

## LETTER OF TRANSMITTAL

DATE: June 29, 2022

W. A. No. : W-16-2100

TO: Jeff Glosson  
14 Reservoir Road  
West Chester, PA 19380

RE:

WE ARE SENDING YOU ☒ Attached: ☐ Under separate cover: Via \_\_\_\_\_ the following:  
☐ Shop Drawing ☒ Prints ☐ Plans ☐ Samples ☐ Specifications  
☐ Copy of letter ☐ Change Order ☐ \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
12	June 1, 2022	C-53-6-80	Subdivision plan set
3	June 24, 2022		Stormwater report

### THESE ARE TRANSMITTED as checked below:

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> For approval              | <input type="checkbox"/> Approved as submitted    | <input type="checkbox"/> Submitted for _____ distribution    |
| <input checked="" type="checkbox"/> For your use   | <input type="checkbox"/> Approved as noted        | <input type="checkbox"/> Submitted for _____ approval        |
| <input checked="" type="checkbox"/> As requested   | <input type="checkbox"/> Returned for corrections | <input type="checkbox"/> Submitted for _____ permit          |
| <input type="checkbox"/> For review and comment    |   | <input type="checkbox"/> Revised as per your letter of _____ |
| <input type="checkbox"/> FOR BIDS DUE _____ 19____ |   | <input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US    |

### REMARKS:

Hi Jeff

The township will need 11 sets of the plans, the 3 stormwater reports and application for submission. The submission will be for SUBDIVISION. Bring your check book for the application and other fees.

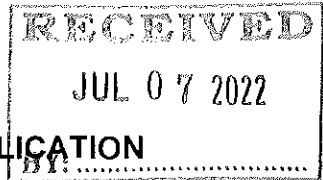
Please contact me with any questions concerning the plans.

COPY TO:

SIGNED: Mike Barbieri  
Phone: 610-644-4254 Ext 241  
mbarbieri@yerkes-assoc.com



EAST GOSHEN TOWNSHIP  
CHESTER COUNTY, PA



SUBDIVISION AND / OR LAND DEVELOPMENT APPLICATION

Date Filed: \_\_\_\_\_

Application for (Circle one):

☒ Subdivision ☐ Land Development ☐ Subdivision & Land Development

A. Application is hereby made by the undersigned for approval of a Subdivision and or Land Development Plan, more particularly described below.

1. Applicant's name: Jeffrey S. & Michelle A. Glosson

Address: 14 Reservoir Road, West Chester, PA 19380 Phone: 484-364-6167

Fax: \_\_\_\_\_ Email: jsglosson@gmail.com

2. Name and address of present owner (if other than 1. above)

Name: Same as above

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Fax: \_\_\_\_\_ Email: \_\_\_\_\_

3. Location of plan: 14 Reservoir Rd., West Chester, PA 19380

4. Proposed name of plan: \_\_\_\_\_

5. County Tax Parcel No.: 53-6-80 Zoning District: R-3

6. Area of proposed plan (ac.): 2.0005 Number of lots: 2

7. Area of open space (ac.): N/A

8. Type of structures to be constructed: Residential single-family home

9. What provisions are to be made for water supply and sanitary sewer? \_\_\_\_\_

Connection to public water and sewer

10. Linear feet of road to be constructed: Driveway 359.5'

11. Name of Engineer: Nicholas Cirilli, Yerkes Associates, Inc.

Phone Number: 610-644-4254 Fax: 610-640-0771

Email address: ncirilli@comcast.net

**EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA  
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION**

12. Name of Land Planner: Same as above

Phone Number: \_\_\_\_\_ Fax: \_\_\_\_\_



Email address: \_\_\_\_\_

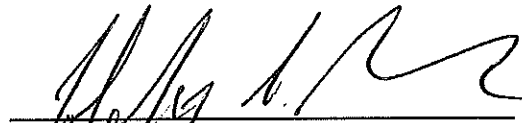
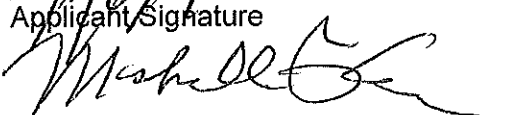
- B. I/We agree to reimburse the Township of East Goshen for such fees and expenses the Township may incur for the services of an Engineer(s) in investigations, tests, and review in relation to the Subdivision Plan.
- C. I/We agree to post financial security for the improvements depicted on the Subdivision and or land Development Plan pursuant to the Subdivision and Land Development Ordinance.
- D. I/We agree to reimburse the Township of East Goshen for all inspection fees at the actual cost to Township.

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**NOTICE**

The Township requires an Occupancy Permit before any building can be occupied; no Occupancy Permit will be issued until final inspection and approved by the Zoning Officer and Building Inspector.

  
\_\_\_\_\_  
Owner Signature  


  
\_\_\_\_\_  
Applicant Signature  


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**Administrative Use**

Fees received from applicant \$ \_\_\_\_\_ basic fee, plus \$ \_\_\_\_\_ per lot

For \_\_\_\_\_ lots = \$ \_\_\_\_\_.

Application and plan received by: \_\_\_\_\_ Date: \_\_\_\_\_  
(Signature)

Application accepted as complete on: \_\_\_\_\_  
(Date)

EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA  
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

**SUBDIVISION AND/OR LAND DEVELOPMENT CHECKLIST**

This checklist outlines the steps and items needed to insure completeness of the application and to insure the application follows the process and conforms to the timeframe outlined by the State of Pennsylvania and East Goshen Township. This checklist is broken into two parts, the Application Process and the Review Process. The application process must be completed in its entirety prior to the advancement into the Review Process.

**\* Review the formal Planning Commission review procedure on page five.**

**Application for (Circle all appropriate):**    ☒ Subdivision ☐ Land Development

**Applicant Information:**

Name of Applicant: Jeffrey S. & Michelle A. Glosson

Address: 14 Reservoir Road, West Chester, PA 19380

Telephone Number: 484-364-6167 Fax: N/A

Email Address: jsglosson@gmail.com

Property Address: 14 Reservoir Road, West Chester, PA 19380

**Property Information:**

Owner's Name: Jeffrey S. & Michelle A. Glosson

Address: 14 Reservoir Road, West Chester, PA 19380

Tax Parcel Number: 53-6-80 Zoning District: R-3 Acreage: 2.0005

Description of proposed subdivision and or land Development:

Existing single-family residential property, on 2.0005 acres is to be subdivided  
into 2 lots. The existing home and structures will remain and the lot will be reduced to  
approximately 1.2 acres (48,560 square feet), while maintaining the township  
bulk zoning requirements. A new subdivided lot, with access leg, will be utilized for  
building a new single-family residence proposed to be roughly 2500-3000 square feet.  
This new proposed lot will be approximately 0.8 acres (34,460 square feet) and  
will conform to township bulk zoning requirements.



# Memorandum

**East Goshen Township**  
**1580 Paoli Pike**  
**West Chester, PA 19380**  
**Voice: 610-692-7171**  
**Fax: 610-692-8950**  
**E-mail: [dbrady@eastgoshen.org](mailto:dbrady@eastgoshen.org)**

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**Date:** 5-18-2023  
**To:** Planning Commission  
**From:** Duane J. Brady Sr., Zoning Officer  
**Re:** 14 Reservoir Road SD/Glosson

Dear Commissioners,

The applicant for 14 Reservoir Road will be attending the May 23, 2023, Planning Commission meeting to present the proposed project and provide additional information. The project is to create a second residential lot on the existing property.

Background Information and timeline:

- ❖ The SD application was first submitted on July 7, 2022, with the purpose of subdividing an existing 2.0005-acre residential lot into two residential lots. The existing lot will be approximately 1.2 (48,560 square feet) acres and the newly created lot will be approximately 0.8 acres (34,460 square feet). The newly created lot will be a flag lot.
- ❖ The East Goshen Zoning Hearing Board Grant a dimensional variance on 9-1-2021. Copy is attached for review.
- ❖ Township Engineer submitted the review letter on 10-21-2022. Copy is attached for review.
- ❖ The Chester County Planning Commission reviewed the project and provided a review letter on 12-9-2022. Copy is attached for review.
- ❖ The East Goshen Township Fire Marshal submitted a review letter on 11-17-2022. Copy is attached for review.
- ❖ The applicant received notice from Fish & Wildlife that a Bog Turtle study was not required.
- ❖ The applicant provided an Extension of Review Period letter to increase the drop-dead date from 5-28-2023 to 8-28-2023.
- ❖ The East Goshen Municipal Authority approved the connection on 11-14-2022.
- ❖ The applicant has provided a copy of the Township Engineer review letter with edits dated 5-16-2023. Copy is attached for review.

Questions and possible outstanding items:

- ❖ Is the easement for the public water connection completed?
- ❖ Is the planning module completed?
- ❖ Are there any other outstanding items for this project?
- ❖ Has the East Goshen Conservancy Board reviewed and approved the landscaping plan?

Zoning information:

- ❖ The property is in the R-3 Medium Density Residential District.
- ❖ Single-family detached dwellings are a use permitted by right.
- ❖ The minimum lot area is 18,000 square feet.
- ❖ The front yard is 30 feet, the side yard is 20 feet, and the rear yard is 30 feet.
- ❖ The minimum building height is 30 feet (3 stories).
- ❖ Total impervious cover is 35%.
- ❖ Total building cover is 25%.
- ❖ The zoning also notes that design and landscaping controls in 240-27D shall apply to residential development in this district.

Things to consider:

- ❖ The existing single-family residential lot on a 2-acre lot is to be subdivided into 2 lots.
- ❖ The existing dwelling and structures (In-ground pool, shed, and detached garage will remain, and the lot will be reduced to approximately 1.2 acres (48,560 square feet).
- ❖ Township bulk zoning requirements will be maintained.
- ❖ A new lot will be created with leg access to the new dwelling.
- ❖ A new single-family residence is proposed to be 2,500 to 3,000 square feet.
- ❖ The new lot will be approximately 0.8 acres (34,460 square feet).
- ❖ The new lot will be a flag lot with a flagpole section variance by the Zoning Hearing Board. The variance changed the pole portion from 40 feet to 24 feet wide.

Sincerely,

Duane J. Brady Sr.  
East Goshen Township  
Zoning Officer

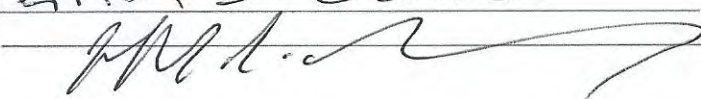
**BOARD OF SUPERVISORS  
EAST GOSHEN TOWNSHIP  
CHESTER COUNTY  
1580 PAOLI PIKE, WEST CHESTER, PA 19380  
(610) 692-7171  
[codes@eastgoshen.org](mailto:codes@eastgoshen.org)**

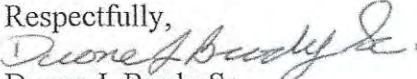
**Date:** May 16, 2023  
**To:** Jeffrey Glosson  
**From:** Duane J. Brady Sr., Zoning Officer  
**RE:** 14 Reservoir Road SD / Extension of Review Period

Mr. Glosson, the letter is a request for an extension of the review period for your subdivision plan for 14 Reservoir Road. The extension will be needed as there are some outstanding items still needed for the Planning Commission to complete the review process. The must act date is May 28, 2023, under the extension letter date February 28, 2023, the review has not been completed by your engineer and more time is needed to complete the process.

I am requesting you authorize a 90-day extension to the review period. Please understand that this extension doesn't mean that the application referenced will be approved within the period; it only allows East Goshen Township additional time to review the application.

If you are allowing the 90-day extension to the review period, please sign below.  
The new Drop-Dead Date will be August 28, 2023.

Applicant (Print): JEFFREY S. GLOSSON  
Applicant (Signature): 

Respectfully,  
  
Duane J. Brady Sr.  
East Goshen Township  
Director of Codes and Zoning  
Fire Marshal



September 1, 2021

Via First Class Mail and E-mail ([jsglosson@gmail.com](mailto:jsglosson@gmail.com))

Jeffrey S. & Michelle A. Glosson  
14 Reservoir Road  
West Chester, PA 19380

**RE: East Goshen Township Zoning Hearing Board  
Application of Jeffrey S. & Michelle A. Glosson  
14 Reservoir Rd. (Tax Parcel I.D. No.: 53-6-80)  
Decision/Findings Letter – Grant of Dimensional Variance Relief**

Dear Mr. & Mrs. Glosson:

I am writing this letter as Solicitor to the East Goshen Township Zoning Hearing Board ("Board"). This correspondence ("Decision Letter") memorializes the Decision by the Board, at its July 21, 2021 public meeting and Hearing, on your unopposed Application for dimensional variance relief, pursuant to Township Zoning Ordinance Section 240-23.B.(2)(b)[2][e] (the "Application").

The Application sought to allow the pole portion of the flag lot to maintain a minimum width of less than 40 feet (*i.e.*, 24 feet) for its full length, as otherwise required, at your property, located at 14 Reservoir Road, West Chester, Pennsylvania 19380 ("Property"). The zoning relief was sought to facilitate a 24-foot-wide access leg for driveway usage for rear residential lot access, given Applicant's desire for a two-lot subdivision of the Property.

On July 21, 2021, the Board granted the requested dimensional variance relief by a unanimous (3-0) vote. Said approval is subject to the following three (3) conditions:

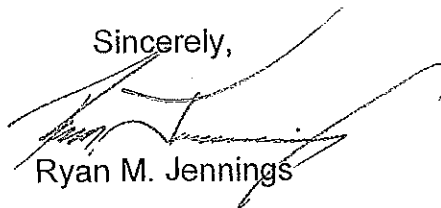
1. Applicants shall comply with all other, applicable area and bulk requirements and design standards within the R-3 (Medium Density Residential) Zoning District, except for the zoning relief granted by the Board pursuant to the Application;
2. Applicants shall comply with any and all applicable Federal, State and Local laws and ordinances, and shall obtain all governmental approvals and permits necessary to accommodate and allow for the desired two-lot subdivision of the Property; and



3. The portion of the proposed flag lot for which dimensional variance relief was sought by Applicants and granted by the Board shall be in conformance with the Application, the documentary evidence of record (including, but not limited to, all Hearing Exhibits), as well as all testimony presented and representations made at the July 21, 2021 Hearing.

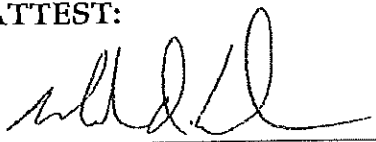
The Board reserves the right to issue a more formal, written decision and order (containing findings of fact, conclusions of law, and/or legal discussion), should it so choose.<sup>1</sup> Not only the Applicants, but also their assigns and successors in interest, shall be bound by and subject to the terms of this Decision Letter.

Sincerely,




Ryan M. Jennings

ATTEST:

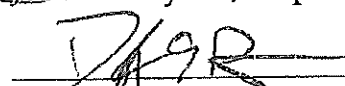


Mark A. Gordon, Zoning Officer

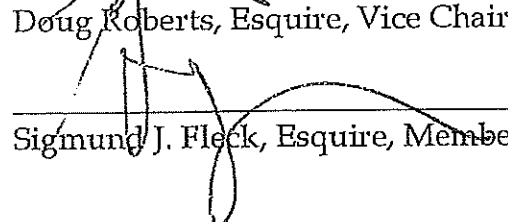
EAST GOSHEN TOWNSHIP  
ZONING HEARING BOARD



John D. Snyder, Esquire, Chairman



Doug Roberts, Esquire, Vice Chairman



Sigmund J. Fleck, Esquire, Member

RMJ:akf

<sup>1</sup> At the conclusion of the July 21, 2021 Hearing, Applicants, through legal counsel, waived the time period set forth in the Pennsylvania Municipalities Planning Code ("MPC") and Township Zoning Ordinance (§ 240-59.D.(10) & (11)) with respect to the issuance and service of the Board's memorialized Decision.

Jeffrey S. & Michelle A. Glosson  
September 1, 2021  
Page 3

cc: East Goshen Township Zoning Hearing Board (*via e-mail*)  
Mark A. Gordon, CFM, Director of Code Enforcement / Zoning Officer (*via e-mail*)  
Michael Pastino, Esquire (*via e-mail*)  
Ross A. Unruh, Esquire (*via e-mail*)



NOTE: ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 199 OF 2004. SERIAL # 20230530074

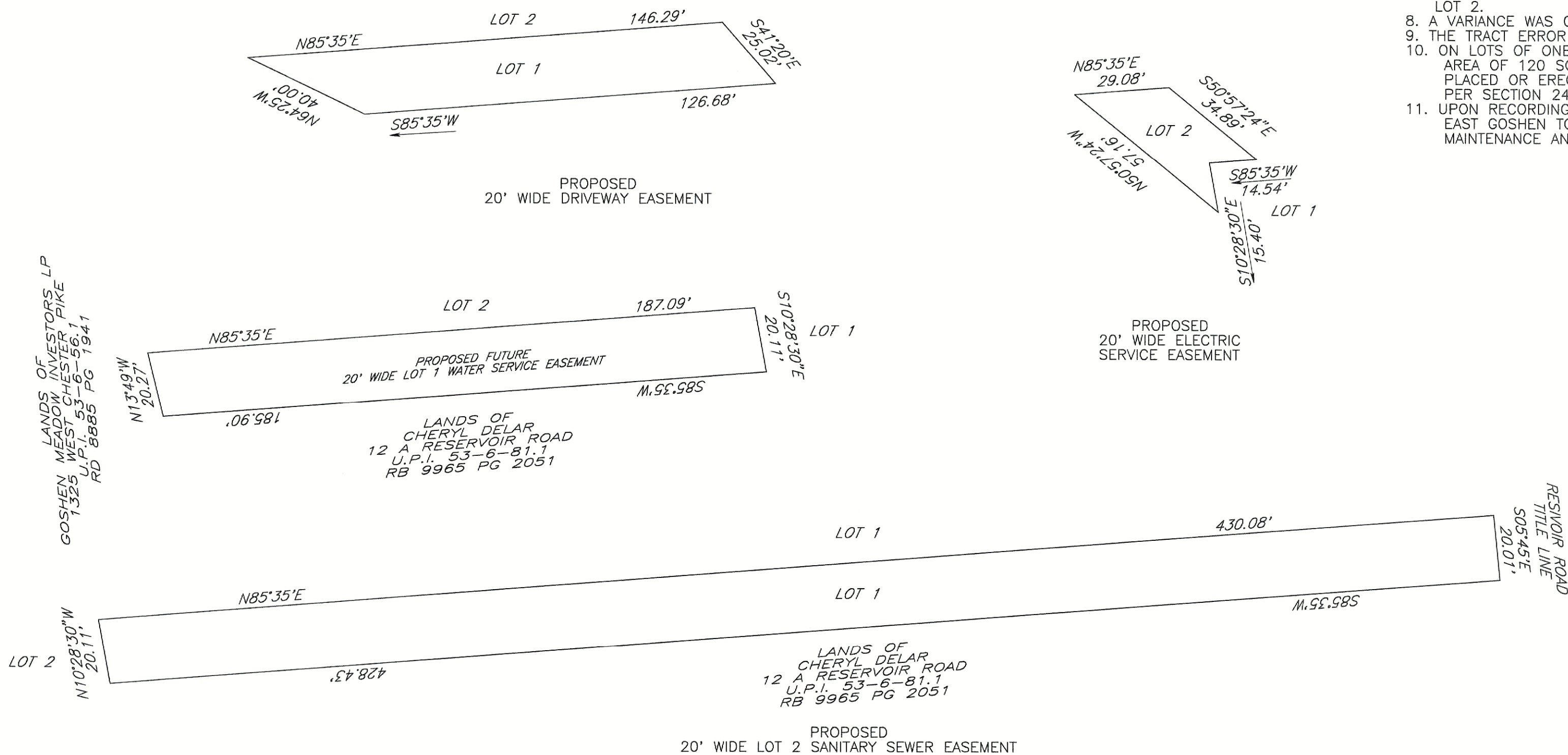


## LOT 2 BUILDING PERMIT ACKNOWLEDGMENT

ALL IMPROVEMENTS, STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL SHOWN ARE FOR A FICTIONAL NEW RESIDENCE AND SHOWN TO MEET TOWNSHIP REQUIREMENTS. WHEN THE OWNER OF LOT 2 APPLIES FOR A BUILDING PERMIT THEY, THE APPLICANT, SHALL BE REQUIRED TO SUBMIT A PLAN(S) WITH ANY REVISIONS TO THE IMPROVEMENTS, STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROLS FOR TOWNSHIP REVIEW, COMMENTS AND APPROVAL AS PART OF A COMPLETE BUILDING PERMIT APPLICATION.

## NOTES:

1. THIS IS THE SAME PREMISES DESCRIBED IN RECORD BOOK 9154 PAGE 952 RECORDED AT THE CHESTER COUNTY RECORDER OF DEEDS.
2. THIS PLAN IS BASED UPON A FIELD SURVEY IMPROVEMENTS SHOWN FROM A FIELD SURVEY BY YERKES ASSOCIATES, INC., IN APRIL 2017 UNDERGROUND UTILITIES ARE SHOWN BASED UPON A PA ONE CALL IN 2021.
3. THIS PLAN HAS BEEN PREPARED WITHOUT THE AID OF A TITLE REPORT.
4. ELEVATION DATUM IS APPROXIMATE CHESTER COUNTY GIS.
5. THE SITE BENCHMARK IS THE RM OF THE SANITARY MANHOLE NOTED NEAR THE DRIVEWAY
6. TREE NAMES AND CALIPER ARE APPROXIMATE.
7. UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED UPON A PA ONE BUT OTHER UTILITIES MAY EXIST THAT HAVE NOT BEEN LOCATED NOR SHOWN.
8. THE INTENT OF THIS PLAN IS TO SUBDIVIDE THE PROPERTY CREATING A NEW VACANT LOT, LOT 2.
9. A VARIANCE WAS GRANTED ON JULY 21, 2021 FOR A 24' POLE PORTION OF THE FLAG LOT.
10. THE TRACT ERROR OF CLOSURE IS 1 : 433,647
11. ON LOTS OF ONE ACRE OR LESS, A MAXIMUM OF ONE STORAGE SHED OF A MAXIMUM FLOOR AREA OF 120 SQUARE FEET AND MAXIMUM HEIGHT OF 12 FEET AT ITS HIGHEST POINT MAY BE PLACED OR ERECTED WITHIN THE REQUIRED SIDE AND/OR REAR YARDS OF THE PROPERTY PER SECTION 240-32.P(1)(g)).
12. UPON RECORDING OF THIS PLAN A BLANKET EASEMENT OVER LOT 2 IS PROVIDED TO THE EAST GOSHEN TOWNSHIP OR IT'S REPRESENTATIVES FRO THE INSPECTION AND IF NECESSARY MAINTENANCE AND REPAIR OF THE LOTS STORMWATER MANAGEMENT SYSTEM.

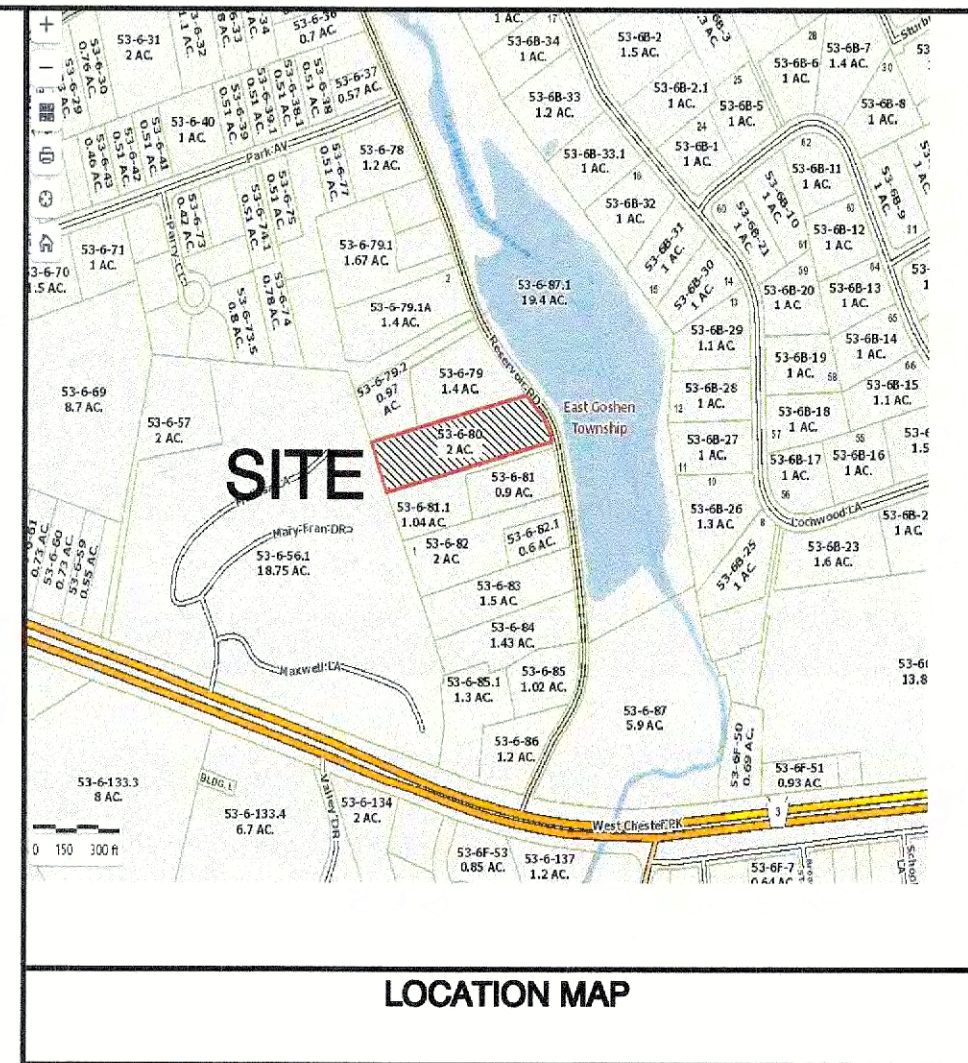


## BULK ZONING:

DISTRICT	R-3 MEDIUM DENSITY RESIDENTIAL
MIN. LOT AREA	18,000 SQUARE FEET
MIN. LOT WIDTH	100 FEET @ BUILDING SETBACK
MIN. FRONT YARD	50 FEET @ STREET
MIN. SIDE YARD	30 FEET
MIN. REAR YARD	20 FEET
MAX. BUILDING COVERAGE	30 FEET
MAX. LOT COVERAGE	25 PERCENT
MAX. BUILDING HEIGHT	35 PERCENT
	30 FEET OR 3 STORIES

## LOT AREAS: SQUARE FEET

TOTAL TRACT AREA	87143
LOT 1 TOTAL	50514
LOT 1 RW	2620
LOT 1 NET	47894
LOT 2 TOTAL	36629
LOT 2 RW	297
LOT 2 NET	36332



STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_  
ON THIS, THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_\_\_,  
BEFORE ME  
UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_

KNOWN TO ME TO BE THE PERSON WHOSE NAME IS  
SUBSCRIBED TO THE WITHIN INSTRUMENT, AND  
ACKNOWLEDGED THAT THEY EXECUTED THE SAME  
FOR THE PURPOSES THEREIN CONTAINED.

REVIEWED BY THE EAST GOSHEN PLANNING COMMISSION  
DATE \_\_\_\_\_

APPROVED BY THE EAST GOSHEN BOARD OF SUPERVISORS  
DATE \_\_\_\_\_

REVIEWED BY THE EAST GOSHEN TOWNSHIP ENGINEER  
DATE \_\_\_\_\_

REVIEW BY THE CHESTER COUNTY PLANNING COMMISSION  
DATE \_\_\_\_\_

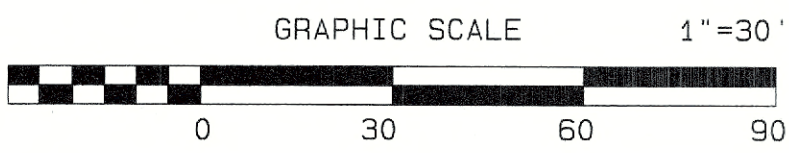
TOTAL LOT AREA = 2.0005 ACRES  
NET LOT AREA = 1.9345 ACRES

A WAIVER OF SECTION 205-28 IS REQUESTED TO ALLOW FOR  
COMBINED PRELIMINARY/FINAL PLAN APPROVAL.

1	MAY 22, 2023	PER REVIEW LETTER DATED OCTOBER 21, 2022
1	SEPTEMBER 14, 2022	NOT THIS SHEET
NO.	DATE	REVISION COMMENT
<b>TITLE PLAN</b>		
PRELIMINARY/FINAL 14 RESERVOIR ROAD - SUBDIVISION PREPARED FOR <b>JEFFREY S. &amp; MICHELLE A. GLOSSON</b> EAST GOSHEN TOWNSHIP * CHESTER COUNTY * PENNSYLVANIA		
<b>Yerkes Associates, Inc.</b> a c/cirilli company		
CONSULTING ENGINEERS / STRUCTURAL ENGINEERING SITE PLANNERS / LAND SURVEYORS / MUNICIPAL SERVICES		
1444 PHOENIXVILLE PIKE * P.O.BOX 1568 * WEST CHESTER, PA 19380 TEL: (610) 644-4254 * FAX: (610) 640-0771		
PROJECT - W-16-2100 DATE - JUNE 1, 2022 SCALE - 1" = 30' DRAWN - MWB CHECKED - JAG/NC CAD FILE - W2100 SUBDIVISION TAX PARCEL - 53-6-80 PLAN NO. <b>C-53-6-80</b> <b>SHEET 1 OF 8</b>		



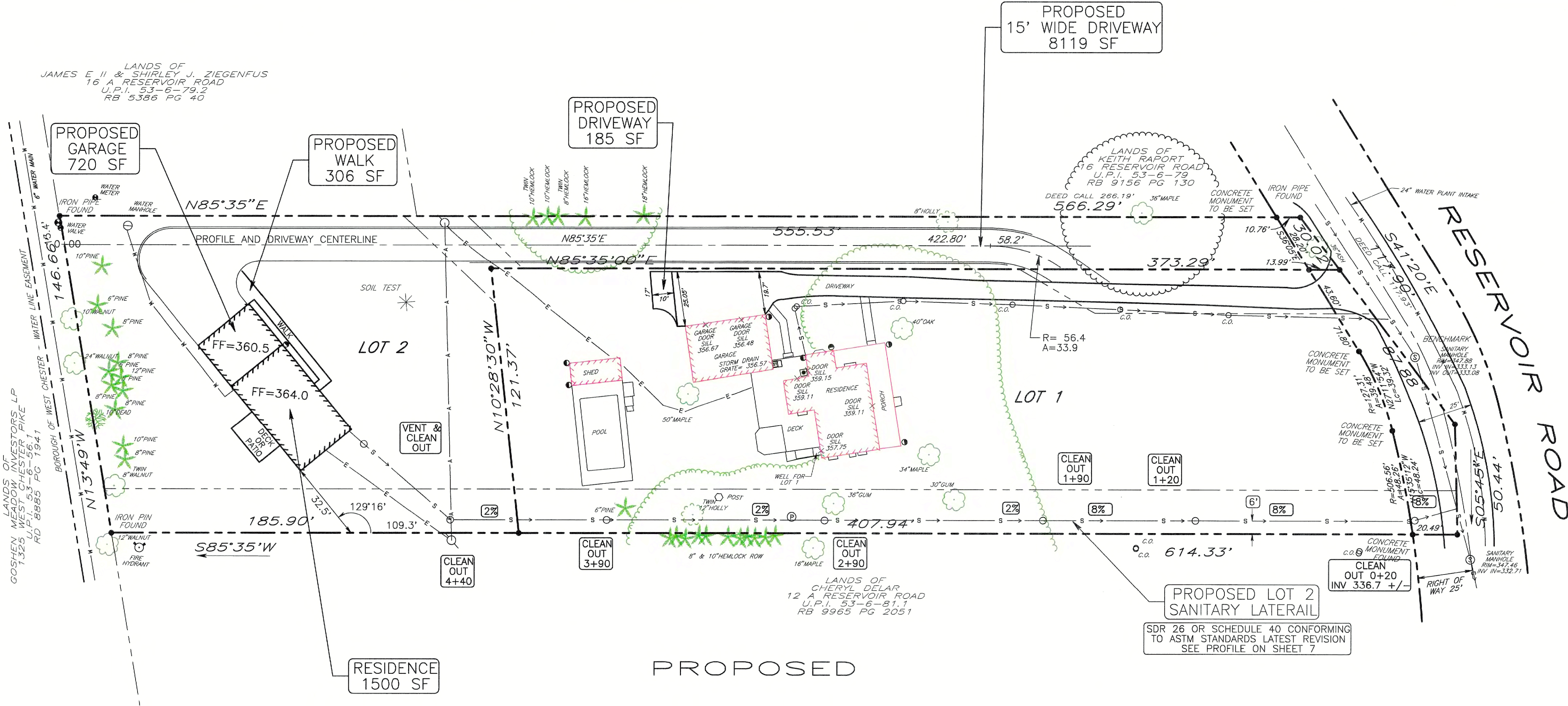
OWNER / APPLICANT  
JEFFREY S. & MICHELLE A. GLOSSON  
14 RESERVOIR ROAD  
WEST CHESTER, PA 19380  
LAND SURVEYOR  
NICHOLAS CIRILLI  
YERKES ASSOCIATES, INC.  
1450 E. BOOT ROAD, SUITE 600 A  
WEST CHESTER, PA 19380  
610-644-4254



BY AFFIXING MY SEAL TO THIS PLAN IS CERTIFY THIS PLAN IS ACCURATE AND IS IN  
CONFORMANCE WITH THE TOWNSHIP ORDINANCE TO THE BEST OF MY KNOWLEDGE.



NOTE: ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DERIVED FROM EXISTING UTILITY RECORDS AND FIELD SURVEYS. THE LOCATION AND DEPTH OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO CONSTRUCTION. THIS PLAN IS IN ACCORDANCE WITH THE PENNSYLVANIA ACT 1974 AS AMENDED BY ACT 189 OF 2004. SERIAL # 2023030874



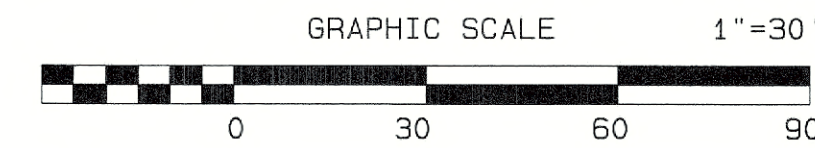
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MIN. SIDE YARD	30 FEET
MIN. REAR YARD	20 FEET
MAX. BUILDING COVERAGE	30 FEET
MAX. LOT COVERAGE	25 PERCENT
MAX. BUILDING HEIGHT	35 PERCENT
	30 FEET OR 3 STORIES

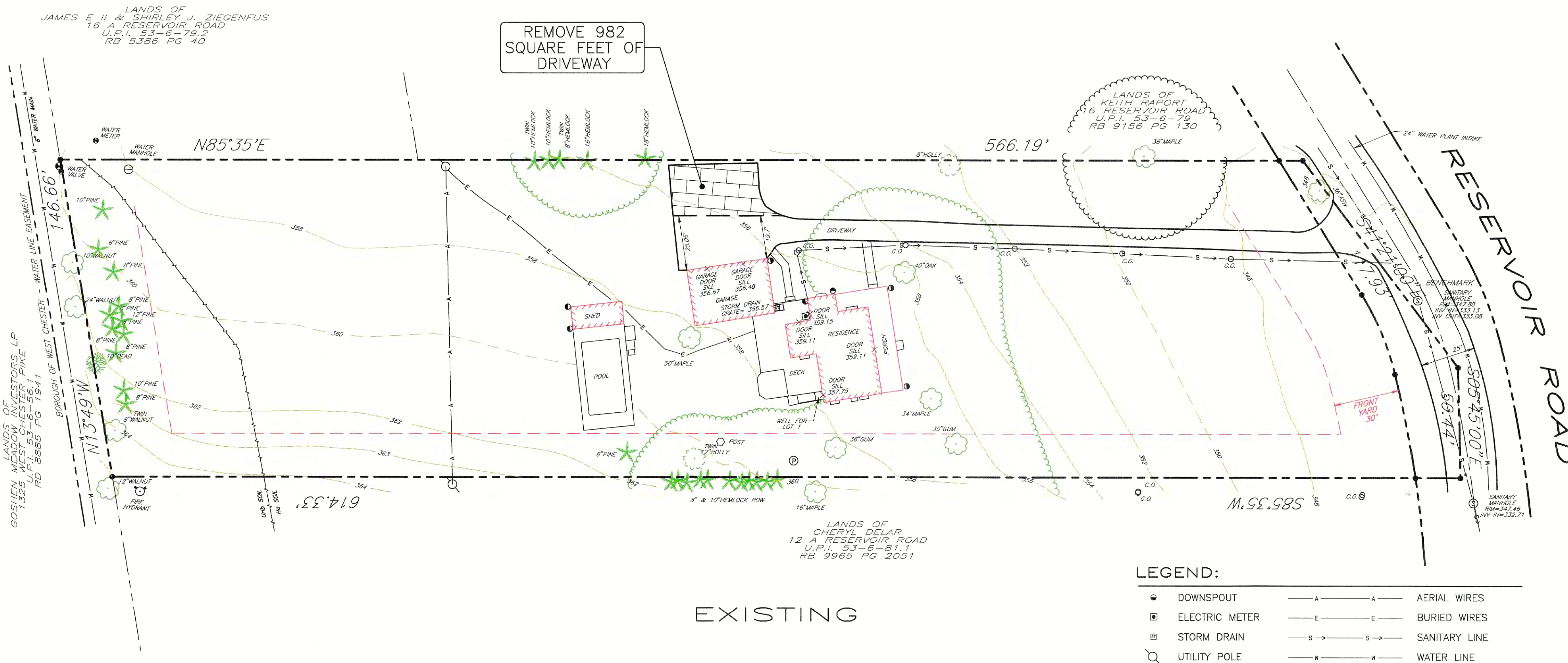
**IMPERVIOUS COVERAGE: SQUARE FEET**

RESIDENCE	1934
GARAGE	942
SHED	241
SUB TOTAL	3117 / 84226 = 3.70 PERCENT
STAIRWELL	67
POOL, DECK AND STEPS	1127
DRIVEWAY	4286
DECK	900
FRONT STEP	14
EAST WALK	88
WEST WALK	88
TOTAL	9687 / 84226 = 11.50 PERCENT

- NOTES:**
- THIS IS THE SAME PREMISES DESCRIBED IN RECORD BOOK 9154 PAGE 952 RECORDED AT THE CHESTER COUNTY RECORDER OF DEEDS.
  - THIS PLAN IS BASED UPON FIELD SURVEYS BY YERKES ASSOCIATES, INC.
  - ELEVATION DATUM IS APPROXIMATE CHESTER COUNTY GIS.
  - THE SITE BENCHMARK IS THE RIM OF THE SANITARY MANHOLE NOTED NEAR THE DRIVEWAY.
  - THIS PLAN HAS BEEN PREPARED WITHOUT THE AID OF A TITLE REPORT.
  - UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED UPON A PA ONE BUT OTHER UTILITIES MAY EXIST THAT HAVE NOT BEEN LOCATED NOR SHOWN.
  - TREE NAME AND CALIPER ARE APPROXIMATE.
  - THIS PREMISES HAS NOT STEEP SLOPES AS DEFINED IN SECTION 240-25C & 205-33B(9) OF THE TOWNSHIP CODE.



TOTAL LOT AREA = 2.0005 ACRES  
NET LOT AREA = 1.9345 ACRES



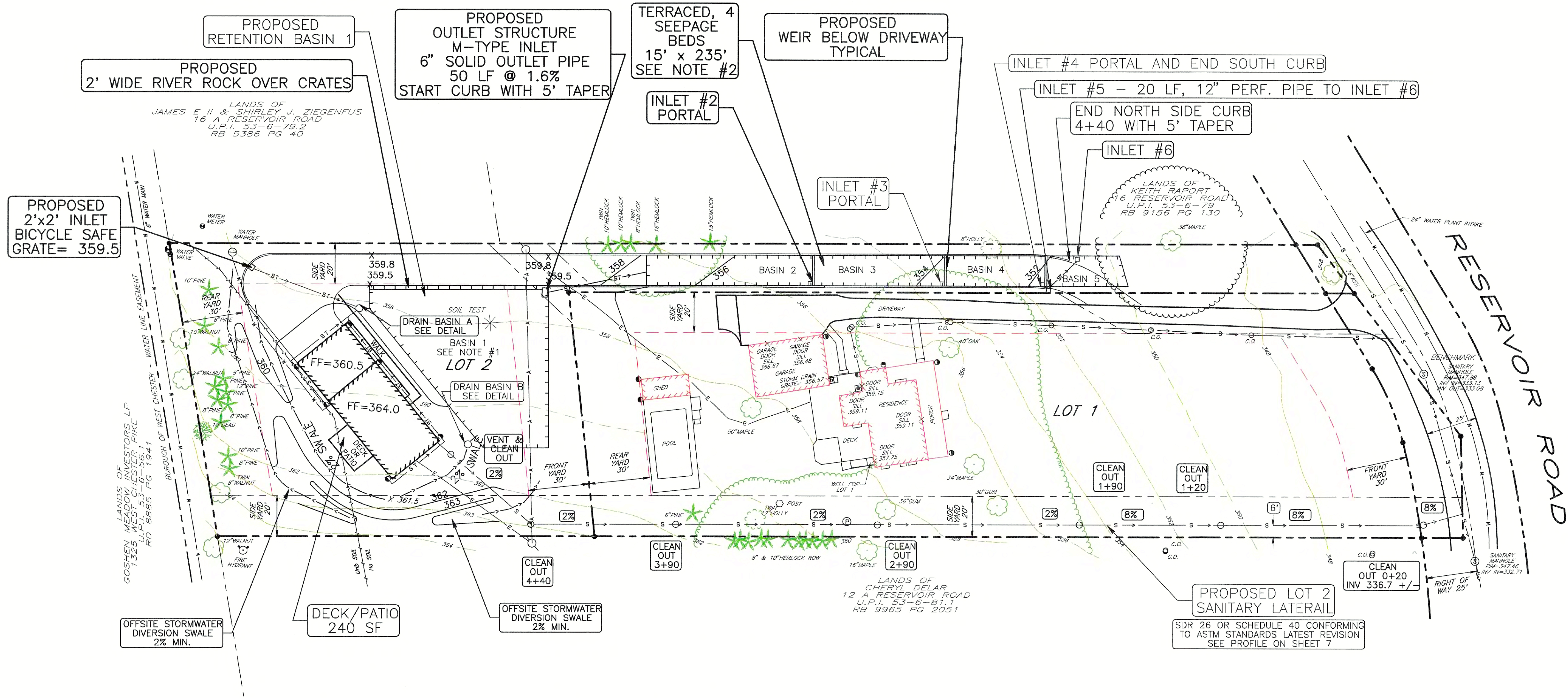
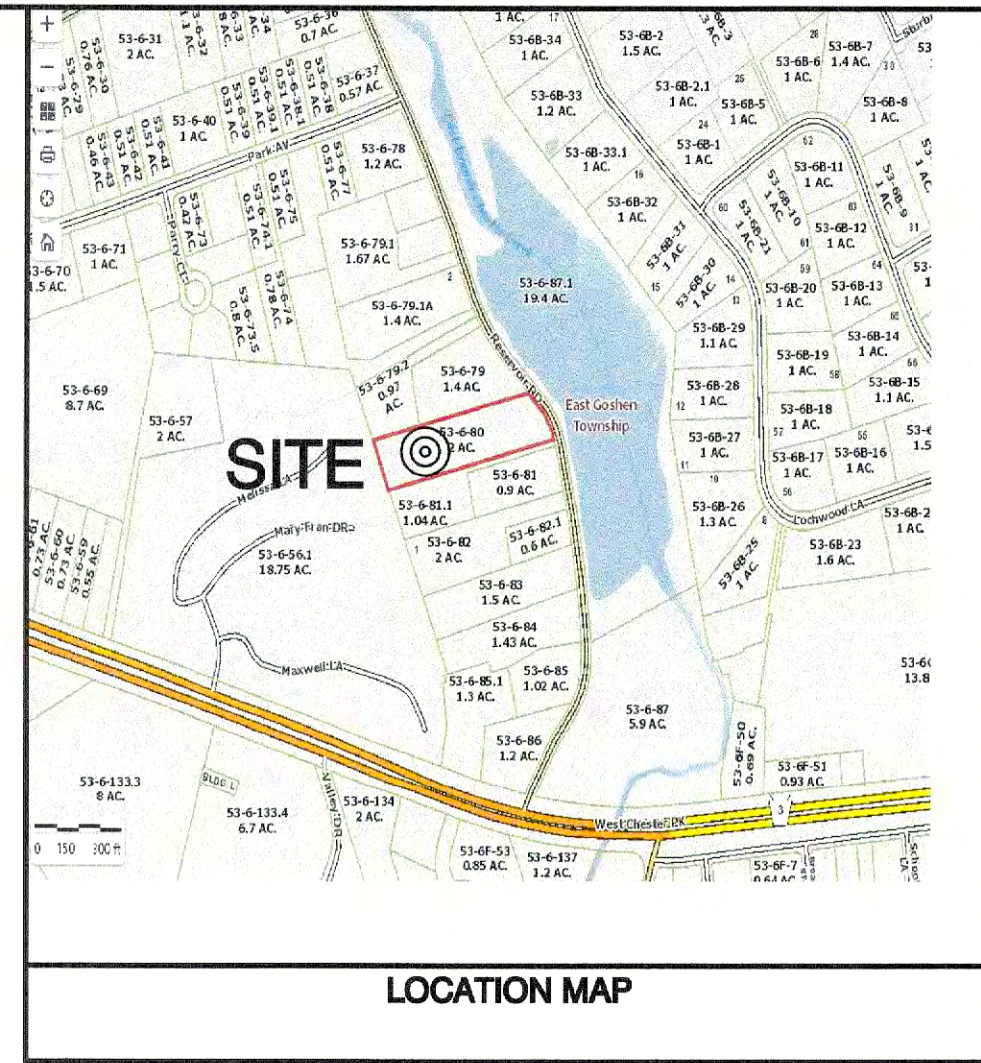
**LEGEND:**

●	DOWNSPOUT	—A—A—	AERIAL WIRES
■	ELECTRIC METER	—E—E—	BURIED WIRES
■	STORM DRAIN	—S—S—	SANITARY LINE
○	UTILITY POLE	—W—W—	WATER LINE

2	MAY 22, 2023	PER REVIEW LETTER DATED OCTOBER 21, 2022
1	SEPTEMBER 14, 2022	PER TWP PLAN REQUEST
NO.	DATE	REVISION COMMENT
<b>DEMOLITION AND DIMENSIONS PLAN</b>		
PRELIMINARY/FINAL 14 RESERVOIR ROAD - SUBDIVISION PREPARED FOR <b>JEFFREY S. &amp; MICHELLE A. GLOSSON</b> EAST GOSHEN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA		
<b>Yerkes ASSOCIATES, INC.</b> a civil company CONSULTING ENGINEERS / STRUCTURAL ENGINEERING SITE PLANNERS / LAND SURVEYORS / MUNICIPAL SERVICES		
1444 PHOENIXVILLE PIKE • P.O. BOX 1568 • WEST CHESTER, PA 19380 TEL: (610) 644-4254 • FAX: (610) 640-0771		
PROJECT - W-16-2100 DATE - JUNE 1, 2022 SCALE - 1" = 30' DRAWN - MWB CHECKED - JAG/MC CAD FILE - W2100 SUBDIVISION TAX PARCEL - 53-6-80 PLAN NO. <b>C-53-6-80</b> <b>SHEET 2 OF 8</b>		



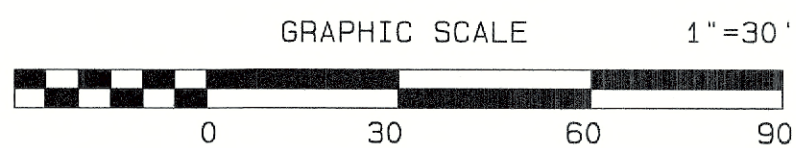
NOTE: ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 199 OF 2004. SERIAL # 20230530874



- NOTES:
- BASIN 1 IS TO BE USED FOR SWM STORAGE AND CONTROL.
  - BASINS #2, #3, #4 AND #5 ARE TO BE USED FOR INFILTRATION, AS DISCHARGE FROM BASIN #1 IS ALLOWED TO "CASCADE" DOWN THE DRIVEWAY.

NAME Jose A. Grande P.E. SEAL ON THIS DATE 5/17/23

HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE EAST GOSHEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE 195.



ENGINEER  
JOSE GRANDE P.E.  
YERKES ASSOCIATES, INC.  
1450 E. BOOT ROAD, SUITE 600 A  
WEST CHESTER, PA 19380  
610-644-4254

IMPERVIOUS COVERAGE: SQUARE FEET

EXISTING	REMOVED	ADDED	PROPOSED LOT 1	PROPOSED LOT 2
RESIDENCE	1934		1934	1500
GARAGE	942		942	720
SHED	241		241	0
SUB TOTAL	3117 = 3.70 PERCENT		3117 = 6.51 PERCENT	2220 = 6.11 PERCENT
STAIRWELL	67		67	0
POOL, DECK AND STEPS	1127		1127	0
DRIVEWAY	4286	982	4096	8119
DECK	900		900	306
FRONT STEP	14		14	0
EAST WALK	88		88	282
WEST WALK	88		88	0
TOTAL	9687 = 11.50 PERCENT		9497 = 19.83 PERCENT	10885 = 29.96 PERCENT
NET LOT AREA	84226	36332	47894	36332

BULK ZONING:

REQUIRED	LOT 1	LOT 2
DISTRICT	R-3 MEDIUM DENSITY RESIDENTIAL	R-3 MEDIUM DENSITY RESIDENTIAL
MIN. LOT AREA	47894 SQUARE FEET	36332 SQUARE FEET
MIN. LOT WIDTH	100 FEET @ BUILDING SETBACK	120 FEET @ BUILDING SETBACK
	50 FEET @ STREET	159 FEET @ STREET
MIN. FRONT YARD	30 FEET	195 FEET
MIN. SIDE YARD	20 FEET	28 FEET & 40 FEET
MIN. REAR YARD	30 FEET	52 FEET
MAX. BUILDING COVERAGE	25 PERCENT	6.11 PERCENT
MAX. LOT COVERAGE	35 PERCENT	22.78 PERCENT
MAX. BUILDING HEIGHT	30 FEET OR 3 STORIES	30 FEET OR 3 STORIES

2

MAY 22, 2023

PER REVIEW LETTER DATED OCTOBER 21, 2022

1

SEPTEMBER 14, 2022

PER TWP PLAN REQUEST

NO.

DATE

REVISION COMMENT

PROPOSED SITE AND STORMWATER MANAGEMENT PLAN

PRELIMINARY/FINAL

14 RESERVOIR ROAD - SUBDIVISION

PREPARED FOR

JEFFREY S. & MICHELLE A. GLOSSON

EAST GOSHEN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

Yerkes ASSOCIATES, INC.

CONSULTING ENGINEERS / STRUCTURAL ENGINEERING

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TEL: (610) 644-4254 • FAX: (610) 646-0771

PROFESSIONAL SEAL

JOSE A. GRANDE

ENGINEER

31558 E

PENNSYLVANIA

PROJECT #

W-16-2100

DATE

JUNE 1, 2022

SCALE

1" = 30'

DRAWN

MWB

CHECKED

JAG

CAD FILE

W2100 SUBDIVISION

TAX PARCEL

53-6-80

PLAN NO.

C-53-6-80

SHEET 3 OF 8



A CUT AND FILL ANALYSIS WAS NOT PERFORMED AND MATERIAL BALANCE IS NEITHER IMPLIED NOR GUARANTEED. PROPOSED GRADES MAY NOT NECESSARILY INCORPORATE SPREADING OF CUT MATERIAL, NOR DO THEY PRECLUDE THE NEED FOR IMPORTING FILL MATERIAL TO OBTAIN THE GRADES SHOWN ON THE PLAN. EXCESS MATERIAL MAY BE SPREAD THROUGHOUT THE PROJECT AREA AFTER CONSULTING WITH THE DESIGN ENGINEER AND TOWNSHIP REGARDING IMPACT TO EXISTING AND PROPOSED DRAINAGE PATTERNS OR STORMWATER FACILITIES. IMPORTED MATERIAL MUST BE CLEAN FILL AS DESIGNATED BY THE PADEP.

#### OWNERSHIP OF INSTRUMENTS OF SERVICE

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## TEMPORARY EROSION CONTROL METHODS

1. COMPOST FILTER SOCK OR SILT FENCE
2. STONE CONSTRUCTION ENTRANCE
3. SEED, MULCH OR STRAW
4. LIMIT DISTURBANCE TO IMMEDIATE WORK AREA
5. EROSION MATTING

## PERMANENT EROSION CONTROL METHODS

1. PERMANENT GROUND COVER (SEEDING, SOD OR MULCH)
2. IMPERVIOUS COVERAGE

## GENERAL NOTES

1. DISTURBED AREAS ON WHICH ACTIVITIES HAVE CEASED MUST BE SEEDDED AND MULCHED WITHIN TWENTY (20) DAYS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH WILL BE RESEEDING WITHIN ONE YEAR MAY BE SEEDDED AND MULCHED WITH A QUICK GROWING TEMPORARY SEEDING MIXTURE AND MULCH. DISTURBED AREAS WHICH ARE EITHER AT FINISH GRADE OR WILL NOT BE DISTURBED WITHIN ONE YEAR MUST BE SEEDDED AND MULCHED WITH A PERMANENT SEED MIXTURE AND MULCH.
2. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN A MANNER SUCH THAT ALL EROSION AND AIR/WATER POLLUTION IS MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE FOLLOWED.
3. ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED IN PROPER WORKING ORDER UNTIL THE SITE HAS BEEN STABILIZED AND INSPECTED ON A DAILY BASIS AND AFTER EACH RUNOFF EVENT. CLEAN OUT, REPAIR, REPLACE, REGRADE, RESEED, REMULCH OR REINSTALL NETTING AS NECESSARY. ANY PREVENTATIVE AND/OR REMEDIAL MAINTENANCE WORK REQUIRED TO CONTROL MUST BE PERFORMED IMMEDIATELY.
4. SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. SPECIAL ATTENTION SHOULD BE GIVEN TO FROZEN SLOPES, STOCKPILES OF WOOD CHIPS, HAYBALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
5. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISION OF 25 PA CODE, CHAPTER 102, EROSION AND SEDIMENT CONTROL.
6. THE PERMIT APPLICANT IS TO BE RESPONSIBLE FOR THE CONSTRUCTION, STABILIZATION, AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES.
7. PROTECTION OF EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.
8. THE SITE WILL BE CONSIDERED PERMANENTLY STABILIZED WHEN ALL PERMANENT CONTROL MEASURES HAVE BEEN COMPLETED AND ARE OPERATIONAL, TEMPORARY CONTROL MEASURES REMOVED AND UNIFORM EROSION RESISTANT PERENNIAL VEGETATION IS ESTABLISHED TO THE POINT WHERE SURFACE SOIL IS CAPABLE OF RESISTING EROSION DURING A RUNOFF EVENT. THE STANDARD MINIMUM VEGETATIVE COVER IS A UNIFORM COVERAGE OR DENSITY OF 70% ACROSS THE DISTURBED AREA. THE TOWNSHIP ENGINEER WILL MAKE THIS DETERMINATION.
9. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PREVENT SILT AND SEDIMENT DEPOSITION. RUNOFF FROM DISTURBED AREAS MUST PASS THROUGH A SEDIMENT REMOVAL OR RETENTION FACILITY BEFORE BEING DISCHARGED FROM THE SITE.
10. EROSION AND SEDIMENT CONTROLS MUST BE CONSTRUCTED, STABILIZED AND FULLY FUNCTIONAL BEFORE ANY AREA BE DISTURBED.
11. TEMPORARY CONTROL MEASURES MUST BE REMOVED AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED AFTER CONCURRENCE OF THE TOWNSHIP ENGINEER. AREAS DISTURBED DURING REMOVAL OF TEMPORARY MEASURES MUST BE IMMEDIATELY REMEDIATED AND STABILIZED.
12. THE CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES, IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS IN TITLE 25, PENNSYLVANIA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
13. A COPY OF THIS PLAN SET MUST BE POSTED AT THE CONSTRUCTION SITE IN ACCORDANCE WITH STATE LAW.
14. ANY REVISIONS TO THIS PLAN SHALL BE APPROVED BY THE TOWNSHIP ENGINEER.
15. STOCKPILE HEIGHTS SHALL NOT EXCEED 55 FEET IN HEIGHT AND SLOPES SHALL BE 2:1 OR FLATTER.
16. NOTE TO CONTRACTOR: THIS PLAN CAN BE USED FOR CONSTRUCTION ONLY AFTER ALL REQUIRED AGENCY APPROVALS ARE FINALIZED, PERMITS ARE ISSUED AND WRITTEN AUTHORIZATION TO PROCEED IS GRANTED BY THE OWNER.
17. NEWLY GRADED SLOPES OF OVER 25% MUST BE STABILIZED WITH SOD OR EROSION CONTROL BLANKET.
18. NO GRADING CHANGES SHALL BE SHOWN WITHIN FIVE (5) FEET OF ADJOINING PROPERTIES LINE IN ORDER TO ENSURE TRANSITION TO THE GRADING ON THE ADJOINING PROPERTY.

## STAGING OF CONSTRUCTION SEQUENCE

ANTICIPATED START OF CONSTRUCTION NONE  
ANTICIPATED COMPLETION OF CONSTRUCTION NONE

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

THE CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIAL AND WASTES IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL WASTES AT THE SITE.

1. THE CONTRACTOR SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM AT LEAST THREE (3) WORKING DAYS BEFORE ANY EARTH DISTURBANCE IS STARTED. CALL TOLL-FREE: 1-800-242-1776. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MUST BE FIELD VERIFIED BY CONTRACTOR. THE CONTRACTOR SHALL NOTIFY TOWNSHIP ENGINEER 48 HOURS BEFORE THE START OF EARTH WORK.
2. CALL PRE-CONSTRUCTION MEETING AT LEAST 7 DAYS PRIOR TO EARTH DISTURBANCE ACTIVITIES. TOWNSHIP ENGINEER MUST BE NOTIFIED FOLLOWING INSTALLATION OF PROTECTIVE BARRIERS AND PRIOR TO ANY EARTH DISTURBANCE.
3. FIELD DELINEATE THE LIMIT OF DISTURBANCE AS SHOWN ON THE PLANS. ALL WORK SHALL BE WITHIN THIS LIMIT.
4. INSTALL TREE PROTECTION FENCE AS SHOWN ON PLANS AND DETAILS. TREATMENT OF THE IMPACTED TREES PRIOR TO CONSTRUCTION TO PROTECT THE ROOT SYSTEM SHALL BE PERFORMED. THE TOWNSHIP ARBORIST MUST APPROVE THE PROCEDURE. CONTRACTOR MUST MAINTAIN TREE PROTECTION FENCING UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETED.
5. INSTALL SILT FENCE AND/OR COMPOST FILTER SOCK AS SHOWN ON THE PLANS. CONTRACTOR MUST MAINTAIN ALL EROSION CONTROL IN PROPER WORKING ORDER UNTIL COMPLETION OF SITE WORK. UPSLOPE AND DISTURBED AREAS ARE 70% STABILIZED. DAMAGED OR MALFUNCTIONING SILT FENCE MUST BE REPLACED IMMEDIATELY WITH ROCK FILTER OUTLETS.
6. NOTIFY TOWNSHIP ENGINEER FOLLOWING INSTALLATION OF PROTECTIVE BARRIERS AND 48 HOURS PRIOR TO EARTH DISTURBANCE. THE MAXIMUM TIME OF EXPOSURE FOR BARE SOIL AREAS SHALL BE TWENTY (20) DAYS BEFORE STABILIZATION MEASURES ARE IMPLEMENTED.

#### ENVIRONMENTAL INDEMNIFICATION

#### UNFORESEEN SUBSURFACE CONDITIONS

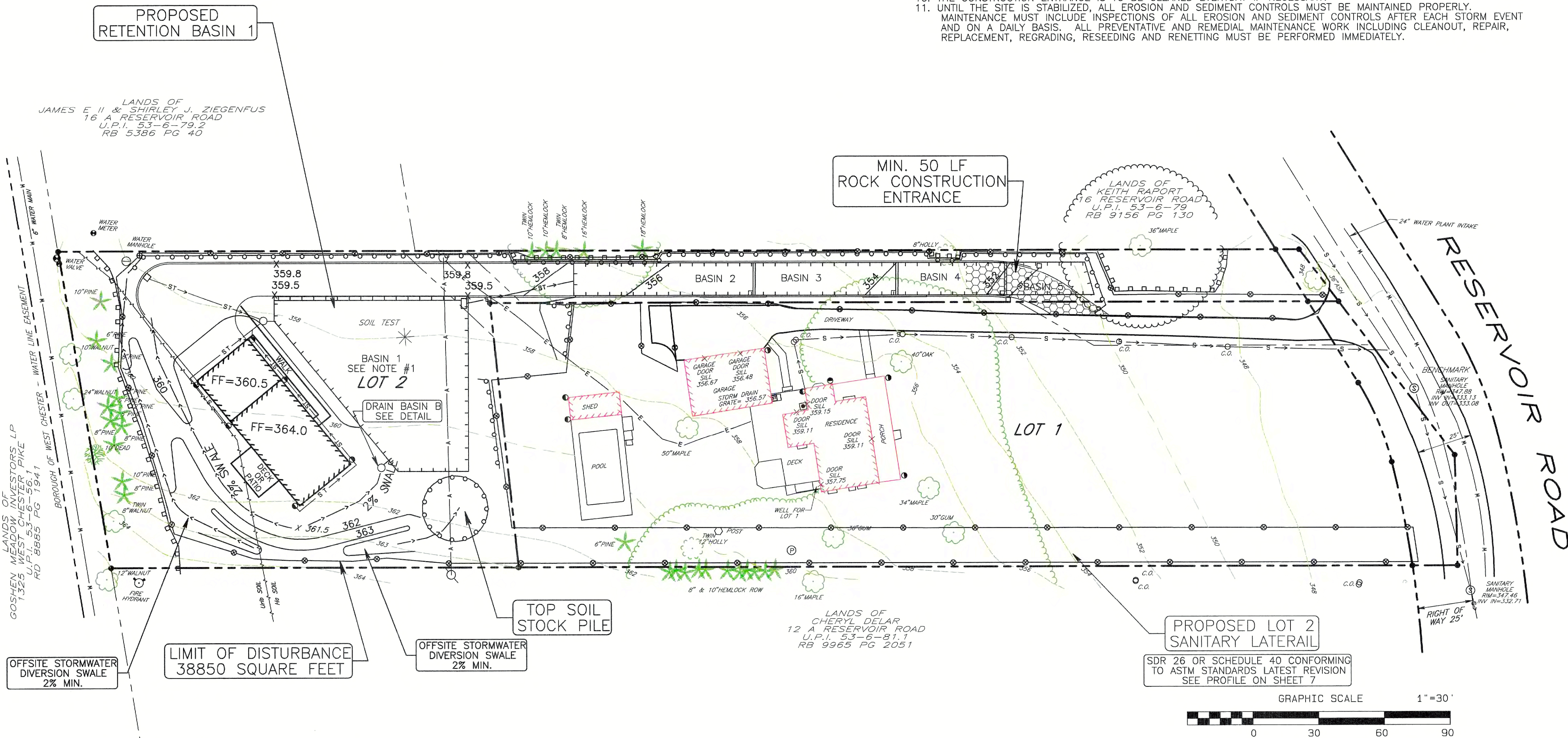
YERKES ASSOCIATES, INC.'S SCOPE OF SERVICES IS LIMITED TO EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH LOWER MERION TOWNSHIP'S REQUIREMENTS FOR THE PROJECT. IT DOES NOT INCLUDE SERVICES RELATED TO HAZARDOUS OR TOXIC MATERIALS OR CHEMICALS, OR PRODUCTS (IF ANY EXIST ON THE SITE). YERKES ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY FOR CONSEQUENTIAL DAMAGES FOR SERVICES RENDERED OR DESIGNS CONSTRUCTED IN THE EVENT HAZARDOUS OR TOXIC MATERIALS OR CHEMICALS OR PRODUCTS ARE DISCOVERED. SHOULD ANY PARTY ENCOUNTER HAZARDOUS OR TOXIC MATERIALS OR CHEMICALS AT THE JOB SITE, OR SHOULD IT BECOME KNOWN IN ANY WAY THAT SUCH MATERIALS MAY BE PRESENT AT THE JOBSITE, OR ADJACENT AREAS THAT MAY AFFECT THE PERFORMANCE OF YERKES ASSOCIATES, INC.'S SERVICES, THE CLIENT SHALL RETAIN APPROPRIATE SPECIALISTS OR CONTRACTOR(S) TO IDENTIFY, ABATE AND/OR REMOVE THE MATERIALS, AND WARRANT THAT THE JOBSITE IS IN FULL COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS.

## WOODY VEGETATION AND UTILITY NOTES:

1. ALL WOODY VEGETATION TO BE RETAINED WITHIN 25' OF A BUILDING SITE OR DISTURBED AREA SHALL BE PROTECTED FROM EQUIPMENT DAMAGE BY FENCING PLACED AT DRIPLINES OR AS SHOWN ON PLANS. TOWNSHIP ENGINEER MUST APPROVE THE LOCATION OF THE TREE PROTECTION FENCE PRIOR TO START OF EARTH WORK.
2. WHERE EXCAVATION TRENCHES ARE PROPOSED WITHIN THE DRIPLINES OF TREES, ALL DISTURBED ROOTS MUST BE CUT AS CLEANLY AS POSSIBLE. THE TRENCH MUST BE BACKFILLED AS QUICKLY AS POSSIBLE, AVOIDING COMPACTION.
3. THE TOWNSHIP ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO THE START OF EARTHMOVING ACTIVITIES.
4. ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATES FROM EXISTING UTILITY RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 199 OF 2004.
5. CONTRACTOR TO PROTECT OR RELOCATE UTILITIES AS NEEDED.
6. MAINTAIN MINIMUM COVER OVER ALL EXISTING AND PROPOSED UTILITIES AT ALL TIMES.

## EROSION AND SEDIMENT CONTROL MAINTENANCE PROGRAM

1. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
2. THE OWNER WILL BE RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL MEASURES IN GOOD CONDITION AFTER COMPLETION OF CONSTRUCTION AND EXPIRATION OF ANY CONTRACTOR'S WARRANTY OBLIGATION.
3. VEGETATION SHALL BE MOWED WHENEVER NECESSARY TO MAINTAIN A PLEASING APPEARANCE AND DISCOURAGE WEED GROWTH. ALL LOCAL REGULATIONS SHALL BE COMPLIED WITH.
4. AREAS THAT CONTAIN SOD SHALL BE CHECKED CAREFULLY TO ENSURE THAT JOINTS BETWEEN THE SOD STRIPS ARE TIGHT AND SECURE. WHERE JOINT SEPARATION IS IN EVIDENCE, A CAREFUL INSPECTION OF EACH JOINT SHALL BE MADE TO DETERMINE WHETHER UNDERMINING OF THE STRIPS IS OCCURRING. IF IT IS, THE STRIPS SHALL BE ROLLED UP, THE SUBSURFACE SHALL BE FILLED AND GRADED AS REQUIRED, AND THE SOD STRIPS SHALL BE RELAYED WITH TIGHT JOINTS AND PEGGING.
5. SEEDDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEDED. A BURLAP OR STRAW COVER WILL BE APPLIED TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY.
6. THE ABOVE PROCEDURE SHALL BE REPEATED AFTER EACH SIZEABLE STORM EVENT UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT. AT WEEKLY INTERVALS THEREAFTER, INSPECTIONS AND NECESSARY CLEANING WILL BE DONE.
7. AFTER SLOPES ARE ESTABLISHED, WEEKLY INSPECTIONS SHALL BE MADE TO DETERMINE THE DURABILITY OF THE STABILIZATION MEASURES. AN INSPECTION OF ALL FACILITIES WILL BE MADE AFTER EVERY STORM TO DETERMINE THEIR RESISTANCE TO DRIVING RAIN.
8. ANY SILT BARRIER WHICH HAS BEEN EITHER UNDERMINED OR TOPPED IS TO BE REPLACED IMMEDIATELY WITH ROCK FILTER OUTLET.
9. SILT BARRIER SHALL BE MAINTAINED IN GOOD REPAIR AT ALL TIMES DURING CONSTRUCTION. SEDIMENT IS TO BE REMOVED, SPREAD AND STABILIZED ON SITE WHEN BUILD UP HAS ACCUMULATED TO 1/2 FROM THE BOTTOM OF THE BARRIER.
10. THE CONSTRUCTION ENTRANCE IS TO BE CLEANED EVERYDAY IF NECESSARY.
11. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROLS AFTER EACH STORM EVENT AND ON A DAILY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK INCLUDING CLEANOUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING AND RENEETING MUST BE PERFORMED IMMEDIATELY.



#### 7. CONSTRUCT THE PROPOSED FEATURES AS FOLLOWS:

- a. REMOVE EXISTING FEATURES AS INDICATED ON PLAN.
  - b. STRIP TOPSOIL AND STORE IN THE LOCATION SHOWN.
  - c. CONSTRUCT RESIDENCE, UTILITIES AND DRIVE
  - d. INSTALL STORMWATER MANAGEMENT SYSTEMS. INSURE NO SEDIMENT ENTERS THE SYSTEM.
  - e. FINE GRADE AND SEED, SOD OR MULCH ALL DISTURBED AREAS AS DETAILED IN 'SURFACE STABILIZATION CRITERIA' NOTES.
8. FINALIZE GRADING AND STABILIZE ALL DISTURBED AREAS.
9. REMOVE TREE PROTECTION FENCING AFTER ALL CONSTRUCTION ACTIVITY HAS ENDED.
10. EROSION AND SEDIMENT CONTROLS SHALL BE MONITORED AND MAINTAINED IN PROPER WORKING ORDER UNTIL 70% STABILIZATION IS REACHED AND APPROVED BY THE TOWNSHIP ENGINEER. WITH TOWNSHIP ENGINEER APPROVAL REMOVE EROSION AND SEDIMENT CONTROLS, SEED & MULCH AREA DISTURBED.

#### LEGEND

- LIMIT OF DISTURBANCE
- SILT FENCE OR SOCK
- TREE PROTECTION

## SURFACE STABILIZATION CRITERIA

1. ALL SOIL STABILIZATION SHALL BE IN ACCORDANCE WITH THE PRODUCTS INSTRUCTIONS OR AS REQUIRED BY THE TOWNSHIP ENGINEER. SAID INSTRUCTIONS SHALL BE APPLIED UNTIL THE SITE HAS BE STABILIZED.

## E&S AND CONSERVATION PLAN

PRELIMINARY/FINAL  
14 RESERVOIR ROAD - SUBDIVISION  
PREPARED FOR

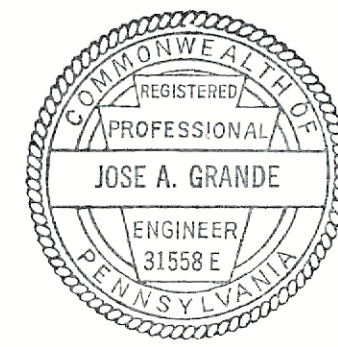
JEFFREY S.  
&  
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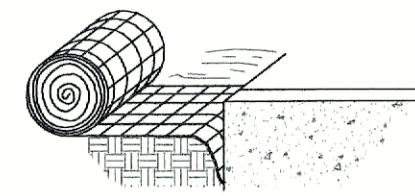
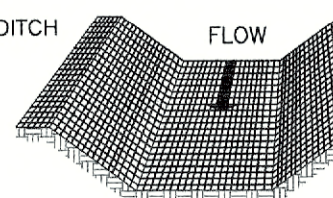
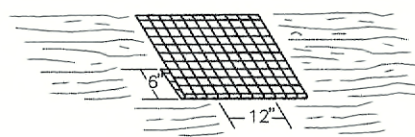
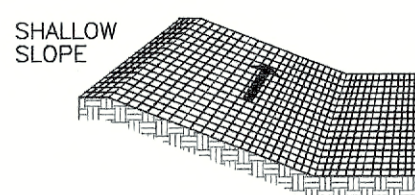
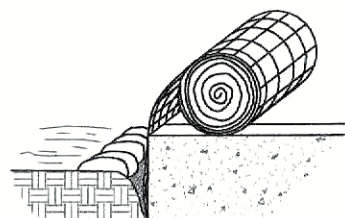
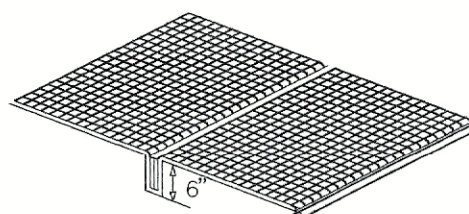
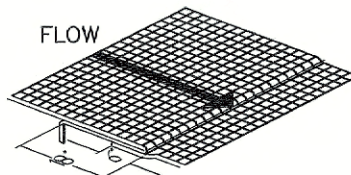
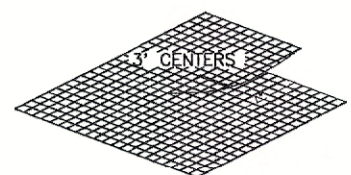
PROJECT - W-16-2100  
DATE - JUNE 1, 2022  
SCALE - 1" = 30'

DRAWN - MMB  
CHECKED - JAG  
CAD FILE - W2100 SUBDIVISION  
TAX PARCEL - 53-6-80

PLAN NO.  
**C-53-6-80**

SHEET 4 OF 8

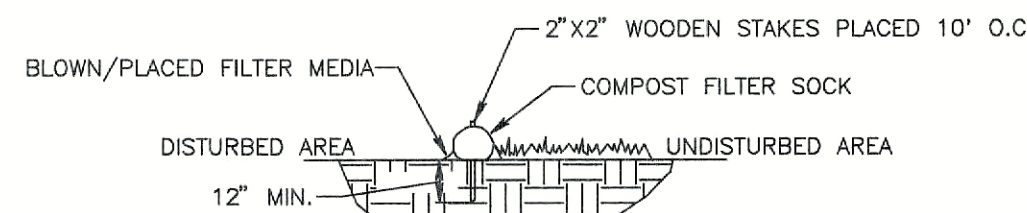




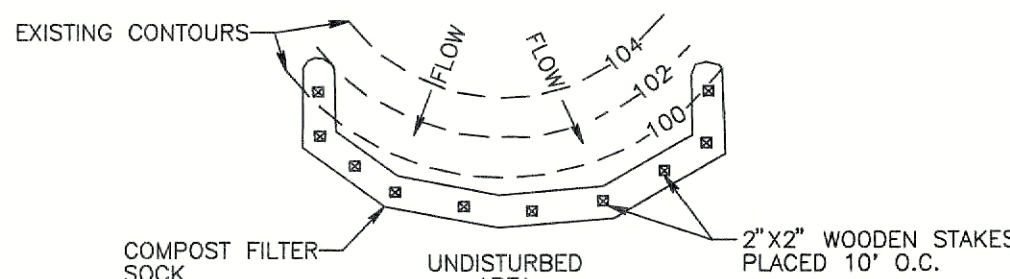
- NOTES:
1. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL CONSTRUCTED OR DISTURBED SLOPES 3:1 OR GREATER.
  2. STAPLE PATTERN PER MANUFACTURERS SPECIFICATION.

### EROSION CONTROL BLANKETING

NOT TO SCALE



### SECTION VIEW



### PLAN VIEW

COMPOST SHALL MEET THE FOLLOWING STANDARDS

ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5-8.0
MOISTURE CONTENT	35%-55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dS/m MAXIMUM

COMPOST FILTER SOCK SHALL BE INSTALLED AT EXISTING LEVEL GRADE WITH LASER LEVEL. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (SEE FIGURE 4.1 OF THE PA DEP E&S MANUAL). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2 (OF THE PA DEP E&S MANUAL).

TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

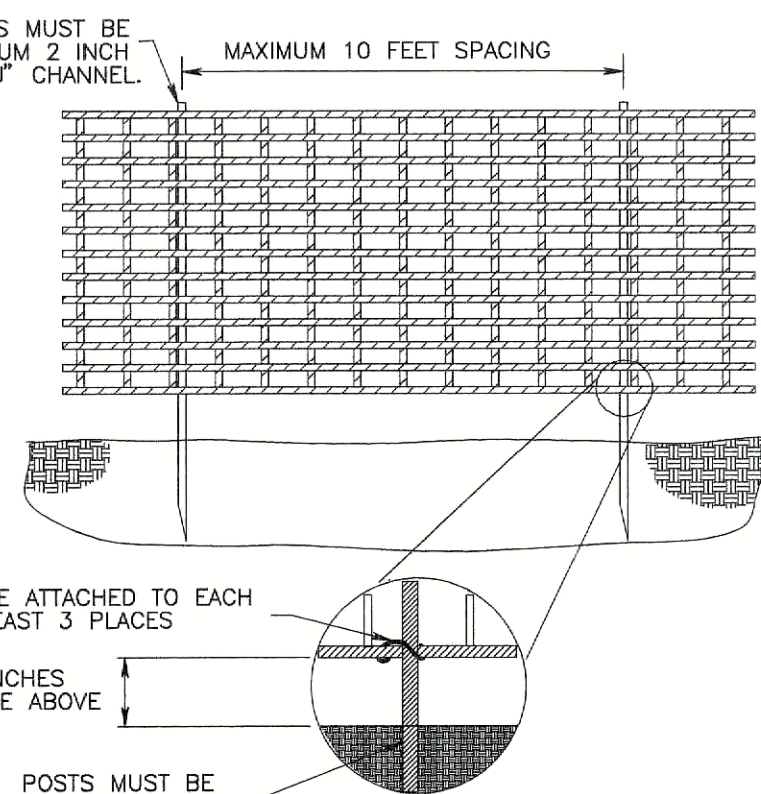
SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE FILTER SOCK SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

### COMPOST FILTER SOCK

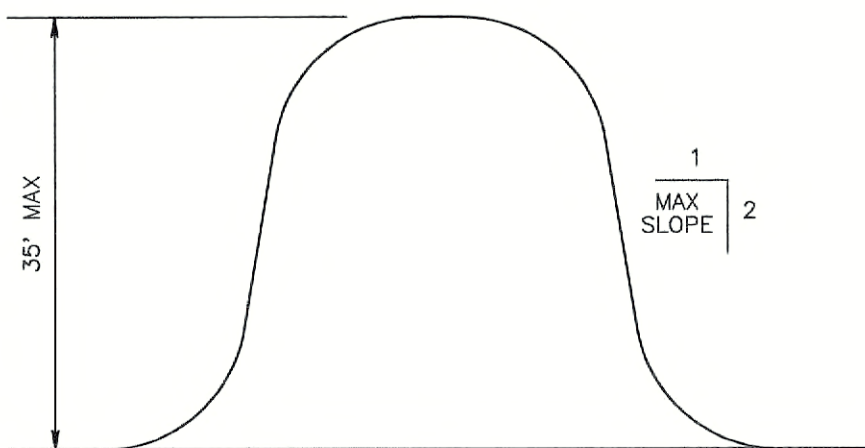
NOT TO SCALE



1. PROTECTION BARRIER SHALL BE 4 FEET HIGH, CONSTRUCTED OF DURABLE AND HIGHLY VISIBLE MATERIAL ( PLASTIC ORANGE CONSTRUCTION FENCE OR SNOW FENCE MAY BE USED).
2. PROTECTION BARRIERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK AT THE SITE.

### TREE PROTECTION FENCE

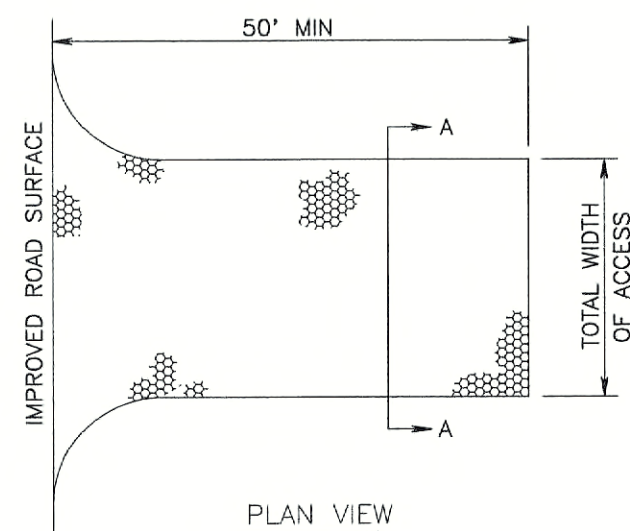
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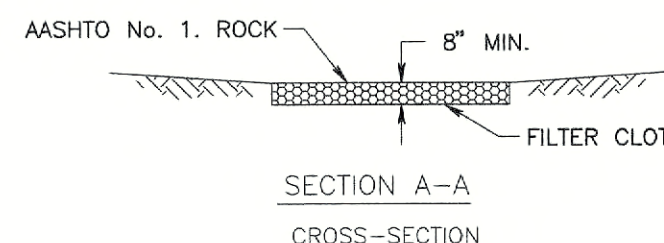
SEED AND MULCH IMMEDIATELY OR COVER WITH 5 MIL PLASTIC IF NECESSARY, OR AS DIRECTED BY TOWNSHIP FOR DUST CONTROL

### TOPSOIL STOCKPILE DETAIL

NOT TO SCALE



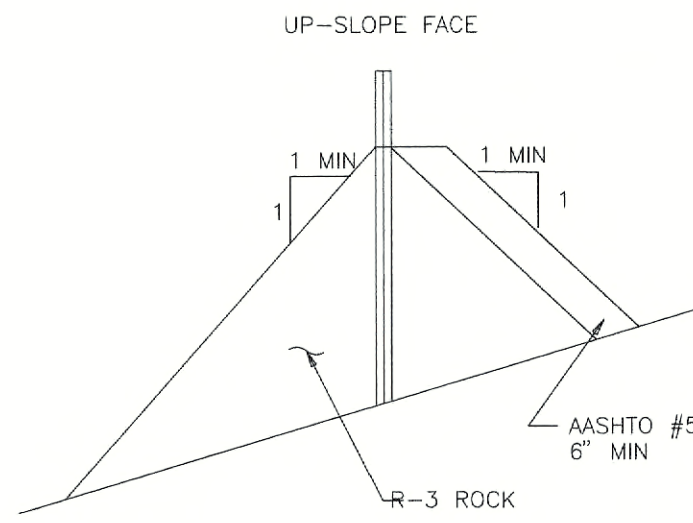
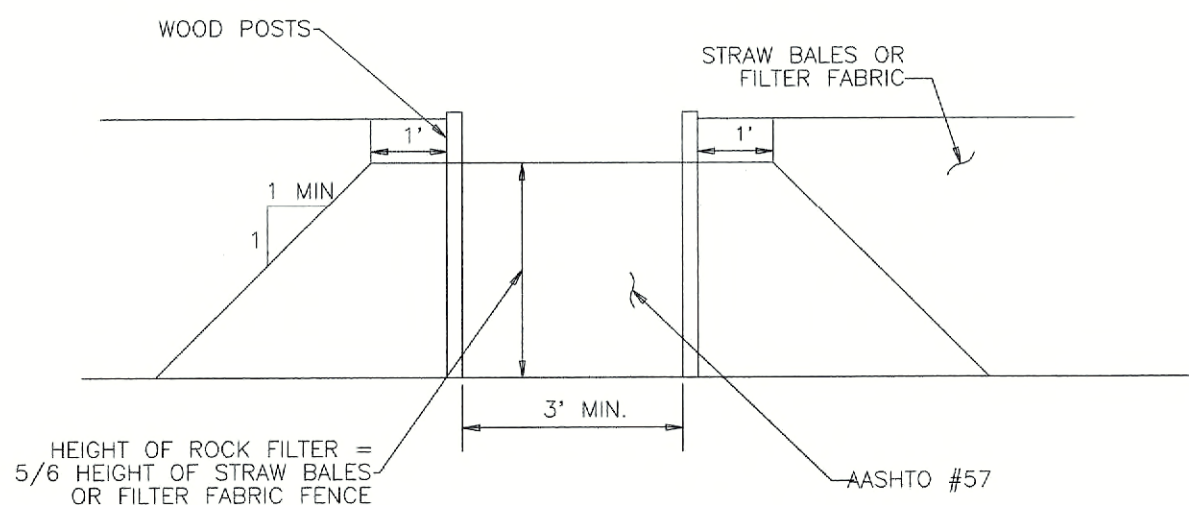
### PLAN VIEW



1. ROCK CONSTRUCTION ENTRANCE ONLY TO BE INSTALLED IF HANDWASHING TIRES OF ALL EQUIPMENT DOES NOT PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE AS DETERMINED BY TOWNSHIP ENGINEER. THE LOCATION SHALL BE PER PLAN OR AS DIRECTED BY TOWNSHIP ENGINEER.

### ROCK CONSTRUCTION ENTRANCE

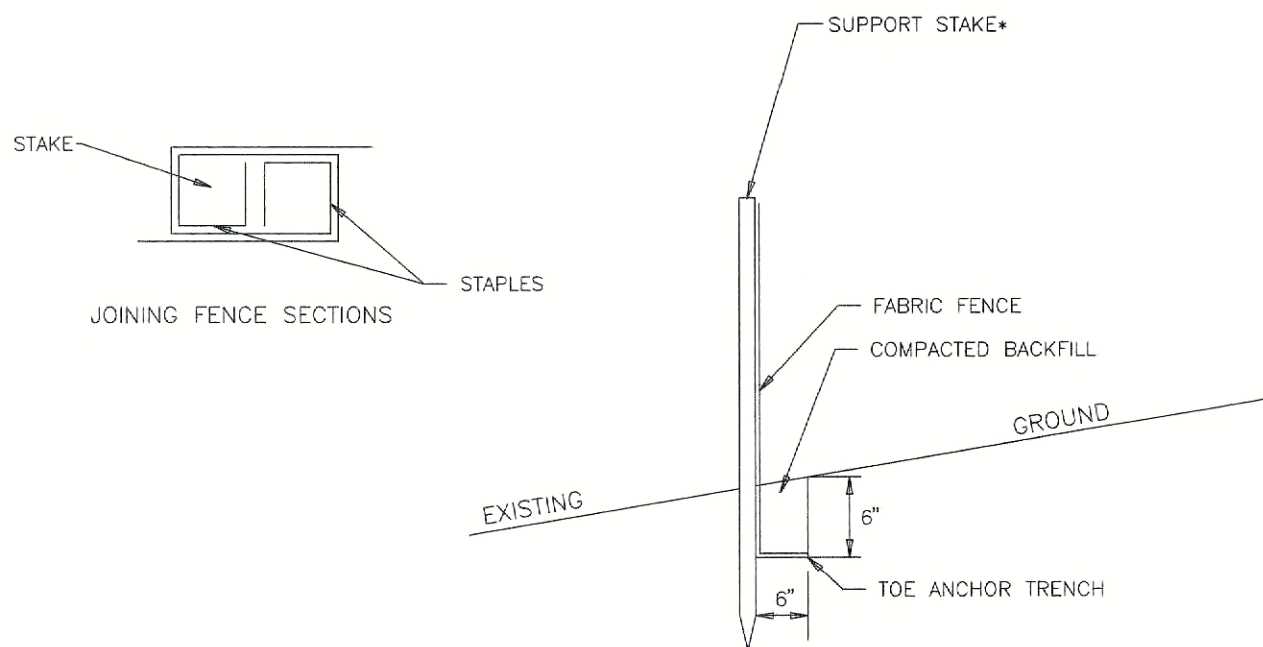
NOT TO SCALE



- NOTES:
1. TO BE USED WHERE SILT FENCE HAS BEEN UNDERMINED OR TOPPED
  2. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

### ROCK FILTER OUTLET

NOT TO SCALE



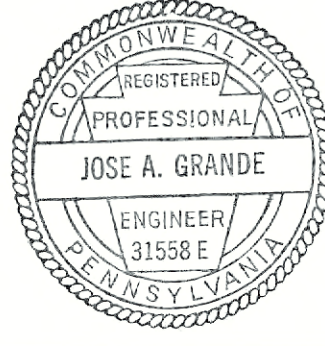
\* STAKES SPACED @ 8" MAXIMUM. USE 2" X 2" WOOD OR EQUIVALENT STEEL STAKES.

FILTER FABRIC FENCE MUST BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT.

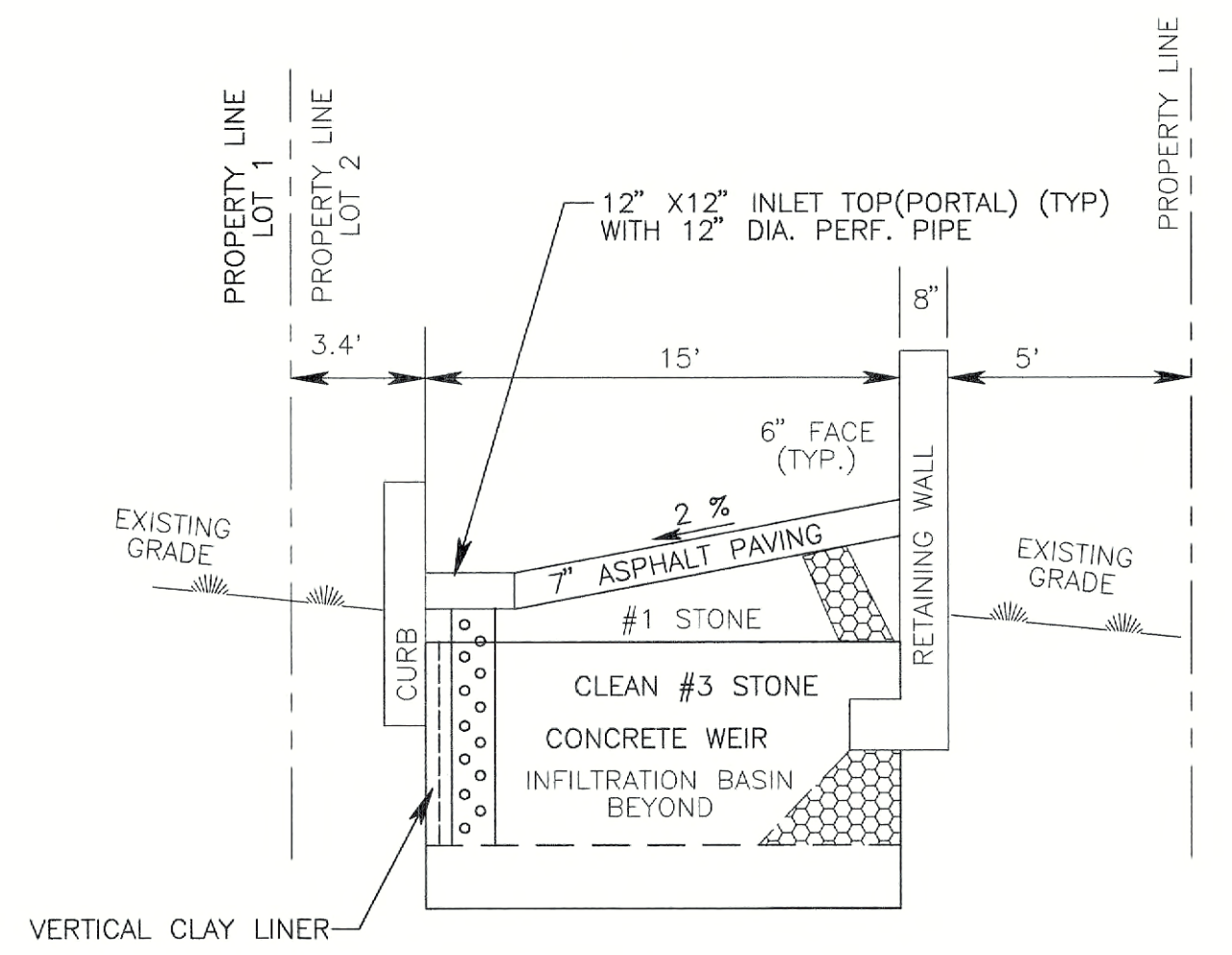
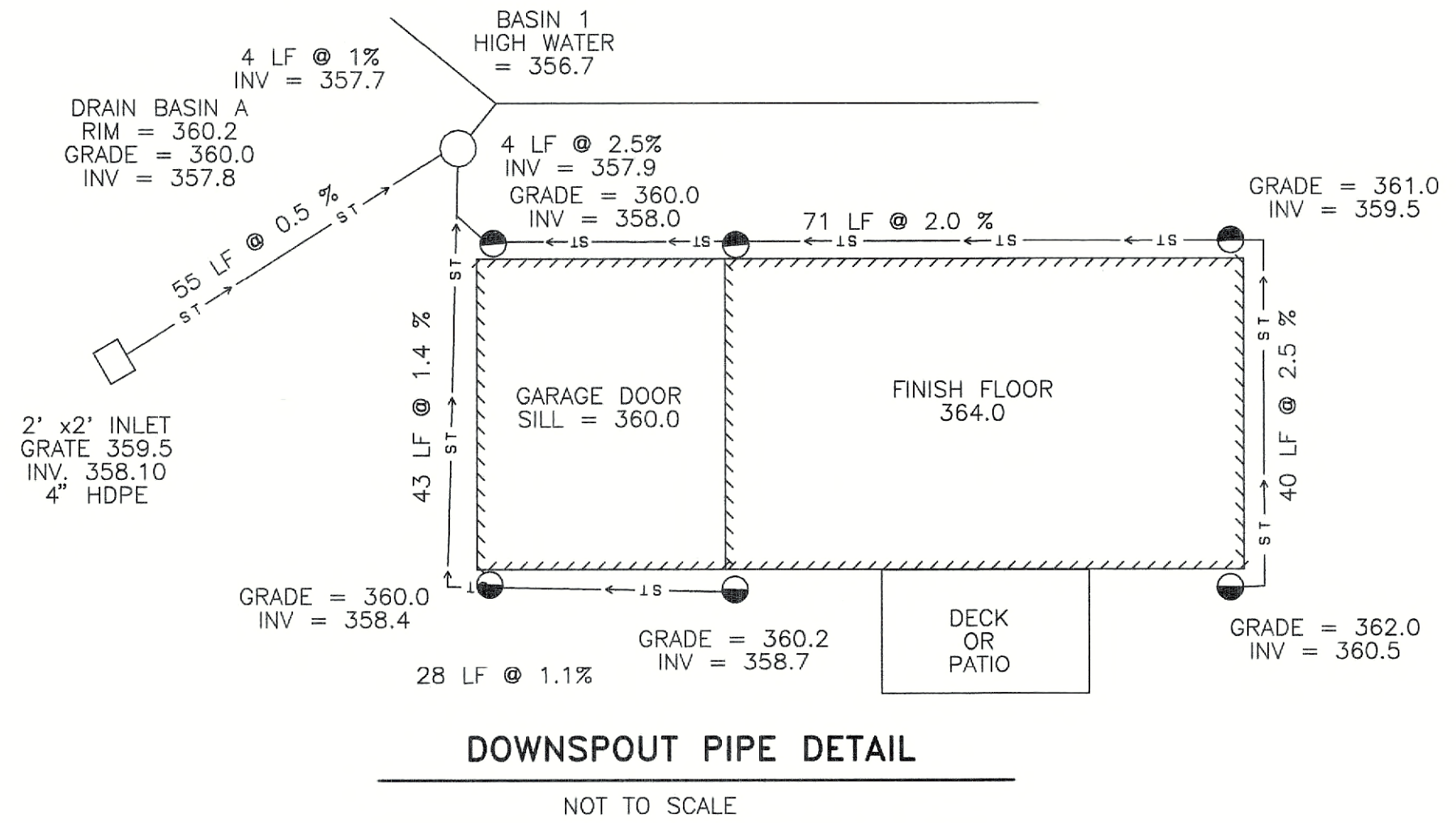
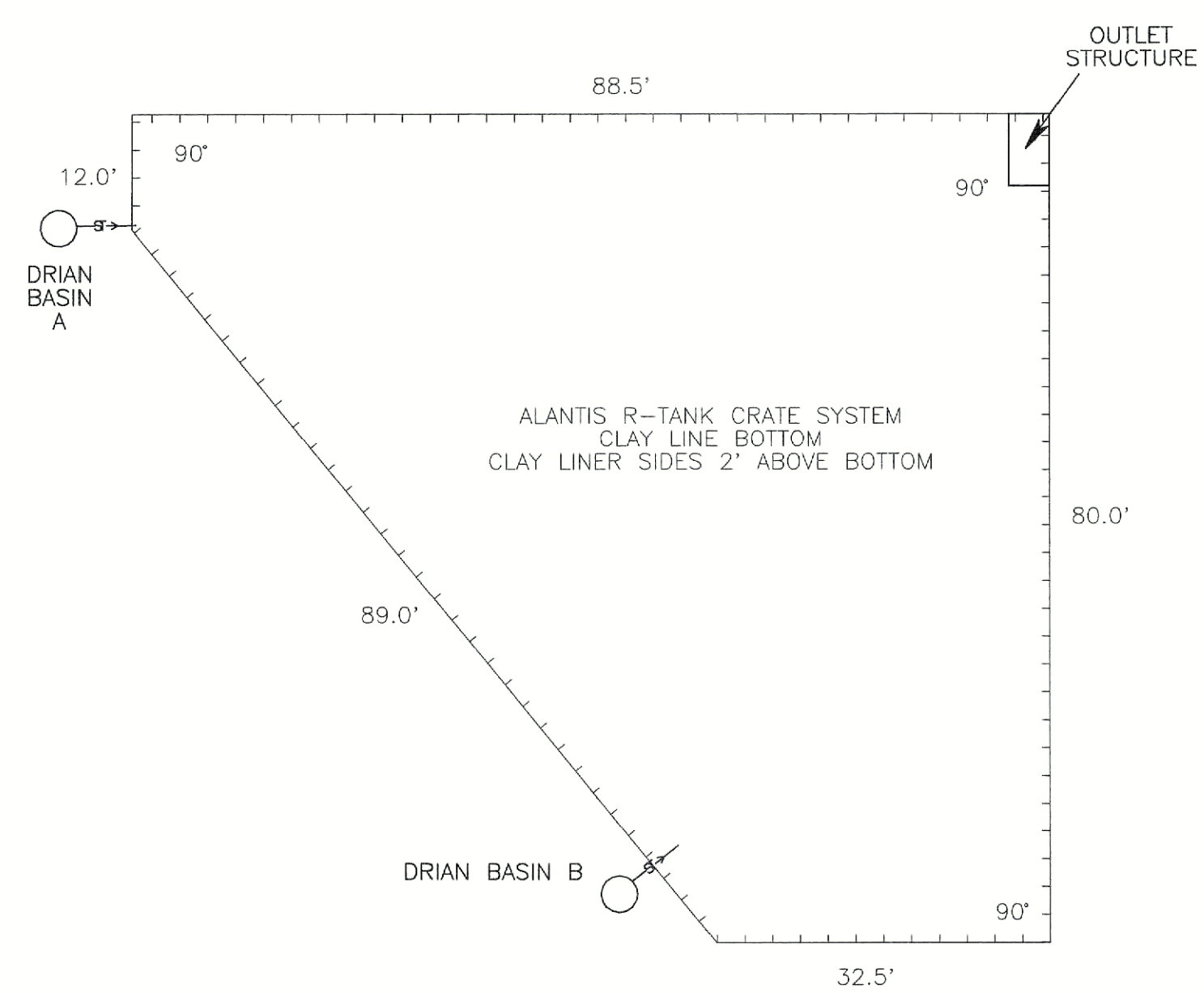
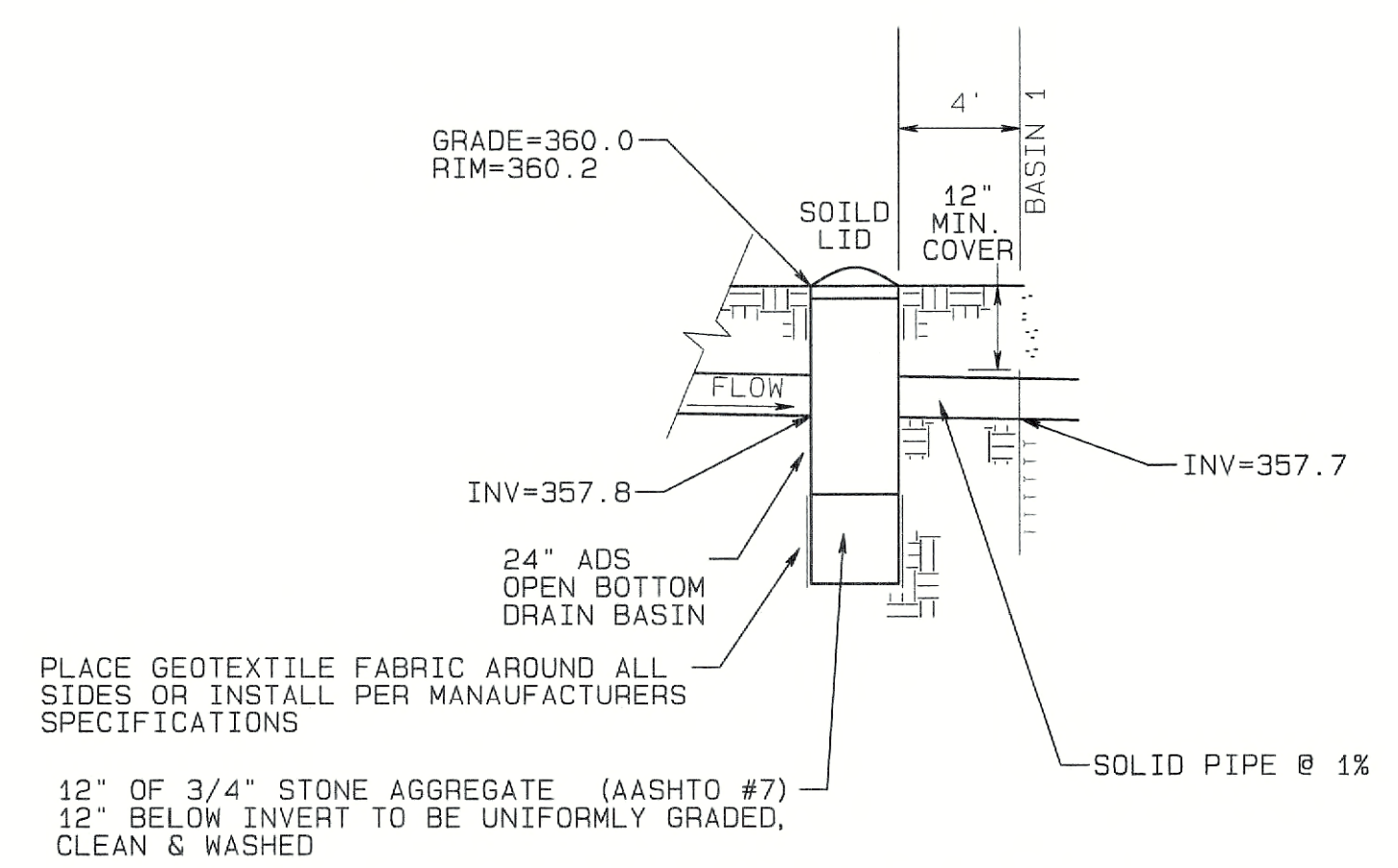
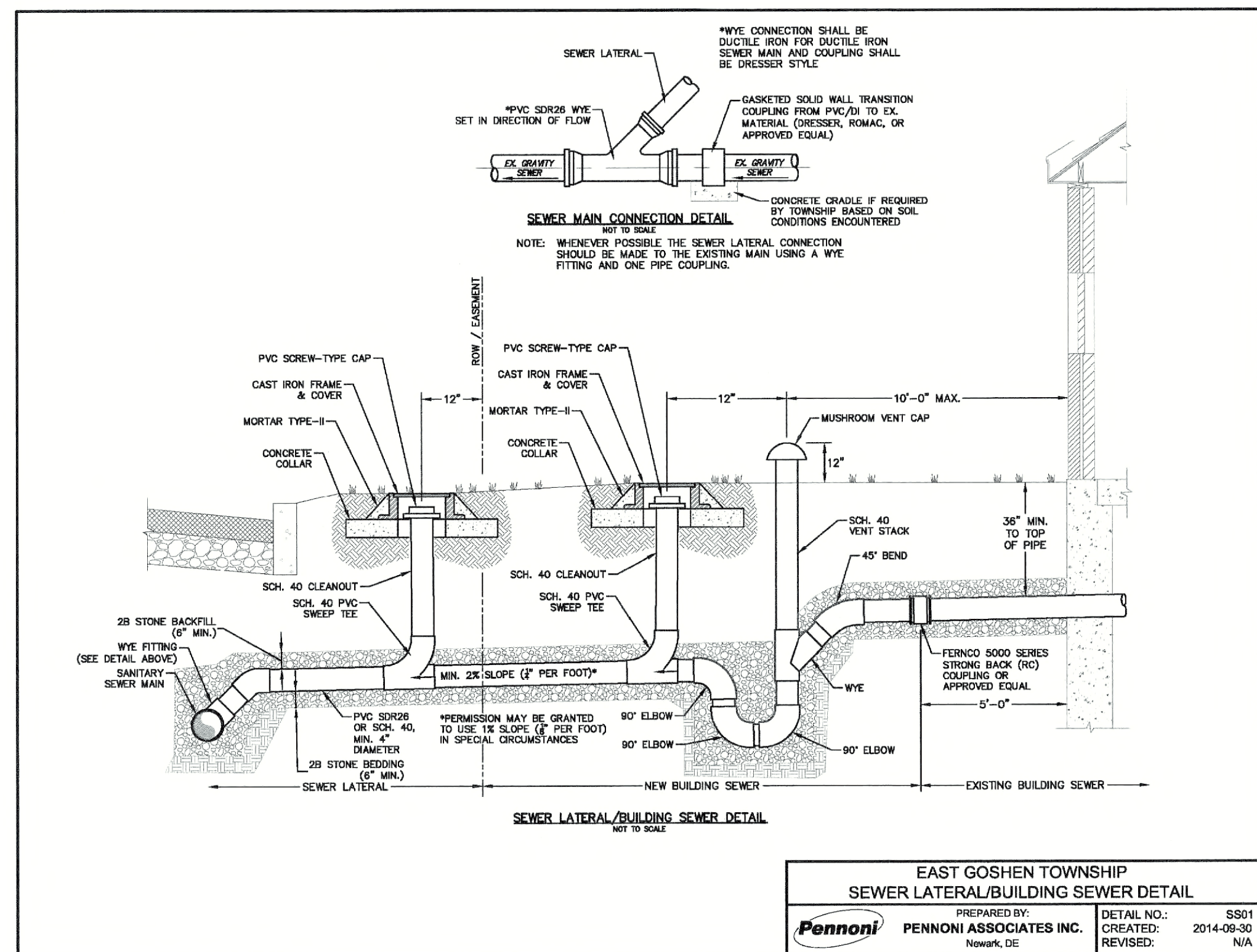
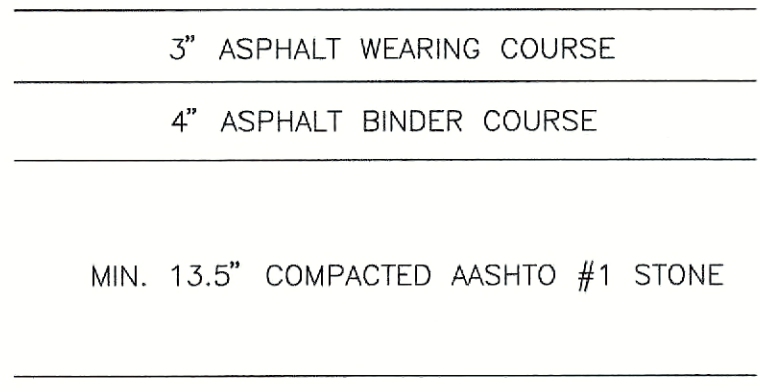
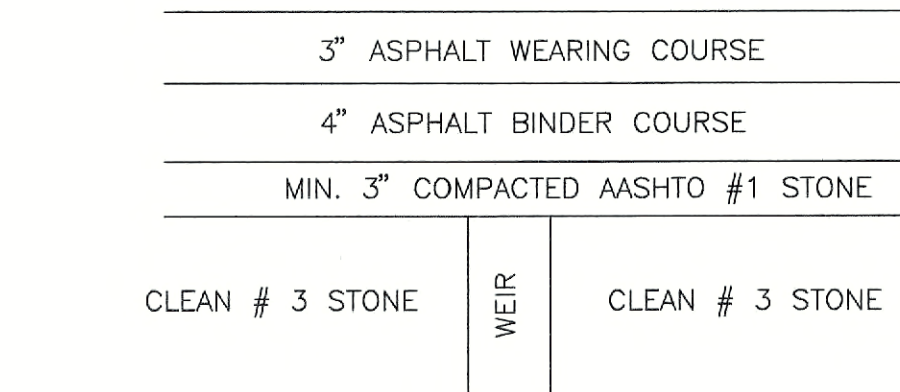
SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.

### SILT FENCE

NOT TO SCALE

2	MAY 22, 2023	PER REVIEW LETTER DATED OCTOBER 21, 2022
1	SEPTEMBER 14, 2022	NOT THIS SHEET
NO.	DATE	REVISION COMMENT
<b>E&amp;S DETAILS</b>		
<b>PRELIMINARY/FINAL</b> <b>14 RESERVOIR ROAD - SUBDIVISION</b> PREPARED FOR <b>JEFFREY S. &amp; MICHELLE A. GLOSSON</b> EAST GOSHEN TOWNSHIP * CHESTER COUNTY * PENNSYLVANIA		
		
PROJECT	W-16-2100	
DATE	JUNE 1, 2022	
SCALE		
DRAWN	MWB	
CHECKED	JAG	
CAD FILE	W2100 SUBDIVISION	
TAX PARCEL	53-6-80	
PLAN NO.	C-53-6-80	
<b>Yerkes ASSOCIATES, INC.</b> a crill company CONSULTING ENGINEERS / STRUCTURAL ENGINEERING SITE PLANNERS / LAND SURVEYORS / MUNICIPAL SERVICES 1444 PHOENIXVILLE PIKE * P.O. BOX 1568 * WEST CHESTER, PA 19380 TEL: (610) 644-4254 * FAX: (610) 640-0771		
<b>SHEET 5 OF 8</b>		





Environmental Management & Consulting, Inc.

**INFILTRATION TEST REPORT FOR ON-LOT DISPOSAL OF STORMWATER**

Applicant/Client: **Yerkes** Date of Test: **3/4/2022**

Site Address/Location: **14 Reservoir Road** Municipality: **East GoshenTwp.**

Person Conducting Test: **Mark A. Bryan** County: **Chester**

Weather Conditions: **Sunny** Location: **SW1/SW2**

**32%**

**Dry last 24 Hours**

**Test Method: Double-Ring Infiltrometer**

Profile Descriptions:

Horizon	Depth (in.)	Description
SW1		
A	0-11	Dark brown silt loam, moderate granular, very friable, clear boundary
B	11-36	Brown silt loam loam, strong subangular blocky, friable, gradual
C	36-84	Grey/Brown heavy silt loam, strong subangular blocky, sticky/firm

SHWT Motting Limiting Zone encountered to @36"

SW2

A	0-12	Dark brown silt loam, moderate granular, very friable, clear boundary
B	12-28	Brown silt loam loam, strong subangular blocky, friable, gradual
C	28-84	Grey/Brown heavy silt loam, strong subangular blocky, sticky/firm

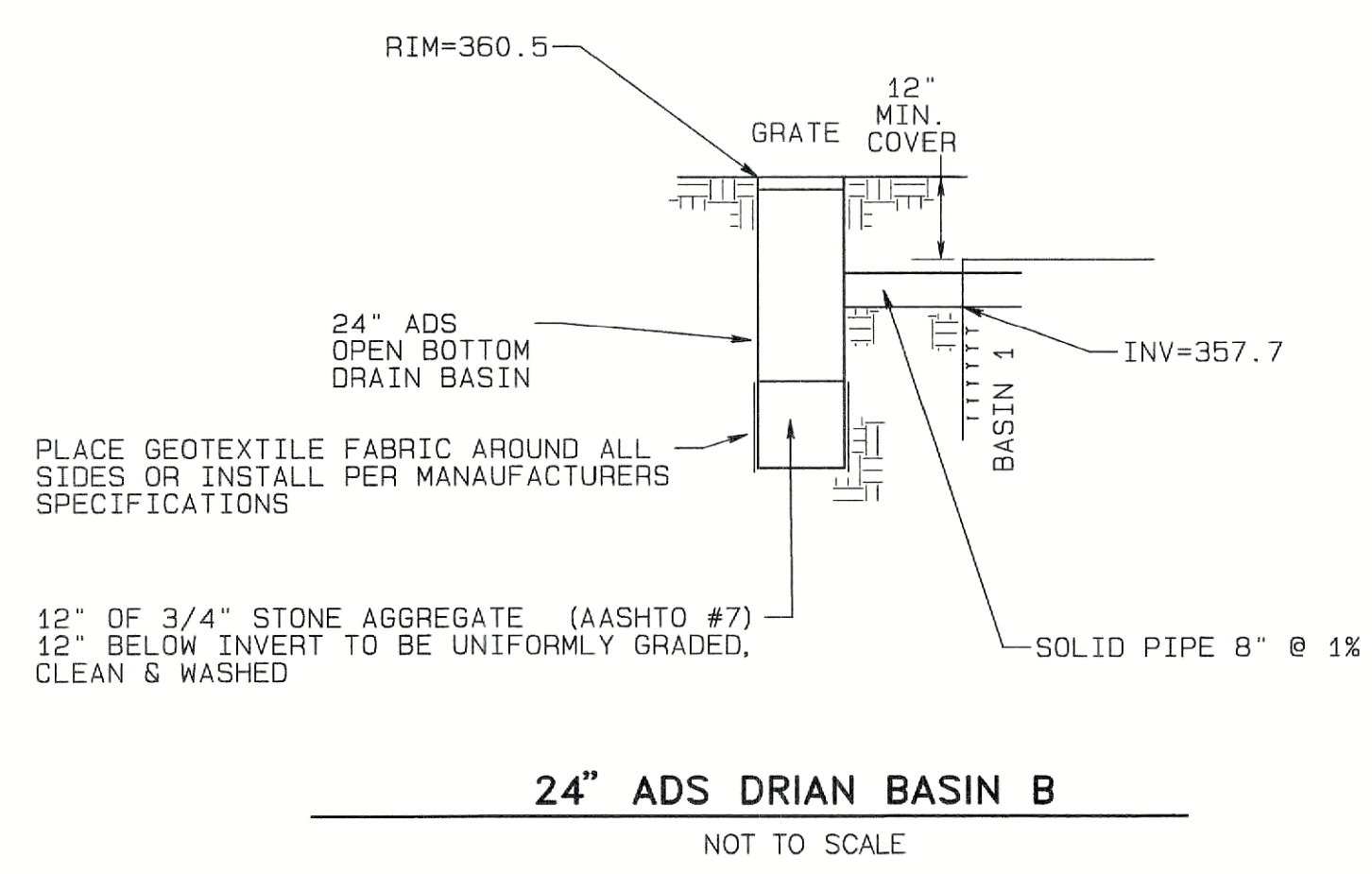
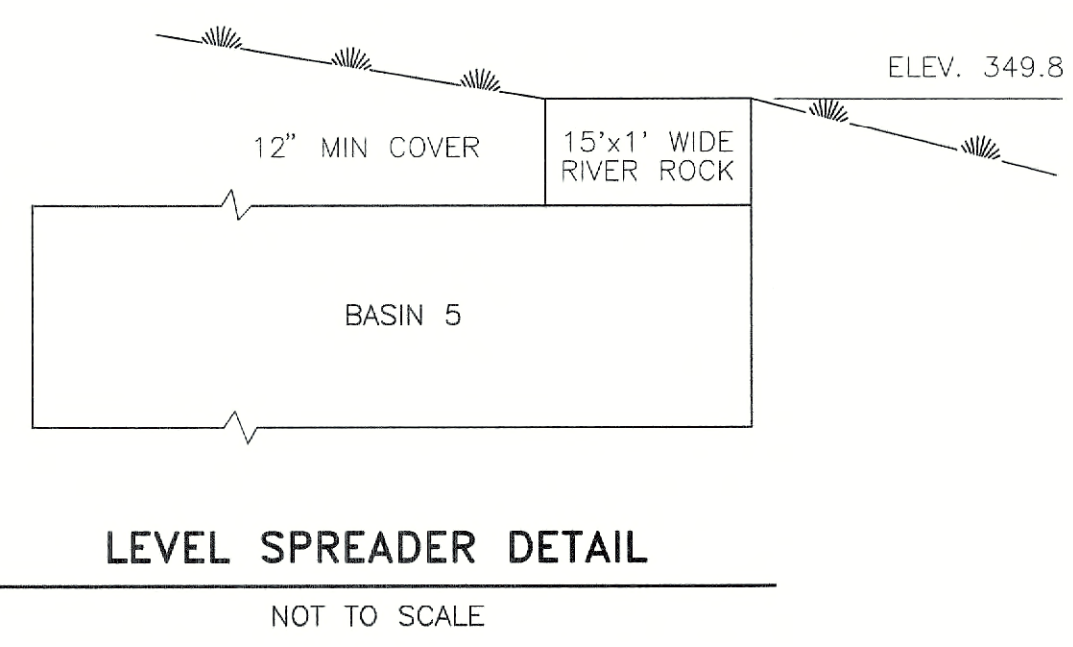
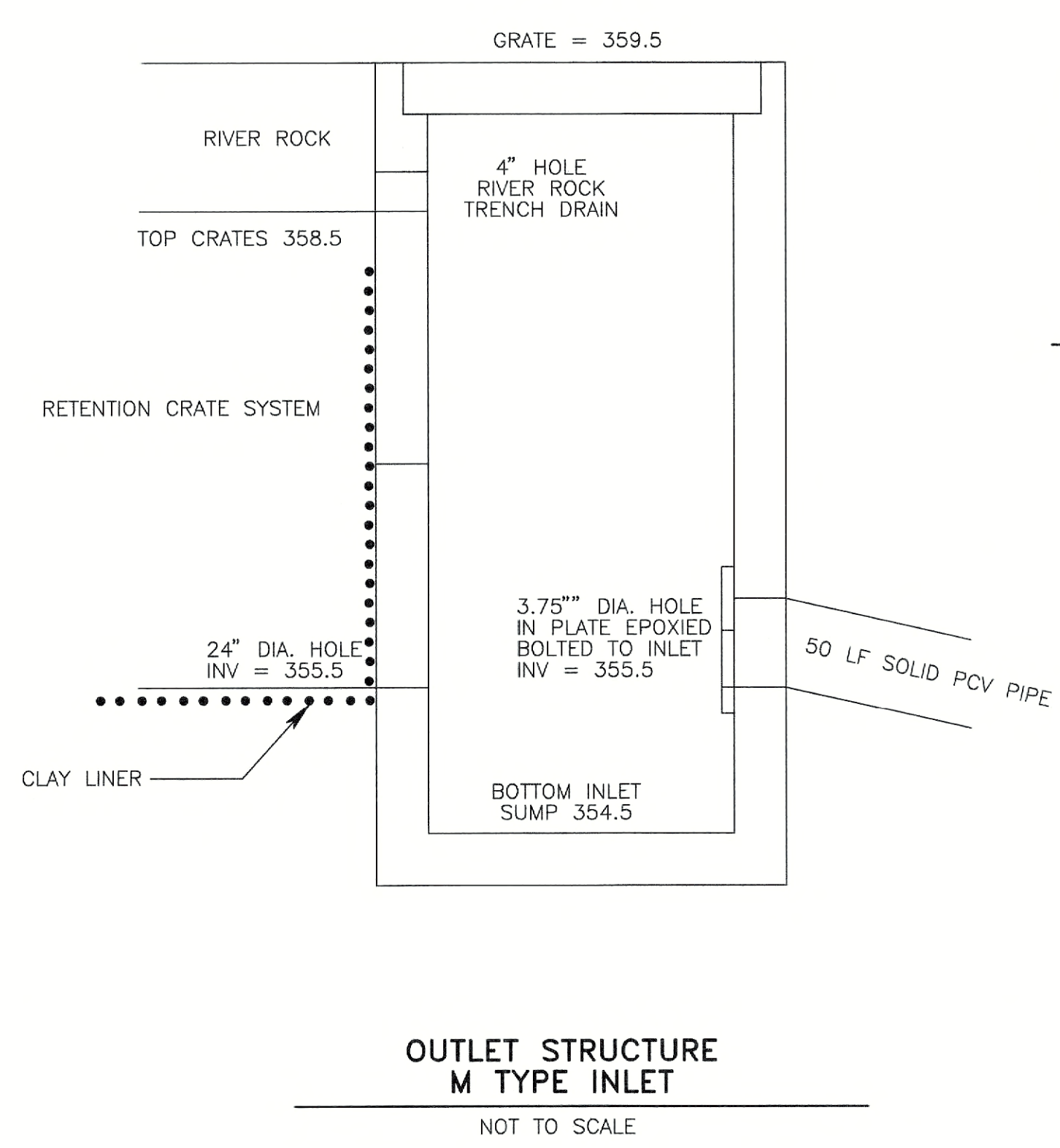
SHWT Motting Limiting Zone encountered to @28"

Hole No.	Test Depth (in.)	Start Depth (in.)	Drop (in.)	PS1	PS2	1	2	3	4	5	6
SW1A	12	12		1 3/4	1 1/2	1 1/4	1 1/8	1	1		
Time:				:30	:30	:30	:30	:30	:30		
SW1B	12	12		1	3/4	5/8	1/2	1/2	1/2		
Time:				:30	:30	:30	:30	:30	:30		

Calculation of Infiltration Rate:

Hole No.	Drop in Final Per.	Reading Interval	Minutes/ Hour	Inches/ Inch
SW1A	1	30	30.00	2.00
SW1B	1/2	30	60.00	1.00

Avg. In./In. **1.50**



2	MAY 22, 2023	PER REVIEW LETTER DATED OCTOBER 21, 2022
1	SEPTEMBER 14, 2022	PER TWP PLAN REQUEST
NO.	DATE	REVISION COMMENT

**CONSTRUCTION DETAIL AND STORMWATER MANAGEMENT PLAN**

**PRELIMINARY/FINAL**

**14 RESERVOIR ROAD - SUBDIVISION**

PREPARED FOR

**JEFFREY S. & MICHELLE A. GLOSSON**

EAST GOSHEN TOWNSHIP \* CHESTER COUNTY \* PENNSYLVANIA

**Yerkes** ASSOCIATES, INC.  
*a civil company*

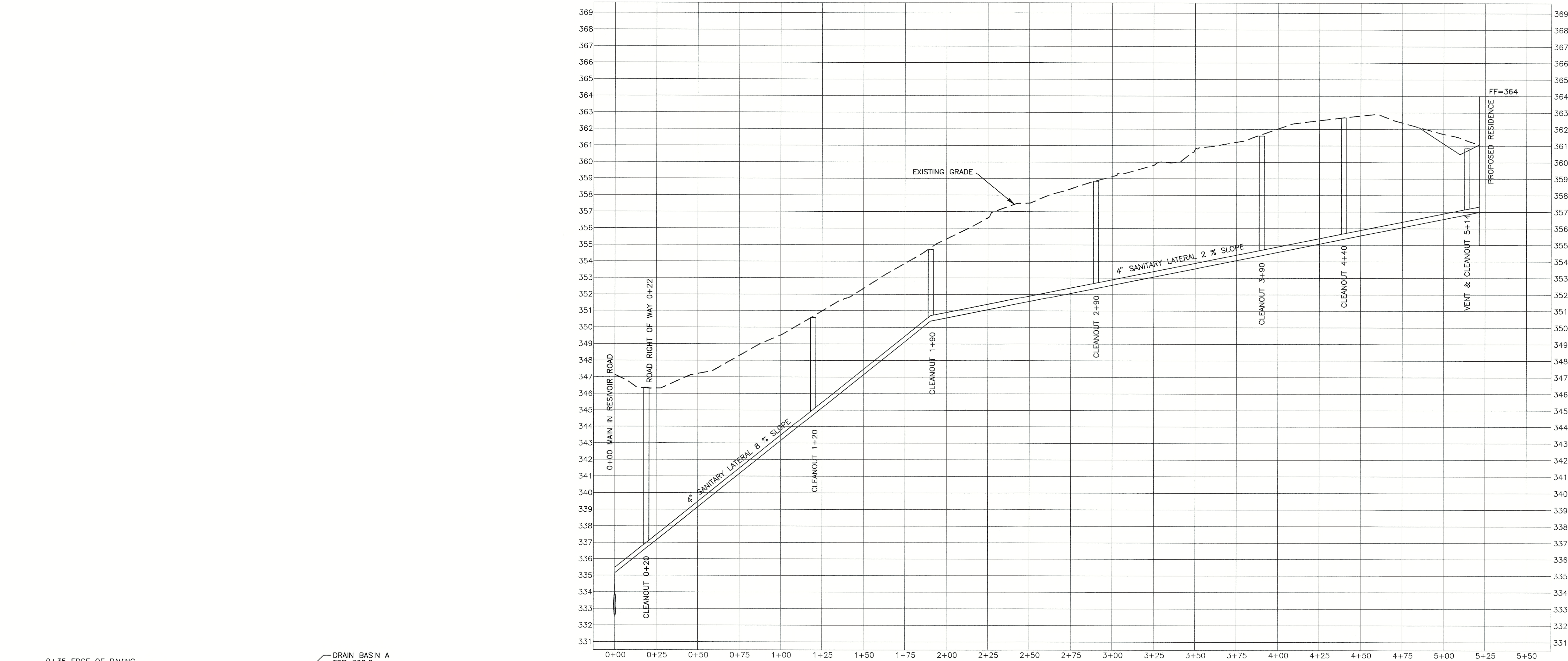
CONSULTING ENGINEERS / STRUCTURAL ENGINEERING  
SITE PLANNERS / LAND SURVEYORS / MUNICIPAL SERVICES

1444 PHOENIXVILLE PIKE \* P.O. BOX 1568 \* WEST CHESTER, PA 19380  
TEL: (610) 644-4254 \* FAX: (610) 640-0771

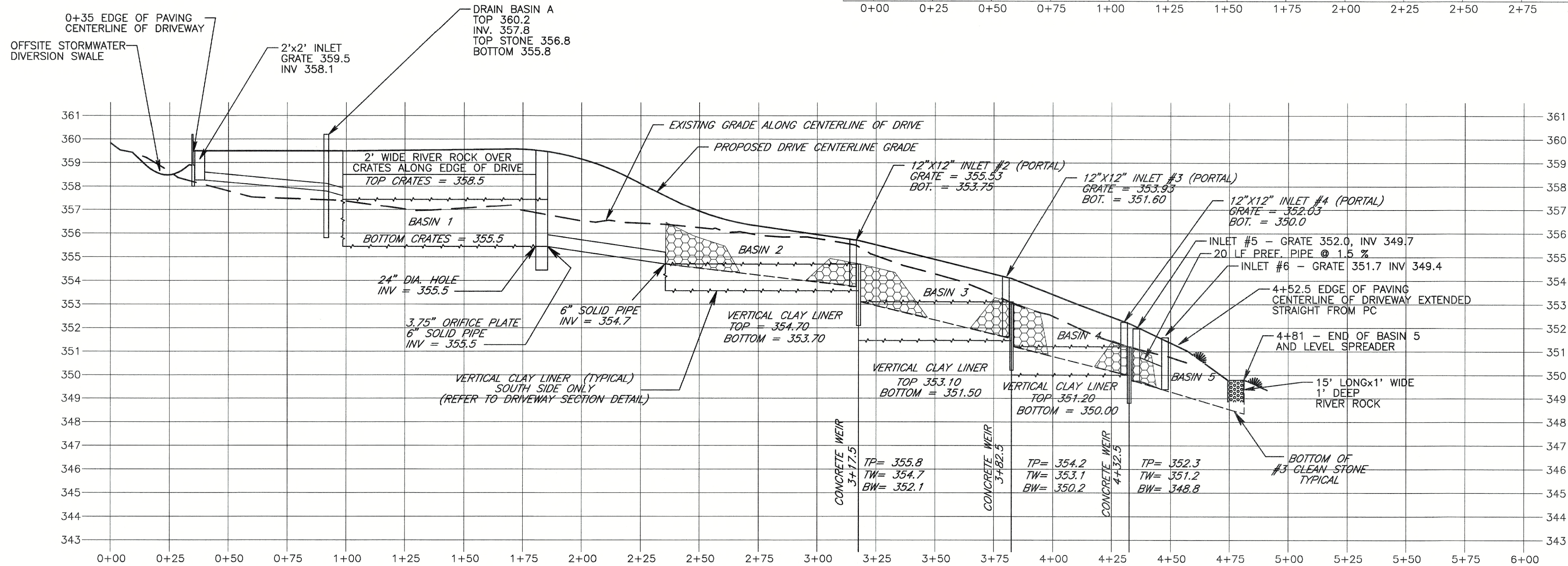
PROJECT - W-16-2100  
DATE - JUNE 1, 2022  
SCALE -  
DRAWN - MWB  
CHECKED - JAG  
CAD FILE W2100 SUBDIVISION  
TAX PARCEL - 53-6-80  
PLAN NO. **C-53-6-80**  
**SHEET 6 OF 8**

5/16/2023 1: W:\W-16 - 2069\W-16-2100 - GLOSSON\W2100 SUBDIVISION R2.dwg





SANITARY LATERAL PROFILE



DRIVEWAY PROFILE

2 MAY 22, 2023		PER REVIEW LETTER DATED OCTOBER 21, 2022	
1 SEPTEMBER 14, 2022		PER TWP PLAN REQUEST	
NO.	DATE	REVISION COMMENT	

**PROFILE PLAN**

14 RESERVOIR ROAD - SUBDIVISION

PREPARED FOR

**JEFFREY S. & MICHELLE A. GLOSSON**

EAST GOSHEN TOWNSHIP \* CHESTER COUNTY \* PENNSYLVANIA

**Yerkes ASSOCIATES, INC.**

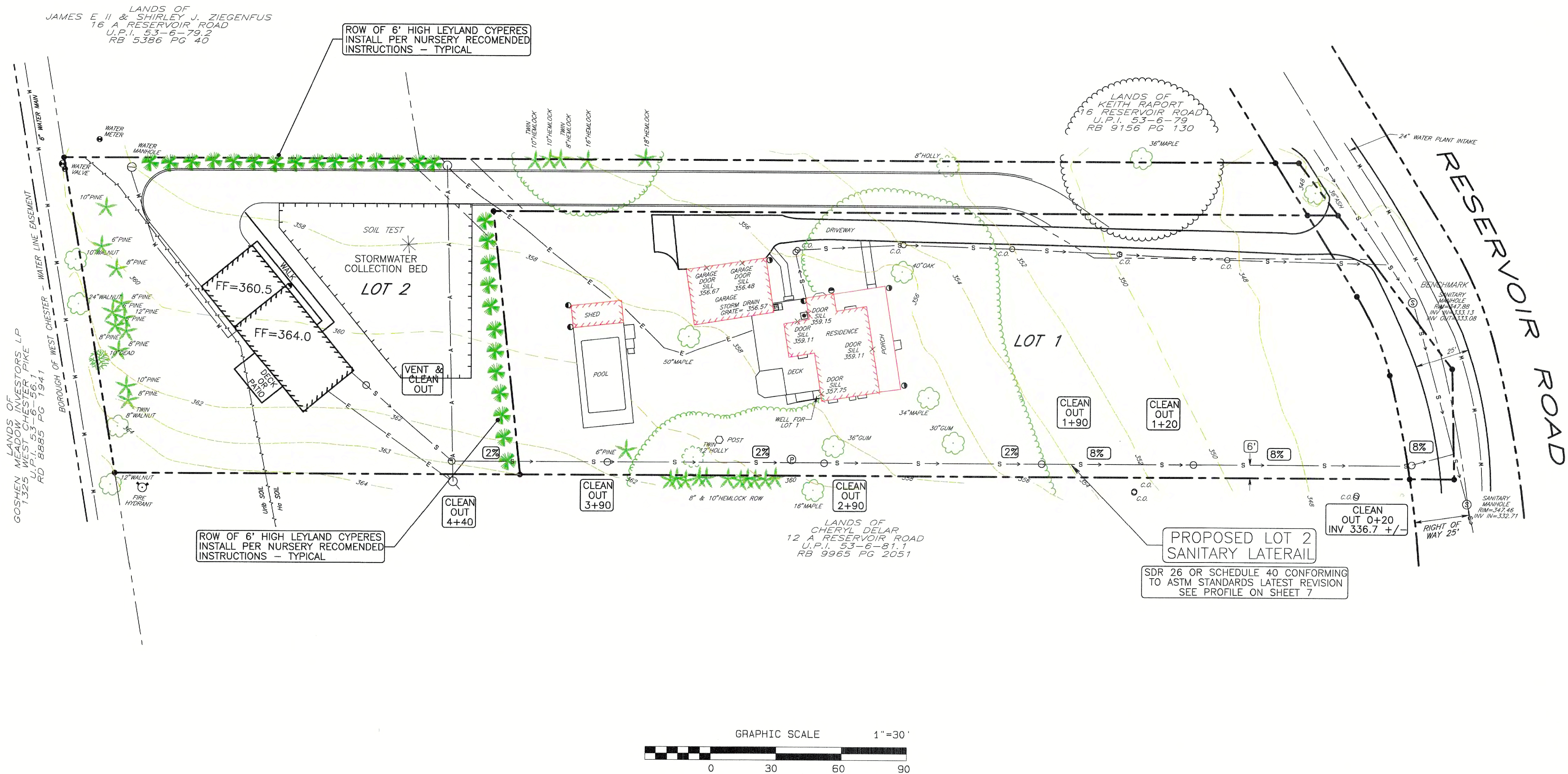
*a cillill company*

CONSULTING ENGINEERS / STRUCTURAL ENGINEERING  
SITE PLANNERS / LAND SURVEYORS / MUNICIPAL SERVICES

1444 PHOENIXVILLE PIKE • P.O. BOX 1568 • WEST CHESTER, PA 19380  
TEL: (610) 644-4254 • FAX: (610) 640-0771

PROJECT - W-16-2100  
DATE - JUNE 1, 2022  
SCALE - H = 1" = 30', V = 1" = 3'  
DRAWN - MWB  
CHECKED - JAG/NC  
CAD FILE W2100 SUBDIVISION  
TAX PARCEL - 53-6-80  
PLAN NO.  
**C-53-6-80**  
**SHEET 7 OF 8**





2	MAY 22, 2023	PER REVIEW LETTER DATED OCTOBER 21, 2022
1	SEPTEMBER 14, 2022	PER TWP PLAN REQUEST
NO.	DATE	REVISION COMMENT
LANDSCAPE PLAN		
PRELIMINARY/FINAL 14 RESERVOIR ROAD - SUBDIVISION PREPARED FOR JEFFREY S. & MICHELLE A. GLOSSON EAST GOSHEN TOWNSHIP * CHESTER COUNTY * PENNSYLVANIA		
Yerkes ASSOCIATES, INC. a civil company		
CONSULTING ENGINEERS / STRUCTURAL ENGINEERING SITE PLANNERS / LAND SURVEYORS / MUNICIPAL SERVICES		
1444 PHOENIXVILLE PIKE * P.O. BOX 1568 * WEST CHESTER, PA 19380 TEL: (610) 644-4254 * FAX: (610) 640-0771		
PROJECT - W-16-2100 DATE - JUNE 1, 2022 SCALE - 1" = 30' DRAWN - MNB CHECKED - JAG/NC CAD FILE - W2100 SUBDIVISION TAX PARCEL - 53-6-80		
PLAN NO. C-53-6-80		
SHEET 8 OF 8		





# THE COUNTY OF CHESTER



COMMISSIONERS  
Marian D. Moskowitz  
Josh Maxwell  
Michelle Kichline

Brian N. O'Leary, AICP  
Executive Director

PLANNING COMMISSION  
Government Services Center, Suite 270  
601 Westtown Road  
P. O. Box 2747  
West Chester, PA 19380-0990  
(610) 344-6285 Fax (610) 344-6515

December 9, 2022

Derek Davis, Manager  
East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

Re: Preliminary Subdivision - Jeffrey S. & Michelle A. Glosson  
# East Goshen Township – SD-10-22-17420

Dear Mr. Davis:

A Preliminary Subdivision Plan entitled "Jeffrey S. & Michelle A. Glosson", prepared by Yerkes Associates Inc., and dated June 1, 2022, and last revised on September 14, 2022, was received by this office on November 18, 2022. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed subdivision for your consideration.

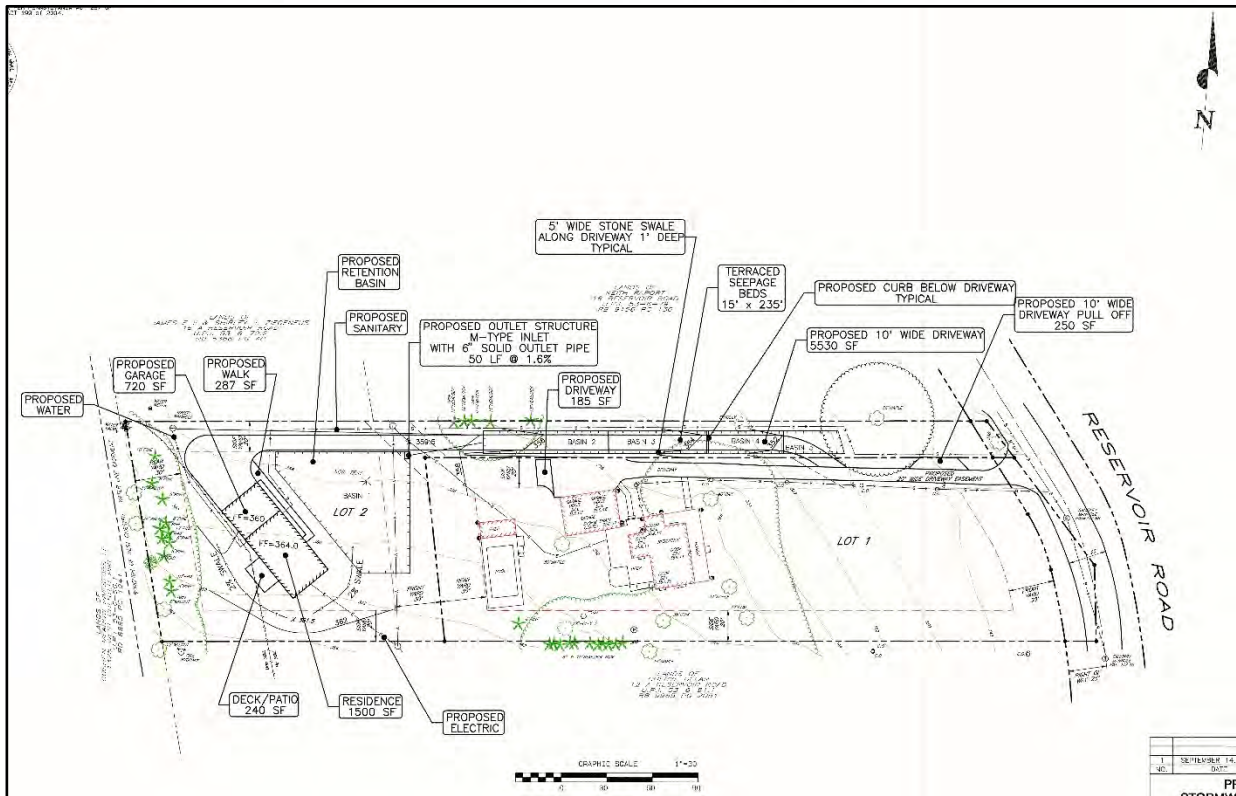
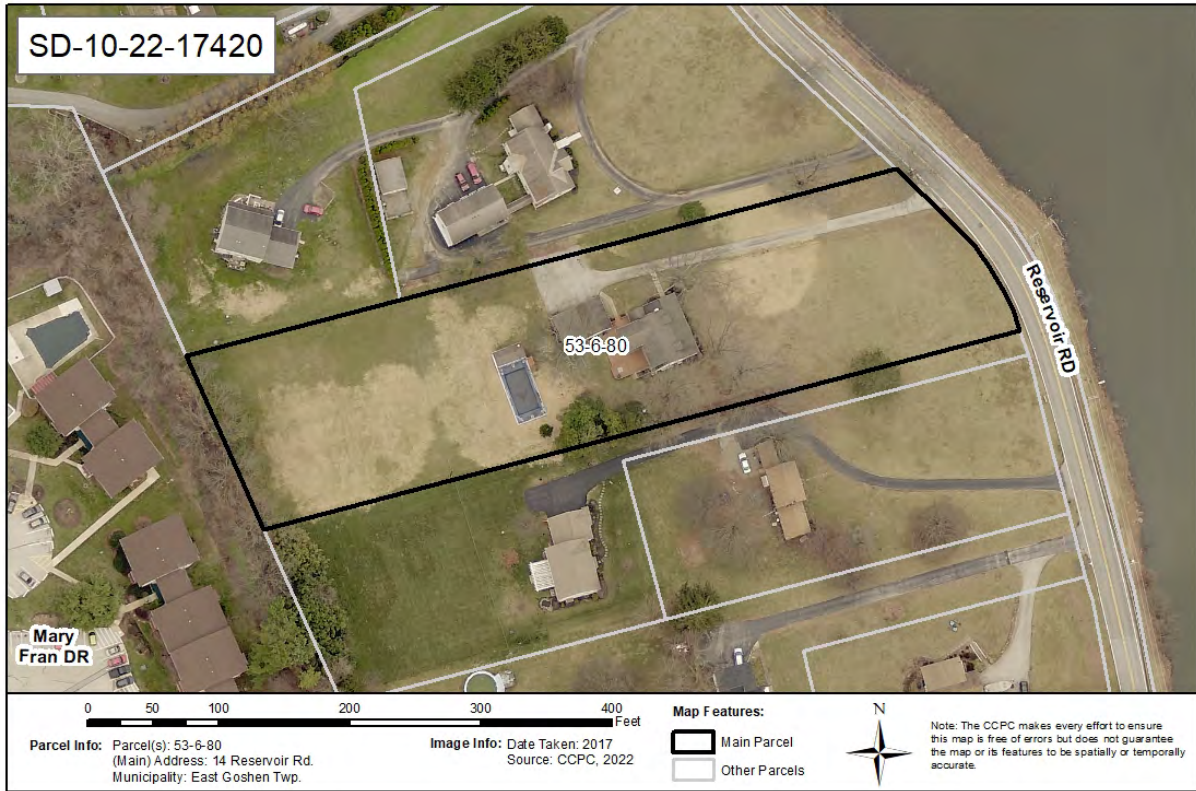
## **PROJECT SUMMARY:**

Location:	west side of Reservoir Road, north of West Chester Pike
Site Acreage:	2.00
Proposed Land Use:	2 Single Family Residential Lots
Municipal Land Use Plan Designation:	Medium Density Residential
UPI#:	53-6-80

## **PROPOSAL:**

The applicant proposes the creation of 2 single family residential lots. The existing residence will remain on Lot 1. Plan Note 8 on Sheet 1 indicates that a variance was granted on July 21, 2021, pertaining to the required width of the pole portion of the flag lot (Lot 2) being reduced from 40 feet to 24 feet. The project site, which will be served by public water and public sewer, is located in the R-3 Medium Density Suburban Residential zoning district.

**RECOMMENDATION:** The County Planning Commission recommends that the issues raised in this letter should be addressed, and all Township issues should be resolved before action is taken on this subdivision plan.





**COUNTY POLICY:**

**LANDSCAPES:**

1. The project site is located within the **Suburban Landscape** and **Natural Landscape** designations of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Landscape** is predominantly residential communities with locally-oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. As an overlay of all other landscapes, the county's **Natural Landscapes** consist of a network of streams, wetlands, floodplains, and forests that are protected by regulations or should be subject to limited disturbance. Conservation practices should protect and restore these natural resources. The proposed subdivision is consistent with the objectives of the **Suburban Landscape**.

**WATERSHEDS:**

2. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the East Branch subbasin of the Chester Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are: reduce stormwater runoff, restore water quality of "impaired" streams, and protect vegetated riparian corridors. **Watersheds** can be accessed at [www.chesco.org/water](http://www.chesco.org/water).

**PRIMARY ISSUES:**

3. Vehicular access to Lot 2 will be provided from the existing driveway entrance on Lot 1. The details of this shared access arrangement should be incorporated into the deeds of both lots.
4. The site contains land within the 100 year flood plain. Although it does not appear that any development activity will encroach into the floodplain, we note that the County Planning Commission does not support development in the floodplain, and the Federal Emergency Management Agency and Pennsylvania Department of Environmental Protection regulate filling or development in the floodplain. Development within a floodplain can increase the magnitude and frequency of normally minor floods, and present health and safety problems.
5. 2013 soils data indicates that the site contains areas of predominantly hydric (wet) soils (Ha Hatboro) which have limitations to development. These limitations include drainage problems due to low permeability, low runoff rates and sub-surface saturation. When construction takes place on these soils, it interferes with the natural drainage of the land. If construction occurs on this site, on-site alterations to existing drainage patterns should be carefully inspected by the Township Engineer to ensure that off-site drainage conditions are not negatively affected.

**ADMINISTRATIVE ISSUES:**

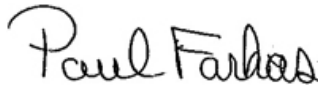
6. Land disturbance and land development activities that occur within Chester County must comply with the *County-wide Act 167 Stormwater Management Plan for Chester County, PA* (July 2013) and the associated Act 167 stormwater management ordinance standards adopted by each municipality.

Page: 4  
Re: Preliminary Subdivision - Jeffrey S.& Michelle A. Glosson  
# East Goshen Township – SD-10-22-17420

7. Sheet 1 depicts the location of a 20 foot width electric service easement for Lot 1 that is situated on Lot 2. The details of this easement should be incorporated into the deeds of both lots.
8. The site plan depicts the location of a proposed retention basin on Lot 2. Ongoing efforts by the municipality may be needed to educate the homeowner(s) so that they can fully understand and fulfill the operation and maintenance requirements for these facilities.
9. A minimum of four (4) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds and the Assessment Office.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of East Goshen Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,

A handwritten signature in black ink that reads "Paul Farkas". The signature is written in a cursive, flowing style.

Paul Farkas  
Senior Review Planner

cc: Jeffrey S. and Michelle A. Glosson  
Yerkes Associates, Inc.

October 21, 2022

EGOST 00135

Duane Brady, Zoning Officer  
East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

**RE: Glosson, 14 Reservoir Road**

Dear Duane:

As requested, we have reviewed the following information, prepared by Yerkes Associates, Inc., regarding the referenced submission:

- *"Subdivision Plan for 14 Reservoir Road"* (six sheets) dated June 1, 2022, last revised September 14, 2022;
- *"Stormwater Management Report for 14 Reservoir Road"* dated June 24, 2022; and
- *"Pre- and Post-Development Drainage Area Plans"* dated June 1, 2022.

The applicants/owners, Jeffrey and Michelle Glosson, are proposing to subdivide UPI 53-6-80 ( $\pm 2$  acres) into two (2) parcels. There is an existing dwelling, attached garage and pool to remain on proposed Lot 1 ( $\pm 1.1$  net acres); Lot 2 ( $\pm 0.834$  net acres) is a proposed flag lot containing a single-family dwelling, garage and deck/patio. The parcel is located on the west side of Reservoir Road approximately 920 feet south of its intersection with Park Avenue, within the *R-3 Medium Density Suburban Residential District*. The proposed dwelling is proposed to be served by public water supply and public sanitary sewer.

The Zoning Hearing Board per a *Decision & Order* dated July 21, 2021, approved the following variance:

1. From §240-23.B(2)(b)[2][e] allowing for the required width of the pole portion of the flag lot to be reduced from 40 feet to 24 feet.

We offer the following comments:

**ZONING (§240)**

1. The applicant shall prove to the satisfaction of the Township that the proposed driveway will have adequate access for emergency vehicles (§240-23.B(2)(b)(2)[d]); defer to Township staff/Fire Marshall.
2. It appears no steep or very steep slopes exist; please confirm and add a note to the plan indicating the same. (§240-25.C & §205-33.B(9))
3. On lots of one acre or less, a maximum of one storage shed of a maximum floor area of 120 square feet and a maximum height of 12 feet at its highest point may be placed or erected within the required side and/or rear yards of the property (§240-32.P(1(a))). We recommend a note be added to the *Title Plan* (Sheet 1) for Lot 2.

4. Any residential subdivision or land development shall give careful attention to providing attractive landscaping. (§240-27) It may be appropriate to provide landscaping to screen the existing residences to the north and east.

#### **SUBDIVISION (§205)**

5. We recommend that the plan be titled Preliminary (and/or) Final Subdivision Plan. If the applicant is seeking joint Preliminary/Final approval, a waiver should be requested from §205-28.
6. Please provide the location and elevation of the bench mark to which contour elevations refer. (§205-30.B(8))
7. The Bulk Zoning Table on Sheet 1 should indicate conformance for each proposed lot. (§205-30.C(4)(j))
8. Prior to plan recording, a PA DEP planning module or exemption approval shall be provided. (§205-33.B(22))
9. The existing water connection for Lot 1 is not indicated on the plans. (§205-33.B(10))
10. Size and invert elevation of all sanitary manholes and lines shall be indicated. (§205-33.B(15))
11. A 'will serve' letter regarding the availability of public water shall be provided. (§205-40.E)

#### **STORMWATER MANAGEMENT (§195)**

12. Regarding *Water Quality* (§195-19), *Infiltration* (§195-20) and *Peak Rate Control* (§195-22):
  - a. It is unclear in which part of the proposed system infiltration is taking place; please clarify.
  - b. The Basin 1 outlet appears to be at the same elevation as the bottom of the storage area; it is unclear how this configuration will allow for infiltration.
  - c. The Basin 1 volume calculation (Page 31) does not match the Basin 1 Pond Report (Page 43).
  - d. There is no exfiltration indicated in the Basin 1 Pond Report; please clarify.
  - e. A clay liner is indicated for Basin 1; please clarify the intent.
  - f. The function of the vertical clay wall is unclear; please clarify the intent.
  - g. The subgrade curbs in Basins 2, 3, 4 and 5 appear to function as weirs. It appears that these basins will retain the portion of the runoff volume below the weir elevations without a lower outlet; please clarify.
  - h. The basin bottoms appear to follow the grade slope; basin bottoms should be relatively flat.
  - i. We attempted to recreate the hydraulic model using HydroCAD. It appears that the proposed system functions during storm events below the five-year storm; using the ten-year and above storms, the model generates errors. Please clarify how the system functions during larger storm events; it may be useful to provide HydroCAD files.

- j. It is unclear how runoff enters Basin 1 from the designated drainage area; additional spot elevations should be indicated, along with clarifications regarding roof drains.
  - k. It appears the limit of disturbance was utilized as the area tributary to the proposed BMPs. The design should utilize the actual tributary areas to each individual BMP and indicate the same on the drainage area plans and runoff models.
  - l. Please provide Worksheet 4 type calculations for each proposed BMP.
- 13. A level spreader is proposed for Basin 5; please indicated on the plan and provide a detail, including appropriate permanent erosion controls measures for the discharge.
  - 14. Provide a statement on the plan, signed by the applicant, acknowledging that any revision to the approved SWM site plan shall be submitted to and approved by the municipality and that a revised erosion and sediment control plan shall be submitted to, and approved by the Township for a determination of adequacy prior to construction of the revised features. (§195-27.A(3))
  - 15. Provide the engineer's design signature block required per §195-27.A(4).
  - 16. Please clarify the total extent of the upstream area draining through the site. (§195-27.B(12))
  - 17. Provide all BMP operations and maintenance requirements. (§195-27.F)
  - 18. A stormwater operations and maintenance agreement will be required to be record; this agreement should include the same operation and maintenance requirements as the plan, specific to each proposed BMP. (§195-27.F)
  - 19. Easements granting the Township access to the stormwater management BMPs is required; a blanket easement is acceptable. (§195-39)
  - 20. Observation ports should be provided for all subsurface BMPs to monitor BMP function.
  - 21. Due to the unique stormwater systems proposed, it may be appropriate to schedule a meeting to review the design concepts further.

**SANITARY SEWER (§188)**

- 22. The plans shall include the *East Goshen Township Sewer Lateral Detail* (attached).
- 23. Please confirm the proposed sanitary sewer line has a minimum of 2% slope and provide associated profiles.
- 24. The plans shall clearly indicate cleanout locations per §188-31.C(3).
- 25. Proposed sewer lines shall be a minimum of five feet from side property lines. (§188-31.B(8))

**GENERAL**

26. A plan legend should be provided.
27. The plan is subject to review by the Township Fire Marshall, Historic Commission, Conservancy Board and Chester County Planning Department.
28. Proposed easements (electric service, shared driveway) and legal descriptions for each lot shall be submitted for review by the Township prior to recording.
29. Note the project is not within 660 feet of the center line of any hazardous liquid pipeline or natural gas transmission pipeline, therefore no *Pipeline Awareness Study* is required. (§205-40.1)

Should you have any further questions or comments, please contact the undersigned.

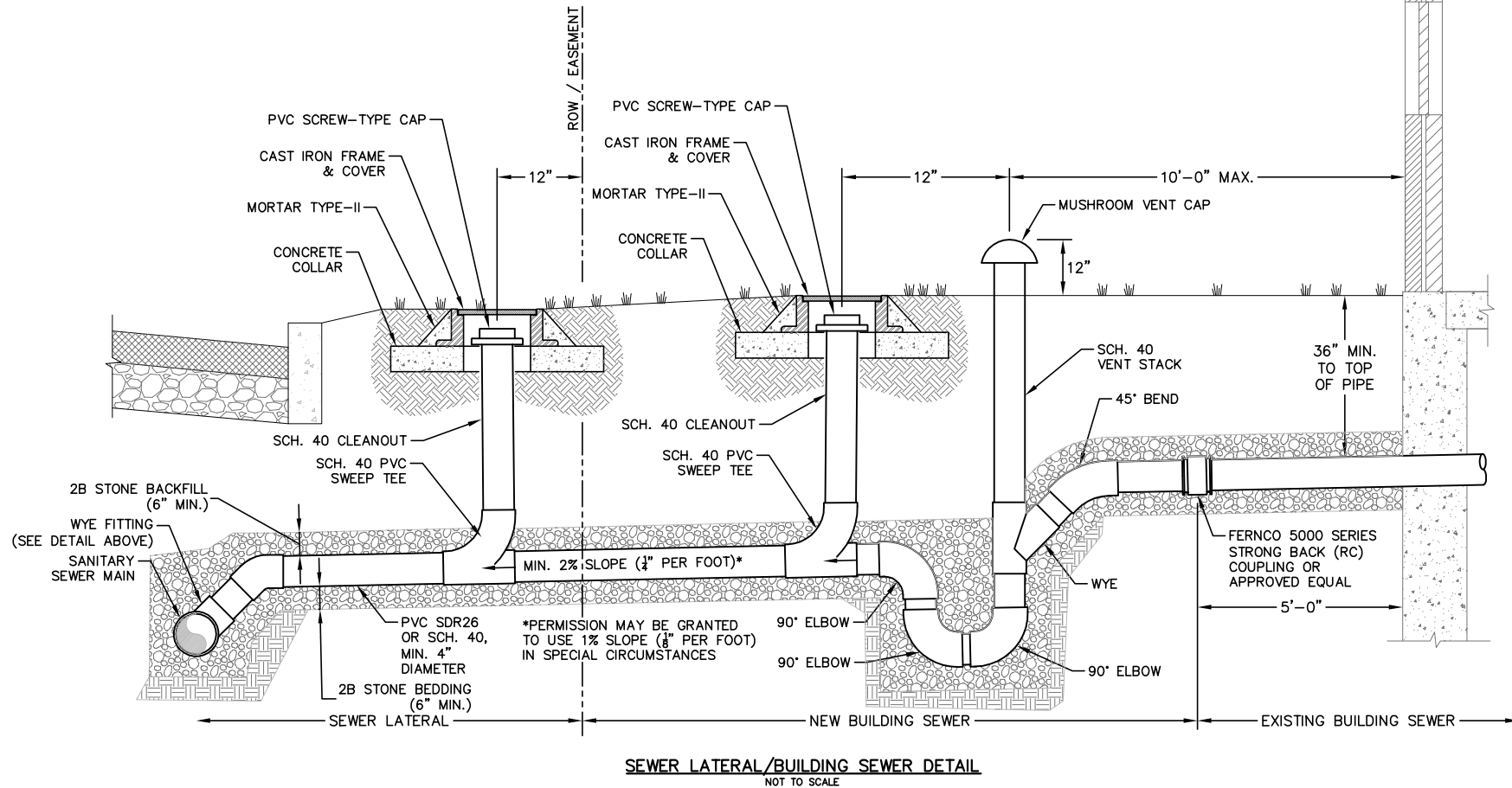
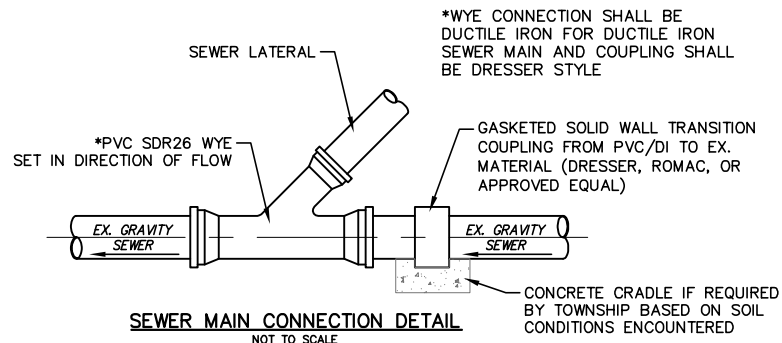
Sincerely,

**PENNONI**



Nathan M. Cline, PE  
Township Engineer

cc (via e-mail): Mark Miller, Public Works  
Derek Davis, Township Manager  
Nick Cirilli, PE, Yerkes Associates, Inc.  
Jeffrey and Michelle Glosson  
Mike Ellis, PE



**EAST GOSHEN TOWNSHIP  
SEWER LATERAL/BUILDING SEWER DETAIL**



PREPARED BY:  
**PENNONI ASSOCIATES INC.**  
Newark, DE

DETAIL NO.: SS01  
CREATED: 2014-09-30  
REVISED: N/A

October 21, 2022

Yerkes edited May 16, 2023

EGOST 00135

Duane Brady, Zoning Officer  
East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380

**RE: Glosson, 14 Reservoir Road**

Dear Duane:

As requested, we have reviewed the following information, prepared by Yerkes Associates, Inc., regarding the referenced submission:

- “*Subdivision Plan for 14 Reservoir Road*” (six sheets) dated June 1, 2022, last revised September 14, 2022;
- “*Stormwater Management Report for 14 Reservoir Road*” dated June 24, 2022; and
- “*Pre- and Post-Development Drainage Area Plans*” dated June 1, 2022.

The applicants/owners, Jeffrey and Michelle Glosson, are proposing to subdivide UPI 53-6-80 (±2 acres) into two (2) parcels. There is an existing dwelling, attached garage and pool to remain on proposed Lot 1 (±1.1 net acres); Lot 2 (±0.834 net acres) is a proposed flag lot containing a single-family dwelling, garage and deck/patio. The parcel is located on the west side of Reservoir Road approximately 920 feet south of its intersection with Park Avenue, within the *R-3 Medium Density Suburban Residential District*. The proposed dwelling is proposed to be served by public water supply and public sanitary sewer.

The Zoning Hearing Board per a *Decision & Order* dated July 21, 2021, approved the following variance:

1. From §240-23.B(2)(b)[2][e] allowing for the required width of the pole portion of the flag lot to be reduced from 40 feet to 24 feet.

We offer the following comments:

**ZONING (§240)**

1. The applicant shall prove to the satisfaction of the Township that the proposed driveway will have adequate access for emergency vehicles (§240-23.B(2)(b)(2)[d]); defer to Township staff/Fire Marshall. **DRIVEWAY WIDENED TO 15 FEET**
2. It appears no steep or very steep slopes exist; please confirm and add a note to the plan indicating the same. (§240-25.C & §205-33.B(9)) **SHEET 2 NOTE 7**
3. On lots of one acre or less, a maximum of one storage shed of a maximum floor area of 120 square feet and a maximum height of 12 feet at its highest point may be placed or erected within the required side and/or rear yards of the property (§240-32.P(1(a))). We recommend a note be added to the *Title Plan* (Sheet 1) for Lot 2. **SHEET 1 NOTE 10**



4. Any residential subdivision or land development shall give careful attention to providing attractive landscaping. (§240-27) It may be appropriate to provide landscaping to screen the existing residences to the north and east. **SEE SHEET 7**

**SUBDIVISION (§205)**

5. We recommend that the plan be titled Preliminary (and/or) Final Subdivision Plan. If the applicant is seeking joint Preliminary/Final approval, a waiver should be requested from §205-28.

**SHEET 1 ABOVE TITLE BLOCK WAIVER IS REQUESTED**

6. Please provide the location and elevation of the bench mark to which contour elevations refer. (§205-30.B(8)) **SANITARY MANHOLE NOTED SHEET 2 NOTE 3 REVISED.**

7. The Bulk Zoning Table on Sheet 1 should indicate conformance for each proposed lot. (§205-30.C(4)(j)) **SHEET 3**

8. Prior to plan recording, a PA DEP planning module or exemption approval shall be provided. (§205-33.B(22)) **THE PLANNING MODULE HAS BEEN SUBMITTED TO TOWNSHIP**

9. The existing water connection for Lot 1 is not indicated on the plans. (§205-33.B(10))

**THE LOCATION OF THE WELL ON LOT 1 NOTED**

10. Size and invert elevation of all sanitary manholes and lines shall be indicated. (§205-33.B(15))

**THE SANITARY INVERTS AND PIPE SIZE ARE SHOWN**

11. A 'will serve' letter regarding the availability of public water shall be provided. (§205-40.E)

**THE REQUEST HAS BEEN MADE AND WAITING FOR LETTER**

**STORMWATER MANAGEMENT (§195)**

12. Regarding *Water Quality* (§195-19), *Infiltration* (§195-20) and *Peak Rate Control* (§195-22):

- a. It is unclear in which part of the proposed system infiltration is taking place; please clarify.

**Infiltration is taking place in basin 2-5 underneath the proposed driveway.**

- b. The Basin 1 outlet appears to be at the same elevation as the bottom of the storage area; it is unclear how this configuration will allow for infiltration.

**This area does not allow for infiltration due to shallow limiting zone. See comment 12 (a) above.**

- c. The Basin 1 volume calculation (Page 31) does not match the Basin 1 Pond Report (Page 43).

**Basin 1 volume calculation Page 31 title changed to Basin 2-5. The value represents the total volume of basins 2-5**

- d. There is no exfiltration indicated in the Basin 1 Pond Report; please clarify.

**Exfiltration is not indicated on the pond report as it is our conservative approach to not include that value.**

- e. A clay liner is indicated for Basin 1; please clarify the intent.

**The intent of the clay liner is to prevent infiltration due to the shallow limiting zone in the area**

- f. The function of the vertical clay wall is unclear; please clarify the intent.

**The purpose of the vertical clay wall is to separate and prevent drainage from swale to enter the underground infiltration system**

- g. The subgrade curbs in Basins 2, 3, 4 and 5 appear to function as weirs. It appears that these basins will retain the portion of the runoff volume below the weir elevations without a lower outlet; please clarify. **The above statement is correct due to basin 2,3,4, and 5 curbing acting as weirs. The portion of runoff below the weir will infiltrate.**

- h. The basin bottoms appear to follow the grade slope; basin bottoms should be relatively flat.

**The basin bottoms are not FLAT due to the shallow limiting zone. The bottoms are relatively flat and will infiltrate adequately as designed**

- i. We attempted to recreate the hydraulic model using HydroCAD. It appears that the proposed system functions during storm events below the five-year storm; using the ten-year and above storms, the model generates errors. Please clarify how the system functions during larger storm events; it may be useful to provide HydroCAD files. **Our hydrocad file produces a warning stating that**

**outflow exceeds inflow by 0.05 cfs. This can be due to a rounding error since the basin sizes are small. This also due to the use of the weir and the tailwater on the other side of a hydraulic structure. The underground basins fill gradually but the outflow is limited by the downstream tailwater. The down stream flow on the opposite side of the weir can suddenly drop causing an increase of outflow on one side of the weir causing an increase of outflow comparatively from the inflow into the same basin. This is treated as a warning and after our review and modeling we are confident in the functionality of the system.**

- j. It is unclear how runoff enters Basin 1 from the designated drainage area; additional spot elevations should be indicated, along with clarifications regarding roof drains.

**ROOF DRAINS AND DETAIL ADDED**

- k. It appears the limit of disturbance was utilized as the area tributary to the proposed BMPs. The design should utilize the actual tributary areas to each individual BMP and indicate the same on the drainage area plans and runoff models. **The design has been adjusted to utilize the actual tributary drainage areas.**

- l. Please provide Worksheet 4 type calculations for each proposed BMP.

**We provided Worksheet 4 type calculations for the entire SWM system since they are connected and act as one complete system**

13. A level spreader is proposed for Basin 5; please indicated on the plan and provide a detail, including appropriate permanent erosion controls measures for the discharge.

**THE LEVEL SPREADER DETAIL HAS BEEN ADDED**

14. Provide a statement on the plan, signed by the applicant, acknowledging that any revision to the approved SWM site plan shall be submitted to and approved by the municipality and that a revised erosion and sediment control plan shall be submitted to, and approved by the Township for a determination of adequacy prior to construction of the revised features. (§195-27.A(3))

**SEE NOTE AT TOP OF SHEET 1**

15. Provide the engineer's design signature block required per §195-27.A(4).

**SHEET 3**

16. Please clarify the total extent of the upstream area draining through the site. (§195-27.B(12))

**Refer to 12(k) above**

17. Provide all BMP operations and maintenance requirements. (§195-27.F)

**OPERATIONS & MAINTENANCE WILL BE PROVIDED UPON APPROVAL OF SYSTEM**

18. A stormwater operations and maintenance agreement will be required to be record; this agreement should include the same operation and maintenance requirements as the plan, specific to each proposed BMP. (§195-27.F)

**AGREEMENT WILL BE PROVIDED PER COMMENT 17**

19. Easements granting the Township access to the stormwater management BMPs is required; a blanket easement is acceptable. (§195-39)

**SHEET 1 NOTE 11**

20. Observation ports should be provided for all subsurface BMPs to monitor BMP function.

**INLET AND OBSERVATION PORTS HAVE BEEN ADDED**

21. Due to the unique stormwater systems proposed, it may be appropriate to schedule a meeting to review the design concepts further.

**SANITARY SEWER (§188)**

22. The plans shall include the *East Goshen Township Sewer Lateral Detail* (attached).

**SHEET 6**

23. Please confirm the proposed sanitary sewer line has a minimum of 2% slope and provide associated profiles. **SEE SHEET 7**

24. The plans shall clearly indicate cleanout locations per §188-31.C(3).

**SEE SHEET 7**

25. Proposed sewer lines shall be a minimum of five feet from side property lines. (§188-31.B(8))

**NOTE TO BE 6 FEET**

**GENERAL**

26. A plan legend should be provided.
27. The plan is subject to review by the Township Fire Marshall, Historic Commission, Conservancy Board and Chester County Planning Department. **NOTED**
28. Proposed easements (electric service, shared driveway) and legal descriptions for each lot shall be submitted for review by the Township prior to recording.  
**PROPOSED EASEMENTS SHOWN. DESCRIPTIONS AFTER PRELIMINARY APPROVAL**
29. Note the project is not within 660 feet of the center line of any hazardous liquid pipeline or natural gas transmission pipeline, therefore no *Pipeline Awareness Study* is required. (§205-40.1)  
**SEE NOTE 12 , SHEET 1**

Should you have any further questions or comments, please contact the undersigned.

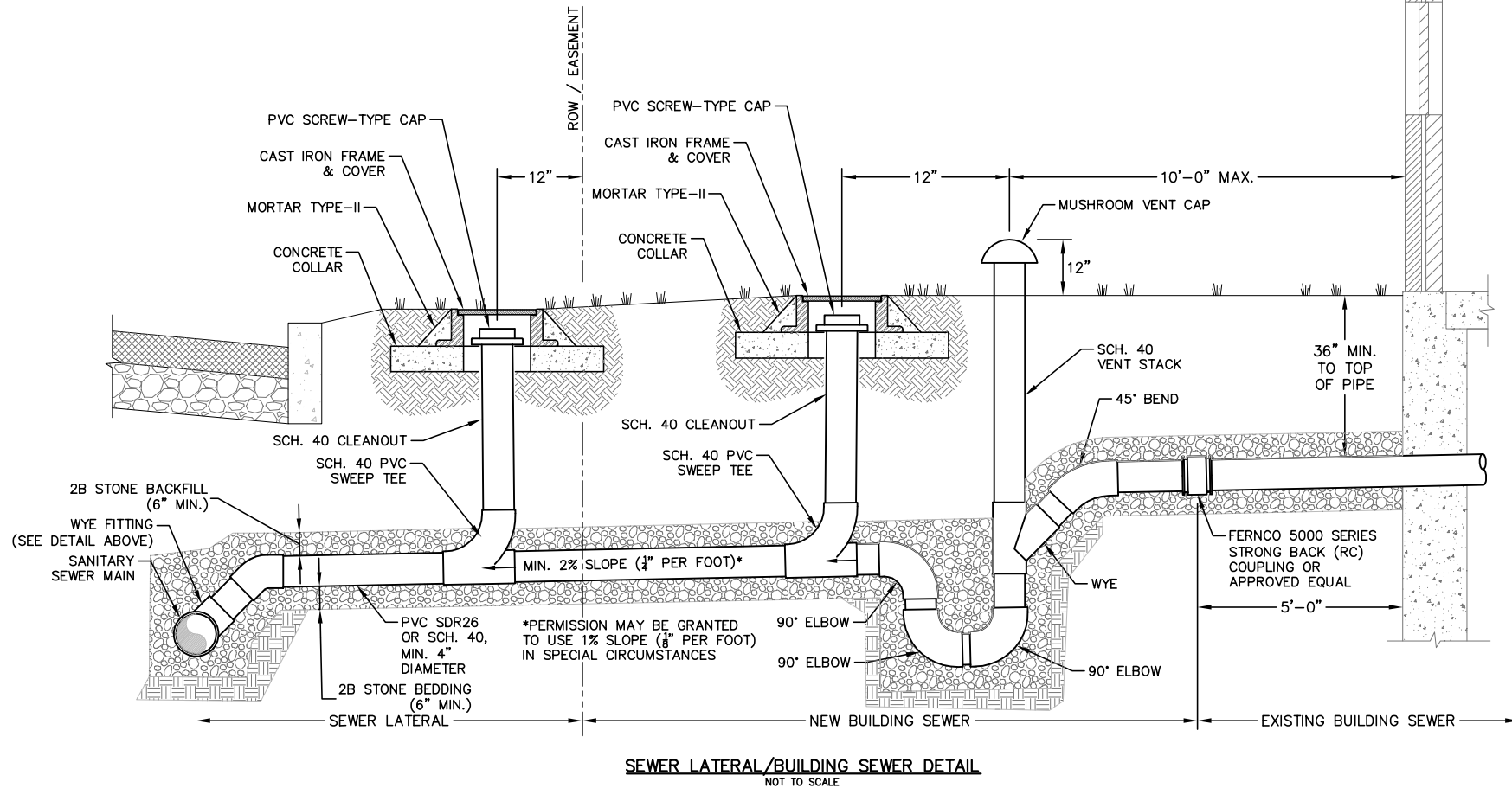
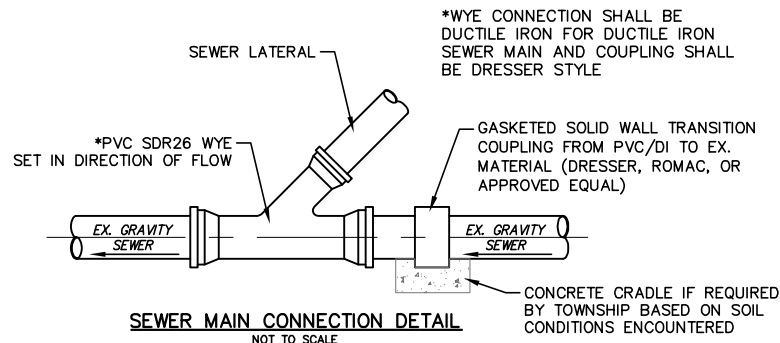
Sincerely,

**PENNONI**



Nathan M. Cline, PE  
Township Engineer

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Derek Davis, Township Manager  
Nick Cirilli, PE, Yerkes Associates, Inc.  
Jeffrey and Michelle Glosson  
Mike Ellis, PE



**EAST GOSHEN TOWNSHIP  
SEWER LATERAL/BUILDING SEWER DETAIL**



PREPARED BY:  
**PENNONI ASSOCIATES INC.**  
Newark, DE

DETAIL NO.: SS01  
CREATED: 2014-09-30  
REVISED: N/A





**LOCATION MAP**

DISTRICT	R-3 MEDIUM DENSITY RESIDENTIAL
MIN. LOT AREA	18,000 SQUARE FEET
MIN. LOT WIDTH	100 FEET @ BUILDING SETBACK
	50 FEET @ STREET
MIN. FRONT YARD	30 FEET
MIN. SIDE YARD	20 FEET
MIN. REAR YARD	30 FEET
MAX. BUILDING COVERAGE	25 PERCENT
MAX. LOT COVERAGE	35 PERCENT

RESIDENCE	1934	
GARAGE	942	
SHED	241	
SUB TOTAL	3117	/ 84226 = 3.70 PERCENT
STAIRWELL	67	
POOL, DECK AND STEPS	1127	
DRIVEWAY	4285	
DECK	900	
FRONT STEP	14	
EAST WALK	88	
WEST WALK	88	
TOTAL	9687	/ 84226 = 11.50 PERCENT

1. THIS IS THE SAME PREMISES DESCRIBED IN RECORD BOOK 9154 PAGE 952 RECORDED AT THE CHESTER COUNTY RECORDER OF DEEDS.
2. THIS PLAN IS BASED UPON FIELD SURVEYS BY YERKES ASSOCIATES, INC.
3. ELEVATION DATUM IS APPROXIMATE CHESTER COUNTY GIS.
4. THIS PLAN HAS BEEN PREPARED WITHOUT THE AID OF A TITLE REPORT.
5. UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED UPON A PA ONE BUT OTHER UTILITIES MAY EXIST THAT HAVE NOT BEEN LOCATED NOR SHOWN.
6. TREE NAME AND CALIPER ARE APPROXIMATE.

TOTAL LOT AREA = 2.0005 ACRES  
NET LOT AREA = 1.9345 ACRES

PRE-DEVELOPMENT DRAINAGE AREA MAP

NO.	DATE	REVISION COMMENT
<p align="center"><b>EXISTING CONDITIONS PLAN</b></p>		
<p align="center"><b>14 RESERVOIR ROAD - SUBDIVISION</b></p> <p align="center">PREPARED FOR</p> <p align="center"><b>JEFFREY S.</b></p> <p align="center"><b>&amp;</b></p> <p align="center"><b>MICHELLE A. GLOSSON</b></p> <p align="center">EAST GOSHEN TOWNSHIP * CHESTER COUNTY * PENNSYLVANIA</p>		<p>PROJECT - W-16-2100</p> <p>DATE - JUNE 1, 2002</p> <p>SCALE - 1" = 30'</p> <p>DRAWN - MWS</p> <p>CHECKED - JAG/NC</p> <p>CAD FILE W2100 SUBDIVISION</p> <p>TAX PARCEL - 53-6-80</p>
<p><b>Yerkes</b> ASSOCIATES, INC.</p> <p><i>a civilll company</i></p> <p>CONSULTING ENGINEERS / STRUCTURAL ENGINEERING SITE PLANNERS / LAND SURVEYORS / MUNICIPAL SERVICES</p>		<p>PLAN NO. <b>C-53-6-80</b></p>
<p>1444 PHOENIXVILLE PIKE * P.O.BOX 1568 * WEST CHESTER, PA 19380</p>		<p><b>SHEET 2 OF X</b></p>

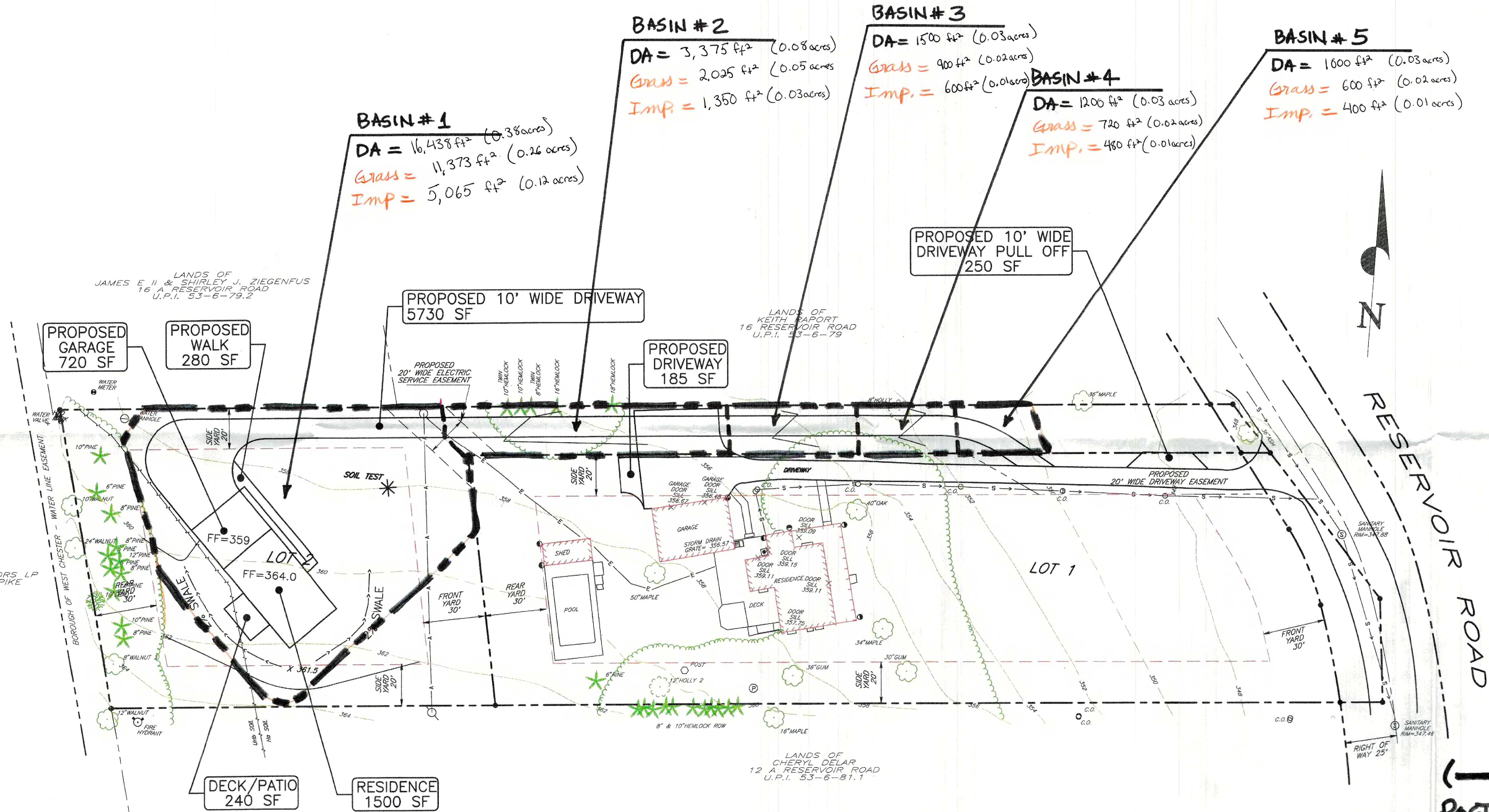
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NOTE: ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 199 OF 2004.



LOCATION MAP  
Copyright ADC The Map People  
Permitted Use Number 20202114

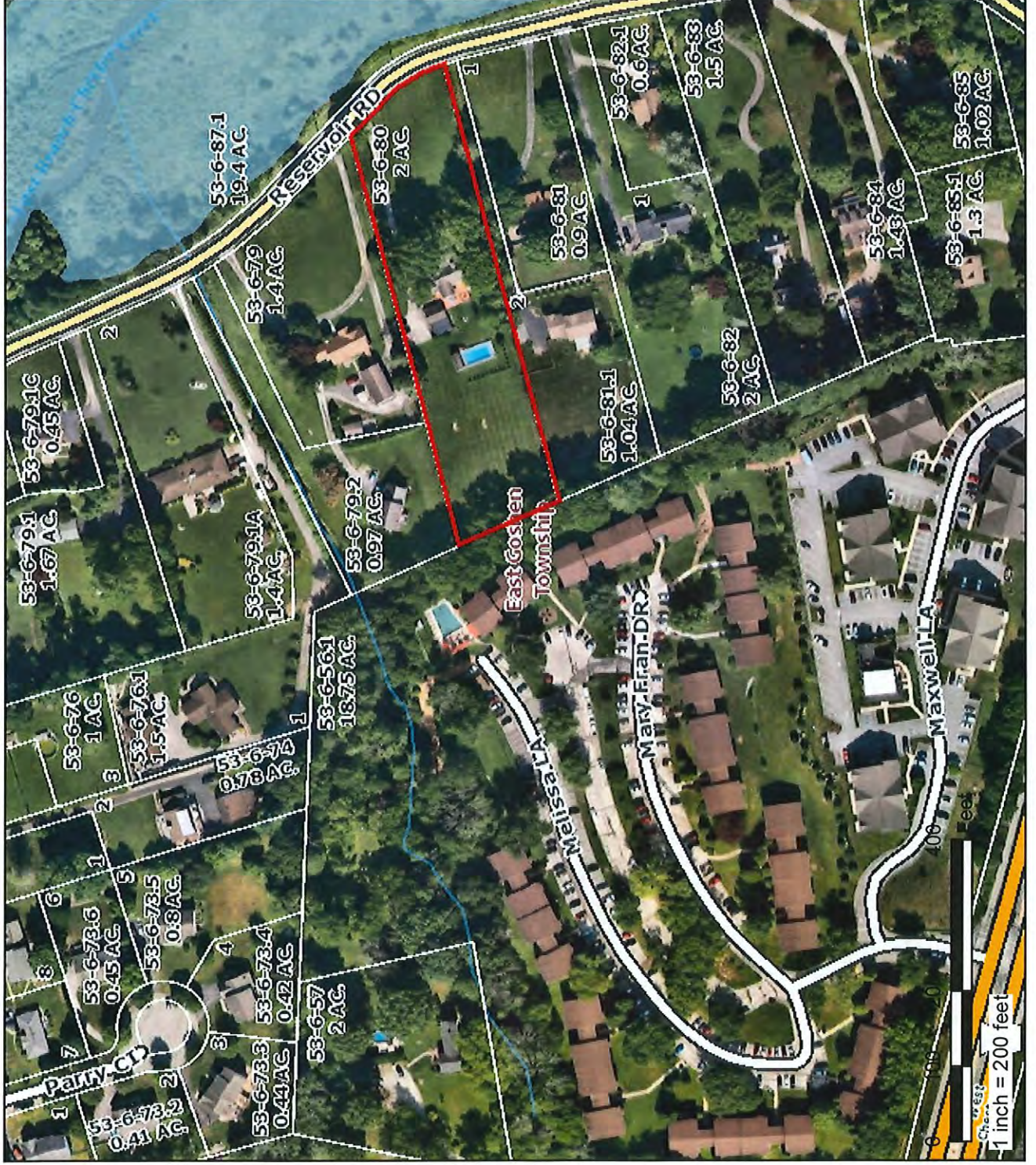


(---) TOTAL LOT AREA =  
POST-DEVELOPMENT DRAINAGE AREA MAP

NO.	DATE	REVISION	COMMENT
PROPOSED SITE PLAN			
14 RESERVOIR ROAD - SUBDIVISION			
PREPARED FOR			
JEFFREY S.			
&			
MICHELLE A. GLOSSON			
EAST GOSHEN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA			
Yerkes ASSOCIATES, INC.			
a crill company			
CONSULTING ENGINEERS / STRUCTURAL ENGINEERING			
SITE PLANNERS / LAND SURVEYORS / MUNICIPAL SERVICES			
1444 BUCKINGHAM BLVD • DUBLIN 168 • WEST CHESTER, PA 19380			
PROJECT -			W-16-2100
DATE -			JUNE 1, 2022
SCALE -			1" = 30'
DRAWN -			MWB
CHECKED -			JAG/NC
CAD FILE			W2100 SUBDIVISION
TAX PARCEL -			53-6-80
PLAN NO.			C-53-6-80



14 Reservoir Road SD 9-2-8-2022

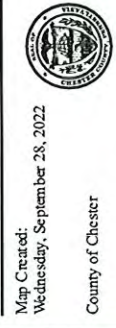


COUNTY OF CHESTER  
PENNSYLVANIA



Find Address Information

PARID: 5306 008 000 00  
UPE: 53-6-80  
Owner1: GLOSSON JEFFREY SCOTT  
Owner2: GLOSSON MICHELLE  
APRIL  
Mail Address 1: 14 RESERVOIR RD  
Mail Address 2: WEST CHESTER PA  
Mail Address 3:  
ZIP Code: 19380  
Deed Book: 952  
Deed Recorded Date: 07/31/2015  
Legal Desc 1: WS OF RESERVOIR RD  
Legal Desc 2: 2 AC DW G & DET GAR  
Acres: 2  
LUC: R-10  
Lot Assessment: 97530  
Property Assessment: 95150  
Total Assessment: 192680  
Assessment Date: 12/15/2021 7:48:09 AM  
Property Address: 14 RESERVOIR RD  
Municipality: EAST GOSHEN  
School District: West Chester Area



Map Created:  
Wednesday, September 28, 2022

County of Chester

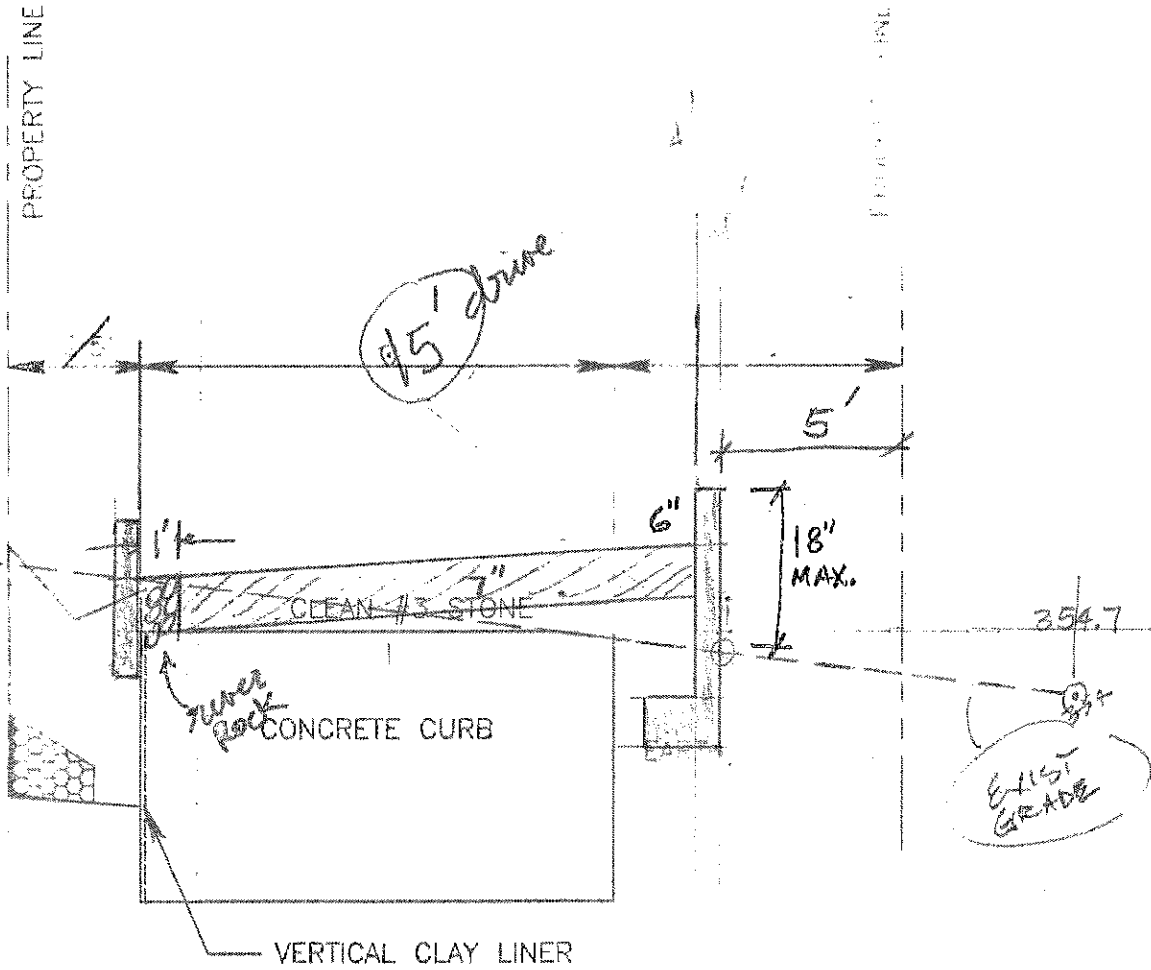
Limitations of Liability and Use:  
County of Chester, Pennsylvania makes no claims to the completeness, accuracy, or content of any data contained herein, and makes no representation of any kind, including, but not limited to, the warranties of merchantability or fitness for a particular use, nor any such warranties to be implied or inferred with respect to the information or data furnished herein. For information on data sources visit the GIS Services page listed at [www.chesco.org/gis](http://www.chesco.org/gis).



32.5'

## RETENTION BED

NOT TO SCALE



## SEEPAGE BEDS

NOT TO SCALE

V.I.P. = 2.5'  
H.I.I. = 5'

	SEPTEMBER 14, 2022	PER TWP PLAN REQUEST
O.	DATE	REVISION COMMENT