

**EAST GOSHEN TOWNSHIP  
PLANNING COMMISSION  
Meeting Agenda  
Wednesday, September 7, 2022  
7:00 PM**

- A. Call to Order / Pledge of Allegiance and Moment of Silence
- B. Chairman will ask if anyone is going to record the meeting
- C. Review of Tracking Log / Determine need for Workshop Meeting
- D. Public Comment on Non-Agenda Items
- E. **Approval of Minutes**
  - 1. **August 3, 2022**
- F. **Subdivision and Land Development Applications**
  - 1. **Applebrook Golf Club.**
- G. Conditional Uses and Variances
  - 1. **Miller Property Residential Subdivision (Initial Submission)**
- H. Ordinance Amendments
- I. Old Business
- J. New Business
- K. Liaison Reports
- L. Correspondence
- M. Announcements

**Bold Items indicate new information to review or discuss.**

**Draft**  
**EAST GOSHEN TOWNSHIP**  
**PLANNING COMMISSION MEETING**  
**August 3, 2022**

The East Goshen Township Planning Commission held their regular monthly meeting on Wednesday August 3, 2022 in the Township Building.

Members present are highlighted:

**Chair – Ernest Harkness**

**Vice Chair – John Stipe**

**Dan Daley**

**Edward Decker**

**Michael Koza**

**Mark Levy**

**Michael Pagnanelli**

Also present was:

**Duane Brady, Zoning Officer**

**Derek Davis, Township Manager**

**COMMON ACRONYMS:**

*BOS – Board of Supervisors*

*BC – Brandywine Conservancy*

*CB – Conservancy Board*

*CCPC – Chester Co Planning Commission*

*CPTF – Comprehensive Plan Task Force*

*CVS – Community Visioning Session*

*SWM – Storm Water Management*

*ZHB – Zoning Hearing Board*

**FORMAL MEETING – 7 p.m.**

1. Ernest called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and asked for a moment of silence to remember our troops and first responders.
2. Ernest asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
3. The tracking log was checked and no need for a workshop meeting.
4. The minutes of the June 1, 2022 meeting were approved.
5. Ernest introduced Duane J. Brady, East Goshen’s new Zoning Officer. Duane reviewed his past experience and positions.

**SUBDIVISION AND LAND DEVELOPMENT APPLICATIONS**

1. Applebrook Golf Club - Two representatives for Applebrook were present. They provided a map that showed the location of the proposed buildings. The buildings will provide more space for their lawn maintenance equipment and supplies. It will be a better facility to wash their equipment and store the fuels they need. The large gray box on the plan is the first building they want to build. The small yellow box is for a future extension when they get an easement to that corner of the property. This is a complicated plan. There are legal issues that have to be worked out. This is just a preliminary presentation. It has not been reviewed by the Township Staff for zoning issues. They are putting a complete packet together. Their attorney is working with Township and County solicitors. Ernest thanked them for coming and asked that they provide a complete packet for the September meeting.

**OLD BUSINESS**

Paoli Pike Trail (Alternate Route Alignment) – Derek explained that the BOS wants input from the PC about the proposed alternate route for the Paoli Pike trail Segment B. He reviewed the proposed alternate route through and/or around the Goshen Corporate Park. There are 5 parts to this proposed route. #1

1 goes though the Park along Enterprise Drive. #2 goes along Paoli Pike and turns to go along the side of  
2 the Corporate Park. #3 continues through the Corporate Park. #4 goes through a wetland and would  
3 require a boardwalk. #5 goes behind properties on Linden Lane and a small section is on Hicks property.  
4 He reviewed a chart showing the cost estimates for the different sections. There was discussion about  
5 getting easements from the companies in the corporate park. Dan spoke about possibly crossing Paoli  
6 Pike by extending #2 to the creek, cross over and go along the school property to Airport Road. Then  
7 continue up Airport Road to link in with the YMCA. Derek mentioned that the thought for #1 is to stripe  
8 Enterprise Drive to make a walkway. West Goshen has not worked on a trail plan yet. They will  
9 probably use Ward Ave. because they can't go along Paoli Pike in West Goshen. There was discussion  
10 about doing #1 & #2 now, so people can ride bikes/walk this loop and get back onto Paoli Pike. Ernest  
11 summarized as follows:

- 12 1. Tie in with the School and YMCA
- 13 2. #2
- 14 3. #3 and #5 are advantageous
- 15 4. #1 put this in the loop with #2

16 Derek will prepare a memo for the BOS meeting.

17  
18 **NEW BUSINESS** - None

19  
20 **LIAISON REPORTS** – None

21  
22 **CORRESPONDENCE** - None

23  
24 **ADJOURNMENT**

25 There being no further business, the meeting was adjourned at 9:00 pm. The next regular meeting will be  
26 held on Wednesday, September 7, 2022 at 7:00 pm.

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29 Respectfully submitted,

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*Ruth Kiefer, Recording Secretary*

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East Goshen Township Planning Commission  
Application Tracking Log

September 7, 2022 PC Meeting

Application Name	Application (CU, LD, ZO, SD, SE, C)	Type (Sk, P, F)	Date Filed	Start Date	Date to Township Engineer	Date to CCPC	Date to Abutting Prop. / ABC's	Extension	PC NLT Action Date	BOS NLT Action Date	Hearing Date	Drop Dead date	Comments
Paoli Pike Trail ALT Route	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

**Bold = New Application or PC action required**

**Completed in 2022**

Applebrook Golf Club	LD	P	7/27/2022	2/27/2022	8/17/2022	8/29/2022						11/9/2022	
The Malvern Institute	LD	P	6/28/2021	7/1/2021	6/30/2021	6/29/2021	8/13/2021	(5) 7/31/2022	2/2/2022	2/15/2022	NA	2/28/2022	PC Made rec to BOS for Prelim. App on June 1
14 Broad St.	V	P	3/28/2022	3/28/2022	NA	NA	3/30/2022		5/4/2022	5/6/2022	5/19/2022	5/27/2021	P
EWT 537 Special Study	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	A

**Completed in 2021**

Small Wireless Facilities	ZO	F	NA	NA	NA	NA	NA	NA	NA	NA	12/7/2021	NA	AD
Imperial Marble, 1311 WCP	V	Sk	10/25/2021	10/25/2021	NA	NA	10/28/2021		11/3/2021	11/16/2021	12/14/2021	12/24/2021	A
14 Reservoir Rd. / Glossen	V	Sk	5/25/2021	5/25/2021	NA	NA	5/27/2021		6/2/2021	7/6/2021	7/15/2021	7/23/2021	A
ESKE Development LLC	V	S	4/20/2021	4/20/2021	4/27/2021	NA	4/27/2021		5/5/2021	5/11/2021	5/26/2021	6/18/2021	A
Albert and Lynn Greto	V	S	4/26/2021	4/26/2021	NA	NA	4/29/2021		5/5/2021	6/1/2021	6/8/2021	6/25/2021	D
1365 Enterprise Drive	V	Sk	4/1/2021	4/1/2021	NA	NA	4/1/2021		5/5/2021	5/18/2021	TBD	5/31/2021	A
198 Oneida Ln	V	Sk	1/26/2021	1/27/2021	NA	NA	1/28/2021		2/3/2021	1/16/2021	2/25/2021	3/26/2021	A
Pipeline HMS / Consultation Zone Or	ZO / S	DRAFT	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	AD

**KEY**

- A - Approved
- AD - Adopted
- D - Denied
- P - Pending



# Memorandum

**East Goshen Township**  
**1580 Paoli Pike**  
**West Chester, PA 19380**  
Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [dbrady@eastgoshen.org](mailto:dbrady@eastgoshen.org)

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**Date:** 7-27-2022  
**To:** Planning Commission  
**From:** Duane J. Brady Sr., Zoning Officer  
**Re:** Applebrook LD / Turf Maintenance Area

Dear Commissioners,

The Township staff has received a LD application for 100 Line Road, Applebrook Golf Club for a turf maintenance area addition. The proposal is to replace an existing building for storage and repair of equipment for golf course maintenance. The application has been reviewed for completeness and was accepted by Township Staff on July 27, 2022.

**Background Information:**

- At this point Applebrook does not own the property they are proposing in the existing building expansion.
- There continues to be some interesting legal issues surrounding this land development due to the initial way the land was conveyed and the fact that these small parcels that Applebrook owns are essentially landlocked by surrounding the Applebrook Park owned by East Goshen. Any expansion here is creating non-conforming issues that will have to be addressed.



EAST GOSHEN TOWNSHIP  
CHESTER COUNTY, PA

SUBDIVISION AND / OR LAND DEVELOPMENT APPLICATION

Date Filed: \_\_\_\_\_

Application for (Circle one):

Subdivision  Land Development  Subdivision & Land Development

A. Application is hereby made by the undersigned for approval of a Subdivision and or Land Development Plan, more particularly described below.

1. Applicant's name: Applebrook Golf Club c/o Jared Viarengo

Address: 100 Line Road, Malvern, PA 19355 Phone: 610-647-7666 x10

Fax: \_\_\_\_\_ Email: jviarengo@applebrookgolfclub.com

2. Name and address of present owner (if other than 1. above)

Name: East Goshen Township

Address: 1580 Paoli Pike, West Chester, PA 19380 Phone: \_\_\_\_\_

Fax: \_\_\_\_\_ Email: \_\_\_\_\_

3. Location of plan: Paoli Pike and Hibbard Lane

4. Proposed name of plan: Applebrook Golf Club - Turf Maintenance Area

5. County Tax Parcel No.: 53-4-89.1 Zoning District: I-2

6. Area of proposed plan (ac.): 1.4 Number of lots: 1

7. Area of open space (ac.): 0 Ac.

8. Type of structures to be constructed: Facilities to house and repair golf course maintenance equipment

9. What provisions are to be made for water supply and sanitary sewer? \_\_\_\_\_  
Existing well water service and existing sanitary sewer service to remain

10. Linear feet of road to be constructed: 0

11. Name of Engineer: Chester Valley Engineer, Inc.

Phone Number: 610-644-4623 x122 Fax: 610-889-3143

Email address: bmackay@chesterv.com

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA  
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

12. Name of Land Planner: N/A

Phone Number: \_\_\_\_\_ Fax: \_\_\_\_\_

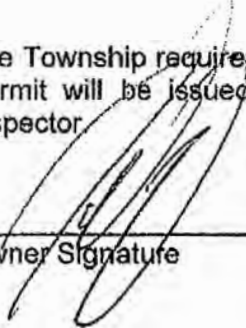
Email address: \_\_\_\_\_

- B. I/We agree to reimburse the Township of East Goshen for such fees and expenses the Township may incur for the services of an Engineer(s) in investigations, tests, and review in relation to the Subdivision Plan.
- C. I/We agree to post financial security for the improvements depicted on the Subdivision and or land Development Plan pursuant to the Subdivision and Land Development Ordinance.
- D. I/We agree to reimburse the Township of East Goshen for all inspection fees at the actual cost to Township.

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**NOTICE**

The Township requires an Occupancy Permit before any building can be occupied; no Occupancy Permit will be issued until final inspection and approved by the Zoning Officer and Building Inspector.

  
\_\_\_\_\_  
Owner Signature

\_\_\_\_\_  
Applicant Signature

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**Administrative Use**

Fees received from applicant \$ \_\_\_\_\_ basic fee, plus \$ \_\_\_\_\_ per lot

For \_\_\_\_\_ lots = \$ \_\_\_\_\_

Application and plan received by: \_\_\_\_\_ Date: \_\_\_\_\_  
(Signature)

Application accepted as complete on: \_\_\_\_\_  
(Date)

EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA  
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

**SUBDIVISION AND/OR LAND DEVELOPMENT CHECKLIST**

This checklist outlines the steps and items needed to insure completeness of the application and to insure the application follows the process and conforms to the timeframe outlined by the State of Pennsylvania and East Goshen Township. This checklist is broken into two parts, the Application Process and the Review Process. The application process must be completed in its entirety prior to the advancement into the Review Process.

\* Review the formal Planning Commission review procedure on page five.

Application for (Circle all appropriate):     Subdivision  Land Development

**Applicant Information:**

Name of Applicant: Applebrook Golf Club c/o Jared Viarengo

Address: 100 Line Road, Malvern, PA 19355

Telephone Number: 610-647-7776 X10      Fax: \_\_\_\_\_

Email Address: jviarengo@applebrookgolfclub.com

Property Address: Same

**Property Information:**

Owner's Name: East Goshen Township

Address: 1580 Paoli Pike, West Chester, PA 19380

Tax Parcel Number: 53-4-89.1      Zoning District: I-2      Acreage: 1.4

Description of proposed subdivision and or land Development:

Proposal to replace existing buildings for storage and repair of equipment  
for golf course maintenance.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA  
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

**Application Process Checklist (Administrative use only):**

<u>Item</u>	<u>Date Complete</u>
1. Completed Township Application Form: .....	X _____
2. Township application and review fees paid:.....	X _____
3. County Act 247 Form complete: .....	X _____
4. Appropriate County Fees included: .....	X _____
5. 11 Copies of sealed Sub / LD plans: .....	X _____
6. 11 copies of other required plans:	
a. Landscape: (sealed).....	X _____
b. Conservancy: (sealed).....	X _____
c. Stormwater Management: (sealed).....	X _____
7. Three copies of the stormwater report and calculations: .....	X _____
8. Copies of supplementary studies, if required:	
a. Traffic Impact Study:.....	N/A _____
b. Water Study: .....	N/A _____

Application accepted on \_\_\_\_\_ by \_\_\_\_\_

Official Signature \_\_\_\_\_ Title \_\_\_\_\_

**Review Process Checklist (Administrative use only)**

<u>Item</u>	<u>Date Complete</u>
1. Date of first formal Planning Commission Meeting following complete submission of application, (Day 1):.....	_____
Date Abutting property letter sent: .....	_____
2. Date presented to Planning Commission: .....	_____
3. Date submitted to CCPC: .....	_____
4. Date submitted to Township Engineer: .....	_____
5. Date by which the PC must act, (Day 70): .....	_____
6. Date by which Board of Supervisors must act, (Day 90): .....	_____
7. Date sent to CB: .....	_____
8. Date sent To MA: .....	_____
9. Date sent to HC: .....	_____
10. Date sent to PRB: .....	_____
11. Date sent to TAB: .....	_____



One South Church Street  
Second Floor  
West Chester, PA 19382  
T: 610-429-8907  
F: 610-429-8918

www.pennoni.com

September 1, 2022

EGOST 00136

Duane Brady, Zoning Officer  
East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

**RE: Applebrook Golf Club Turf Maintenance Area  
Preliminary/Final Land Development**

Dear Duane:

As requested, we have reviewed the following information, prepared by Chester Valley Engineers, Inc., in connection with the referenced project:

- *"Land Development Plans for Applebrook Golf Club Turf Maintenance Area"* (15 sheets), dated July 26, 2022;
- *"Post-Construction Stormwater Management Report"* dated July 26, 2022; and
- Application and supplemental information.

The applicant, Applebrook Associates, propose to modify maintenance facility by constructing two (2) new maintenance and storage buildings, new storage bins, and associated parking and stormwater management on UPI #53-4-89.1 (93.1 acres). This parcel is owned by the Township, the existing maintenance facility is located within an access and maintenance easement; 2,614 square feet of additional easement area is proposed. Future building expansions are also indicated. The site is located directly south of the intersection of Paoli Pike (SR 2014) and Hibberd Lane, within the I-2 Planned Business, Research, and Limited Industrial District. The lot is by served by on-site water and public sanitary sewer.

The applicant has requested the following waivers:

1. From §205-01 – To permit the submission of a combined preliminary/final plan;
2. From §205-37.C(7) – To permit 12-inch diameter stormwater pipes;
3. From §205-39 – Requiring a traffic study, as no new traffic will be created;
4. From §205-40 – Requiring a water supply study, as no new water supply will be generated; and
5. From §205-38.10.A(1) – Requiring a Historical Resources Impact Assessment.

We offer the following comments:

#### **ZONING**

1. For the purpose of this review, we considered the buildings as accessory uses to the golf course; however, they are on separate properties. We recommend that the Zoning Officer/Township Solicitor should review the same; note (§340-30.1(C)(1)(g)) and our additional comment below (No. 11).
2. Per §240-20.B, a perimeter building setback is required due to its proximity to Paoli Pike. However, §240-20.F(1) & §240-20.F(2)(c) indicate the perimeter building setback requirement is not applicable for a planned golf course development. It is unclear if the proposed work is considered a planned golf



course development and thus not required. We recommend that the Zoning Officer/Township Solicitor should review further.

3. Per §240-20.F(3)(c), a front yard setback of 50 feet is required. There appear to be areas where this setback from Hibbard Lane is not met; however, it is unclear if this requirement applies to Hibberd Lane. We recommend that the Zoning Officer/Township Solicitor review further.
4. New structures shall incorporate a complete visual screen for all rooftop structures (except roof-mounted solar panels), including but not limited to, heat pumps, cooling towers and other mechanical equipment. All rooftop structures (except roof-mounted solar panels) shall be screened from view by a single piece of the building structure which is aesthetically compatible in design, materials and color with the building facade, and which is at least equal in height to the highest rooftop structure. (§240-20.H(1))
5. All outdoor storage facilities for fuel, raw materials and products stored outdoors shall be enclosed by a fence of a type, construction and size as shall be adequate to protect and conceal the facilities from any adjacent properties. Fencing shall not only encompass the question of safety, but also of screening, and the screening shall preferably be evergreens. All national Occupational Safety and Health Administration (OSHA) regulations shall be met (§240-24.E(2)).
6. Buffer yards are required to be provided as part of any new or expanded development of a principal commercial use, principal industrial use, townhouse development or apartment development along any lot line that would be contiguous to lot(s) within a residential district. Also, any outside industrial storage area visible from a lot in a residential district shall be separated by a buffer yard from such lot. (§240-27.C(2)). It is unclear if this section is applicable.
7. Landscaped plant screening shall be provided in each buffer yard. This screening shall be composed of mostly evergreen shrubs and trees arranged to form both a low-level and a high-level screen (§240-27.C(3(a))). Supplemental landscaping to the existing vegetation is provided in some areas; as this site is adjacent to the Township Park, we recommend that the Conservancy Board review further.
8. All outdoor storage or truck loading areas shall be completely screened from view from any adjacent public street right-of-way and any residential district which is contiguous to or across the street from the storage or loading areas (§240-27.C(4(a))). Supplemental landscaping to the existing vegetation is provided in some areas; as this site is adjacent to the Township Park, we recommend that the Conservancy Board review further.
9. The parking, loading, ingress and egress areas shall be provided with sufficient lighting for security purposes (§240-27.C(7(a))). A lighting plan was not provided.
10. If the applicant is proposing restrictions, easements and/or covenants for the development, they shall be submitted to the Township for review prior to approval of the final development plans (§240-27.F). It our understanding modifications to existing documents are pending.
11. Note maintenance buildings for storage and maintenance of equipment directly related to the golf course use may be located off site on property contiguous to the golf course, provided that there is direct access to and from the accessory buildings to the golf course over a private street or driveway serving the golf course and a subdivision plan of the off-site property is approved by the Board of Supervisors. (§340-30.1(C)(1)(g)) No further action is required, but it may be appropriate to include this as a note on the plans.

### **SUBDIVISION AND LAND DEVELOPMENT**

12. Soil types should be added to the plans. (§205-27.B(10)).
13. The plans shall clearly indicate the property is owned by East Goshen Township and Applebrook Golf Course has an easement for this portion of the property. (§205-33.B(33)) Further, it is unclear if the Township should be a co-applicant and/or signature blocks provided.
14. Location and elevation of the bench mark to which contour elevations refer (§205-30.B(8)).
15. A certification of ownership shall be signed and notarized by the owner(s) of the property. (§205-33.B(17)).
16. The applicant shall provide the Township with either of the following as appropriate prior to recordation of the final plan: A copy of the letter from the Department of Environmental Protection approving the Act 537 planning module for the project, a copy of the letter from the Department of Environmental Protection approving the exemption from the requirement to prepare the Act 537 planning module, or a copy of the letter from the Department of Environmental Protection approving the Form B waiver for the project (§205-33.B(22)).
17. Such private deed restrictions and/or a statement of any restrictions previously imposed in accordance with §205-33.C(2).

### **STORMWATER MANAGEMENT**

18. The site plan includes a vehicle fueling station which is considered a stormwater hotspot, in addition to a wash station and materials storage. Please include appropriate pretreatment for the proposed infiltration BMP. (§195-15.N(2))
19. The disturbed area appears to be greater than one (1) acre; therefore, an NPDES permit is required. Please include the Township and our office in all correspondence and/or meetings with the Conservation District. (§195-17.A(1)(b)) As the Township owns the property, they may be required to be the applicant or co-applicant.
20. Per recent discussions with the design engineer, they indicated that the stormwater management design is being revised due to soils testing results and a pending revision to one of the buildings. We will review the stormwater management when the revised plans are submitted.

### **GENERAL**

21. The plans appear to an easement or right-of-way from Paoli Pike along the southern portion of site. The proposed administration/maintenance/equipment storage building extends into this area.
22. The plan should clarify Hibberd Lane is a private road.
23. Please indicate the existing well location.
24. Please indicate the existing sanitary sewer connection.
25. An existing septic tank is indicated; please clarify if this is to be removed.
26. The plan is subject to Fire Marshall/Emergency Management review.



Should you have any further questions or comments, please contact the undersigned.

Sincerely,

**PENNONI**



Nathan M. Cline, PE  
Township Engineer

cc (via-email): Derek Davis, Township Manager  
Mark Miller, Public Works  
Bill Christman, Township Solicitor  
Applebrook Associates, c/o Jared Viarengo  
Brian Nagle, Esq.  
Brett MacKay, PE, Chester Valley Engineers

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA  
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

**East Goshen Township Planning Commission  
Procedure for processing Subdivision, Land Development, Conditional Use,  
Variance, and Special Exception Applications**

**August 19, 2002**

**1<sup>st</sup> Revision: September 22, 2003**

**2<sup>nd</sup> Revision: March 2, 2006**

1. In order for any application to be considered by the Planning Commission it must be submitted to the Township with all required documentation as per the Township Code and with all applicable fees paid. The Township will use a checklist to verify all required documentation has been submitted. Until the application is complete the application will not be considered "filed" by the Township staff. The Planning Commission will acknowledge receipt of the application at their next regularly scheduled meeting.
2. All materials to be considered at the next regular meeting of the Planning Commission must be submitted with at least eleven (11) copies to the Township Staff by not later than close of business the previous Tuesday. Any materials submitted after that time will be held for the following meeting and not provided to the Commission at the upcoming meeting.
3. The application review cycle for Subdivision and Land Development Applications shall begin with the next regular meeting of the Commission after the complete application is filed. The application review cycle for Conditional Use, Variance, and Special Exception Applications shall begin the day a complete application is filed with the Township.
4. Applicants should not distribute material to the Commission during a meeting unless it is directly related to the initial presentation of the application. All materials for the Planning Commission, including any material to be used at a meeting, must be delivered to the Township Staff not later than close of business the previous Tuesday.
5. The burden of supplying necessary materials to the Planning Commission in a timely manner is on the applicant. Late delivery of material may require an extension on the part of the applicant or a recommendation for denial of the application by the Planning Commission.
6. Formal application presentations to the Planning Commission will only be made at the regular meeting after the complete application is submitted and accepted by the Township staff.
7. The application will remain on the Planning Commission's agenda until such time as the Commission has made its recommendation to the Board of Supervisors and or Zoning Hearing Board.
8. Applicants are encouraged to attend each Planning Commission meeting in order to answer questions or address issues concerning their application.
9. Applications will be voted on only during the regular Planning Commission meetings.
10. The Chairman, in his sole discretion, may waive or modify any of this procedure.

**Return to:** Chester County Planning Commission  
 601 Westtown Road-Suite 270  
 P.O. Box 2747  
 West Chester, PA 19380-0990

# Act 247 County Referral

<p><b>To:</b> Chester County Planning Commission</p> <p><b>Subject:</b> Request for review of a subdivision, land development proposal, ordinances, or comprehensive plans pursuant to the Pennsylvania Municipalities Planning Code, Act 247. This application must be completed by the applicant, and submitted by the municipality to the above address, along with one (1) complete set of plans and accompanying documents and the required fee for review (see reverse side)</p>	<p align="center"><b>TO BE COMPLETED BY THE MUNICIPALITY</b></p> <p>From: (Municipality) _____</p> <p>Date: _____</p> <p>Official's Name: _____</p> <p>Position: _____</p> <p>Official's signature: _____</p> <p align="center"><small>Applications with ORIGINAL signatures must be submitted to CCPC.</small></p>
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**TO BE COMPLETED BY THE APPLICANT**

Development name (if applicable): AGC-Turf Maintenance Facilities Location: Paoli Pike and Hibbard Lane  
 Owner's name: East Goshen Township Phone #: \_\_\_\_\_  
 Owner's address: 1580 Paoli Pike, West Chester, PA 19380  
 Applicant's name: Applebrook Golf Club c/o Jared Viarengo Phone #: 610-647-7666 x 10  
 Applicant's address: 100 Line Road, Malvern, PA 19355  
 Architect/Engineer/Surveyor name: Chester Valley Engineers, Inc. Phone #: 610-644-4623 x122

<p align="center"><b>TYPE OF REVIEW REQUESTED</b> (Check all appropriate boxes)</p> <p><input type="checkbox"/> Unofficial sketch plan (no fee)</p> <p><input type="checkbox"/> Subdivision plan</p> <p><input checked="" type="checkbox"/> Land development plan</p> <p><input type="checkbox"/> Planned residential development</p> <p><input type="checkbox"/> Zoning ordinance (no fee)</p> <p><input type="checkbox"/> Curative amendment (no fee)</p> <p><input type="checkbox"/> Subdivision ordinance (no fee)</p> <p><input type="checkbox"/> Comprehensive plan (no fee)</p> <p><input type="checkbox"/> Other _____</p>	<p align="center"><b>REVIEW FEE</b> (Fee schedule on other side)</p> <p><input checked="" type="checkbox"/> Attached \$ <u>1,246.00</u></p> <p><input type="checkbox"/> Not applicable</p> <hr/> <p align="center"><b>TYPE OF PLAN</b></p> <p><input type="checkbox"/> Unofficial sketch</p> <p><input checked="" type="checkbox"/> Preliminary</p> <p><input checked="" type="checkbox"/> Final</p>	<p align="center"><b>TYPE OF SUBMISSION</b></p> <p><input checked="" type="checkbox"/> New proposal</p> <p><input type="checkbox"/> Revision to a prior proposal</p> <p><input type="checkbox"/> Phase of a prior proposal</p> <p><input type="checkbox"/> Amendment/revision to recorded plan is a new proposal</p> <hr/> <p>Tax parcel(s): # <u>53-4-89.1</u></p> <p style="padding-left: 100px;"># _____</p> <p style="padding-left: 100px;"># _____</p> <hr/> <p>Total area (gross acres): <u>1.4</u></p>
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<p align="center"><b>PLAN INFORMATION</b></p> <p>Length of new roads: <u>0</u></p> <p>Number of new parking spaces: <u>6</u></p> <p>Ownership of roads:  <input type="checkbox"/> Public <input type="checkbox"/> Private</p> <p>Open space:  <input type="checkbox"/> Public <input type="checkbox"/> Private</p> <p>Acres: _____ Acres: _____</p> <p>HOA responsible for common facilities/areas:  <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>HOA documents provided:  <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Traffic study included:  <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not conducted</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:30%;">LAND USE</th> <th style="width:20%;"># of lots/units</th> </tr> </thead> <tbody> <tr><td>Agriculture</td><td></td></tr> <tr><td>Single family</td><td></td></tr> <tr><td>Townhouses</td><td></td></tr> <tr><td>Twin units</td><td></td></tr> <tr><td>Apartments</td><td></td></tr> <tr><td>Mobile homes</td><td></td></tr> <tr><td>*Commercial</td><td></td></tr> <tr><td>*Industrial</td><td></td></tr> <tr><td>*Institutional</td><td align="center">1</td></tr> <tr><td>Other</td><td></td></tr> </tbody> </table>	LAND USE	# of lots/units	Agriculture		Single family		Townhouses		Twin units		Apartments		Mobile homes		*Commercial		*Industrial		*Institutional	1	Other		<p align="center"><b>ZONING DISTRICT OF PROPOSAL</b></p> <p>Existing: <u>I-2</u></p> <p>Proposed: <u>I-2</u></p> <p>Variances/ Special exception granted: <u>N/A</u></p> <hr/> <p align="center"><b>PROPOSED UTILITIES</b> (Check appropriate boxes)</p> <table style="width:100%;"> <tr> <td></td> <td align="center">Water</td> <td align="center">Sewer</td> </tr> <tr> <td>Public</td> <td align="center"><input type="checkbox"/></td> <td align="center"><input checked="" type="checkbox"/></td> </tr> <tr> <td>On-site</td> <td align="center"><input checked="" type="checkbox"/></td> <td align="center"><input type="checkbox"/></td> </tr> <tr> <td>Package</td> <td align="center"><input type="checkbox"/></td> <td align="center"><input type="checkbox"/></td> </tr> </table> <p>No new sewage disposal or water supply proposed <input type="checkbox"/></p>		Water	Sewer	Public	<input type="checkbox"/>	<input checked="" type="checkbox"/>	On-site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Package	<input type="checkbox"/>	<input type="checkbox"/>
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On-site	<input checked="" type="checkbox"/>	<input type="checkbox"/>																																		
Package	<input type="checkbox"/>	<input type="checkbox"/>																																		

**ADDITIONAL INFORMATION (This plan has been submitted to):**

<input type="checkbox"/> County Health Department	Date _____
<input type="checkbox"/> PennDOT	Date _____
<input type="checkbox"/> DEP	Date _____
<input type="checkbox"/> Other _____	Date _____

**\*Information to be filled in for Commercial, Industrial or Institutional land use ONLY**

\*Total square footage of addition to existing building: 10,903

\*Total square footage of new building(s): 15,728

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**THE TERM "LOTS"**

The term "**LOTS**" includes conveyance, tracts or parcels of land for the purpose, whether immediate or future, of lease, transfer of ownership or building or development, as well as residue parcels, annexations, or the correction of lot lines.

## FEE SCHEDULE

The following fees shall apply to each land subdivision or land development submitted to the Chester County Planning Commission for review in accordance with Article V, Section 502, Pennsylvania Municipalities Planning Code, Act 247, as amended.

- If a plan for a non-residential use is to be subdivided and developed, the fee is the total of Category II plus Category III.
- For Categories I and II, the fee applies to total number lots/units after subdivision. Subdivisions include lot line revisions and lot consolidations.
- Maximum one-time fee: \$10,000.

### CATEGORY I RESIDENTIAL SUBDIVISION OR LAND DEVELOPMENT

These fees apply to residential projects for sale, condominium ownership, or rental; any type of buildings, either as a subdivision or single tract land development; or an agricultural subdivision (except for guidelines in Article I, Section 107, Subdivision, Pennsylvania Municipal Planning Code, Act 247, as amended). This category does not include institutional living facilities.

Number of lots and dwelling units	Base fees	Fees for each lot and/or unit
1–2 lots/dwelling units	\$175.00	None
3–5 lots/dwelling units	\$175.00	Plus \$29.00/lot/unit
6–20 lots/dwelling units	\$235.00	Plus \$26.00/lot/unit
21–75 lots/dwelling units	\$425.00	Plus \$23.00/lot/unit
76 lots/dwelling units and over	\$850.00	Plus \$18.00/lot/unit

### CATEGORY II NON-RESIDENTIAL SUBDIVISIONS

These fees apply to applications for subdivision and conveyance of land for non-residential uses, not proposed for land development as defined in Section 107 of the Planning Code.

Number of lots or units	Base fees	Fees for each lot and/or unit
1–2 lots/units	\$295.00	Plus \$57.00/lot/unit
3–10 lots/units	\$585.00	Plus \$57.00/lot/unit
11 lots/units and over	\$850.00	Plus \$53.00/lot/unit
Financial subdivisions	\$295.00	Plus \$57.00/lot/unit

### CATEGORY III NON-RESIDENTIAL LAND DEVELOPMENT

These fees apply to all projects or sections of mixed projects which are for non-residential use for sale, condominium, lease or rent in any type of building on a single tract of land.

Building square footage (gross)	Base fees	Fees for gross floor area
0 to 5,000 sq. ft.	\$480.00	Plus \$47.00/1,000 sq. ft. of gross floor area
5,001 to 25,000 sq. ft.	\$585.00	Plus \$42.00/1,000 sq. ft. of gross floor area
25,001 to 75,000 sq. ft.	\$955.00	Plus \$42.00/1,000 sq. ft. of gross floor area
75,001 sq. ft. and over	\$1,435.00	Plus \$29.00/1,000 sq. ft. of gross floor area

### CATEGORY IV SECOND REVIEWS

These fees apply to each review conducted after the first review (within a three (3) year period of the initial review) and only if requested by the municipality.

- Flat fee of \$175.00 for residential subdivisions/land developments
- Flat fee of \$235.00 for non-residential subdivisions/land developments

### CHECKS OR MONEY ORDERS SHOULD BE PAYABLE TO: County of Chester

Cash will not be accepted. All fees are to be submitted to the Chester County Planning Commission (CCPC) through the appropriate township or borough at the time of application; and in accordance with the administrative guidelines established by CCPC. Upon written request from the municipality, CCPC may waive the fees for plan reviews associated with municipally-owned subdivisions or land developments.

### INFORMAL REVIEWS AND ADDITIONAL WORK:

An informal review request to CCPC (such as meetings and discussions prior to the formal development application) shall be free of charge if said written request is from the municipality, or from an applicant with the knowledge and written consent of the municipality. In no case will informal review by CCPC replace the need for a formal review which would include the submission of the required fee listed above pursuant to the Municipalities Planning Code.

### TIME LIMITATIONS:

The review time period will begin from the date of receipt by CCPC of the application requesting a review by CCPC. CCPC has thirty (30) days within which to review subdivision and land development applications and submit review comments. The review period may be extended if requested by the applicant or a time extension has been granted by the municipality with the concurrence of the applicant. When the time period has been stopped due to an incomplete application package, incorrect fee submittal or other reasons, the time period will continue from the day in which the application package is complete. CCPC has thirty (30) days within which to review ordinance amendments, and forty-five (45) days within which to review comprehensive plans, official maps, and complete ordinances.

1. Development Information

Name of Development Applebrook Golf Club - Turf Maintenance
Developer Name Applebrook Golf Club
Address 100 Line Road
Malvern, PA 19355
Telephone # 610-647-7666 x10
Email jvarenqo@applebrookgolfclub.com

2. Location of Development

a. County Chester
b. Municipality East Goshen Township
c. Address or Coordinates 100 Line Road, Malvern, PA
d. Tax Parcel # 53-4-89.1
e. USGS Quad Name Malvern
f. Located in a High Quality/Exceptional Value watershed? No

3. Type of Development Proposed (check appropriate box)

Residential, Multi-Residential, Commercial, Institutional, Brownfield Site Redevelopment, Other (specify) Replacement of Existing Turf Maintenance bldgs

4. Size

a. # of lots 1 # of EDUs 0
b. # of lots since 5/15/72 0
c. Development Acreage 1.4
d. Remaining Acreage 0

5. Sewage Flows 0 gpd

6. Proposed Sewage Disposal Method (check applicable boxes)

Sewerage System: Existing (connection only), New (extension), Public, Private, Pump Station(s)/Force Main, Gravity
Name of existing system being extended: na
Interceptor Name
Treatment Facility Name: Ridley Creek STP
NPDES Permit #
Construction of Treatment Facility: With Stream Discharge, With Land Application (not including IRSIS), Other, Repair?

- Onlot Sewage Disposal Systems (check appropriate box)
Individual onlot system(s) (including IRSIS)
Community onlot system
Large-Volume onlot system
Retaining tanks

Number of Holding Tanks
Number of Privies

7. Request Sewage Facilities Planning Module forms in electronic format

8. Request for Planning Exemption

Protection of rare, endangered or threatened species
Check one:
The "PNDI Project Environmental Review Receipt" is attached.
A completed "PNDI Project Planning & Environmental Review Form," (PNDI Form) is attached. I request DEP staff to complete the required PNDI search for my project.

Applicant or Consultant Initials

- Plot Plan Attached
Site Reports Attached

c. Onlot Disposal Systems

I certify that the Official Plan shows this area as an onlot service area.

(Signature of Municipal Official) Date

Name (Print) Title

Municipality (must be same as in 2.b.)

Telephone #

I certify that each lot in this subdivision has been tested and is suitable for both a primary and replacement sewage disposal system.

Signature of SEO Date

Name (Print) Certification #

Telephone #

I certify that each lot in this subdivision is at least 1 acre in size

(Signature of Project Applicant/Agent) Date

d. Public Sewerage Service (i.e., ownership by municipality or authority)

Based upon written documentation, I certify that the facilities proposed for use have capacity and that no overload exists or is projected within 5 years. (Attach documents.)

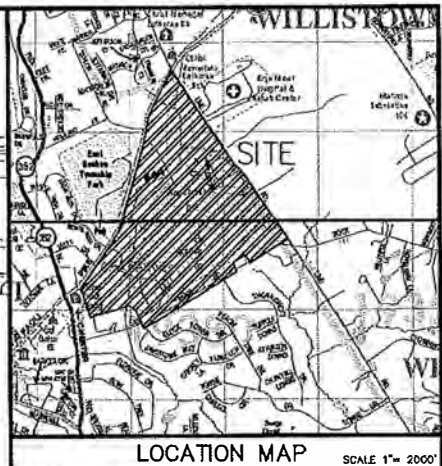
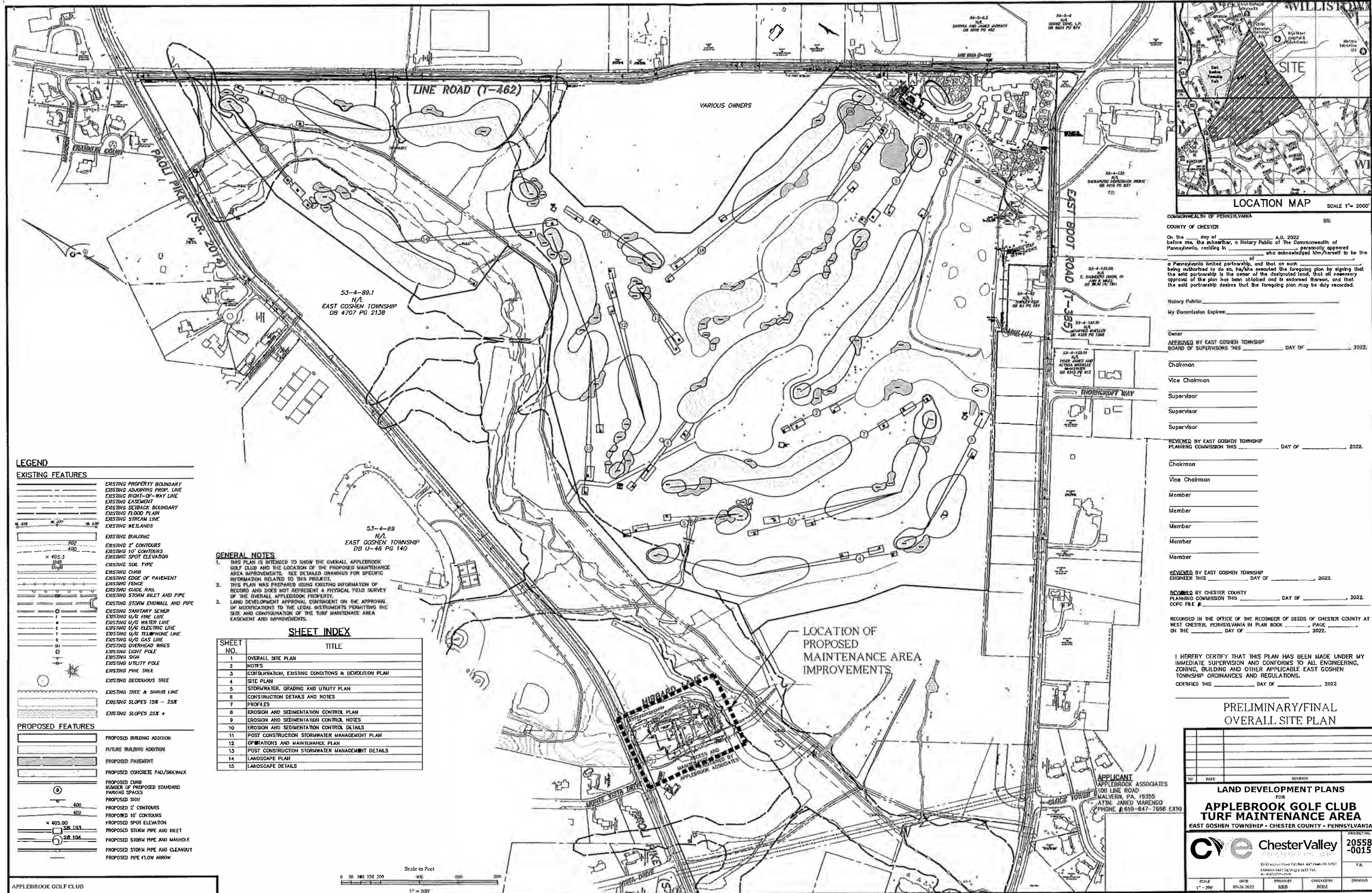
(Signature of Municipal Official) Date

Name (Print) Title

Municipality (must be same as in 2.b.)

Telephone #





COMMONWEALTH OF PENNSYLVANIA  
 COUNTY OF CHESTER

On the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 2022, before me, the undersigned, a Notary Public of the Commonwealth of Pennsylvania, residing in \_\_\_\_\_, personally appeared \_\_\_\_\_ who acknowledged him/herself to be the \_\_\_\_\_ of a Pennsylvania limited partnership, and that as such being authorized to do so, he/she executed the foregoing plan by signing that the said partnership is the owner of the designated land, that all necessary approval of the plan has been obtained and is endorsed hereon, and that the said partnership desires that the foregoing plan may be duly recorded.

Notary Public: \_\_\_\_\_  
 My Commission Expires: \_\_\_\_\_

Owner: \_\_\_\_\_  
 APPROVED BY EAST GOSHEN TOWNSHIP BOARD OF SUPERVISORS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

- Chairman \_\_\_\_\_
- Vice Chairman \_\_\_\_\_
- Supervisor \_\_\_\_\_
- Supervisor \_\_\_\_\_
- Supervisor \_\_\_\_\_

REVIEWED BY EAST GOSHEN TOWNSHIP PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

- Chairman \_\_\_\_\_
- Vice Chairman \_\_\_\_\_
- Member \_\_\_\_\_
- Member \_\_\_\_\_
- Member \_\_\_\_\_
- Member \_\_\_\_\_
- Member \_\_\_\_\_

ENGINEERED BY EAST GOSHEN TOWNSHIP ENGINEER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

DESIGNED BY CHESTER COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.  
 CPC FILE # \_\_\_\_\_

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN MADE UNDER MY IMMEDIATE SUPERVISION AND CONFORMS TO ALL ENGINEERING, ZONING, BUILDING AND OTHER APPLICABLE EAST GOSHEN TOWNSHIP ORDINANCES AND REGULATIONS.  
 CERTIFIED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022

PRELIMINARY/FINAL  
 OVERALL SITE PLAN

NO.	DATE	REVISION
<b>LAND DEVELOPMENT PLANS</b>		
FOR		
<b>APPLEBROOK GOLF CLUB</b>		
<b>TURF MAINTENANCE AREA</b>		
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA		
		<b>20558-0015</b>
APPLICANT APPLEBROOK ASSOCIATES 100 LINE ROAD MALVERN, PA. 19355 ATTN: JARED VARENGO PHONE #: 610-647-7656 EX10		PROJECTING F.A.
SCALE	DATE	CHECKED BY
1" = 20'	07/26/2022	RRB
		DESIGNED BY
		BBE

LEGEND

EXISTING FEATURES

- EXISTING PROPERTY BOUNDARY
- EXISTING ADJOINING PROP. LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING EASEMENT
- EXISTING SETBACK BOUNDARY
- EXISTING FLOOD PLAN
- EXISTING STREAM LINE
- EXISTING WETLANDS
- EXISTING BUILDING
- EXISTING 2' CONTOURS
- EXISTING 10' CONTOURS
- EXISTING SPOT ELEVATION
- EXISTING SOIL TYPE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING GUIDE RAIL
- EXISTING STORM INLET AND PIPE
- EXISTING STORM ENDWALL AND PIPE
- EXISTING SANITARY SEWER
- EXISTING U/G FIRE LINE
- EXISTING U/G WATER LINE
- EXISTING U/G ELECTRIC LINE
- EXISTING U/G TELEPHONE LINE
- EXISTING U/G GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING PINE TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE & SHRUB LINE
- EXISTING SLOPES 15% - 25%
- EXISTING SLOPES 25% +

PROPOSED FEATURES

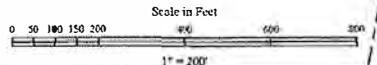
- PROPOSED BUILDING ADDITION
- FUTURE BUILDING ADDITION
- PROPOSED PAVEMENT
- PROPOSED CONCRETE PAD/SIDEWALK
- PROPOSED CURB
- NUMBER OF PROPOSED STANDARD PARKING SPACES
- PROPOSED SIGN
- PROPOSED 2' CONTOURS
- PROPOSED 10' CONTOURS
- PROPOSED SPOT ELEVATION
- PROPOSED STORM PIPE AND INLET
- PROPOSED STORM PIPE AND MANHOLE
- PROPOSED STORM PIPE AND CLEANOUT
- PROPOSED PIPE FLOW ARROW

GENERAL NOTES

1. THIS PLAN IS INTENDED TO SHOW THE OVERALL APPLEBROOK GOLF CLUB AND THE LOCATION OF THE PROPOSED MAINTENANCE AREA IMPROVEMENTS. SEE DETAILED DRAWINGS FOR SPECIFIC INFORMATION RELATED TO THIS PROJECT.
2. THIS PLAN WAS PREPARED USING EXISTING INFORMATION OF RECORD AND DOES NOT REPRESENT A PHYSICAL FIELD SURVEY OF THE OVERALL APPLEBROOK PROPERTY.
3. LAND DEVELOPMENT APPROVAL CONTINGENT ON THE APPROVAL OF MODIFICATIONS TO THE LEGAL INSTRUMENTS PERMITTING THE SIZE AND CONFIGURATION OF THE TURF MAINTENANCE AREA EASEMENT AND IMPROVEMENTS.

SHEET INDEX

SHEET NO.	TITLE
1	OVERALL SITE PLAN
2	NOTES
3	CONSERVATION, EXISTING CONDITIONS & DEMOLITION PLAN
4	SITE PLAN
5	STORMWATER, GRADING AND UTILITY PLAN
6	CONSTRUCTION DETAILS AND NOTES
7	PROFILES
8	EROSION AND SEDIMENTATION CONTROL PLAN
9	EROSION AND SEDIMENTATION CONTROL NOTES
10	EROSION AND SEDIMENTATION CONTROL DETAILS
11	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
12	OPERATIONS AND MAINTENANCE PLAN
13	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
14	LANDSCAPE PLAN
15	LANDSCAPE DETAILS




**LIST OF WAIVERS**

- WAIVERS REQUESTED FROM ORDINANCE No. 205, THE EAST GOSHEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
- 205-01 PRELIMINARY AND FINAL SUBMISSION - TO PERMIT THE SUBMISSION OF A COMBINED PRELIMINARY / FINAL PLAN.
  - 205-37.6.7 STORM SEWER SYSTEM - TO PERMIT 12" DIAMETER STORMWATER PIPES.
  - 205-39 TRAFFIC IMPACT STUDY - AS THERE ARE NO NEW MEMBERS AND NO NEW EMPLOYEES ANTICIPATED FROM THIS PROJECT, THERE WILL BE NO ADDITIONAL TRAFFIC TO THE GOLF CLUB.
  - 205-40 WATER SUPPLY STUDY - THE PROPOSED BUILDING WILL HAVE REPLACEMENT BATHROOM FACILITIES TO BE USED BY EMPLOYEES USING THE MAINTENANCE FACILITY. THERE WILL BE NO INCREASE IN THE NUMBER OF EMPLOYEES.
  - 240-36.10.A.1 - HISTORICAL RESOURCE IMPACT STUDY - WAIVER FROM THE REQUIREMENT TO PREPARE AND SUBMIT AN HISTORICAL RESOURCES IMPACT ASSESSMENT (WAIVER BY THE BOARD OF SUPERVISORS IS PERMITTED BY THIS SECTION).

**GENERAL NOTES**

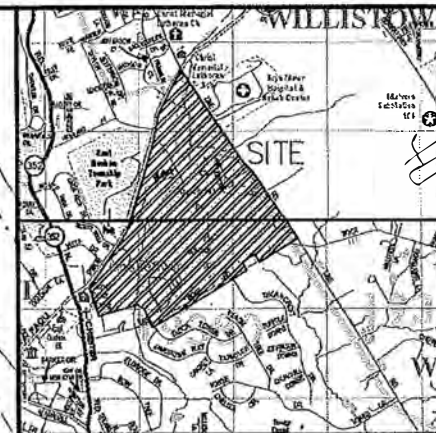
- THIS PROJECT PROPOSES TO INSTALL A NEW TURF MAINTENANCE BUILDING AND RELATED SITE IMPROVEMENTS, REPLACING PORTIONS OF THE EXISTING FACILITIES ON THE SITE. THESE FACILITIES PROVIDE THE GROUNDS MAINTENANCE FOR THE APPLEBROOK GOLF CLUB.
- THIS PROPERTY BEING MAP No. 54-3-88.1.
- EXISTING TURF MAINTENANCE AREA IS WITHIN AN EXISTING EASEMENT OVER THE TOWNSHIP PROPERTY.
- BOUNDARY INFORMATION TAKEN FROM EXISTING PLANS OF RECORD.
- FIELD TOPOGRAPHIC SURVEY PERFORMED BY CHESTER VALLEY ENGINEERS, INC. PA04 PA IN OCTOBER 2021. ELEVATIONS BASED ON N.G.V.D. 1929 DATUM. BENCHMARK IS PINE DISK ON SOUTHEAST CORNER OF BRIDGE OVER RIDLEY CREEK ON ROUTE 352, 300 +/- FEET SOUTH OF THE INTERSECTION WITH BOOT ROAD; ELEVATION 385.59
- PROPOSED BUILDING TO BE SERVED BY EXISTING PUBLIC SANITARY SEWER SERVICE CONNECTION AND ON-SITE WELL WATER.
- THIS PROPERTY IS ZONED I-2 PLANNED BUSINESS, RESEARCH AND LIMITED INDUSTRIAL DISTRICT ACCORDING TO THE EAST GOSHEN ZONING MAP.
- SOIL TYPE WITHIN THE PROJECT AREA OF THE PROPERTY IS CLASSIFIED GRAVELLY LOAM (G8), 3% TO 8% SLOPE ACCORDING TO THE WEB SOIL SURVEY PREPARED BY NATURAL RESOURCES CONSERVATION SERVICE OF THE USA.
- THE AREA OF THE PROPERTY FOR THIS PROJECT IS DESIGNATED AS AN AREA OF MINIMAL FLOOD HAZARD (ZONE "X") AS SHOWN ON FEMA PANEL 4208001000, EFFECTIVE 9/29/2017.
- THERE WILL BE NO INCREASE IN MEMBERSHIP OR EMPLOYEES AS A RESULT OF THIS PROJECT.
- NO NEW PARKING IS REQUIRED BY THE TOWNSHIP ZONING ORDINANCE. PARKING PROVIDED IS FOR THE BENEFIT OF VISITORS TO THE TURF MAINTENANCE FACILITY.
- SINCE THERE WILL BE NO INCREASE IN MEMBERSHIP OR EMPLOYEES, THERE WILL BE NO ANTICIPATED INCREASE IN TRAFFIC TO THE SITE.
- THE INCREASE IN IMPERVIOUS COVER IS LIMITED TO THE NEW BUILDINGS AND THE NEW PAVED AREAS.
- STORMWATER RUNOFF FROM THE NEW IMPERVIOUS AREAS WILL BE CONTROLLED BY AN UNDERGROUND INFILTRATION STRUCTURE. AREAS SHOWN AS "FUTURE" ON THESE PLANS HAVE BEEN INCLUDED IN THE STORMWATER MANAGEMENT CALCULATIONS.
- 35,762 SF. OF IMPERVIOUS SURFACES WERE APPROVED FOR THE TURF MAINTENANCE AREA AS PART OF THE ORIGINAL APPLEBROOK LAND DEVELOPMENT PLANS. THE RUNOFF CONTROL FROM THESE SURFACES WAS ACCOUNTED FOR IN THE ORIGINAL STORMWATER BASINS FOR THE PROJECT. THESE IMPROVEMENTS WERE NEVER CONSTRUCTED. THE CURRENT STORMWATER MANAGEMENT DESIGN HAS BEEN PREPARED ASSUMING THE AREA OF THE APPROVED BUT NOT CONSTRUCTED IMPERVIOUS SURFACES WILL CONTINUE TO BE CONTROLLED BY THE EXISTING BASINS.
- AS THE PROPOSED AREA OF DISTURBANCE IS OVER ONE (1) ACRE, A PA DEP NPDES PERMIT AND COUNTY EGS APPROVAL WILL BE REQUIRED. NO ADDITIONAL STATE OR COUNTY APPROVALS OR PERMITS ARE REQUIRED.
- THIS PROJECT IS LOCATED WITHIN THE RIDLEY CREEK WATERSHED. THE PA DEP DESIGNATION FOR THE STREAM IS HQ-TSF.
- EXISTING GROUND COVER IN THE AREA OF THE PROPOSED IMPROVEMENTS CONSISTS OF BUILDINGS, PAVING AND LAWN.
- THE PROPERTY OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER CONTROL STRUCTURES AND BMPs SHOWN ON THE PLAN.
- THE TOWNSHIP SHALL HAVE THE RIGHT TO ENTER THE SITE FOR THE PURPOSE OF INSPECTION OF THE STORMWATER BMPs.
- A BLANKET STORMWATER MANAGEMENT EASEMENT IS PROVIDED OVER AND ACROSS THE PROPERTY IN FAVOR OF EAST GOSHEN TOWNSHIP TO ALLOW THE TOWNSHIP AND ITS AGENTS AND DESIGNEES ACCESS TO THE PROPOSED STORMWATER MANAGEMENT FACILITIES. THE TOWNSHIP IS GRANTED THE RIGHT, BUT NOT THE DUTY, TO ACCESS AND CONDUCT PERIODIC INSPECTIONS AND TO UNDERTAKE OTHER ACTIONS THAT MAY BE NECESSARY TO ENFORCE THE REQUIREMENTS OF THE TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE OR OF ANY APPLICABLE O&M PLAN OR O&M AGREEMENT.

PRELIMINARY/FINAL  
NOTES

NO.	DATE	REVISION
<b>LAND DEVELOPMENT PLANS</b> FOR <b>APPLEBROOK GOLF CLUB</b> <b>TURF MAINTENANCE AREA</b> EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA		
		PROJECT NO. <b>20558-0015</b>
85 CHESTER VALLEY ROAD BOX 447, PAOLI, PA 19381 610-426-4633 / 610-426-3113 FAX www.chester-valley.com		F.A. _____
SCALE	DATE	DRAWN BY
AS SHOWN	07-26-2022	BBB
		CHECKED BY
		BBB
		DATE
		_____

APPLEBROOK GOLF CLUB



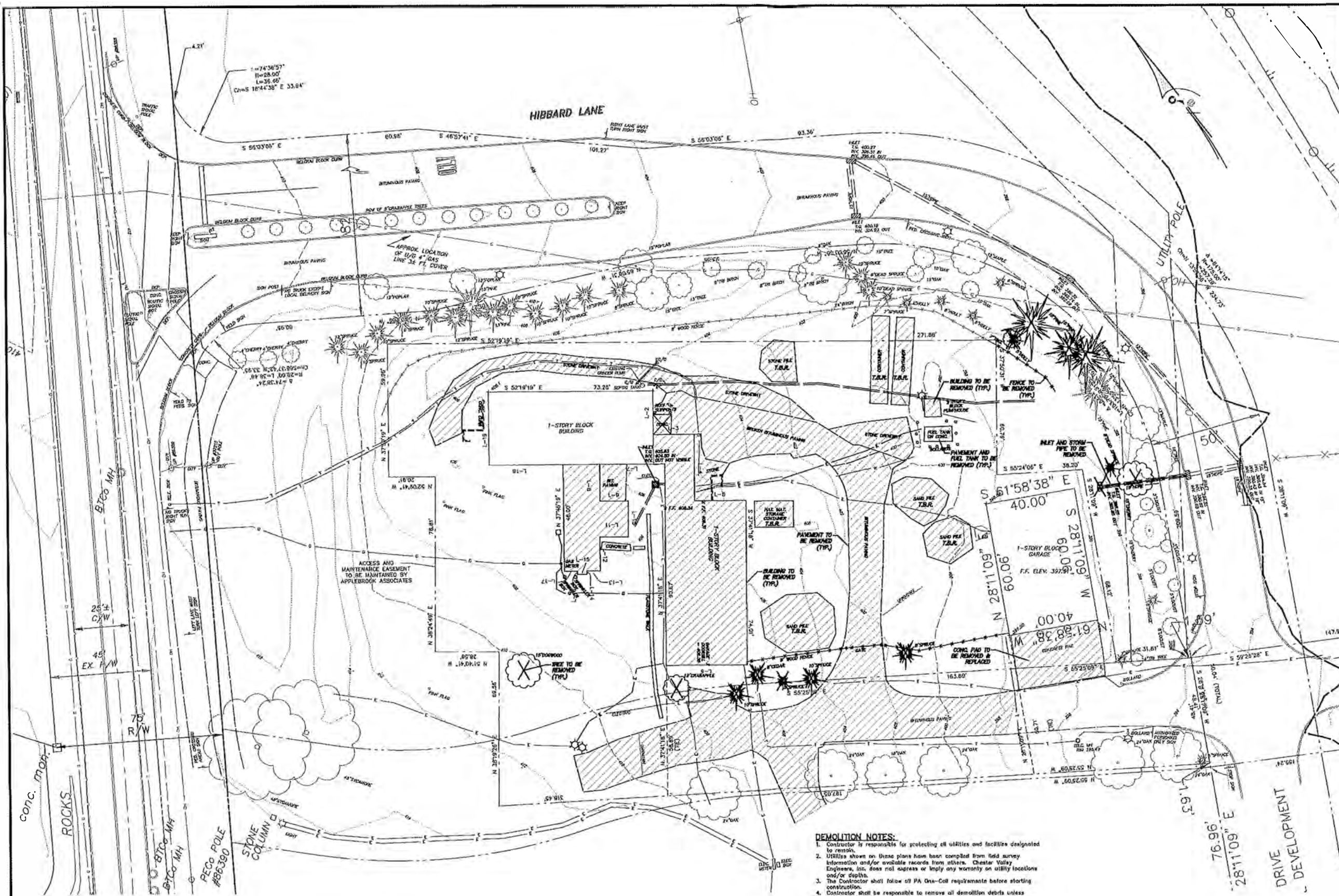


LOCATION MAP SCALE 1" = 2000'

**LEGEND**

- EXISTING FEATURES**
- EXISTING PROPERTY BOUNDARY
  - EXISTING ADVANCING PROP. LINE
  - EXISTING RIGHT-OF-WAY LINE
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  - EXISTING STORM ENHALL AND PIPE
  - EXISTING SANITARY SEWER
  - EXISTING U/G FIRE LINE
  - EXISTING U/G WATER LINE
  - EXISTING U/G ELECTRIC LINE
  - EXISTING U/G TELEPHONE LINE
  - EXISTING U/G GAS LINE
  - EXISTING OVERHEAD WIRES
  - EXISTING LIGHT POLE
  - EXISTING SIGN
  - EXISTING UTILITY POLE
  - EXISTING PINE TREE
  - EXISTING DECIDUOUS TREE
  - EXISTING TREE & SHRUB LINE
  - EXISTING SLOPES 15% - 25%
  - EXISTING SLOPES 25% +

- DEMOLITION FEATURES**
- (T&R) TO BE REMOVED
  - EXISTING FEATURE TO BE REMOVED
  - EXISTING FEATURE TO BE REMOVED
  - EXISTING PAVEMENT / CONCRETE / STRUCTURE TO BE REMOVED



- DEMOLITION NOTES:**
1. Contractor is responsible for protecting all utilities and facilities designated to remain.
  2. Utilities shown on these plans have been compiled from field survey information and/or available records from others. Chester Valley Engineering, Inc. does not express or imply any warranty on utility locations and/or depths.
  3. The Contractor shall follow all PA One-Call requirements before starting construction.
  4. Contractor shall be responsible to remove all demolition debris unless otherwise directed. All debris shall be disposed of properly.
  5. Contractor shall verify all site conditions shown on these plans as actually existing prior to the start of work. Any discrepancies found in the field shall be brought to the attention of the architect and/or engineer immediately.
  6. Contractor shall coordinate with the appropriate utility provider regarding the removal and/or abandonment of all utility services to be removed. All services shall be removed or stubbed in accordance with the respective utility provider's requirements.
  7. No demolition may occur until the necessary erosion control measures have been installed. See the Erosion Control Plans in this set.
  8. This plan has been prepared to indicate major facilities to be removed. Contractor shall become familiar with the proposed improvements to this plan set as well as the architectural plans to determine the full extent of the items to be removed or adjusted.
  9. All utilities in the area of new building construction shall be removed. All existing underground utilities to remain shall be adjusted to finish grades. See Grading and Utility Plans in this plan set.
  10. Contractor shall coordinate with the Golf Club to identify and replace existing utility lines to be removed and replaced.

**PRELIMINARY/FINAL CONSERVATION, EXISTING CONDITIONS & DEMOLITION PLAN**

NO.	DATE	REVISION

**LAND DEVELOPMENT PLANS**  
 FOR  
**APPLEBROOK GOLF CLUB**  
**TURF MAINTENANCE AREA**  
 EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**ChesterValley** ENGINEERS & ARCHITECTS  
 630 Walnut Street, Suite 200, P.O. Box 1000, Chester, PA 19380  
 P: 610-336-1100 F: 610-336-1101  
 www.chester-valley.com

**20558-0015**

SCALE	DATE	DRAWN BY	CHECKED BY	DATE
1" = 20'	07-26-2022	RRB	BBE	

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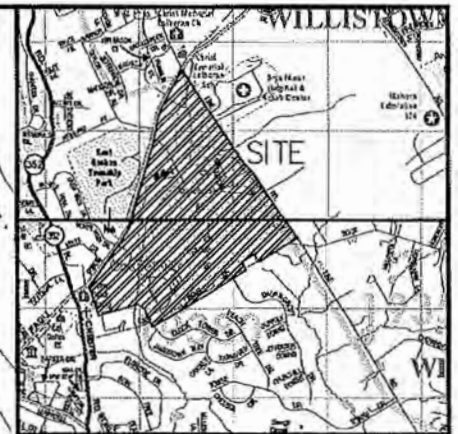
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SEE SHEET FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

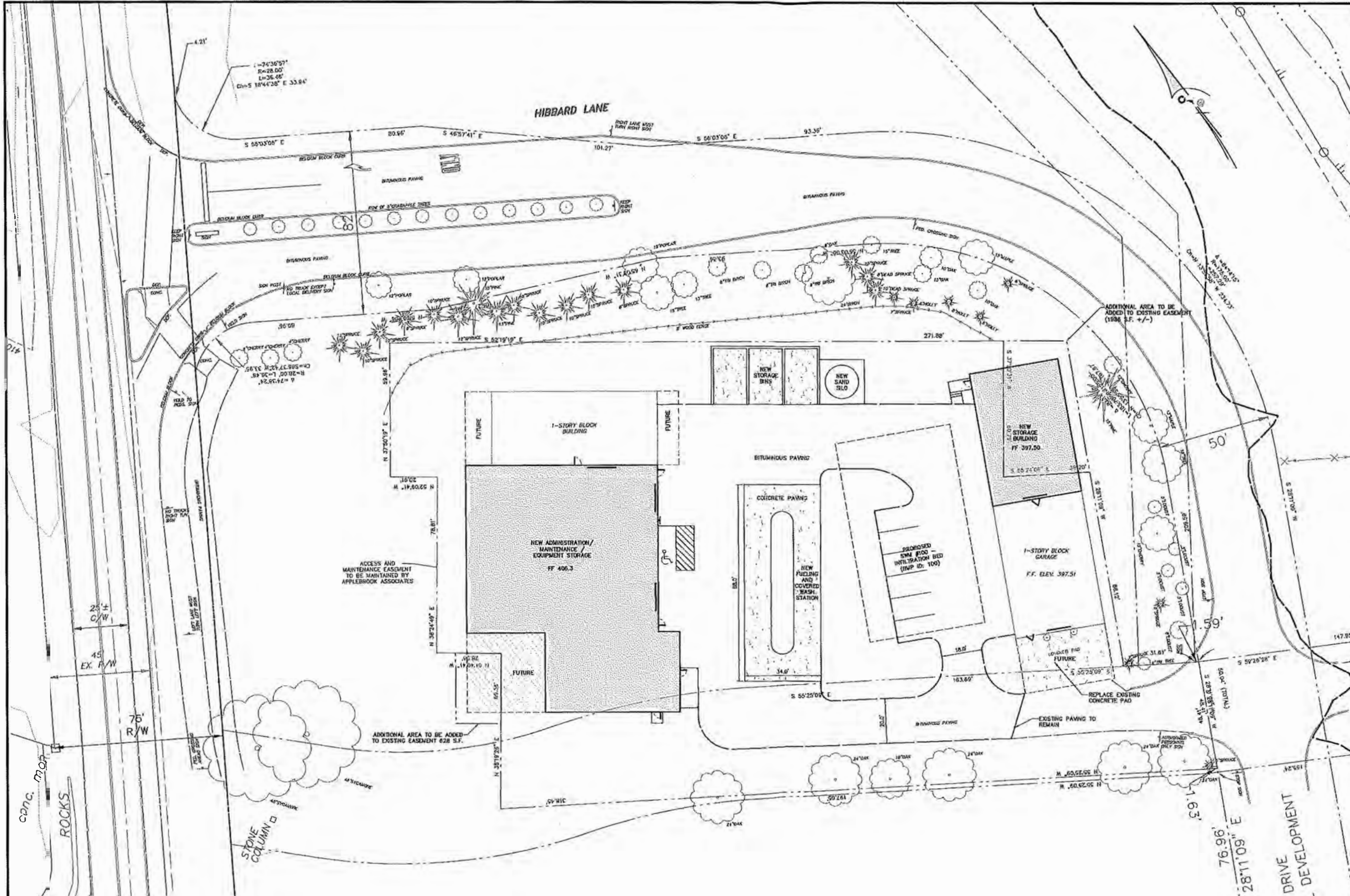
PENNSYLVANIA ONE CALL SYSTEMS INC.  
 CALL 3 WORKING DAYS BEFORE YOU DIG  
 1-800-242-1776

POCS SERIAL NUMBER: \_\_\_\_\_





LOCATION MAP SCALE 1" = 2000'



**LEGEND**

**EXISTING FEATURES**

- EXISTING PROPERTY BOUNDARY
- EXISTING ADJOINING PROP. LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING EASEMENT
- EXISTING SETBACK BOUNDARY
- EXISTING FLOOD PLAIN
- EXISTING STREAM LINE
- EXISTING WETLANDS
- EXISTING BUILDING
- EXISTING 2' CONTOURS
- EXISTING 10' CONTOURS
- EXISTING SPOT ELEVATION
- EXISTING SOIL TYPE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING CURB RAIL
- EXISTING STORM INLET AND PIPE
- EXISTING STORM ENDWALL AND PIPE
- EXISTING SANITARY SCHED
- EXISTING U/G FINE LINE
- EXISTING U/G WATER LINE
- EXISTING U/G ELECTRIC LINE
- EXISTING U/G TELEPHONE LINE
- EXISTING U/G GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING PINE TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE & SHRUB LINE
- EXISTING SLOPES 15% - 25%
- EXISTING SLOPES 25% +

**PROPOSED FEATURES**

- PROPOSED BUILDING ADDITION
- FUTURE BUILDING ADDITION
- PROPOSED PAVEMENT
- PROPOSED CONCRETE PAD/SIDEWALK
- PROPOSED CURB
- NUMBER OF PROPOSED STANDARD PARKING SPACES
- PROPOSED SIGN
- PROPOSED 2' CONTOURS
- PROPOSED 10' CONTOURS
- PROPOSED SPOT ELEVATION
- PROPOSED STORM PIPE AND INLET
- PROPOSED STORM PIPE AND MANHOLE
- PROPOSED STORM PIPE AND CLEANOUT
- PROPOSED PIPE FLOW ARROW

PRELIMINARY/FINAL SITE PLAN

LAND DEVELOPMENT PLANS FOR  
**APPLEBROOK GOLF CLUB TURF MAINTENANCE AREA**  
 EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**ChesterValley** ENGINEERS & ARCHITECTS  
 20558-0015

SCALE: 1" = 20'

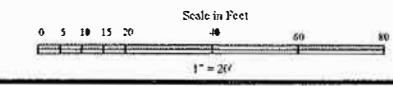
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DESIGNED BY: RJB

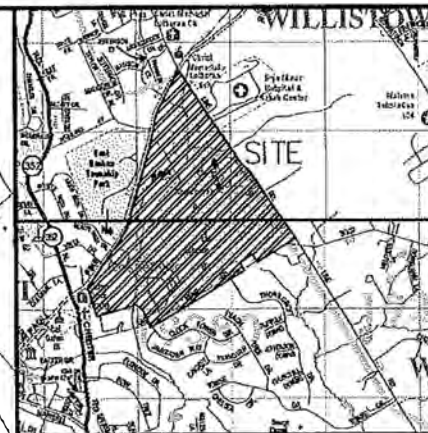
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**FOR THE RECORD:** THE INFORMATION CONTAINED ON THIS PLAN...  
**FOR THE RECORD:** THE INFORMATION CONTAINED ON THIS PLAN...



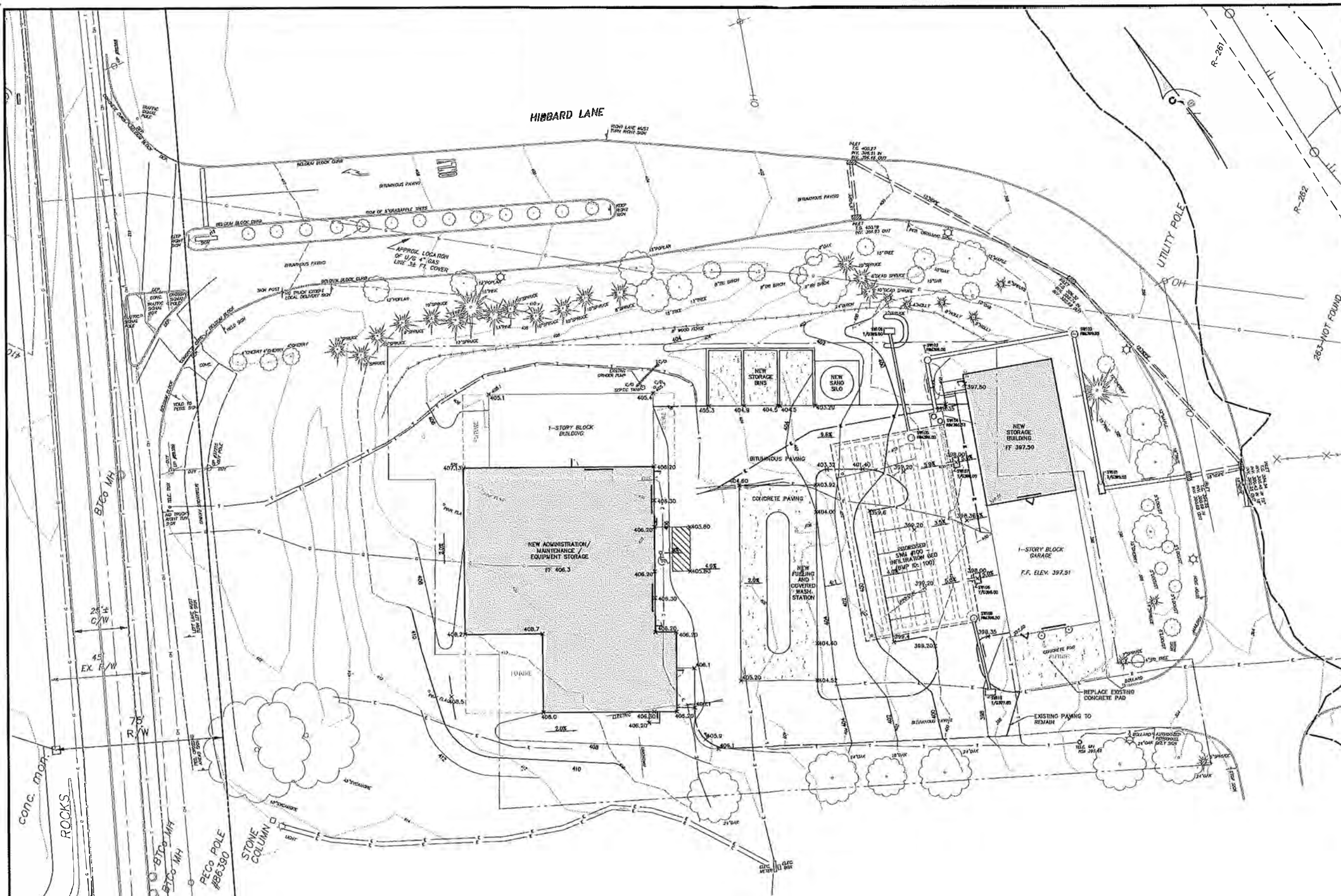




LOCATION MAP SCALE 1" = 200'

**LEGEND**

EXISTING FEATURES	
	EXISTING PROPERTY BOUNDARY
	EXISTING ADJOINING PROP. LINE
	EXISTING RIGHT-OF-WAY LINE
	EXISTING EASEMENT
	EXISTING SETBACK BOUNDARY
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	EXISTING CURB TYPE
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING GUIDE RAIL
	EXISTING STORM INLET AND PIPE
	EXISTING STORM ENDWALL AND PIPE
	EXISTING SANITARY SEWER
	EXISTING 1/2" FIRE LINE
	EXISTING 1/2" WATER LINE
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	EXISTING 1/2" TELEPHONE LINE
	EXISTING 1/2" GAS LINE
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	PROPOSED CURB
	NUMBER OF PROPOSED STANDARD PARKING SPACES
	PROPOSED SIGN
	PROPOSED 2' CONTOURS
	PROPOSED 10' CONTOURS
	PROPOSED SPOT ELEVATION
	PROPOSED STORM PIPE AND INLET
	PROPOSED STORM PIPE AND MANHOLE
	PROPOSED STORM PIPE AND CLEANOUT
	PROPOSED PIPE FLOW ARROW



**PRELIMINARY/FINAL  
STORMWATER, GRADING  
AND UTILITY PLAN**

NO.	DATE	REVISION

**LAND DEVELOPMENT PLANS**  
FOR  
**APPLEBROOK GOLF CLUB**  
**TURF MAINTENANCE AREA**  
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**ChesterValley** PROJECT NO. **20558-0015**

188 Chester Valley Road, 447 Pine Hill Road  
48642-2271 (PA) 487-3411 Fax: 486-2271  
www.chestervalley.com

SCALE	DATE	DRAWN BY	CHECKED BY	DATE
1" = 20'	07-26-2022	RJB	TRC	08-18-2022

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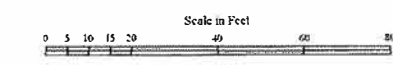
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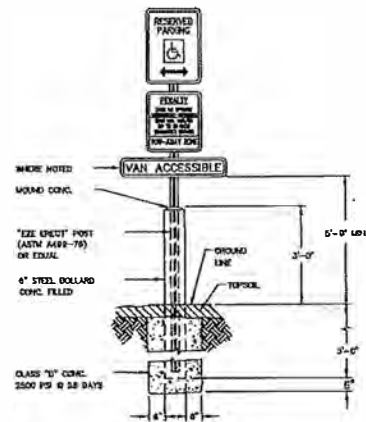
**PROFESSIONAL SEAL AND SIGNATURE**  
NEAL J. CAMENS, P.E.  
1-800-242-1776  
FOUR STAR-PAID: H3310808

REVISIONS TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY AND THAT A REMISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

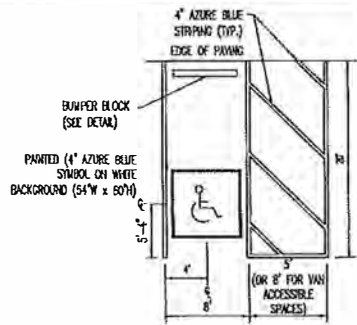
I, NEAL J. CAMENS, P.E., ON THIS DATE, 07/26/2022, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE EAST GOSHEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_ NEAL J. CAMENS

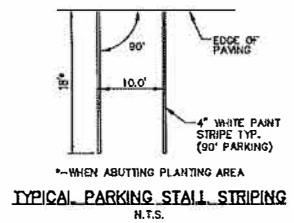




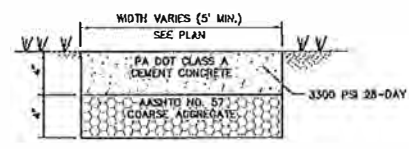
"RESERVED PARKING" SIGN (R7-8) WITH  
"VAN ACCESSIBLE" SIGN (R7-8P)  
N.T.S.



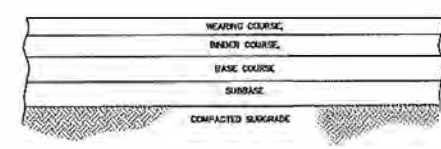
A.D.A. ACCESSIBLE PARKING STRIPING  
N.T.S.



TYPICAL PARKING STALL STRIPING  
N.T.S.



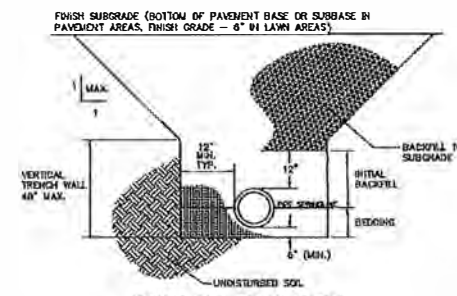
CONCRETE SIDEWALK DETAIL  
N.T.S.



**BITUMINOUS PAVEMENT SECTION**  
N.T.S.

DEPTH	LOCATION	MEDIUM DUTY: ON-SITE PARKING AREAS & DRIVEWAYS
WEARING: SUPERPAVE ASPHALT MIXTURE DESIGN, WMA WEARING COURSE, PG 64-22, <0.3 MILLION ESALS, 9.5 MM MIX, SRL-L		1 1/2"
BINDER: SUPERPAVE ASPHALT MIXTURE DESIGN, WMA BINDER COURSE, PG 64-22, <0.3 MILLION ESALS, 9.5 MM MIX, SRL-L		3"
BASE: BITUMINOUS CONCRETE		NONE
SUBBASE: Penn DOT 2A STONE BASE		10"

- NOTE:**
- PAVEMENT SHOULD BE INSTALLED LATE IN CONSTRUCTION WHEN MOST HEAVY CONSTRUCTION TRAFFIC WILL NO LONGER COME ON-SITE. PRIOR TO PAVING, THE SITE SHOULD BE PROFFERED AGAIN, NEW SOFT AREAS TREATED IN ACCORDANCE WITH SOIL REMEDIATION NOTES ON SHEET 1, THE BASE LEVELLED AND THICKENED AS REQUIRED, AND THE SITE PAVED AT THE END OF CONSTRUCTION.
  - FOR PAVEMENT WHERE UNCURBED, EXPOSED SUBBASE AND/OR BASE COURSE EXIST BEYOND EACH REQUIRED EDGE OF THE BINDER AND SURFACE COURSES.
  - FLEXIBLE (AGGREGATE) BASE SHOULD BE COMPACTED TO 100% OF THE MATERIAL'S MAXIMUM DRY DENSITY AS PER MOONEY PROCTOR (ASTM D-1557).
  - PAVEMENT MUST BE PLACED OVER WELL PREPARED SUBGRADE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY IN THE UPPER 2' BELOW SUBGRADE AND TO AT LEAST 95% OF THE STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY ELSEWHERE.
  - SEALING MATERIAL FOR FILLING PAVEMENT JOINTS SHALL MEET THE REQUIREMENTS OF ASTM D3405 OR D1190. ALTERNATIVELY, LOW MODULUS MATERIALS SUCH AS SILICONE, HOT OR COLD-POURED RUBBERIZED ASPHALT OR RUBBLE RUBBER MEETING THE MANUFACTURER'S SPECIFICATIONS MAY BE USED.
  - CAR TRAFFIC SHOULD NOT BE ALLOWED ON THE NEW PAVEMENT FOR AT LEAST 3-DAYS; SIMILARLY NO TRUCK TRAFFIC FOR 7-DAYS.
  - WHERE THE EDGE OF THE TRAIL IS ABOVE THE SURROUNDING GRADE, BITUMINOUS PAVEMENT SHALL BE FEATHERED.



TYPICAL PIPE TRENCH DETAIL  
N.T.S.

**TRENCH REQUIREMENTS (SEE NOTES)**

PIPE TYPE	BEDDING	DIBITAL BACKFILL	BACKFILL TO SUBGRADE	
			BEHIND BITUMINOUS PAVEMENT, CONCRETE SIDEWALK OR PAVERS (EXCEPT SEE NOTE 3)	BENEATH OTHER AREA
ANY PIPE WITHIN PUBLIC ROW	ASHTO #9 COARSE AGGREGATE	PA DOT NO. 2A COARSE AGGR.	PA DOT NO. 2A COARSE AGGREGATE	PA DOT NO. 2A COARSE AGGR.
STORM (METAL)	ASHTO #9 COARSE AGGREGATE	SUITABLE MATERIAL	SUITABLE MATERIAL	SUITABLE MATERIAL
STORM (RCP)	ASHTO #9 COARSE AGGREGATE	PA DOT NO. 2A COARSE AGGR.	SUITABLE MATERIAL	SUITABLE MATERIAL
STORM (OTHER)	PA DOT NO. 2A COARSE AGGR.	PA DOT NO. 2A COARSE AGGR.	SUITABLE MATERIAL	SUITABLE MATERIAL
SANITARY	ASHTO #9 COARSE AGGREGATE	PA DOT NO. 2A COARSE AGGR.	SUITABLE MATERIAL	SUITABLE MATERIAL
WATER (DP)	NONE REQUIRED	PA DOT NO. 2A COARSE AGGR.	SUITABLE MATERIAL	SUITABLE MATERIAL
WATER (TUBING)	CEMENT CONCRETE SAND, TYPE A, PA DOT, PUB. 400, § 703.1	CEMENT CONCRETE SAND, TYPE A, PA DOT, PUB. 400, § 703.1	SUITABLE MATERIAL	SUITABLE MATERIAL
OTHER PIPE, BONDOUT	ASHTO #9 COARSE AGGREGATE	PA DOT NO. 2A COARSE AGGR.	SUITABLE MATERIAL	SUITABLE MATERIAL

- NOTE:**
- ALTERNATIVELY, SHORE TRENCH WALLS PER OSHA OR OTHER APPLICABLE AGENCIES WITH JURISDICTION.
  - SEE PROJECT SPECIFICATIONS FOR REQUIREMENTS FOR "SUITABLE MATERIAL". PA DOT #2 COARSE AGGREGATE MAY BE USED IN LIEU OF "SUITABLE MATERIAL" AT NO ADDITIONAL COST TO OWNER.
  - FOR PIPE TRENCHES WITHIN EX. BITUMINOUS PAVEMENT TO REMAIN, USE PA DOT NO. 2A COARSE AGGREGATE TO BACKFILL TO SUBGRADE.

PRELIMINARY/FINAL  
CONSTRUCTION DETAILS  
AND NOTES

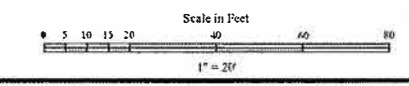
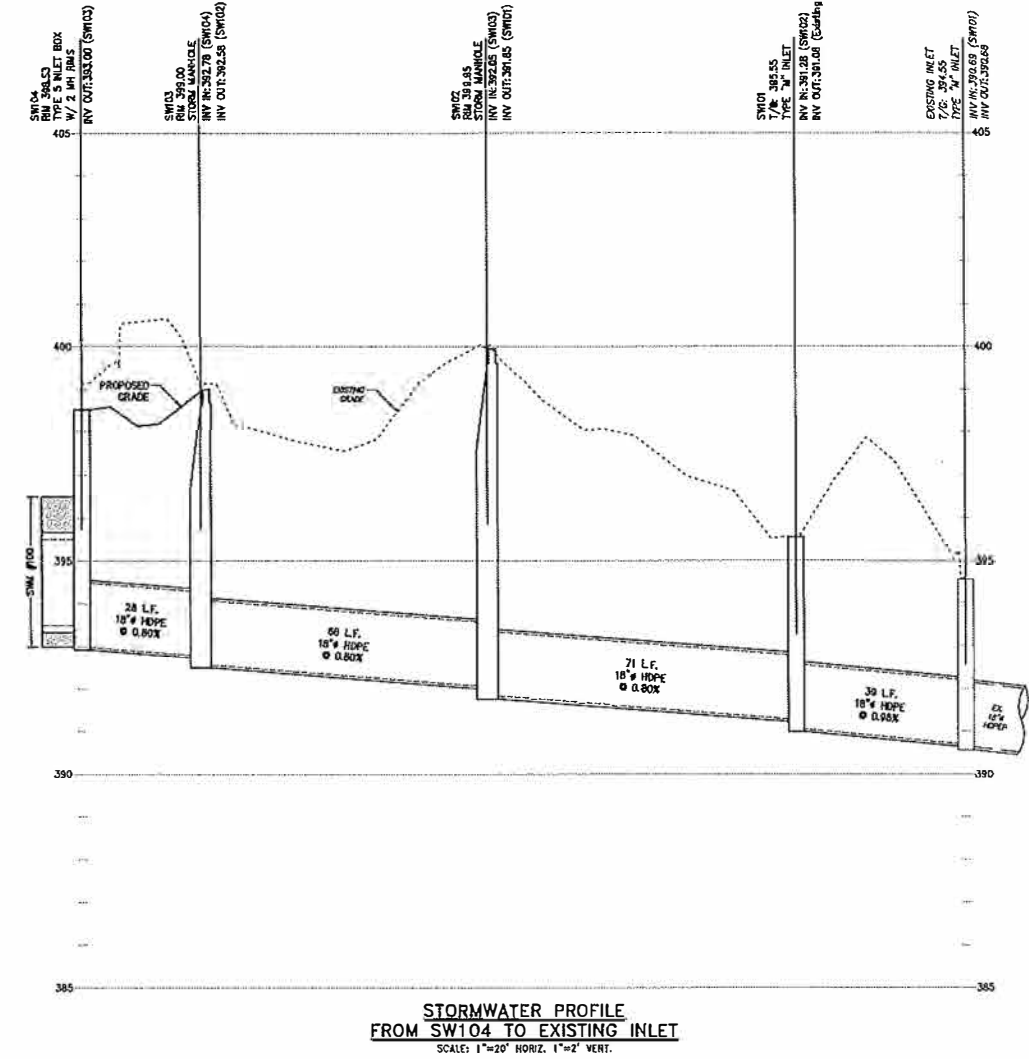
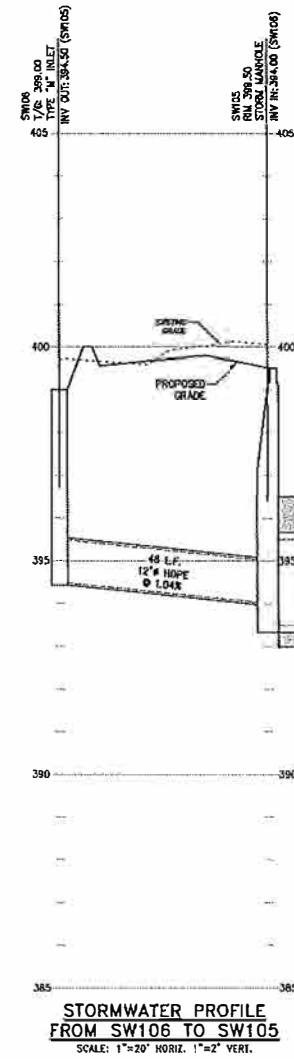
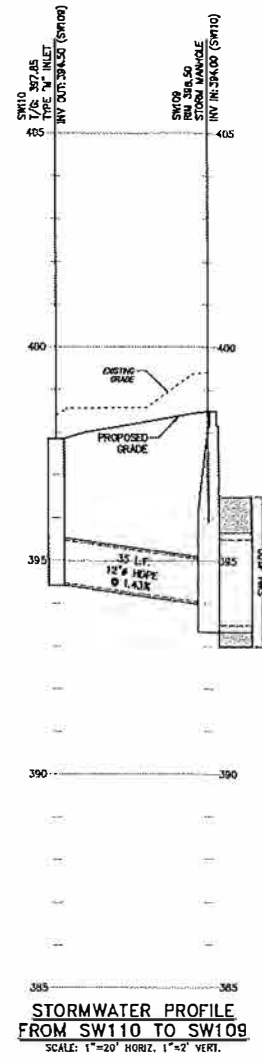
NO.	DATE	REVISION

LAND DEVELOPMENT PLANS  
FOR  
**APPLEBROOK GOLF CLUB  
TURF MAINTENANCE AREA**  
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**ChesterValley**  
ENGINEERING & ARCHITECTURE  
85 Chestnut Street, 4th Floor, Philadelphia, PA 19106  
610-464-1477 | 610-464-1478 fax  
www.chestervalley.com

PROJECT NO.  
**2055B-0015**

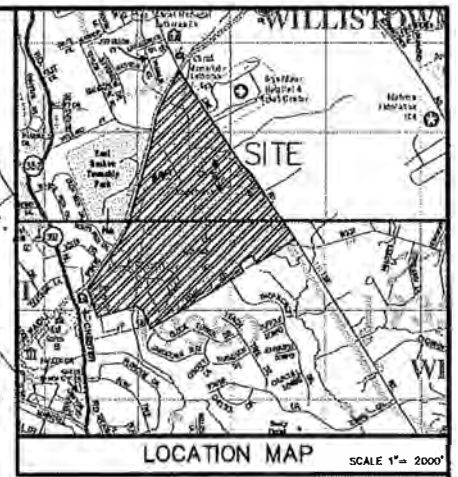
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DATE: 09/26/2022



PRELIMINARY/FINAL  
 PROFILES

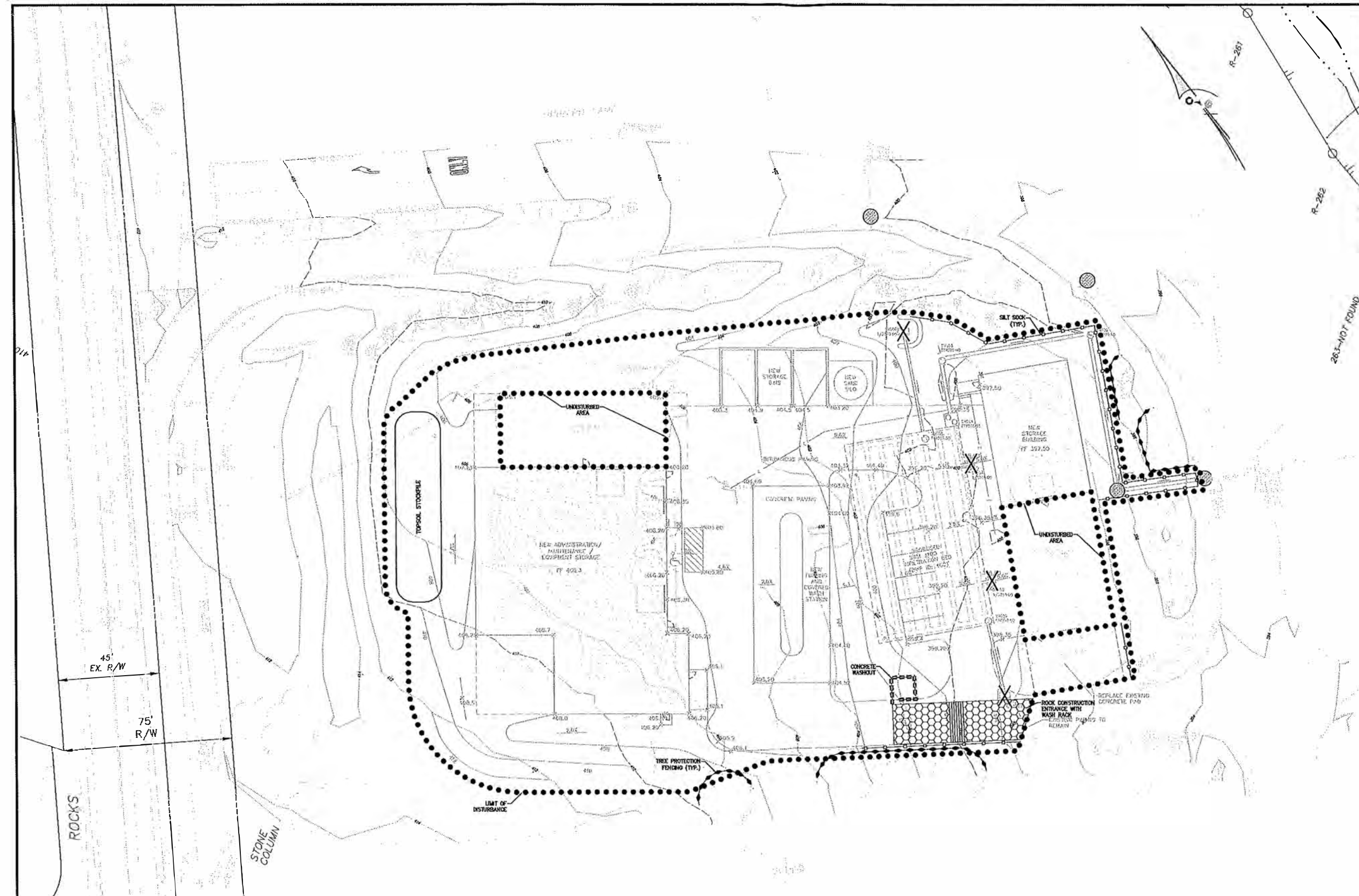
NO.	DATE	REVISION
<b>LAND DEVELOPMENT PLANS</b> FOR <b>APPLEBROOK GOLF CLUB</b> <b>TURF MAINTENANCE AREA</b> EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA		
		PROJECT NO. <b>20558-0015</b>
SCALE AS NOTED DATE 07.26.2022 DRAWN BY RJB CHECKED BY BEM DATE		F.R. DATE





**LEGEND**

- EXISTING FEATURES**
- EXISTING PROPERTY BOUNDARY
  - EXISTING ADJOINING PROP. LINE
  - EXISTING RIGHT-OF-WAY LINE
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  - PROPOSED PIPE FLOW ARROW



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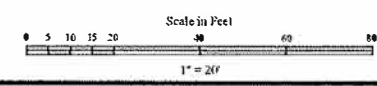
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 ADDRESS AND  
 TELEPHONE NUMBER

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 CALL 3 WORKING DAYS BEFORE YOU USE  
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 PDS SERIAL NUMBER: \_\_\_\_\_

APPLEBROOK GOLF CLUB



- EROSION CONTROL FEATURES**
- PROJECT (WIPES) BOUNDARY
  - LIMIT OF DISTURBANCE (1.29 ACRES)
  - ROCK CONSTRUCTION ENTRANCE WITH WASH RACK
  - ROCK CONSTRUCTION BLANKET
  - ROCK FILTER OUTLET
  - COMPOST FILTER SOCK
  - TREE PROTECTION FENCE
  - TEMPORARY INLET PROTECTION
  - TEMPORARY INLET/PIPE BLOCK
  - DISCHARGE POINT

PRELIMINARY/FINAL  
 EROSION AND SEDIMENTATION  
 CONTROL PLAN

NO. DATE REVISION

**LAND DEVELOPMENT PLANS**  
 FOR  
**APPLEBROOK GOLF CLUB**  
**TURF MAINTENANCE AREA**  
 EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**Chester Valley** 20558-0015

88 Chestnut Ave. P.O. Box 447946, PA 19309  
 (610) 451-8221 (610) 451-7915 FAX  
 www.cve.com

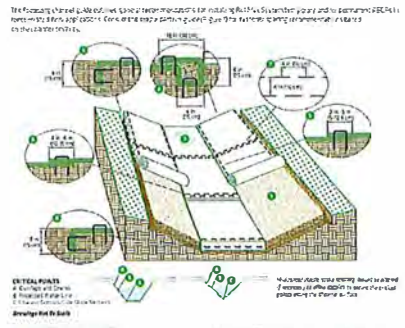
SCALE	DATE	DESIGNED BY	CHECKED BY	DRAWING
1" = 20'	07/26/2022	BRB	BRB	





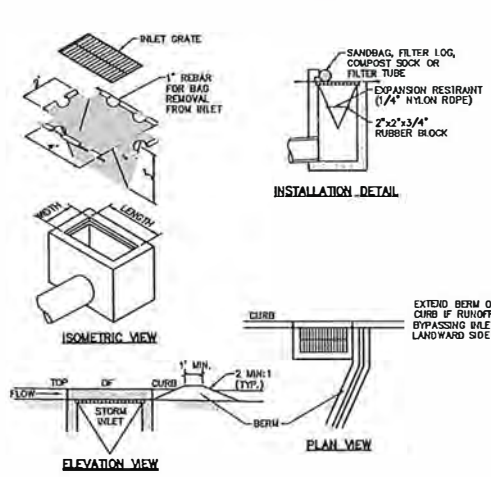


**Channel Installation**



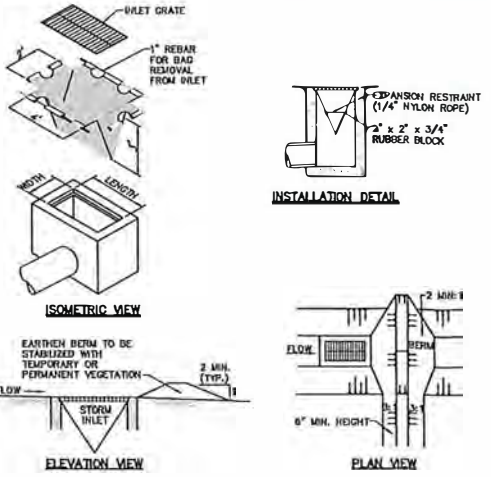
**CHANNEL INSTALLATION STEPS**

1. Excavate and prepare the channel bed to the required depth and width.
2. Lay the channel sections in the prepared bed, ensuring proper alignment and overlap.
3. Connect the channel sections using the provided gaskets and bolts.
4. Backfill the channel with soil or aggregate to stabilize the structure.
5. Compact the backfill around the channel to ensure a secure fit.
6. Install inlet and outlet structures as specified in the plan views.
7. Maintain the channel slope and grade throughout the installation.
8. Inspect the completed channel for leaks and proper flow direction.



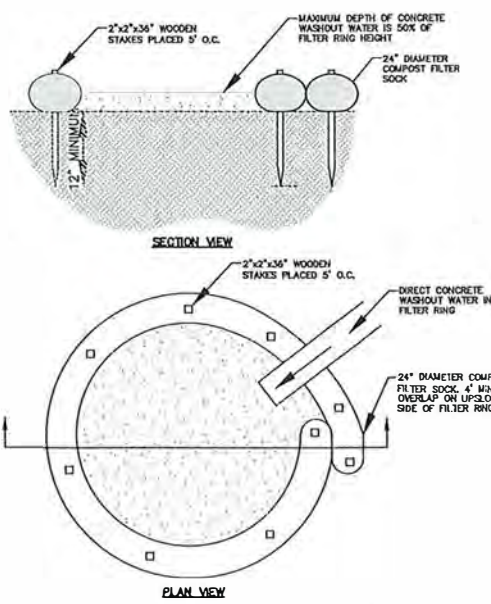
**INSTALLATION DETAIL - TYPE C INLET DETAIL**  
N.T.S.

**INSTALLATION DETAIL - TYPE M INLET DETAIL**  
N.T.S.



**ISOMETRIC VIEW**

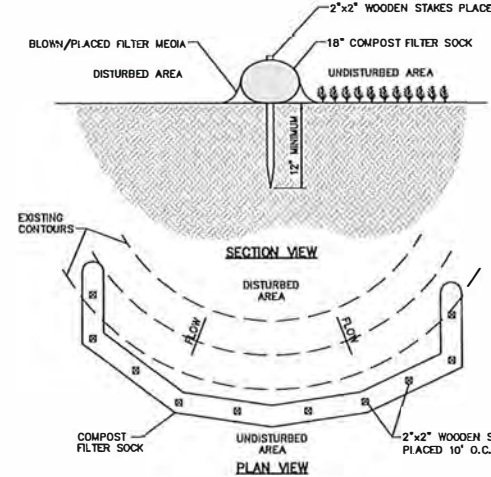
**ELEVATION VIEW**



**SECTION VIEW**

**PLAN VIEW**

**COMPOST FILTER SOCK CONCRETE WASHOUT DETAIL**  
N.T.S.

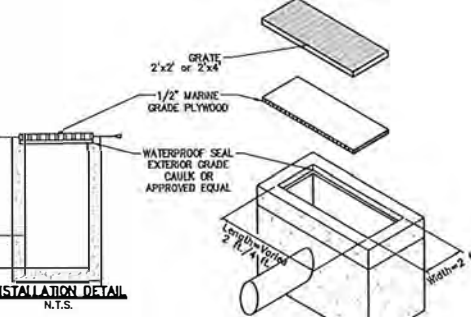


**PLAN VIEW**

**COMPOST FILTER SOCK DETAIL**  
N.T.S.

**NOTES:**

1. SOCK FABRIC SHALL MEET THE STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.
2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. STAKES MAY BE INSTALLED IMMEDIATELY DOWN-SLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF TECH SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
5. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
6. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTOGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
7. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
8. REFER TO E&S PLAN FOR COMPOST SOCK LOCATIONS, SIZE, IDENTIFICATIONS AND CONSTRUCTION SPECIFICATIONS.



**INSTALLATION DETAIL**  
N.T.S.

**INLET TEMPORARY SEAL DETAIL**  
N.T.S.

**NOTES:**

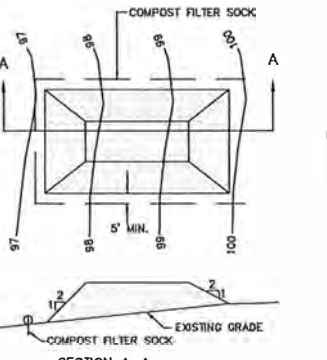
1. MAXIMUM DRAINAGE AREA = 1/2 ACRE.
2. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMUS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
3. ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STORMED. ROAD SURFACE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
4. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 20 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
5. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED 50% AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DEPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

**DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.**

**NOTES:**

1. MAXIMUM DRAINAGE AREA = 1/2 ACRE.
2. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMUS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
3. ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STORMED. ROAD SURFACE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.
4. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 20 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
5. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED 50% AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DEPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

**DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.**



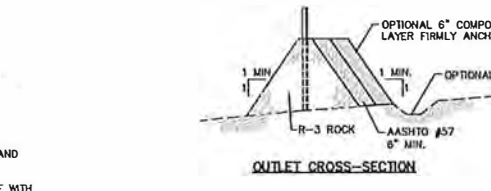
**SECTION A-A**

**COMPOST FILTER SOCK**

**EXISTING GRADE**

**NOTES:**

1. PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN.
2. ALL SLOPE SLOPES SHALL BE 2 TO 1 OR FLATTER.
3. STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS.
4. COMPOST FILTER SOCK SHALL BE INSTALLED AS DETAILED HEREON.
5. LOCATION OF PROPOSED STOCKPILE WHICH AFFECT EROSION CONTROL ARE SHOWN SCHEMATICALLY ONLY. ACTUAL STOCKPILE LOCATION MAY CHANGE DURING CONSTRUCTION.
6. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET.



**OUTLET CROSS-SECTION**

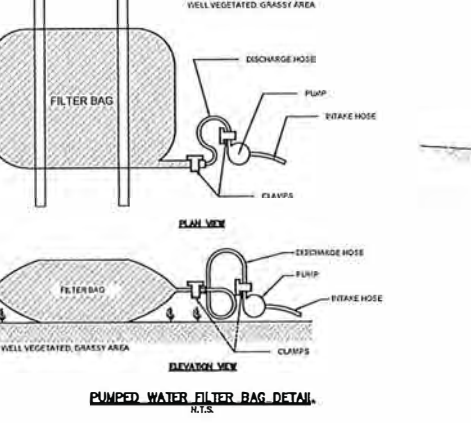
**OPTIONAL 6" SUMP**

**ROCK FILTER**

**STRAW BALES OR FILTER FABRIC**

**NOTES:**

1. A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UP-SLOPE FACE IN HQ AND EV WATERSHEDS.
2. IF INSTALLED, INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.



**PLAN VIEW**

**PROFILE**

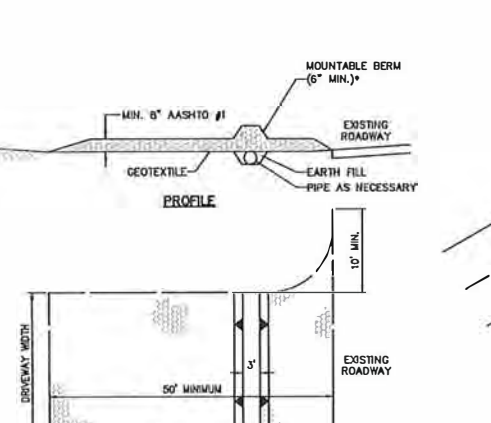
**ELEVATION VIEW**

**PUMPED WATER FILTER BAG DETAIL**  
N.T.S.

**NOTES:**

1. LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "Z" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM NONWOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
Avg. Weave Width Strength	ASTM D-6884	60 LB/IN
Grab Tensile	ASTM D-6832	205 LB
Puncture	ASTM D-6833	110 LB
Wall Burst	ASTM D-3788	350 PSI
UV Resistance	ASTM D-4333	70%
Ads % Retained	ASTM D-4751	80 SIEVE

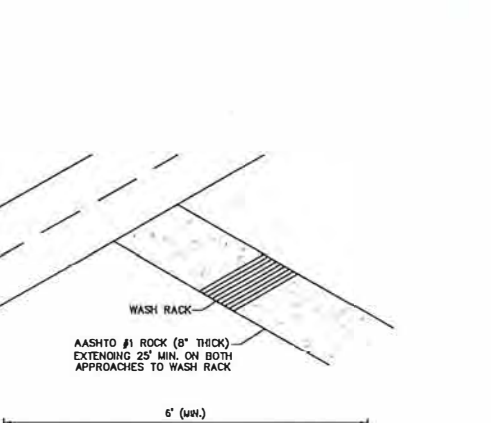


**PLAN VIEW**

**ROCK CONSTRUCTION ENTRANCE WITH WASH RACK DETAIL**  
N.T.S.

**NOTES:**

1. WASH RACK SHALL BE 20 FEET (MIN.) WIDE OR TOTAL WIDTH OF ACCESS.
2. WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTICIPATED CONSTRUCTION VEHICULAR TRAFFIC.
3. A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXITING THE SITE.



**SECTION A-A**

**COMPOST FILTER SOCK**

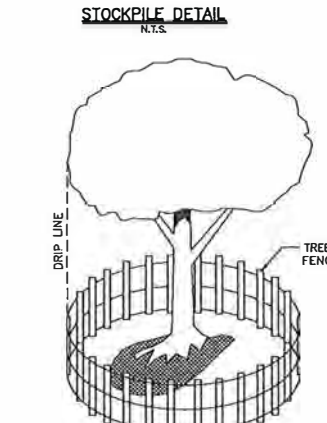
**EXISTING GRADE**

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5. LOCATION OF PROPOSED STOCKPILE WHICH AFFECT EROSION CONTROL ARE SHOWN SCHEMATICALLY ONLY. ACTUAL STOCKPILE LOCATION MAY CHANGE DURING CONSTRUCTION.
6. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET.

**NOTES:**

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**SECTION A-A**

**COMPOST FILTER SOCK**

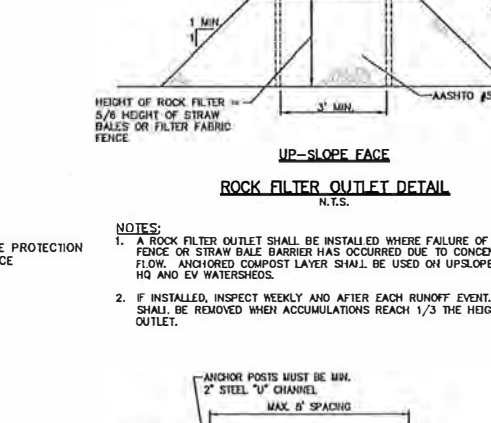
**EXISTING GRADE**

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**UP-SLOPE FACE**

**ROCK FILTER OUTLET DETAIL**  
N.T.S.

**NOTES:**

1. WASH RACK SHALL BE 20 FEET (MIN.) WIDE OR TOTAL WIDTH OF ACCESS.
2. WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTICIPATED CONSTRUCTION VEHICULAR TRAFFIC.
3. A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXITING THE SITE.

**TABLE 4.1 - COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS**

MATERIAL TYPE	3 MIL HEFPE		5 MIL HEFPE		8 MIL HEFPE		MULTI-PLY MULTI-FIBER POLYPROPYLENE (MPPF)		HEAVY DUTY MULTI-FIBER POLYPROPYLENE (HEMPP)	
	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12"	18"	12"	18"	12"	18"	12"	18"	12"	18"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"
TENSILE STRENGTH	28 PSI	28 PSI	28 PSI	28 PSI	44 PSI	44 PSI	202 PSI	202 PSI	202 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HRS	23% AT 1000 HRS	23% AT 1000 HRS	23% AT 1000 HRS	100% AT 1000 HRS	100% AT 1000 HRS	100% AT 1000 HRS	100% AT 1000 HRS	100% AT 1000 HRS	100% AT 1000 HRS
MINIMUM FUNCTIONAL LIFESPAN	6 MONTHS	6 MONTHS	6 MONTHS	6 MONTHS	1 YEAR	1 YEAR	2 YEARS	2 YEARS	2 YEARS	2 YEARS

**TWO-PLY SYSTEMS**

INNER CONTAMINANT NETTING	HOPE BAXAL NET
	CONTINUOUSLY WOUND
	FUSION-WELDING JUNCTURES
	3/4" x 3/4" MAX APERTURE SIZE
OUTER FILTRATION MESH	COMPOSITE POLYPROPYLENE FABRIC (DRAIN LAYER AND NON-WOVEN FIBRE MECHANICALLY FUSED VIA NEEDLE PUNCH)
	3/8" MAX APERTURE SIZE

SOCK FABRICS COMPOSED OF OURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.

**TABLE 4.2 - COMPOST STANDARDS**

ORGANIC MATTER CONTENT	80X - 100X (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM

**PRELIMINARY/FINAL EROSION AND SEDIMENTATION CONTROL DETAILS**

**LAND DEVELOPMENT PLANS FOR APPLEBROOK GOLF CLUB TURF MAINTENANCE AREA**  
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**ChesterValley ENGINEERS, INC.**  
20558-0015

83 Crivens Road, P.O. Box 431, Park Rd. 10301  
610-424-8322 FAX 610-424-2813 E-MAIL: info@cheval.com

SCALE: AS NOTED DATE: 07/26/2022 DRAWN BY: RRRB CHECKED BY: RBH1 DRAFTER: [ ]







GENERAL NOTES

- 1. STORMWATER MANAGEMENT DESIGN REFER TO THE "POST-CONSTRUCTION STORMWATER MANAGEMENT REPORT", PREPARED BY CHESTER VALLEY ENGINEERS.
2. MAINTENANCE NOTES:
A. THE BMP'S LISTED BELOW WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER...
3. DESIGN CONSIDERATIONS...
4. THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN HAS BEEN DESIGNED TO MEET THE FOLLOWING GOALS AND GUIDELINES...

GENERAL CONSERVATION NOTES AND SPECIFICATIONS

INTENT OF CONSERVATION PROGRAM: THE INTENT OF THIS PROGRAM IS TO PREVENT ACCELERATED EROSION OF THE EXPOSED SOILS DURING THE CONSTRUCTION AND PERMANENT LIFE PERIODS OF THE DEVELOPMENT...

CRITICAL VEGETATION AREAS (CVA)

CRITICAL VEGETATION AREAS ARE TO BE GRADED, HYDROSEED, AND MULCHED WITHIN 10 DAYS OF THE BEGINNING OF EXCAVATION. IN GENERAL, CRITICAL VEGETATION AREAS ARE DEFINED AS CUT SLOPES STEEPER THAN 3:1...

DISPOSAL AND RECYCLING

CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL DEMOLISHED OR UNUSED CONSTRUCTION MATERIALS. GARBAGE SHALL BE COLLECTED ON-SITE UNTIL RETRIEVED BY AN APPROVED DISPOSAL OR RECYCLING COMPANY...

THERMAL IMPACT

STORMWATER RUNOFF FROM THE DRIVEWAY AND PARKING AREAS DRAIN TO A SUBSURFACE INFILTRATION BED AND UNDERGROUND STORM DRAIN PIPES. THEREFORE, THE INITIAL RUNOFF THAT IS MOST LIKELY TO BE WARMER IS SENT UNDERGROUND AND NOT DISCHARGED TO THE WATERCOURSE...

SPECIAL GEOLOGIC AND SOIL CONDITIONS

NO SPECIAL SOIL OR GEOLOGICAL ISSUES ARE KNOWN.

POST-CONSTRUCTION STORMWATER MANAGEMENT (PCSMM) LONG-TERM OPERATIONS AND MAINTENANCE REQUIREMENTS

- 1. UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSMM BMP'S ON THE PROJECT SITE...
2. THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSMM BMP'S UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSMM BMP'S...

BMP FAILURE NOTES (PER PROTOCOL 2 OF THE BMP MANUAL)

- THE TERM "FAILURE" FOR THE PROPOSED SUBSURFACE BED SHALL BE DEFINED AS:
1) THE LOSS OF FUNCTIONALITY OF THE PROPOSED OUTLET STRUCTURE OR DISCHARGE PIPE
2) THE LOSS OF STRUCTURAL INTEGRITY OF THE STONE AND PIPES
3) THE ACCUMULATION OF SEDIMENT, TRASH OR DEBRIS IN PERIMETER DRAINAGE STRUCTURES...

POST-CONSTRUCTION STORMWATER MANAGEMENT REPORTING AND RECORD KEEPING

A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ALL BMP REPAIR AND MAINTENANCE ACTIVITIES MUST BE PROVIDED AS PART OF THE LONG-TERM OPERATION AND MAINTENANCE PROGRAM.

WATER QUALITY INLETS (FILTER-INSERTS)

IF SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN ALL WATER QUALITY INLETS ON SITE.

GENERAL MAINTENANCE NOTES

- 1. WATER QUALITY BERT INSERTS SHALL BE CHECKED TO ENSURE THEY ARE SECURELY FASTENED DURING EACH INSPECTION.
2. RECOMMENDED MAINTENANCE IS PERFORMED INCLUDING REMOVAL AND DISPOSAL OF THE FILTER MEDIA OR EXCESS MATERIAL BY PERSONNEL...

SUBSURFACE INFILTRATION BED (SWM #100)

- 1. AGGREGATE: AGGREGATE FOR BEDS SHALL BE 3/8 INCH TO 3/4 INCH UNIFORMLY GRADED COARSE AGGREGATE, AASHTO NUMBER 57 PER TABLE 4, AASHTO SPECIFICATIONS, PART 1, 13TH ED., 1996 (P. 47).
2. NON-WOVEN GEOTEXTILE: SHALL CONSIST OF NEEDED NON-WOVEN POLYPROPYLENE FIBERS AND MEET THE FOLLOWING PROPERTIES:
a. GRAB TENSILE STRENGTH (ASTM-D4632): 120 LBS.
b. MULLEN BURST STRENGTH (ASTM-D3786): 225 FSI.
c. FLOW RATE (ASTM-D4491): 95 GPM/FT^2
d. UV RESISTANCE AFTER 500 HOURS (ASTM-D4355A): 70%
e. HEAT-SET OR HEAT-CALCINERED FABRICS ARE NOT PERMITTED.
ACCEPTABLE TYPES INCLUDE MIRAFI 1404, AMOCO 4547, AND GEOTEX 451.

INSPECTION REQUIREMENTS

- 1. ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE INSPECTED ANNUALLY, OR AFTER EACH RAINFALL EVENT IN EXCESS OF TWO (2) INCHES (MAJOR STORM EVENT), FOR TRASH AND DEBRIS; ANY DISCOVERED TRASH OR DEBRIS SHALL BE REMOVED IMMEDIATELY.

GENERAL MAINTENANCE NOTES

- 1. ACCESS FOR WEAVING OR VACUUMING IS PROVIDED THROUGH OBSERVATION PORTS AND STORM MANHOLE.
2. REMOVE SEDIMENT/TRASH/DEBRIS FROM PERIMETER DRAINAGE STRUCTURES AND OUTLET STRUCTURE.
3. THE OVERLYING VEGETATION OF SUBSURFACE INFILTRATION FEATURES SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGGETATED AS SOON AS POSSIBLE.

CONSTRUCTION SEQUENCE

- 1. INSTALL AND MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
2. INSTALL CONSTRUCTION FENCING AROUND PERIMETER OF INFILTRATION AREA TO PREVENT CONSTRUCTION TRAFFIC FROM COMPACTING EXISTING SUBGRADE AREAS.
3. INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES, CLEANOUTS, STORAGE PIPE, AND ALL OTHER NECESSARY STORMWATER STRUCTURES...

STORM SEWER

- 1. ALL STORM COLLECTION STRUCTURES SHALL BE INSPECTED ANNUALLY, OR AFTER EACH RAINFALL EVENT IN EXCESS OF TWO (2) INCHES (MAJOR STORM EVENT), FOR TRASH, DEBRIS OR EVIDENCE OF PIPE LEAKAGE OR SAGGING; REMOVE TRASH OR DEBRIS IMMEDIATELY; IMMEDIATELY REPAIR OR REPLACE LEAKING/SAGGING DRAINAGE FEATURES.

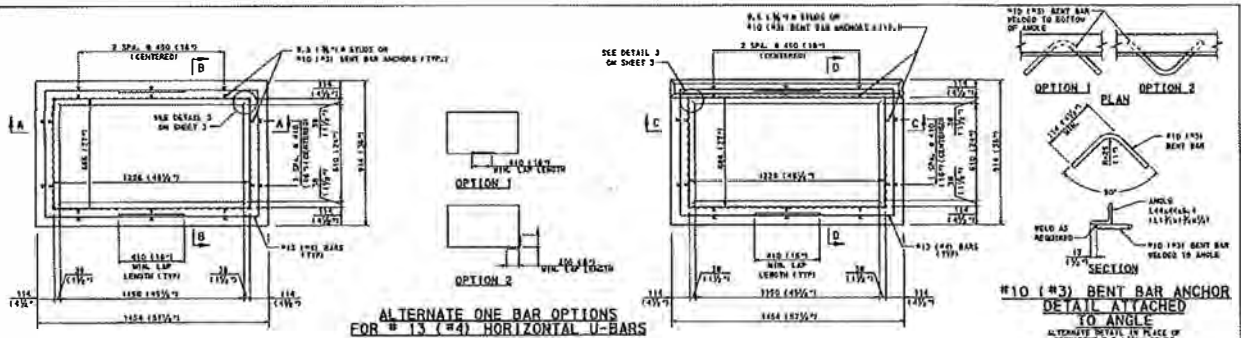
CRITICAL STAGES OF CONSTRUCTION

- 1. EXCAVATION AND FINAL GRADING OF SWM #100.
2. PLACEMENT OF GEOTEXTILE FABRIC, STONE AND DISTRIBUTION PIPE INSIDE SWM #100.
3. INSTALLATION OF WATER QUALITY BERT FILTERS.
4. FOLLOWING CONSTRUCTION, ENGINEER TO VERIFY THAT ALL PCSMM BMP'S ARE INSTALLED, FUNCTIONING, AND HAVE NOT BEEN IMPACTED BY CONSTRUCTION ACTIVITIES.

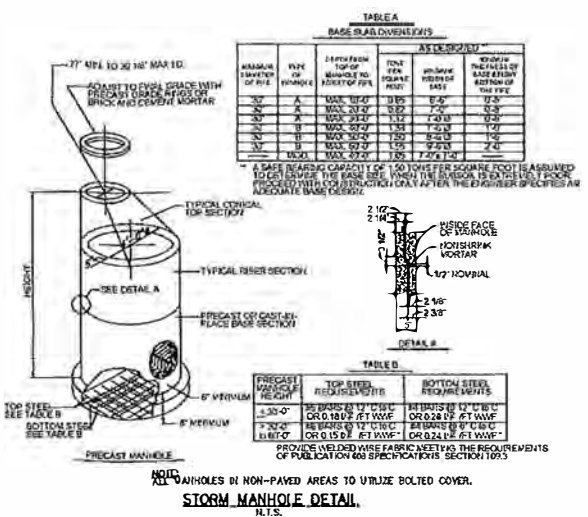
PRELIMINARY/FINAL OPERATIONS AND MAINTENANCE PLAN

Table with columns: NO, DATE, REVISION. Below it: LAND DEVELOPMENT PLANS FOR APPLEBROOK GOLF CLUB TURF MAINTENANCE AREA EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

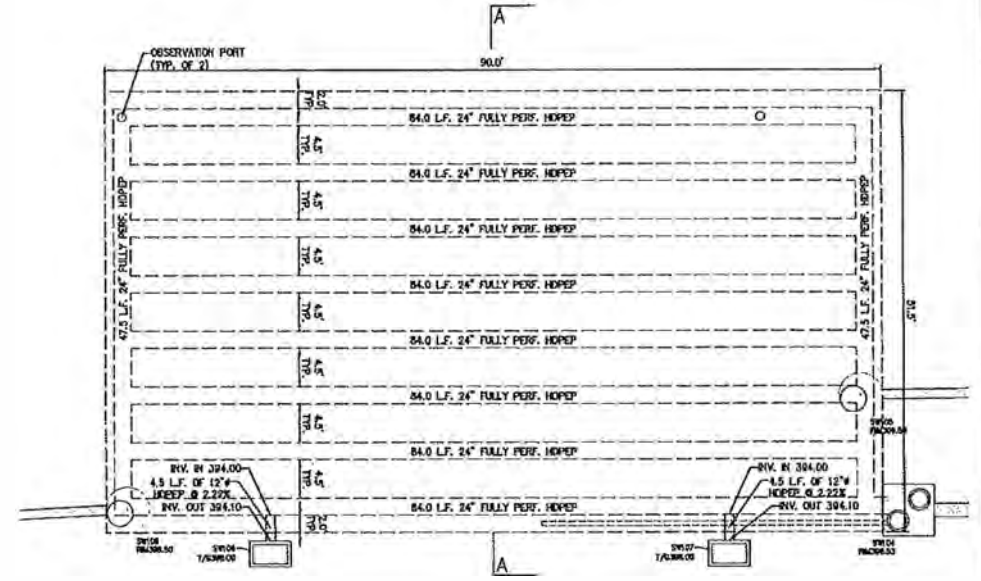
ChesterValley logo and contact information: 20558-0015, 88 Chester Valley Road, P.O. Box 440, South Park, PA 19388. Phone: 610-668-7427. Website: www.cheestervalley.com



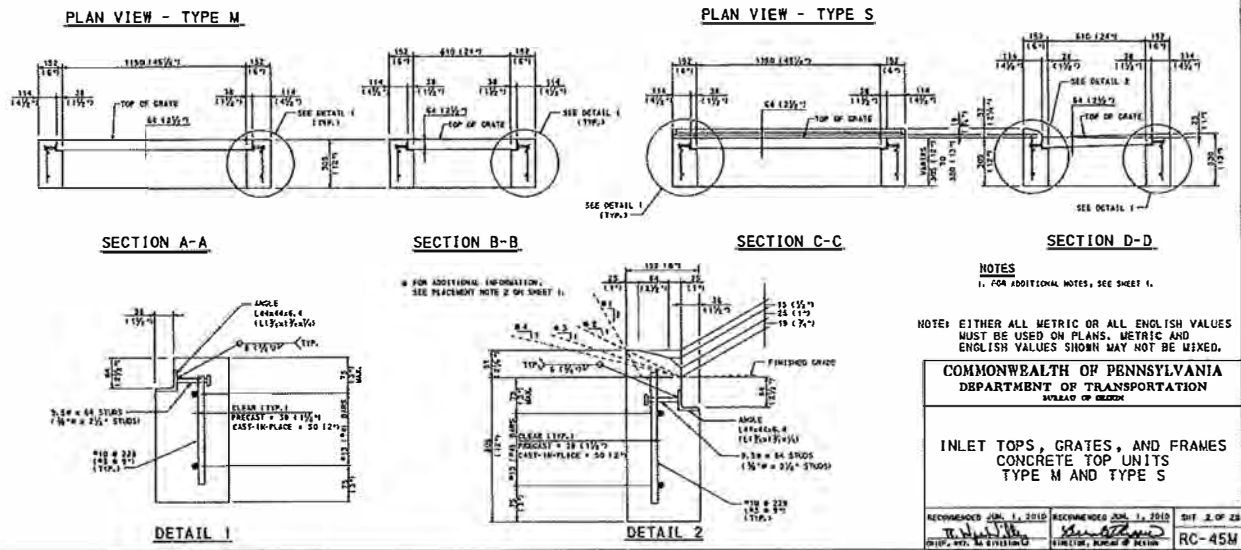
ALTERNATE ONE BAR OPTIONS FOR #13 (#4) HORIZONTAL U-BARS



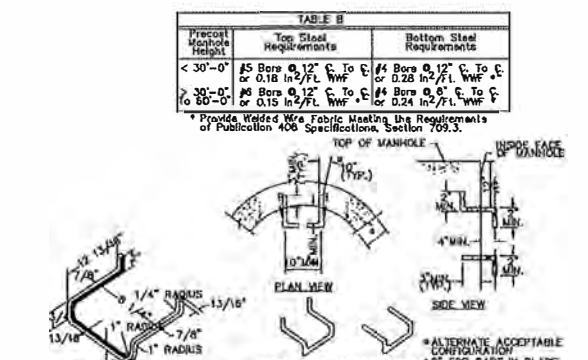
STORM MANHOLE DETAIL N.T.S.



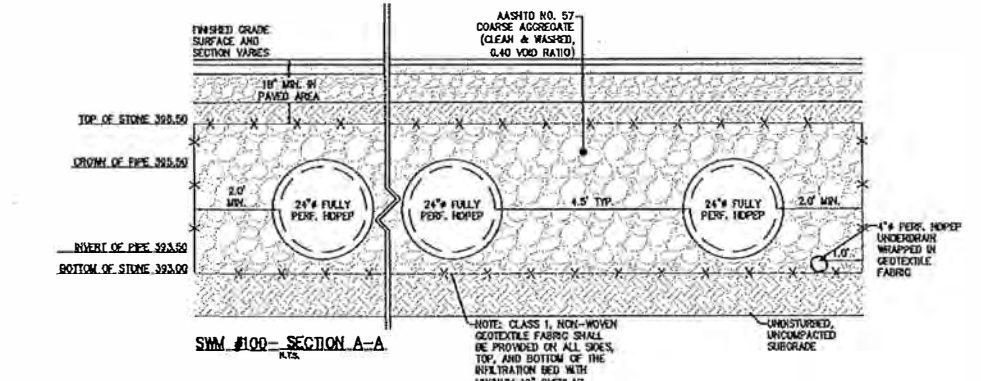
STM #100 - PLAN VIEW



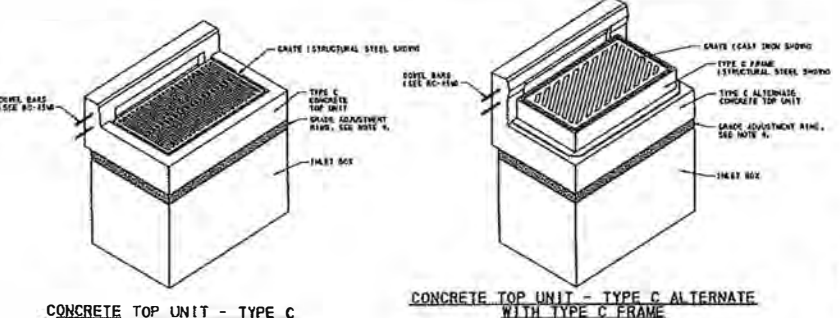
INLET TOPS, GRATES, AND FRAMES CONCRETE TOP UNITS TYPE M AND TYPE S



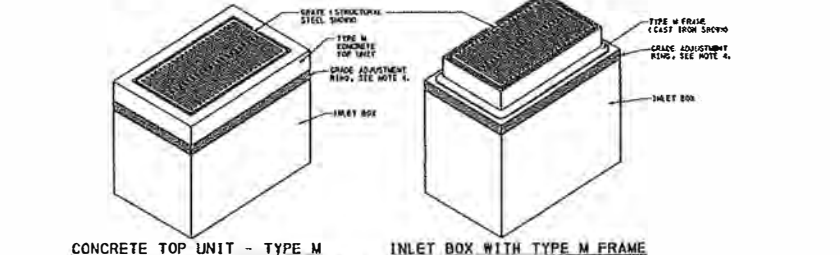
MANHOLE STEPS N.T.S.



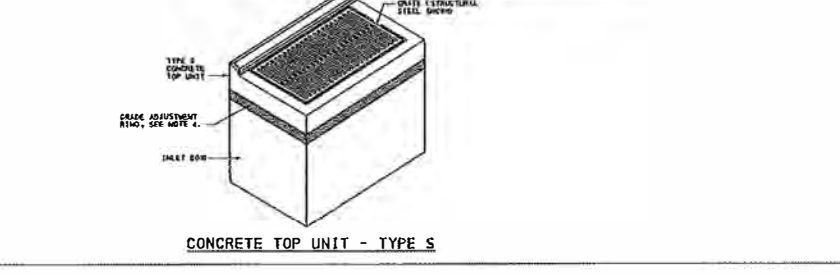
STM #100 - SECTION A-A



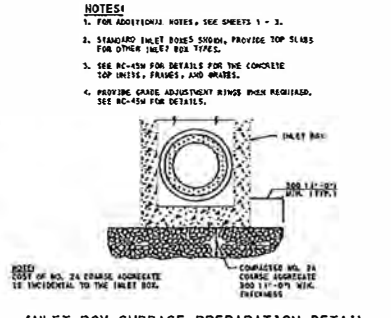
CONCRETE TOP UNIT - TYPE C ALTERNATE WITH TYPE C FRAME



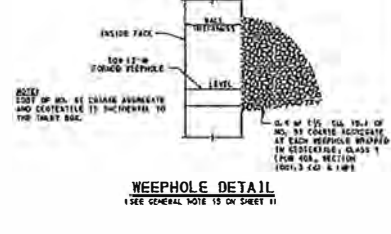
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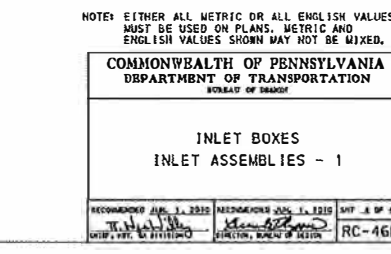
CONCRETE TOP UNIT - TYPE S



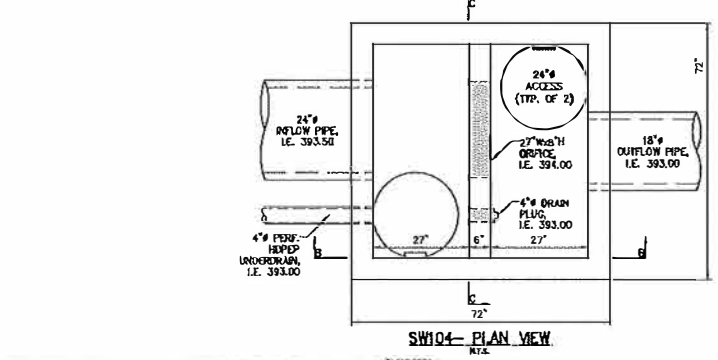
INLET BOX SUBBASE PREPARATION DETAIL



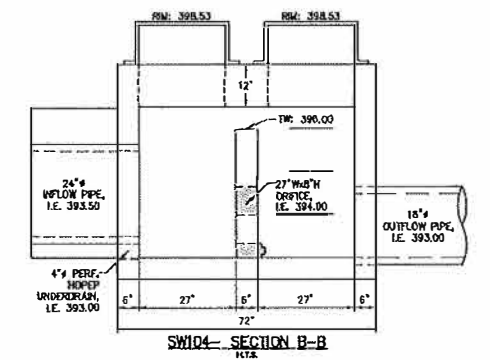
WEEPHOLE DETAIL



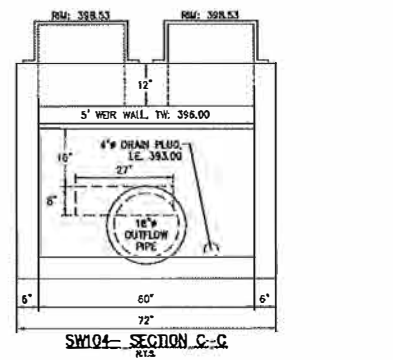
INLET BOXES INLET ASSEMBLIES - 1



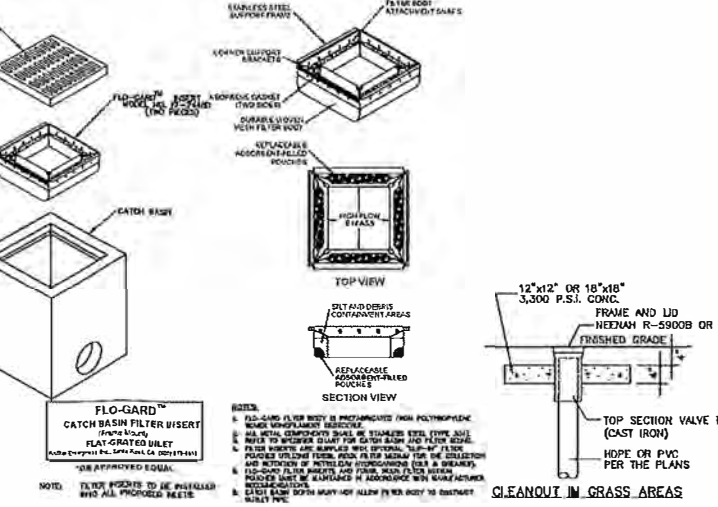
SM104 - PLAN VIEW



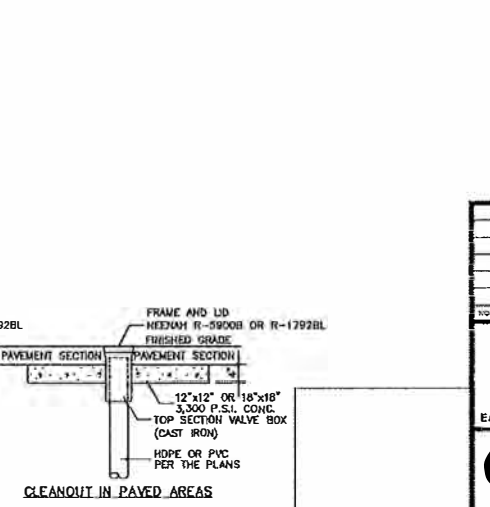
SM104 - SECTION B-B



SM104 - SECTION C-C



WATER QUALITY INSERT DETAIL N.T.S.



TYPICAL CLEANOUT DETAIL N.T.S.

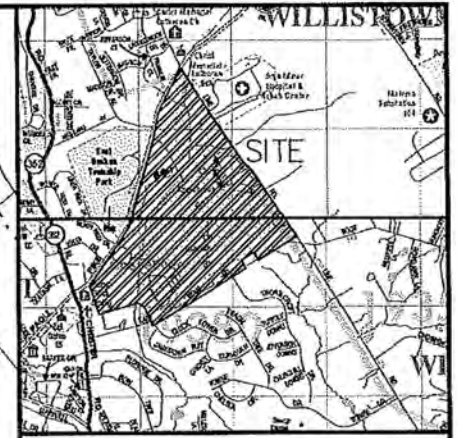
PRELIMINARY/FINAL POST CONSTRUCTION STORMWATER DETAILS

LAND DEVELOPMENT PLANS FOR APPLEBROOK GOLF CLUB TURF MAINTENANCE AREA EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**ChesterValley** PROJECT NO. 20558-0015

SCALE: AS NOTED DATE: 07.26.2022





LOCATION MAP SCALE 1" = 2000'

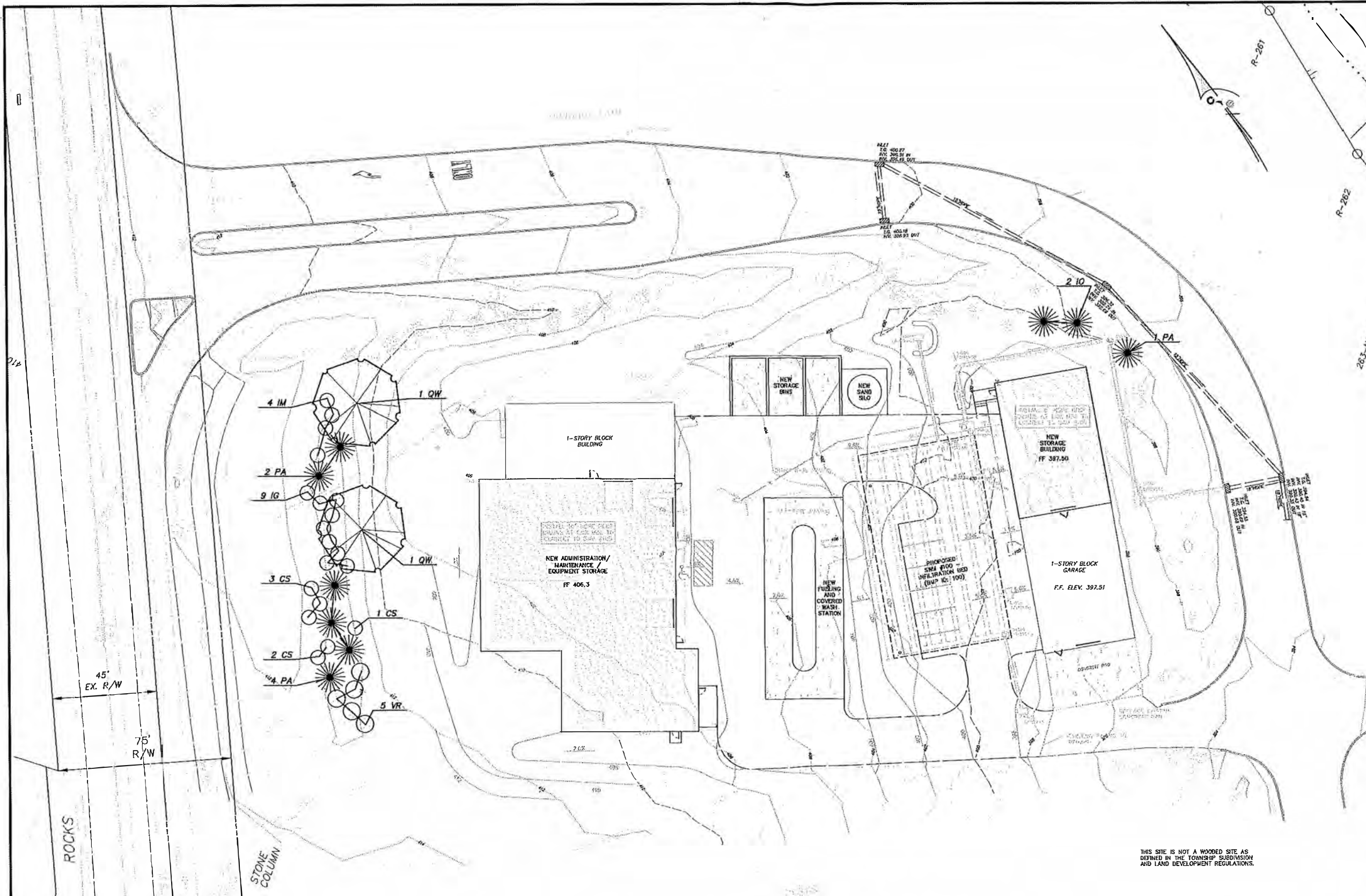
### LEGEND

**EXISTING FEATURES**

- EXISTING PROPERTY BOUNDARY
- EXISTING ADJOINING PROP. LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING EASEMENT
- EXISTING SETBACK BOUNDARY
- EXISTING FLOOD PLAN
- EXISTING STREAM LINE
- EXISTING WETLANDS
- EXISTING BUILDING
- EXISTING 2' CONTOURS
- EXISTING 10' CONTOURS
- EXISTING SPOT ELEVATION
- EXISTING SOIL TYPE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING GUIDE RAIL
- EXISTING STORM INLET AND PIPE
- EXISTING STORM ENDWALL AND PIPE
- EXISTING SANITARY SEWER
- EXISTING U/G FIRE LINE
- EXISTING U/G WATER LINE
- EXISTING U/G ELECTRIC LINE
- EXISTING U/G TELEPHONE LINE
- EXISTING U/G GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING PINE TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE & SHRUB LINE
- EXISTING SLOPES 15% - 25%
- EXISTING SLOPES 25% +

**PROPOSED FEATURES**

- PROPOSED BUILDING ADDITION
- FUTURE BUILDING ADDITION
- PROPOSED PAVEMENT
- PROPOSED CONCRETE PAD/SIDEWALK
- PROPOSED CURB
- NUMBER OF PROPOSED STANDARD PARKING SPACES
- PROPOSED SIGN
- PROPOSED 2' CONTOURS
- PROPOSED 10' CONTOURS
- PROPOSED SPOT ELEVATION
- PROPOSED STORM PIPE AND INLET
- PROPOSED STORM PIPE AND MANHOLE
- PROPOSED STORM PIPE AND CLEANOUT
- PROPOSED PIPE FLOW ARROW



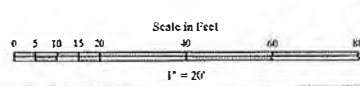
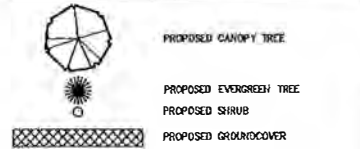
THIS SITE IS NOT A WOODED SITE AS DEFINED IN THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

PRELIMINARY/FINAL LANDSCAPE PLAN

### PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUAN	SIZE	ROOT	NOTES
QW	Quercus phellos	Willow Oak	2	25' - 3' Cal	B & B	
PA	Picea abies	Hemlock Spruce	1	8'	B & B	
IG	Ilex opaca	American Holly	2	8'	B & B	
CS	Cornus alternifolia	Red Twig Dogwood	8	36"	Can	
IG	Ilex glabra	Shamrock	9	36"	Can	
IM	Ilex mes. Blue Prince/Princess	Blue Prince / Princess Holly	4	36"	Can	
VR	Viburnum thyrsiflorum	Leaflark of Viburnum	5	36"	Can	

LANDSCAPING LEGEND



**APPLEBROOK GOLF CLUB**

**CHESTER VALLEY ENGINEERS & ARCHITECTS, INC.**  
 400 N. 10th St., Suite 200, P.O. Box 100, Pottsville, PA 17854  
 Tel: 610-261-1111 Fax: 610-261-1112  
 www.chestervalley.com

**PROJECT NO. 20558-0015**

**DATE: 02/26/2022**

**SCALE: 1" = 20'**

**DESIGNED BY: RAB**

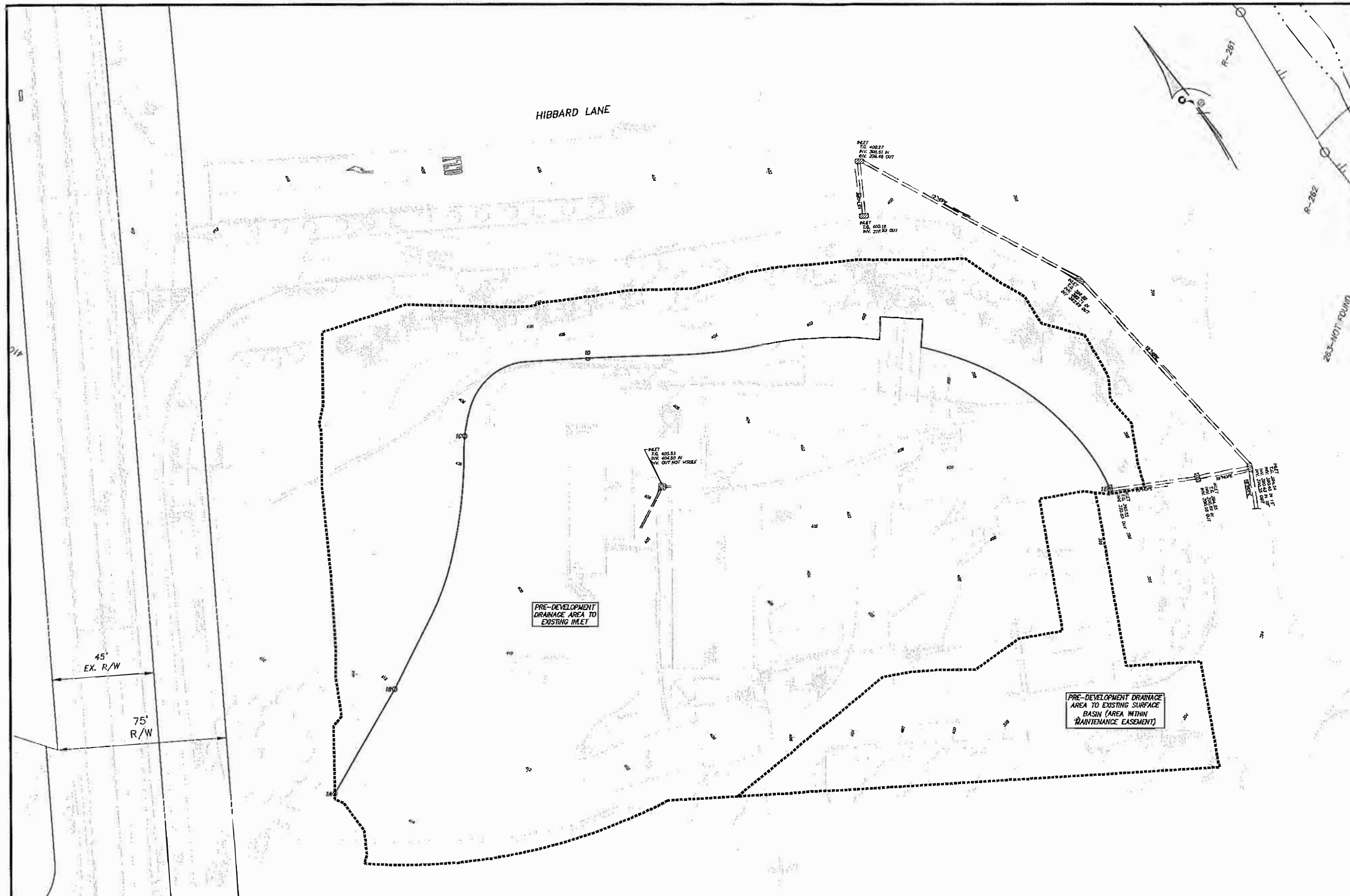
**CHECKED BY: BDA**

**DATE: 02/26/2022**

**SCALE: 1" = 20'**

**DATE: 02/26/2022**

**SCALE: 1" = 20'**



**LEGEND**

**EXISTING FEATURES**

- EXISTING PROPERTY BOUNDARY
- EXISTING ADJOINING PROP. LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING EASEMENT
- EXISTING SEWER BOUNDARY
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- EXISTING WETLANDS
- EXISTING BUILDING
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- EXISTING CURB RAIL
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- EXISTING SLOPES 15% - 25%
- EXISTING SLOPES 25% +

**PROPOSED FEATURES**

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- PROPOSED STORM PIPE AND MANHOLE
- PROPOSED STORM PIPE AND CLEANOUT
- PROPOSED PIPE FLOW ARROW

**DRAINAGE FEATURES**

- PRE-DEVELOPMENT DRAINAGE AREA
- PRE-DEVELOPMENT TO PATH

**PRE-DEVELOPMENT DRAINAGE AREA PLAN**

**LAND DEVELOPMENT PLANS**  
FOR  
**APPLEBROOK GOLF CLUB TURF MAINTENANCE AREA**  
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

**ChesterValley** 20558-0015

SCALE: 1" = 20'

DATE: 07/26/2022

DESIGNED BY: RBB

CHECKED BY: BSL

DATE: 08/10/2022

PROJECT NO. 20558-0015

SCALE: 1" = 20'

**CONTRACTOR:** CHESTER VALLEY ENGINEERS, INC. ONE EIGHTH & HARRISBURG EXPRESSWAY SUITE 200 CHESTER PA 19380

**DATE:** 07/26/2022

**PROJECT NO.:** 20558-0015

**SCALE:** 1" = 20'

**DESIGNED BY:** RBB

**CHECKED BY:** BSL

**DATE:** 08/10/2022

**PROJECT NO.:** 20558-0015

**SCALE:** 1" = 20'

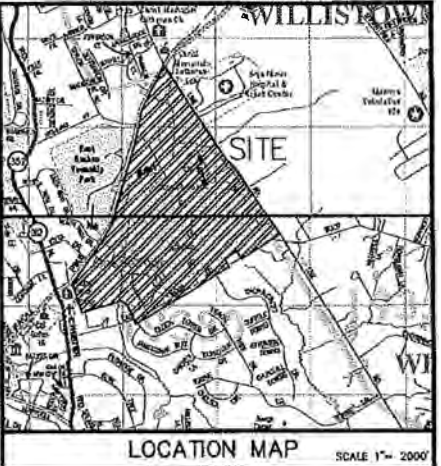
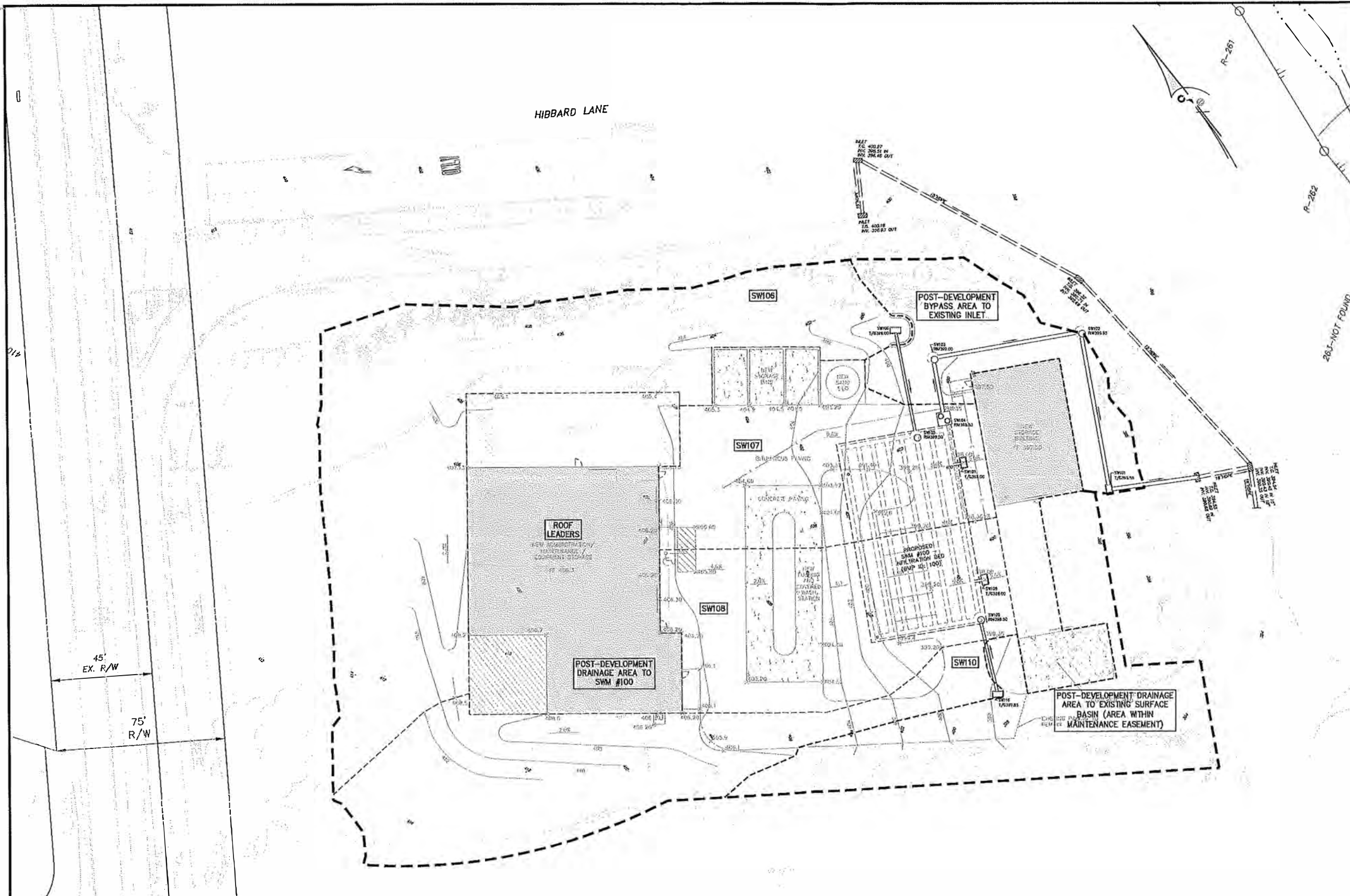
**APPLEBROOK GOLF CLUB**

**1-800-242-1776**

**POCS SERIAL NUMBER:** \_\_\_\_\_

APPBROOK GOLF CLUB TURF MAINTENANCE AREA PLAN - PRE-DEVELOPMENT DRAINAGE AREA PLAN





**LEGEND**

**EXISTING FEATURES**

- EXISTING PROPERTY BOUNDARY
- EXISTING ADJOINING PROP. LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING EASEMENT
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- PROPOSED STORM PIPE AND MANHOLE
- PROPOSED STORM PIPE AND CLEAROUT
- PROPOSED PIPE FLOW ARROW

**DRAINAGE FEATURES**

- POST-DEVELOPMENT DRAINAGE AREA
- POST-DEVELOPMENT OUTLET
- POST-DEVELOPMENT TO PATH

**POST-DEVELOPMENT DRAINAGE AREA PLAN**

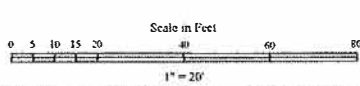
NO.	DATE	REV.
<b>LAND DEVELOPMENT PLANS</b> FOR <b>APPLEBROOK GOLF CLUB</b> <b>TURF MAINTENANCE AREA</b> EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA		
		PROJECT NO. <b>20558-0015</b>
83 Chestnut Hill Rd. Box 447, P.O. Box 19150 610-444-6273 / 610-997-2151 Fax www.cve.com		E.I.L. F.A.L.
SCALE	DATE	DESIGNED BY
1" = 30'	09-16-2022	RRB
		CHECKED BY
		HEJL
		DRAWN BY

**CONTRACTOR:** CHESTER VALLEY ENGINEERING, INC. THE ENGINEER & SURVEYOR. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.

**NOTE TO OWNER OF THESE PLANS:** THESE PLANS ARE PREPARED BY THE ENGINEER AND SURVEYOR ON THE BASIS OF THE INFORMATION CONTAINED THEREIN. THE ENGINEER AND SURVEYOR DO NOT WARRANT THE ACCURACY OF THE INFORMATION CONTAINED THEREIN. THE ENGINEER AND SURVEYOR DO NOT WARRANT THE ACCURACY OF THE INFORMATION CONTAINED THEREIN. THE ENGINEER AND SURVEYOR DO NOT WARRANT THE ACCURACY OF THE INFORMATION CONTAINED THEREIN.

**PENNSYLVANIA ONE CALL AGENCY:** CALL 1-800-242-4776

**FOR FACILITY VISITORS:** VISITORS SHOULD CONTACT THE CHESTER COUNTY DEPARTMENT OF PUBLIC WORKS AT 610-444-6273 FOR MORE INFORMATION.



# Memorandum

**East Goshen Township**  
**1580 Paoli Pike**  
**West Chester, PA 19380**  
Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [dbrady@eastgoshen.org](mailto:dbrady@eastgoshen.org)

---

**Date:** 8-31-2022  
**To:** Planning Commission  
**From:** Duane J. Brady Sr., Zoning Officer  
**Re:** Miller Property Residential Condition Use Application

Dear Commissioners,

The Township staff has received a Condition Use application for 1010 Hershey Mill Road, Miller Property Residential Subdivision. The proposal is to subdivide and develop an existing tract of land with 15 single-family residential lots. The application has been reviewed for completeness and was accepted by Township Staff on August 30, 2022.

**Background Information:**

- The property is located within the R-2 Zoning District.
- The proposal is to develop the property under the Single-Family Open Space Development Option Section 240-36 of the Township Zoning Ordinance.
- Access to the development will be provided with a culvert across the existing stream.
- The development access point will be directly across from Tanglewood Drive.
- The current property is an existing dwelling that is registered as a historic structure.
- While the plans incorporated the dwelling in the development there is no intention to alter the structure at this time.

Conditional Use Application and Checklist

## East Goshen Township

To: Township Zoning Officer

Name of Applicant: Grove Meadow Developers LLC

Applicant Address: 1171 Lancaster Avenue, Suite 201, Berwyn, PA 19312

Telephone Number: (610) 725-0812 Fax: \_\_\_\_\_

Email Address: tr@moserhomes.com

Property Address: 1010 Hershey Mills Road

Tax Parcel Number: 53-1-19 Zoning District: R-2 Acreage: 16.1

**Description of proposed use:**

The applicant is proposing to subdivide and develop the existing tract of land with 15 single-family residential lots. While the development is located within the R-2 (Low Density Residential) Zoning District, the property is proposed to be developed under the Single Family Open Space Development Option Section 240-36 of the East Goshen Township Zoning Ordinance.

Conditional Use is provided in Zoning Ordinance Section: 240-36

We hereby acknowledge that we have read this application and state that the above is correct and agree to comply with all provisions of the East Goshen Township Zoning Ordinance applicable to this project and property.

\_\_\_\_\_  
Signature of Applicant Date

Attest: \_\_\_\_\_

**\* Review the formal Planning Commission review procedure on page three.**

August 23, 2022

Derek Davis  
Township Manager  
East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380-6199

**RE: 1010 Hershey Mills Road  
Conditional Use Application  
East Goshen Township, Chester County  
DHE Project No. 22-001**

Dear Derek:

On behalf of the applicant, Grove Meadow Developers, LLC, please accept for review the enclosed Conditional Use application for the above-mentioned project.

The following items have been enclosed specifically for your review:

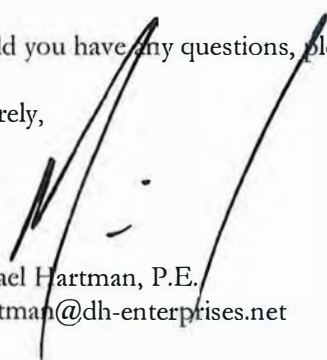
- Eleven (11) copies of the Subdivision Sketch Plan
- East Goshen Conditional Use Application and Checklist
- \$2,500 check, made payable to East Goshen Township, for review and escrow fees

The applicant is proposing to subdivide and develop the existing tract of land with 15 single-family residential lots. The property is located at 1010 Hershey Mills Road. While the development is located within the R-2 (Low Density Residential) Zoning District, the property is proposed to be developed under the Single Family Open Space Development Option Section 240-36 of the East Goshen Township Zoning Ordinance.

Access to the development shall be provided with the installation of a culvert across the existing stream. The access point shall be located directly across Hershey Mills Road from the end of Tanglewood Drive. Currently located on the property is an existing dwelling that is registered as a historic structure. While the plans incorporated the dwelling in the development, there is no intention to alter the structure at this time.

Should you have any questions, please feel free to contact me.

Sincerely,

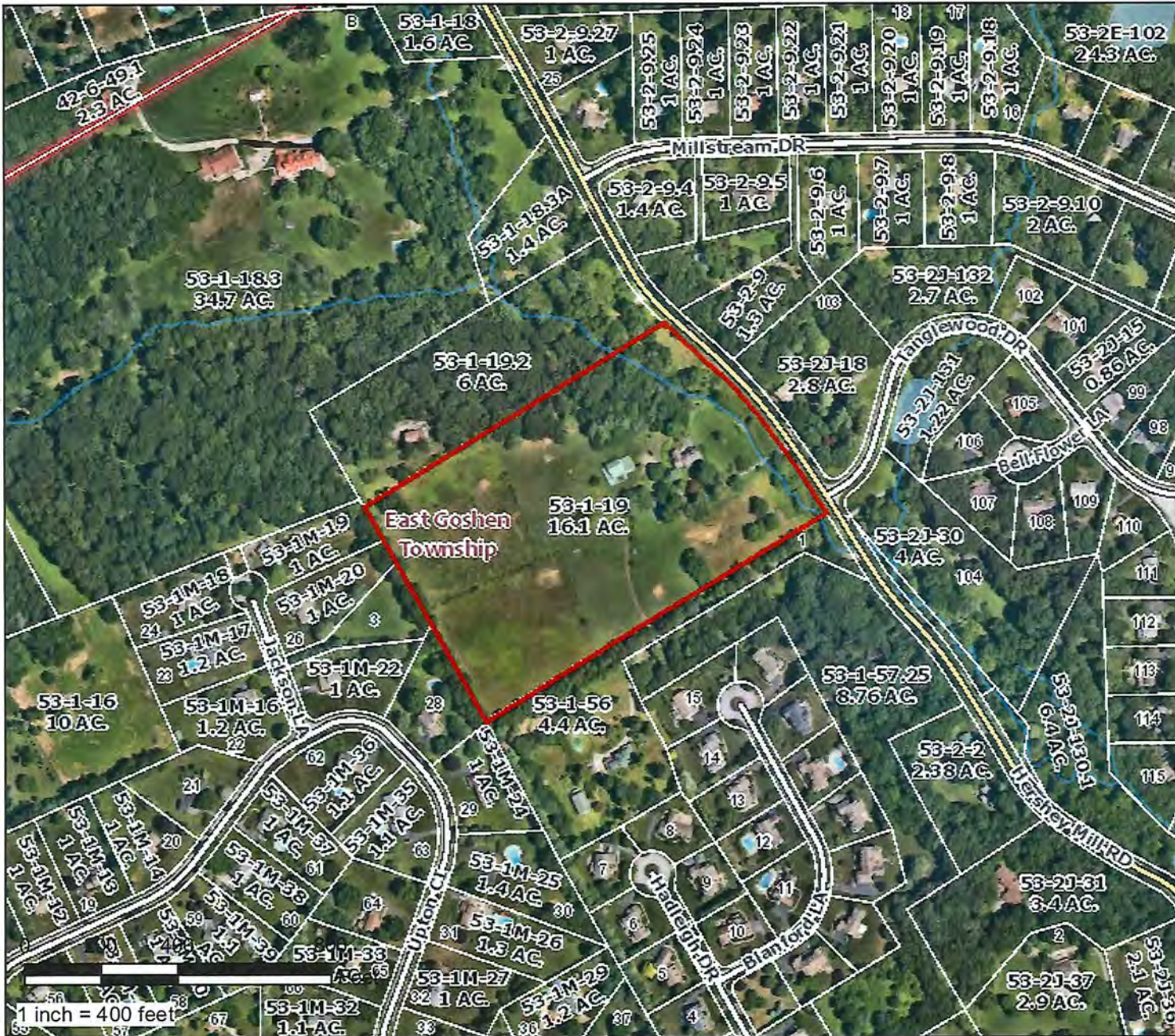


Michael Hartman, P.E.  
mhartman@dh-enterprises.net



Miller Property CU Project 2022

COUNTY OF CHESTER  
PENNSYLVANIA



Find Address Information

PARID: 5301 0019000  
 UPI: 53-1-19  
 Owner1: MILLER MARK S &  
 Owner2: CHRISTINE S  
 Mail Address 1: 210 N ABERDEEN AVE  
 Mail Address 2: WAYNE PA  
 Mail Address 3:  
 ZIP Code: 19087  
 Deed Book: 3587  
 Deed Page: 895  
 Deed Recorded Date: 7/1/1993 12:00:00 AM  
 Legal Desc 1: WS OF HERSHEY MILL RD  
 Legal Desc 2: 16.1 AC FARM  
 Acres: 16.1  
 LUC: F-10  
 Lot Assessment: 100410  
 Property Assessment: 215400  
 Total Assessment: 315810  
 Assessment Date: 12/15/2021 7:48:09 AM  
 Property Address: 1010 HERSHEY MILL RD  
 Municipality: EAST GOSHEN  
 School District: West Chester Area

Map Created:  
 Tuesday, August 30, 2022



County of Chester

**Limitations of Liability and Use:**  
 County of Chester, Pennsylvania makes no claims to the completeness, accuracy, or content of any data contained herein, and makes no representation of any kind, including, but not limited to, the warranties of merchantability or fitness for a particular use, nor any such warranties to be implied or inferred with respect to the information or data furnished herein. For information on data sources visit the GIS Services page listed at [www.chesco.org/gis](http://www.chesco.org/gis).





VICINITY MAP  
SCALE: 1"=800'

**APPLICANT & EQUITABLE RECORD OWNER:**  
GROVE MEADOW DEVELOPERS LLC  
1111 LANCASTER AVE. SUITE 201  
BERWYR PA 19312

**RECORD OWNER:**  
MARK S. & CHRISTINE S. MILLER  
210 N. ABERGLEN AVENUE  
WAYNE, PA 19383

**SOURCE OF TITLE:**  
PZN 53-1-19 DBV 3587 PAGE 655

**SCOPE:**  
SINGLE FAMILY OPEN SPACE DEVELOPMENT

**TOTAL UNITS:** 15 SINGLE FAMILY LOTS

**TOTAL AREA:** 16.12 ACRES (GROSS AREA)  
15.83 ACRES (NET AREA)  
0.918 UNITS/ACRE

**PROPOSED DENSITY:** PUBLIC  
**WATER SERVICE:** PUBLIC  
**SEWER SERVICE:** PUBLIC

**ZONING DATA TABLE**

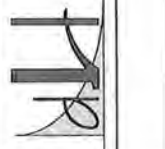
LOW DENSITY RESIDENTIAL DISTRICT (R-2)	
LOT AREA	1 ACRE
LOT WIDTH	150 FT. (AT BUILDING LINE)
FRONT YARD	60 FT. (AT STREET LINE)
REAR YARD	45 FT. MINIMUM
SIDE YARD	60 FT. AVERAGE
REAR YARD	20 FT. EACH
BUILDING HEIGHT	50 FT.
(MAX. BLDG. COVERAGE)	3 STORIES OR 30 FT.
(MAX. DP. COVERAGE)	25 %
	30 %

**OPEN SPACE DEVELOPMENT OPTION**  
REQUIRED OPEN SPACE (55% OF TRACT) 8.70 ACRES

**PROVIDED OPEN SPACE**

PERIMETER OPEN SPACE (PARCEL 10)	8.15 ACRES
CENTRAL GREEN SPACE (PARCEL 10)	168 ACRES
QUALIFYING OPEN SPACE	9.19 ACRES (54 %)
LESS THAN 50' IN WIDTH (PARCEL 10)	0.28 ACRES
QUALIFYING OPEN SPACE	9.47 ACRES

2818 PENN AVENUE  
WEST LAWN, PA  
610-027-4242



1010 HERSHEY MILL ROAD  
SKETCH PLAN  
OPEN SPACE DEVELOPMENT LAYOUT PLAN

CLIENT: MOSER CONSTRUCTION MANAGEMENT, LLC  
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA  
DATE: AUGUST 22, 22

**HATCH LEGEND**

[Hatch pattern]	STEEP SLOPES - 15-25%
[Hatch pattern]	STEEP SLOPES - 25%+

M.D. HARTMAN  
M.D. HARTMAN  
1" = 50'  
1 of 2  
22-001-S-D-1.0