitted in the buffer yards, except for approximately perpendicular crossings necessary for ingress or egress.*

**(f)** *All buffer yards shall include a completely planted visual barrier or landscape screen as described in Subsection **C(3)**.*

**(3) Plant screening.**

**(a)** *Landscaped plant screening shall be provided in each buffer yard. This screening shall be composed of mostly evergreen shrubs and trees arranged to form both a low-level and a high-level screen.*

**(b)** *The high-level screen shall consist of a combination of evergreen and deciduous trees planted with specimens no less than eight feet in height. The low-level screen shall consist of evergreen shrubs or hedges planted at an initial height of not less than three feet and spaced at intervals of not more than five feet. The planting shall be placed in alternating rows to produce a more effective barrier and to provide space for future growth.*

**(c)** *The landowner and his/her successors shall maintain the screen planting and replace any plant material which does not live and which is necessary to form a complete visual screen.*

**STAFF RECCOMENDATION:**

Staff believes the landscaping proposed meets the intent of the ZHB condition of approval and recommends that the Conservancy Board for ward a recommendation to the Planning Commission to approve the Landscaping as proposed, with any minor comments and suggestions that the Board deems appropriate.

**DRAFT MOTION:**

Mr. Chairman, I move that the Conservancy Board recommend that the Planning Commission approve the landscaping plan proposed for the Malvern Institute Land Development application as submitted with the following condition:

1. The applicant shall provide additional landscaping within the parking lot island and along the western and eastern side of the parking areas, similar to what they propose along the northern side of the parking area.



August 16, 2021

EGOST 00124

Mark A. Gordon  
Director of Code Enforcement/Zoning Officer  
East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

**RE: Malvern Institute, LLC, 940 West King Road  
Preliminary Land Development Review**

Dear Mark:

As requested, we have reviewed the following information, regarding the referenced revised submission:

- *"Preliminary Land Development Plans for Malvern Institute"* (15 sheet) dated June 28, 2021, prepared by Chester Valley Engineers, Inc.;
- *"Stormwater Management Report for Malvern Institute"* dated June 28, 2021, prepared by Chester Valley Engineers, Inc.; and
- Application and supplemental documents.

The applicant/owner, Malvern Institute, is proposing various improvements to UPI 53-2-18 (9.6 acres) which includes a 2<sup>nd</sup> story building addition, greenhouse, smoking pavilion, additional parking spaces, fence with associated landscaping, lighting and stormwater management. The site is located on the south side of King Road (SR 2022) opposite Madeline Drive, within the R-2 Residential District. A small portion of the site UPI 53-2B-13 (1.0 acre) is located within Willistown Township however no improvements are proposed on this parcel. The property is served by public water and public sanitary sewer.

The applicant was granted relief by the Zoning Hearing Board via an order dated November 25, 2020 and issued December 1, 2020 for the following:

1. A special exception from §240-40.C(2)(e) to expand the floor area of the main building on the property serving the Applicant's legal nonconforming use;
2. A variance from the maximum 25% increase in total floor area of structures devoted to a nonconforming use per §240-40.C(2)(c) in order to permit a 34.04% floor area expansion pursuant to the initial (original) proposal or a 52.92% floor area expansion pursuant to the alternate (revised) proposal;
3. A variance from the four foot (4') maximum height limitations of §240-32.E(2) in order to construct a six foot (6') tall estate fence in the front yard of the property;
4. A variance from the 24-foot driveway minimum width regulation of §240-33.C(10) in order to permit a 22-foot wide driveway for two-way traffic at night;
5. A variance from the 250-foot minimum setback requirement of §240-31.C(2)(mm) in order to permit the first floor of the new building made the subject of the revised proposals to be setback 45.1 feet from the neighboring residential properties;

6. A variance from the 18-month time limit in §240-58.D so that any relief here granted will not lapse or become null and void so long as zoning permits are obtained and actual construction is commenced not later than 15 years from the date of this decision; and
7. Such other relief necessary and appropriate to permit the Applicant's proposed expansion of its nonconforming use.

We offer the following comments:

DECISION AND ORDER

1. *The Applicant shall restrict and limit the treatment program at the King Road facility (the "Facility") to in-patient treatment only.*

We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan.

2. *The Applicant shall limit the number of patients receiving treatment at the Facility to a maximum of 80 patients on-site at any one time. The Applicant shall, by formal and binding submission to the appropriate licensing agency, restrict and limit the licensing of the Facility to 80-paitnets. A true and correct copy of the submission shall be provided to the parties hereto.*

We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan.

3. *The Applicant shall install additional video cameras at the front entrance and at locations along the main driveway entrance to supplement its existing video security system. The video cameras shall be continuously monitored so as to alert staff and security personnel of incoming and outgoing persons and vehicles. The location of all video cameras shall be depicted on the preliminary and final land development plans. The eastern parking lot gate shall be closed by 11 p.m. each day to ensure that any vehicle entering the site much approach the main building. The Applicant shall no less than one security guard on site at all times in addition, the Applicant shall implement and maintain the use of the security cameras which shall be continuously monitored by properly trained staff.*

We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan. Note the locations of the required cameras are not indicated on the plans, as required.

4. *The Applicant shall submit a land development application depicting the improvements to the Property hereby approved and consistent with the testimony and exhibits admitted into the record of these proceedings. The said land development plan shall be submitted to the Township by the Applicant not more than 180 days from final, unappealable and unappealed zoning approval.*

The Township confirmed the application was accepted in a timely fashion on June 28, 2021.

5. *King Road is assumed to run in an east-west direction for the purpose of the following conditions. The Applicant shall install and maintain an 8-foot high fence, approved by the Board of Supervisors during the land development plan review, along the entire western and southern boundaries of the Property except for any areas within the floodplain. The nature of this fence including its dimensions, style, structure, materials, and color(s) shall be fully revealed during the land development plan review.*

The required fence is indicated per the above; the detail for the fence is indicated on Sheet 12A. Board of Supervisors approval is required.

6. *Neighboring property owners within 1,000 feet of the Facility in the Township shall be notified by mail of the scheduling of any and all land development plan review proceedings conducted by the Township Planning Commission and Board of Supervisors pursuant to this Order.*

The Township confirmed a letter was sent to all property owners within 1000 feet of the subject property on August 12, 2021, notifying them of the application and the scheduled meeting dates when the application will be discussed.

7. *The Applicant shall submit and implement a landscape plan in accordance with §240-27.C(2) for the western and southern portions of the property except for any areas within the floodplain.*

A landscaping plan (Sheet 9) and details (Sheet 11) have been provided. The proposed landscaping is robust and appears to meet the intent of the Code and the Decision and Order. We will defer to the Conservancy Board for additional comments.

8. *The Applicant and its successors in interest shall plant and maintain the aforesaid buffer yard landscaping in accordance with §240-28.C(3), for so long as the Property is devoted to non residential use, subject to accommodation of the fence and wood chip walking path within said buffer yard landscaping. The required high-level screen shall consist of a combination of evergreen and deciduous trees planted with specimens no less than ten feet in height. These plantings are intended to mitigate the view of the 8-foot fence from the neighboring properties. As part of the land development plan approval process, the Applicant shall meet with the Conservancy Board or present its proposed landscape plan. The Conservancy Board shall provide recommendations to the Board of Supervisors as to whether the Applicant's landscape plan provides a completely planted visual barrier or landscape screen to mitigate the view of the fence.*

A landscaping plan (Sheet 9) and details (Sheet 11) have been provided and the evergreens are specified as 10-feet in height. The proposed landscaping is robust and appears to meet the intent of the Code and the Decision and Order. We will defer to the Conservancy Board for additional comments.

9. *The Applicant shall install a 6-foot high estate fence and deer resistant landscaping to buffer the fencing along the eastern property boundary in accordance with Willistown Township regulations. The Applicant shall install deer resistant understory landscape buffer plantings in the wooded area on the eastern side of the Property prior to the installation of any proposed walking paths and/or mediation areas on the east side of the Ridley Creek. The fencing and landscaping shall be shown on the landscape plans submitted with the land development application for the review of the Board of Supervisors as part of the land development approval.*

Note:

- a. The fence and landscaping are indicated as required.
- b. It may be appropriate to substitute a more deer resistant species for the proposed mountain laurel; please review with the Conservancy Board.
- c. We will defer to the Conservancy Board of additional comments.
- d. The applicant shall submit the fencing plan to Willistown Township for review and comment and a determination if any permits are required.

10. *The Applicant shall install 6-foot high estate fencing along the right of way line for King Road. The fencing shall go around the pump station. The fencing shall be connected to the 8-foot fence and the estate fencing referred to above. The purpose of the fencing referred to in this condition and condition 9 above are to limit ingress and egress to the main entrance of the Facility.*

The required fence is indicated along the right of way line of King Road. The detail for the fence is indicated on Sheet 12A.

11. *All proposed fencing shall be shown in detail in the land development plan and shall be continually maintained by the owner.*

Details for the proposed fence are indicated on Sheet 12A. It may be appropriate for the record plan to note maintenance requirements.

12. *The applicant shall identify in its preliminary land development plan submission all proposed fencing including location, height and general type and style. The location of all proposed fencing shall be shown in plan view with the height, type, style, colors and materials shown in a detailed plan attachment which shall also identify the fence manufacturer and a location, if available, where a similar fence may be inspected. The estimated cost of all proposed fencing shall be included in the improvements for which financial security must be posted by the Applicant.*

Note:

- Details for the proposed fence are indicated on Sheet 12A.
- We will confirm the fence is included in the financial security at such time it is submitted.
- Fence manufacture for the proposed solid PVC fence shall be provided
- Sample locations for both fences should be provided
- It may be appropriate to provide shop drawings, or similar, of each proposed fence from a fencing contractor or supplier

13. *The Applicant shall actively prohibit all patient activity in the area between the existing building and the southern and western property lines other than the garden, the greenhouse, and the pedestrian walking paths.*

We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan.

14. *The Applicant shall identify all existing and proposed active recreation areas on the land development plan which shall be reviewed by the Township Engineer who shall recommend the installation of appropriate sound attenuation measures as are necessary to mitigate potential noise form these facilities.*

To be discussed further with all parties.



15. *The Facility shall be restricted to one outdoor smoking area for patients (smoking pavilion). The Applicant shall agree to require all patients to smoke within the smoking pavilion. Staff and visitors shall be restricted to smoking in the front of the building.*

We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan. Note the plans indicate a proposed smoking pavilion just in front of the main building.

16. *The smoking pavilion shall be equipped with a "Smoke Eater" type of ventilation and filtration system to minimize the effects of smoke on the surrounding property.*

We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan. Nothing appears to have been provided to address this condition.

17. *The Applicant shall screen the new smoking pavilion from the neighboring properties to the west and north with the 8-foot fence described above.*

The required fence is indicated.

18. *The Applicant shall demonstrate during the land development application review that the "Smoke Eater" can effectively ventilate and filter cigarette smoke in the proposed smoking pavilion.*

We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan. Nothing appears to have been provided to address this condition.

19. *The Applicant shall install sound attenuation blankets or similar sound dampening material inside the existing emergency generator fencing to mitigate noise from the generator.*

We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan. Nothing appears to have been provided to address this condition.

20. *The following site improvements shall be completed prior to issuance of a building permit for the vertical building addition or barn renovations:*

- a. Parking lot renovations;*
- b. Installation of estate fence and the 8-foot fence;*
- c. Installation of the smoking pavilion, including the installation of screening and smoke mitigation measures;*
- d. Installation of sound blankets inside the generator fencing;*
- e. Installation of plantings as required on the landscape plan that is approved as part of the land development plans.*

We recommend the applicant address these conditions as a narrative response, to be included on the plan and recorded with the final plan.

21. *The Applicant shall construct and maintain all walking paths with pervious wood chips.*

No modifications to the trail are proposed. However, we recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan.

22. *The Applicant shall comply with the parking allocation presented on the Plan.*

The parking appears to meet Code requirements (see Sheet 4)

23. *The Applicant shall agree to permit the outdoor patient activities on the property only between the hours of 7 a.m. and 10 p.m., with the follow exceptions. A maximum of 8 patients at any one time, with active staff supervision shall be permitted to use the smoking pavilion between 10 p.m. and 11:30 p.m. A maximum of 4 patients at any one time, with active supervision from the staff shall be permitted to use the smoking pavilion between 11:30 p.m. and 7 a.m.*

We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan.

24. *The Applicant shall record a deed restriction with the Chester County Recorder of Deeds that prohibits any further expansion of the treatment center for a period of 30 years. The deed restriction shall be enforceable by the Township. This condition does not imply that any further expansion will be permitted at any time.*

Nothing appears to have been provided to address this condition. We recommend that a draft document be submitted to the Township for the Township Solicitor's review prior to recording.

25. *The applicant shall establish and adhere to a written protocol acceptable to the Township following review and comment by the neighbors who contact the Facility to complain about adverse impacts from the operation of the Facility. This protocol shall require that a properly trained employee respond appropriately to neighbors' calls.*

We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan. Nothing appears to have been provided to address this condition.

26. *The Applicant shall annually make a presentation to the Board of Supervisors at a public meeting to provide an update on the state of affairs at the Facility. This report shall advise the Board of the status of the expansion project, identify any issues that the Facility has encountered in the last year with neighboring property owners and identify any new programs or policies that the Facility has implemented to improve the relationship with the neighbors. Neighbors within 1000 feet of the facility in the Township shall be notified by mail of the scheduling of this annual presentation.*

We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan.

27. *When the Applicant becomes aware that a patient has left the Facility AWOL, it shall notify the Westtown East Goshen Regional Police Department of this fact provided that such notification does not violate any patient privacy laws. The intent of this notification is not to reveal the patient's identity or to require the police to respond but simply to advise the police that someone has left the Facility.*

We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan.

28. *Applicant shall obtain a building permit for the vertical building addition within three years from the date of an unappealed and unappealable zoning decision and shall obtain a building permit for the barn renovations within four years from the date of an unappealed and unappealable zoning decision.*

The Township confirmed that the applicant shall secure a building permit for the vertical building addition no later than December 31, 2023 and the barn renovations no later than December 31, 2024. We recommend the applicant address this condition as a narrative response, to be included on the plan and recorded with the final plan.

### ZONING

1. The applicant is reminded of the general performance standards of §240-24.
2. A permit is required from the Township for any construction within the identified floodplain. (§240-26.B((2)(b)) There are multiple improvements indicated within the floodplain that are labeled as 'future'.
3. Please clarify specific ADA ramp details to be utilized in accordance with PENNDOT standard details. (§240-33.B(7)(b))
4. Per §240-33.C(10), 22 feet is required for one-way traffic. The circle does not maintain that width for its entirety; it may be feasible to modify island to meet this dimension.
5. The applicant shall indicate the largest loading vehicle that accesses the site and confirm there is a loading and unloading space for the vehicle. (§240-33.D(2))

### SUBDIVISION AND LAND DEVELOPMENT

6. Please provide a location and elevation of the benchmark utilized. (§205-30.B(8))
7. Sidewalks and/or paths may be required to be installed at the discretion of the Board of Supervisors upon the recommendation of the Planning Commission and Conservancy Board. (§205-56.A) No sidewalks are proposed nor were sidewalks a condition of the Zoning Hearing Board.

### STORMWATER MANAGEMENT

8. Please indicate the Line of Interest/Point on Analysis on the drainage area plan.
9. The volume calculations appear to meet water quality and infiltration requirements; however, the applicant should provide soils testing to verify. (§195-19, §195-20)
10. The report (page 2) indicates 3,010 CF infiltrated, but the calculations on Page A3 indicate 3,326 CF; please clarify.
11. A detailed soils evaluation of the site shall be conducted by a qualified professional and at a minimum shall address soil permeability, depth to bedrock, and subgrade stability. The applicant should provide soils tests for the infiltration BMP. (§195-20.I)

12. Where sediment transport in the stormwater runoff is anticipated to reach the infiltration system, appropriate permanent measures to prevent or collect sediment shall be installed prior to discharge to the infiltration system. (§195-20.N)
13. The runoff elevation within the infiltration BMP is 527.48. The top of the BMP is 527.00. The BMP appears to operate above the volume capacity during the 2-year storm.
14. The Peak Rate calculations appear to consider only SWM #1 outflow. The applicant should provide calculations for the site at a common Point of Analysis. (§195-22)
15. The applicant should provide a statement, signed by the applicant, acknowledging that any revision to the approved SWM site plan shall be submitted to and approved by the municipality and that a revised erosion and sediment control plan shall be submitted to, and approved by, the Conservation District or municipality (as applicable) for a determination of adequacy prior to construction of the revised features. (§195-27.A(3))
16. The applicant should provide the required signature block signed and sealed by the qualified licensed professional responsible for the preparation of the SWM site plan. (§195-27.A(4))
17. The applicant should provide an easement around the stormwater management BMP's; alternately a blanket easement can be provided. (§195-27.B(18)(c))
18. The applicant should provide the documents required per §195-27.F and §195-37 regarding a Stormwater Operations & Management Plan and Agreement, to be recorded.
19. The applicant should provide an Operations and Maintenance Plan for the proposed stormwater management BMP's. (§195-37)
20. Please provide a sediment barrier downslope of SW108.
21. The limit of disturbance does not include any fencing, landscaping improvements nor 'future' improvements.

#### GENERAL

22. Multiple improvements are indicated as 'future'. It is unclear if they are intended to be included as part of the overall approval.
23. We recommend adding an additional arrow at the circle in addition to ONE WAY signage.
24. The applicant shall confirm the height of the proposed walls, if more than four (4) feet, retaining wall plans and calculations, designed by a Pennsylvania registered engineer shall be submitted for Township review prior to construction.
25. Any non-regulatory signs will be reviewed and permitted separately by Township staff.
26. We recommend a detail for the dumpster enclosure be provided.
27. An additional 'decorative fence' is indicated within the interior of the site; please provide a detail for this fence.



28. The specific limits of each type of fence should be more clearly indicated on the plan, including those areas of fencing to be provide with sound attenuation.
29. Fencing sound attenuation details should be provided.
30. Please additionally note the status of the following reviews/permits:
  - a. NPDES Permit (PADEP/CCCD) (§195-15.C(2), -16.A, -17.A) – Not applicable (limit of disturbance is indicated as 0.88 acres)
  - b. Planning Module (PADEP) (§240-24.F, §205-33.B(22)(a)) – Correspondence has not yet been received
  - c. Sanitary Sewer (Municipal Authority) – Correspondence has not yet been received
  - d. On-lot Wells (CCHD) – Not applicable
  - e. Highway Occupancy Permit (PennDOT) – Not applicable
  - f. Fire/Emergency – Correspondence has not yet been received
  - g. Historic Resource (Historical Comm.) – Correspondence has not yet been received
  - h. Landscaping (Conservancy Board) – Correspondence has not yet been received
  - i. County Planning – See July 28, 2021 correspondence
  - j. Willistown Township - Correspondence has not yet been received

Should you have any further questions or comments, please contact the undersigned.

Sincerely,

**PENNONI**



Nathan M. Cline, PE  
Township Engineer

cc: Derek Davis, Township Manager (via e-mail)  
Mark Miller, Director of Public Works (via e-mail)  
Brian Nagle, Esq., MacElree Harvey (via e-mail)  
Malvern Institute for Psychiatric & Alcoholic Studies (via e-mail)  
Brett MacKay, PE, Chester Valley Engineers, Inc. (via e-mail)  
Richard Stratton, PE, Chester Valley Engineers, Inc. (via e-mail)  
Kristin Camp, Esq., Buckley Brion (via e-mail)



# THE COUNTY OF CHESTER



COMMISSIONERS  
Marian D. Moskowitz  
Josh Maxwell  
Michelle Kichline

Brian N. O'Leary, AICP  
Executive Director

PLANNING COMMISSION  
Government Services Center, Suite 270  
601 Westtown Road  
P. O. Box 2747  
West Chester, PA 19380-0990  
(610) 344-6285 Fax (610) 344-6515

July 28, 2021

Derek Davis, Manager  
East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

Re: Preliminary Land Development - Malvern Institute 2nd Story Building Addition (Revised)  
# East Goshen Township – LD-07-21-16804

Dear Mr. Davis:

A Preliminary Land Development Plan entitled "Malvern Institute 2nd Story Building Addition", prepared by Chester Valley Engineers Inc., and dated June 28, 2021, was received by this office on June 29, 2021. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed land development for your consideration.

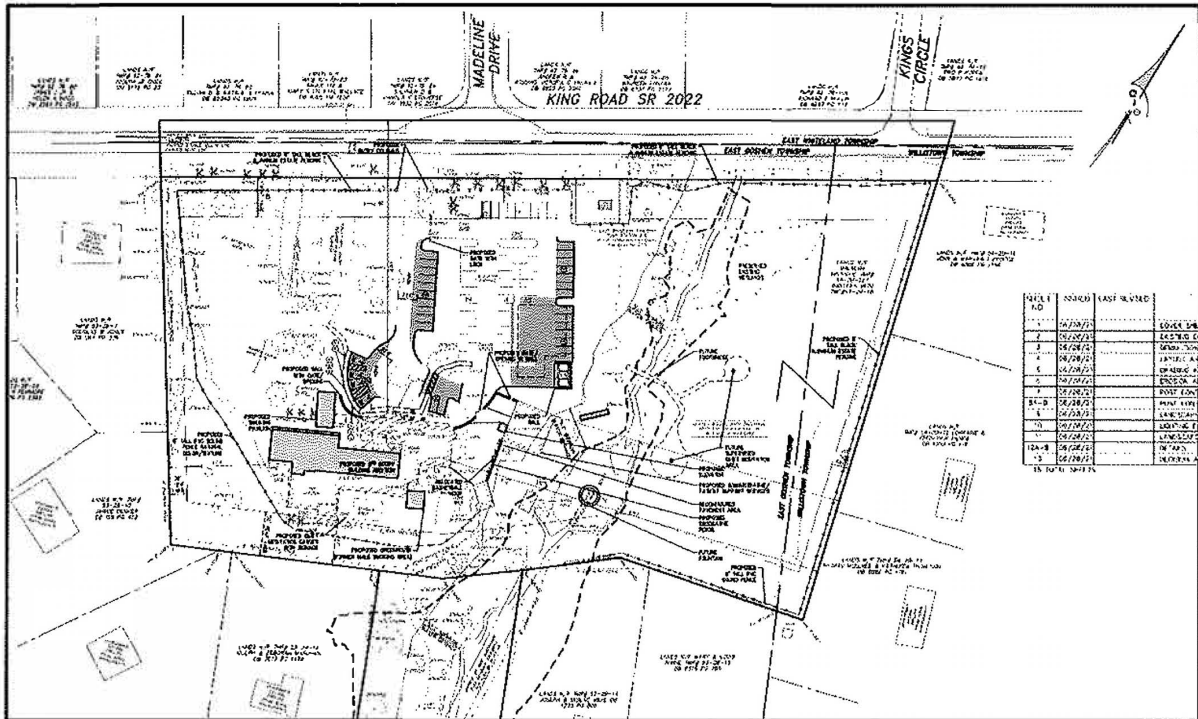
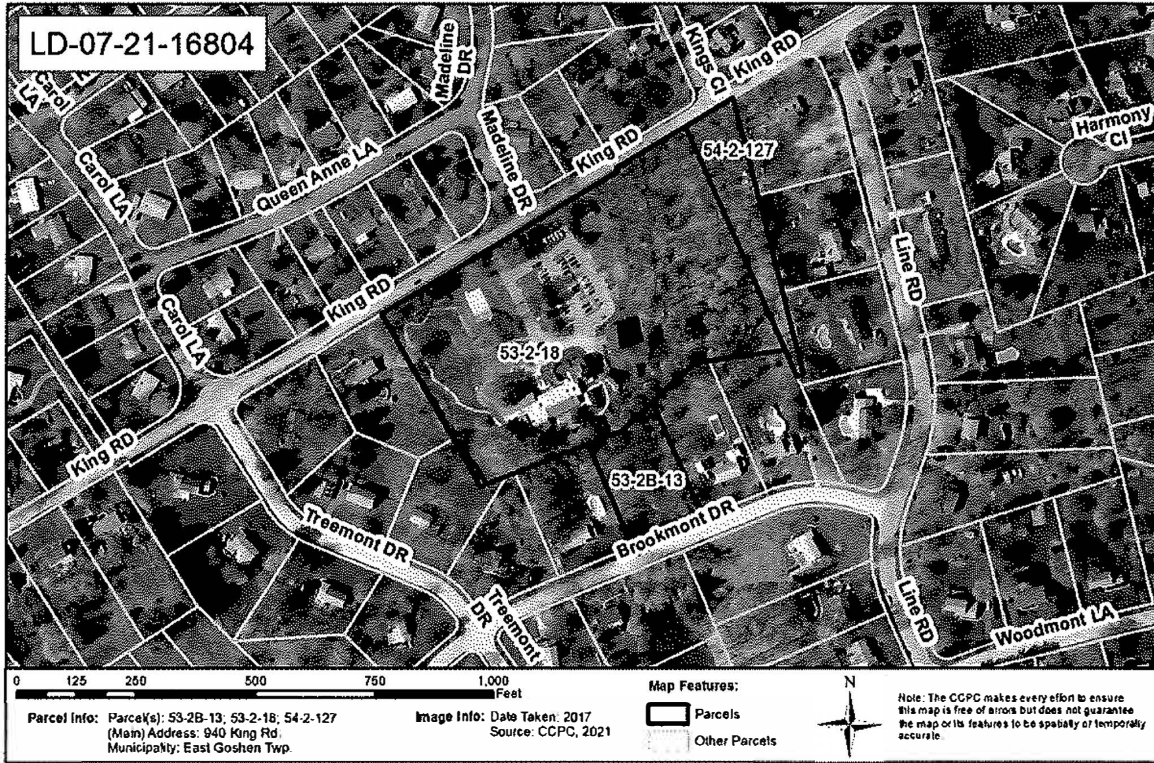
**PROJECT SUMMARY:**

Location:	south side of King Road, west of Line Road
Site Acreage:	10.50
Lots/Units:	1 Lot
Non-Res. Square Footage:	5,400
Proposed Land Use:	Expansion of existing medical facility
New Parking Spaces:	33
Municipal Land Use Plan Designation:	Low Density Residential
UPI#:	53-2B-13, 53-2-18, 54-2-127

**PROPOSAL:**

The applicant proposes the construction of a 5,400 square foot second floor addition to the existing facility, along with the construction of 33 additional parking spaces (81 parking spaces, including 4 handicapped-accessible spaces, will be provided). No new sewage disposal or water supply is proposed as part of this project. The project site is located in the R-2 Low Density Suburban Residential zoning district. The easternmost portion of the site is situated in Willistown Township, which is zoned R-1 Residence.

**RECOMMENDATION:** The County Planning Commission recommends that the issues raised in this letter should be addressed, and all Township issues should be resolved before action is taken on this land development plan.



Site Plan Detail, Sheet 1: Preliminary Land Development- Malvern Institute 2<sup>nd</sup> Story Building Addition

**COUNTY POLICY:**

**LANDSCAPES:**

1. The project site is located within the **Suburban Landscape** and **Natural Landscape** designations of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Landscape** is predominantly residential communities with locally-oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. As an overlay of all other landscapes, the county's **Natural Landscapes** consist of a network of streams, wetlands, floodplains, and forests that are protected by regulations or should be subject to limited disturbance. Conservation practices should protect and restore these natural resources. The proposed land development is consistent with the objectives of the **Suburban Landscape**.

**WATERSHEDS:**

2. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the Ridley Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are: reduce stormwater runoff, protect vegetated riparian corridors, and protect/enhance water-based recreation, cultural, historic resources and public access. **Watersheds** can be accessed at [www.chesco.org/water](http://www.chesco.org/water).

**PRIMARY ISSUES:**

3. The Township should verify that the design of the proposed outdoor lighting plan (Sheet 10) conforms to Township ordinance requirements. The illumination should be directed inward from the periphery of the site and be oriented to reduce glare and visual impact on the adjoining roadways and land uses.
4. While we acknowledge that Sheet 9-Landscape Plan depicts that extensive landscaping will be provided along the northern, western, and southern parcel boundaries (west of the existing floodplain area), we recommend that the applicant and Township consider planting additional trees, shrubs, and ground cover in areas currently covered by lawn within and adjacent to the parking areas. [Landscapes3](#) recommends that developments in the **Suburban Landscape** include extensive landscaping in parking areas (page 39).
5. The site contains land within the 100 year flood plain. Although it does not appear that any development activity will encroach into the floodplain, we note that the County Planning Commission does not support development in the floodplain, and the Federal Emergency Management Agency and Pennsylvania Department of Environmental Protection regulate filling or development in the floodplain. Development within a floodplain can increase the magnitude and frequency of normally minor floods, and present health and safety problems.
6. The site contains delineated wetlands. Although it does not appear that any development activity will encroach into the delineated wetland area, the applicant should be aware that placement of fill in wetlands is regulated by the Corps of Engineers in accordance with Section 404 of the Clean Water Act (1977) and the Department of Environmental Protection under Chapter 105 Rules and Regulations for the Bureau of Dams and Waterway Management.

Page: 4

Re: Preliminary Land Development - Malvern Institute 2nd Story Building Addition  
# East Goshen Township – LD-07-21-16804

ADMINISTRATIVE ISSUES:

7. Land disturbance and land development activities that occur within Chester County must comply with the *County-wide Act 167 Stormwater Management Plan for Chester County, PA* (July 2013) and the associated Act 167 stormwater management ordinance standards adopted by each municipality.
8. Sheet 13-Decision and Order Letter indicates that the Township Zoning Hearing Board granted approval for this project with 28 conditions of approval. We note that the conditions of approval include the following:
  - The applicant shall install and maintain an 8-foot high fence along the entire western and southern property boundaries except for any areas within the floodplain (condition #5);
  - The applicant shall install a 6-foot high estate fence and deer resistant landscaping to buffer the fencing along the eastern property boundary in accordance with Willistown Township regulations (condition #9);
  - The applicant shall install 6-foot high estate fencing along the right of way line for King Road (condition #10); and
  - The applicant shall record a deed restriction that prohibits any further expansion of the treatment center for a period of 30 years, which shall be enforceable by the Township (condition #24).

The Township should verify that all applicable conditions of approval have been incorporated into the final plan. The date of the Zoning Hearing Board's decision should be identified on the approved plan. We note that the Township application form indicates that the Zoning Hearing Board order is dated November 25, 2020 and issued on December 1, 2020.

9. A site plan note incorrectly identifies the UPI-Uniform Parcel Identifier number of the portion of the project site in Willistown Township as 54-2B-127, rather than 54-2-127. This should be corrected by the applicant. The Chester County Recorder of Deeds Office requires that the correct UPI numbers be identified on all subdivision and land development plans submitted for recording.
10. A minimum of four (4) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds and the Assessment Office.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of East Goshen Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

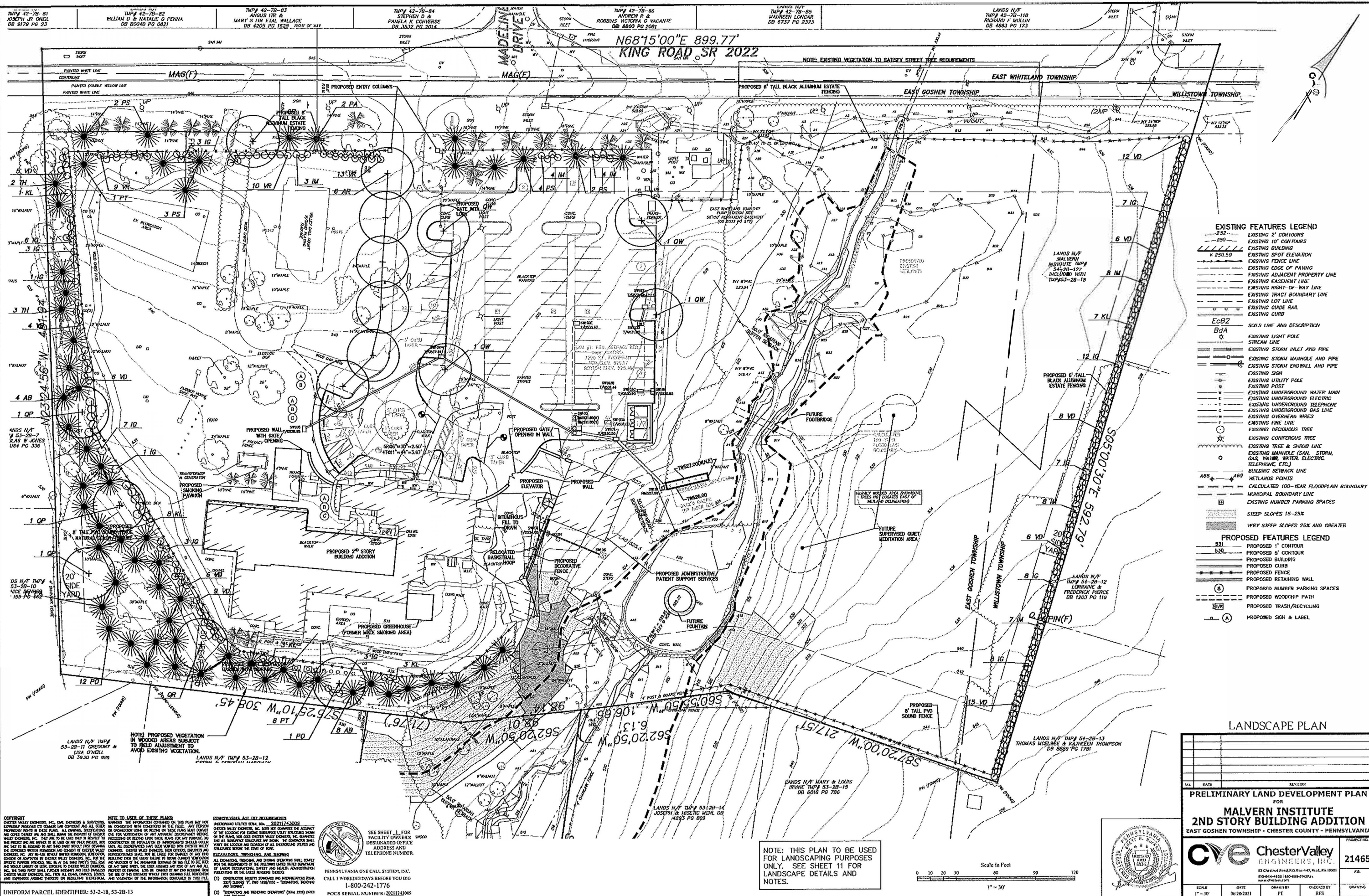
Sincerely,



Paul Farkas  
Senior Review Planner

cc: Malvern Institute For Psychiatric & Alcoholics Studies  
Chester Valley Engineers Inc.  
Sally A. Slook, Manager, Willistown Township





- EXISTING FEATURES LEGEND**
- 252- EXISTING 2' CONTOURS
  - 250- EXISTING 10' CONTOURS
  - - - EXISTING BUILDING
  - - - EXISTING SPOT ELEVATION
  - - - EXISTING FENCE LINE
  - - - EXISTING EDGE OF PAVING
  - - - EXISTING ADJACENT PROPERTY LINE
  - - - EXISTING EASEMENT LINE
  - - - EXISTING RIGHT-OF-WAY LINE
  - - - EXISTING TRACT BOUNDARY LINE
  - - - EXISTING LOT LINE
  - - - EXISTING GUIDE RAIL
  - - - EXISTING CURB
- EcB2**  
**BdA**
- - - SOILS LINE AND DESCRIPTION
  - - - EXISTING LIGHT POLE
  - - - STREAM LINE
  - - - EXISTING STORM INLET AND PIPE
  - - - EXISTING STORM MANHOLE AND PIPE
  - - - EXISTING STORM ENDWALL AND PIPE
  - - - EXISTING SIGN
  - - - EXISTING UTILITY POLE
  - - - EXISTING POST
  - - - EXISTING UNDERGROUND WATER MAIN
  - - - EXISTING UNDERGROUND ELECTRIC
  - - - EXISTING UNDERGROUND TELEPHONE
  - - - EXISTING UNDERGROUND GAS LINE
  - - - EXISTING OVERHEAD WIRES
  - - - EXISTING FIRE LINE
  - - - EXISTING DECIDUOUS TREE
  - - - EXISTING CONIFEROUS TREE
  - - - EXISTING TREE & SHRUB LINE
  - - - EXISTING MANHOLE (SAN, STORM, GAS, WATER, WATER, ELECTRIC, TELEPHONE, ETC.)
  - - - BUILDING SETBACK LINE
  - - - WETLANDS POINTS
  - - - CALCULATED 100-YEAR FLOODPLAIN BOUNDARY
  - - - MUNICIPAL BOUNDARY LINE
  - - - EXISTING NUMBER PARKING SPACES
  - - - STEEP SLOPES 15-25%
  - - - VERY STEEP SLOPES 25% AND GREATER

- PROPOSED FEATURES LEGEND**
- - - PROPOSED 1' CONTOUR
  - - - PROPOSED 5' CONTOUR
  - - - PROPOSED BUILDING
  - - - PROPOSED CURB
  - - - PROPOSED FENCE
  - - - PROPOSED RETAINING WALL
  - - - PROPOSED NUMBER PARKING SPACES
  - - - PROPOSED WOODCHIP PATH
  - - - PROPOSED TRASH/RECYCLING
  - - - PROPOSED SIGN & LABEL

DATE	REVISION

**PRELIMINARY LAND DEVELOPMENT PLAN**  
FOR  
**MALVERN INSTITUTE**  
**2ND STORY BUILDING ADDITION**  
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**CVE** Chester Valley  
ENGINEERS, INC. 21465

PROJECT NO. FA.  
30 CHESTER ROAD, SUITE 401, PAOLI, PA 19380  
610-464-4433 (410-444-3141 FAX)  
www.cve-engineers.com

SCALE: 1" = 30'  
DATE: 06/26/2021  
DRAWN BY: PT  
CHECKED BY: RFS  
DRAWING: 21465

**UNIFORM PARCEL IDENTIFIER:** 53-2-18, 53-2B-13

**NOTES TO USER OF THESE PLANS:**

1. THE INFORMATION CONTAINED ON THIS PLAN WAS NOT PREPARED BY OR FOR THE USE OF ANY PERSON OTHER THAN THE CLIENT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.

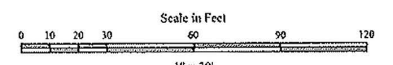
2. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.

3. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.

4. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.

5. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.

NOTE: THIS PLAN TO BE USED FOR LANDSCAPING PURPOSES ONLY. SEE SHEET 11 FOR LANDSCAPE DETAILS AND NOTES.



Gardco PureForm LED area small square precision P15 features a sleek, low profile design. Precision optics are optimized for maximum efficiency and uniformity. Multiple optical distributions and color temperatures are available to allow you to customize your selection.



Ordering Info

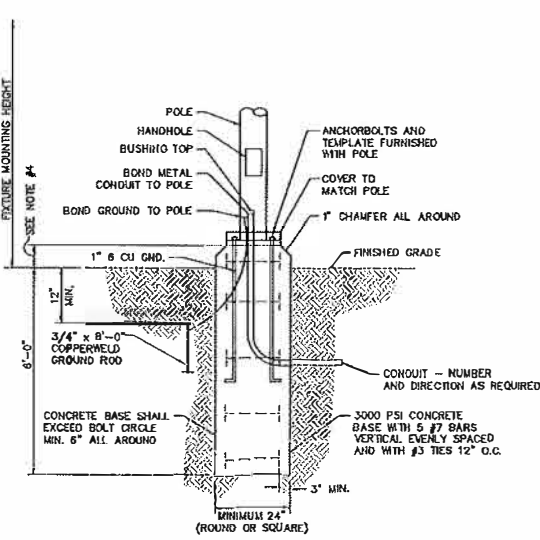
Part #	Description	Quantity	Notes
P15	PureForm LED Area Small Square Precision	1	

Options

Option	Description	Quantity	Notes
01	0-10V dimming (remote control)	1	
02	0-10V dimming (photo eye)	1	
03	0-10V dimming (photo eye with photocell)	1	
04	0-10V dimming (photo eye with photocell and photocell)	1	
05	0-10V dimming (photo eye with photocell and photocell)	1	
06	0-10V dimming (photo eye with photocell and photocell)	1	
07	0-10V dimming (photo eye with photocell and photocell)	1	
08	0-10V dimming (photo eye with photocell and photocell)	1	
09	0-10V dimming (photo eye with photocell and photocell)	1	
10	0-10V dimming (photo eye with photocell and photocell)	1	

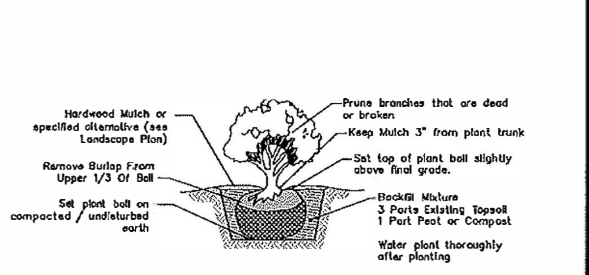
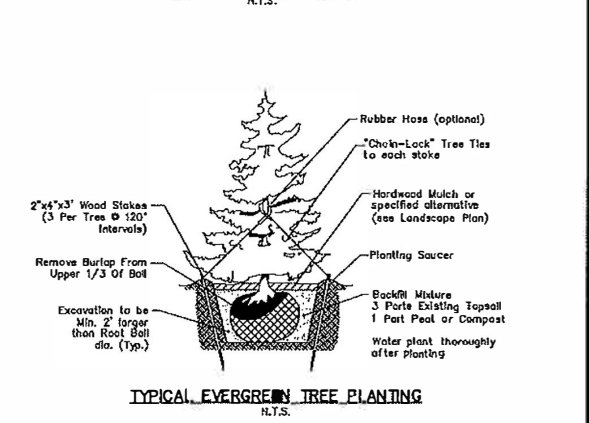
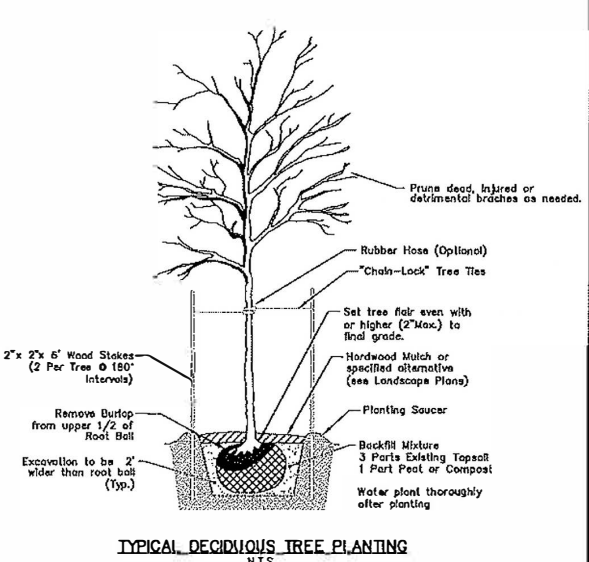
- Product is standard with 0-10V dimming.
- Extended lead times apply. Contact contractor for details.
- Mounting hardware is included with the fixture. See separate schedule for details.
- Mounting hardware is included with the fixture. See separate schedule for details.
- Mounting hardware is included with the fixture. See separate schedule for details.
- Mounting hardware is included with the fixture. See separate schedule for details.
- Mounting hardware is included with the fixture. See separate schedule for details.
- Mounting hardware is included with the fixture. See separate schedule for details.
- Mounting hardware is included with the fixture. See separate schedule for details.
- Mounting hardware is included with the fixture. See separate schedule for details.

- ### LIGHTING NOTES
- This Plan is to be used for lighting purposes only.
  - Lighting contractor shall be responsible for the installation and proper functioning of the lighting fixtures at the time the project is turned over to the owner. Contractor shall be responsible for providing all equipment and materials necessary to perform the work contained on these plans whether specifically noted or not.
  - All work shall be performed in accordance with the notes and specifications shown on this plan. Any work that can not be performed in accordance with these requirements shall be reported to the owner or the owner's representative as soon as possible.
  - Lighting shown on this plan has been prepared in accordance with local lighting requirements. All lighting shall be installed in accordance with the appropriate National, State and local codes. Any changes to the specified lighting fixtures shall be submitted to the municipality for approval prior to ordering.
  - All lighting poles shall be placed a minimum of 5' behind the face of curb lines. Any fixture that is less than 5' behind the face of curb shall be placed on a 3' high foundation or otherwise protected from vehicular traffic. Any fixture within a paved area shall be set on a 3' high foundation or otherwise protected from vehicular traffic.
  - After installation, contractor shall provide any required adjustments to the lighting as may be required by the Township and/or owner to provide proper nighttime lighting levels.
  - Lighting fixtures to be approved by owner prior to contractor ordering the fixtures and/or poles.
  - All lighting fixtures shall be installed in accordance with the manufacturer's recommendations.
  - This plan shows lighting fixture locations and lighting levels only. Electrical circuits to be prepared by project electrical engineer.
  - All electrical circuits shall be installed by a licensed electrician.
  - All 240 volt cables to be installed in conduit unless approved by Owner in writing. All electrical conduits shall be Sch. 40 PVC. All bands to be provided with a "sealp" band to allow for fishing wire through conduit.
  - Electrical conduit shall extend past pole foundations and any other landscape items by a minimum of 18". All conduit shall be temporarily capped until needed for cable installation.
  - Contractor shall be responsible for the repair of any damage caused to existing or installed site features such as, but not limited to, paving, walkways, fencing, plant material, seeded areas and other underground utilities during the installation of the lighting fixtures, foundation or wiring circuits.
  - Electrical contractor shall provide the owner with an As-Built plan for the underground electrical circuits at the conclusion of construction.
  - Owner reserves the right to inspect and have replaced any lighting fixture which may be damaged, either by manufacturer, delivery or installation. Contractor shall make any requested replacements at his own expense.



- ### LIGHT POLE BASE DETAIL
- N.T.S.
- NOTES:
- POLE AND BASE WITH LUMINAIRES SHALL BE RATED FOR 90 MPH WIND LOADING WITH U3 GUST FACTOR PER AASHTO L15-2. FOOTER DIMENSIONS TO BE CONFIRMED BY A STRUCTURAL ENGINEER.
  - ANCHOR BOLTS SHALL EXTEND 1 1/2" ABOVE TOP OF CONCRETE MANUFACTURER.
  - PROMOTE IN-LINE WATERPROOF FUSE HOLDERS WITH FUSES SEED AS RECOMMENDED BY LUMINAIRE MANUFACTURER IN HANDHOLE.
  - REVEAL ON CONCRETE FOOTER TO BE 6" IN UNPAVED AREAS PROVIDED THE FIXTURE IS AT LEAST 5' BEHIND THE FACE OF ANY CURB. IF FIXTURE IS IN A PAVED AREA OR WITHIN 5' OF THE FACE OF A CURB, FOUNDATION REVEAL SHALL BE 3". POLE HEIGHT TO BE ADJUSTED AS NECESSARY TO ACHIEVE REQUIRED MAXIMUM FIXTURE HEIGHT.

- ### PLANTING NOTES
- This Landscape Plan is intended to be used for landscaping purposes only.
  - Landscape contractor shall inspect the site and become familiar with the planting area prior to the installation of any plant material.
  - Plant material quantities listed for the convenience of the Contractor. Actual numbers of symbols shall take precedence over quantities listed in cases of conflict.
  - The Landscape Contractor is responsible for supplying all materials, supplies, equipment and labor required to install the landscaping shown on these plans.
  - All plant material subject to approval by the Owner or Owners representative prior to installation. Plant material shall be nursery grown locally, freshly dug, shall be free of disease and pests, and shall be full and well shaped. Any material found to be unacceptable shall be replaced with acceptable material at no cost to the owner.
  - The Contractor shall advise the Landscape Architect and/or Owner in writing of any proposed substitutions for the plant material specified and these substitutions shall be subject to the approval by the Landscape Architect and/or Owner prior to installation.
  - Plant material and installation shall be in accordance with the American Standard for Nursery Stock of the American Association of Nurserymen (as last revised) and with the general planting specifications of the municipality.
  - All plant material shall be of the minimum size noted on the plans. Plant material shall be measured in accordance with the American Standard for Nursery Stock as last revised.
  - All areas to be landscaped, especially next to building areas, shall be excavated of all building material, debris and poor soils to a minimum depth of 12"-18" and backfilled with a good, medium textured planting soil. All lawn areas shall have a minimum of 4"-6" of topsoil spread prior to seeding or sodding as may be specified. Areas adjacent to curbs and walks shall be crowned a minimum of 4" higher than the top of curb or walk to allow for settling, however finished grade immediately adjacent to the curb or walk shall be sufficiently depressed to allow for the surface of any mulching or sod to be even with the top of curb or walk.
  - All borders between lawn areas and planting beds shall not have edging unless otherwise noted on the plans.
  - Compacted existing soils shall be remediated with soil additives or soil replacement prior to planting.
  - See Tree Planting Details for tree planting, staking and guying directions. See Shrub Planting Details for shrub planting directions. Tree shall be staked immediately after planting.
  - Remove all twigs and wire from trees and shrub root balls. Remove all non-root balltop and twigs from all plant material prior to planting. Unlike all twigs and/or burtop from the trunk of the plant material and drops down the root ball or remove from plant. Remove of plant containers prior to planting.
  - Prune all plant material after planting in accordance with the American Association of Nurserymen standards. Fine pruned plants to arrive, but do not disfigure plant material. Prune of dead branches from plant material.
  - Limb deciduous, high canopy (shade) trees to 6' above grade.
  - All plantings shall be installed in the locations shown on the Landscape Plans. Minor adjustments for field conditions may be required. Significant adjustments needs to be approved by the Owner prior to planting.
  - Canopy trees to be placed a minimum of 30' from paved areas and walkways unless otherwise directed.
  - Contractor shall final grade all planting areas and berms as necessary prior to the installation of the plant material unless final grading is to be performed by others. Regardless, planting areas shall be fine graded smooth and even after the installation of the plant material and prior to mulching. No plant material shall be installed and no raking shall occur if the soils are saturated or muddy.
  - Trees and shrubs to be planted slightly higher (2" max.) than the grade that the plants were grown at the nursery (roughly the top of the root ball). Contractor is responsible for plant installation to the proper height.
  - Trees and shrubs shall not be planted over any underground utility, nor within any underground utility easement (minimum of 10' from the center of the pipe). Contractor shall verify location of all underground utilities prior to starting work.
  - Trees planted in lawn areas to be mulched with a ring a minimum of 2' wide with a minimum of 3" of mulch unless otherwise noted or required for tree protection. Shrub beds to be mulched to a minimum depth of 3".
  - Shrub groupings shown on the Landscape plans shall be planted as a single bed.
  - Mulch to be shredded hardwood bark. Prior to installation of the mulch, spread a pre-emergent herbicide.
  - Plant material shall be installed the same day as it is delivered to the site to the extent practical. Any plant material that is not planted the same day it arrives shall be protected from drying out by the Contractor until it can be planted.
  - Contractor shall thoroughly water all material planted at the end of each day.
  - Contractor shall apply anti-desiccant to plant material for late summer and fall plantings.
  - Upon completion of planting and mulching and at the end of each day, Contractor shall remove all extraneous material and debris, broom sweep and wash the area clean.
  - Contractor shall guarantee all plant material for a period of 2 years from the date of acceptance by the Owner. All plant material that does not survive the guarantee period shall be replaced by the Contractor. Dead plants shall be replaced no later than the next planting season.
  - Contractor shall notify the Owner upon the completion of the guarantee period and schedule a final inspection of the plant material and lawn areas. At or before the final inspection, Contractor shall remove any remaining tree stakes and prune the plant material as needed unless otherwise directed by the Owner.
  - All areas disturbed by construction activities that are not shown to be planting beds on the Landscape Plans, shall be seeded or lawn areas per the seeding specifications on these plans.
  - Contractor shall provide all topsoil, fertilizers and other additives as required unless otherwise directed by the Owner. All materials used shall be as specified or better.
  - Contractor shall be responsible for the maintenance of the plant material until such time as the project is accepted by the Owner. Maintenance shall include, but is not limited to, watering, fertilizing, pruning, mowing and weeding.
  - Contractor shall provide the Owner with written instructions regarding the care of the plant material and any special circumstances.



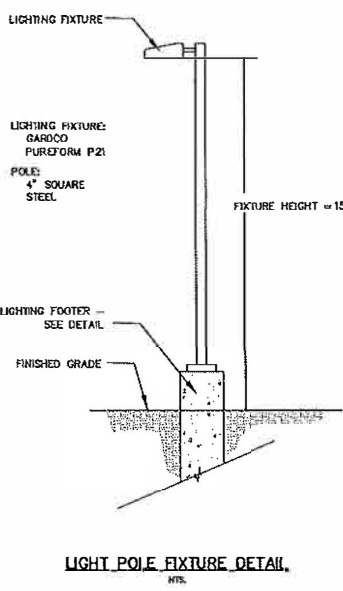
### LANDSCAPE REQUIREMENTS

ITEM	REQUIRED	PROVIDED
STREET TREES (205-62) 1 Deciduous Tree / 40 LF.	13 Deciduous Trees	1 New Deciduous Trees 12 Ex. Deciduous Trees
PARKING AREAS (240-33.6.3) Percent of Landscape Area	(7,875 SF New Area) 5.0%	(417 SF Green Area) 5.5%
REPLACEMENT TREES (205-61) (in excess of 20% permitted) Tree inches removed (0) Replacement Trees (X" / 3" Col)	0 Deciduous Trees 0 Deciduous Trees	0 Deciduous Trees 0 Deciduous Trees
TOTAL PLANTINGS:	13 Deciduous Trees 0 Evergreen Trees	1 Deciduous Trees 12 Ex. Deciduous Trees 0 Evergreen Trees 0 Ex. Evergreen Trees

\* Excludes frontage with existing vegetation to remain.

### PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUAN.	SIZE	ROOT	NOTES
<b>CANOPY TREES</b>						
AR	Acer rubrum	Red Maple	6	2 1/2'-3' Cal.	B & B	
PO	Platanus acerifolia	Plane Tree	1	2 1/2'-3' Cal.	B & B	
OP	Quercus palustris	Pine Oak	3	2 1/2'-3' Cal.	B & B	
OR	Quercus rubra	Red Oak	2	2 1/2'-3' Cal.	B & B	
OY	Quercus phellos	Willow Oak	4	2 1/2'-3' Cal.	B & B	
<b>EVERGREEN TREES</b>						
AB	Abies concolor	White Fir	12	10'	B & B	
PA	Picea abies	Norway Spruce	13	10'	B & B	
PO	Picea omorika	Serbian Spruce	12	10'	B & B	
PS	Pinus strobus	White Pine	11	10'	B & B	
PT	Pseudotsuga mucronata	Douglas Fir	9	10'	B & B	
TH	Thuja Green Giant	Green Giant Arborvitae	5	10'	B & B	
<b>SHRUBS</b>						
IG	Ilex glabra	English Holly	63	36"	B & B	
IM	Ilex mes Pilae Princess	Blue Petal Princess Holly	34	36"	B & B	Provide 1 male plant / grouping
KL	Kalmia latifolia	Mountain Laurel	26	36"	B & B	
VD	Viburnum dentata	Aronwood Viburnum	71	36"	B & B	
VR	Viburnum coccineum	Leatherleaf Viburnum	32	36"	B & B	



### Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens	BUG Rating
S3	3	S3	SINGLE	0.900	Gardco P15-P-A03-730-T3N	14.6	6099	B1-U0-G2
S4	2	S4	SINGLE	0.900	Gardco P15-P-A03-730-T3S	14.6	6240	B1-U0-G2

### LANDSCAPE AND LIGHTING DETAILS

PRELIMINARY LAND DEVELOPMENT PLAN FOR MALVERN INSTITUTE 2ND STORY BUILDING ADDITION EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

Chester Valley ENGINEERS, INC. 21465

SCALE: AS NOTED DATE: 06/28/2021 DRAWN BY: RFS CHECKED BY: RFS