

EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

SUBDIVISION AND/OR LAND DEVELOPMENT CHECKLIST

This checklist outlines the steps and items needed to insure completeness of the application and to insure the application follows the process and conforms to the timeframe outlined by the State of Pennsylvania and East Goshen Township. This checklist is broken into two parts, the Application Process and the Review Process. The application process must be completed in its entirety prior to the advancement into the Review Process.

*** Review the formal Planning Commission review procedure on page five.**

Application for (Circle all appropriate): ☒ Subdivision ☐ Land Development

Applicant Information:

Name of Applicant: Grove Meadow Developers, LLC.

Address: 1171 Lancaster Avenue, Suite 201, Berwyn, PA 19312

Telephone Number: 610-725-0812 Fax: _____

Email Address: tr@moserhomes.com

Property Address: 1010 Hershey Mill Road

Property Information:

Owner's Name: Mark & Christine Miller

Address: 210 N. Aberdeen Avenue, Wayne, PA 19087

Tax Parcel Number: 53-1-19 Zoning District: R-2 Acreage: 16.128

Description of proposed subdivision and or land Development:

Subdivide tract for 14 single family lots per Township's
Open Space Development Option

EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

12. Name of Land Planner: Nave Newell
Phone Number: 610-265-8523 Fax: _____
Email address: plepard@navenewell.net

- B. I/We agree to reimburse the Township of East Goshen for such fees and expenses the Township may incur for the services of an Engineer(s) in investigations, tests, and review in relation to the Subdivision Plan.
- C. I/We agree to post financial security for the improvements depicted on the Subdivision and or land Development Plan pursuant to the Subdivision and Land Development Ordinance.
- D. I/We agree to reimburse the Township of East Goshen for all inspection fees at the actual cost to Township.


NOTICE

The Township requires an Occupancy Permit before any building can be occupied; no Occupancy Permit will be issued until final inspection and approved by the Zoning Officer and Building Inspector.



Owner Signature

APPLICANT



Applicant Signature

OWNER

Administrative Use

Fees received from applicant \$_____ basic fee, plus \$_____ per lot

For _____ lots = \$_____.

Application and plan received by: _____ Date: _____
(Signature)

Application accepted as complete on: _____
(Date)

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380
Voice: 610-692-7171
Fax: 610-692-8950
E-mail: dbrady@eastgoshen.org

Date: 5-19-2023
To: Planning Commission
From: Duane J. Brady Sr., Zoning Officer
Re: 1010 Hershey Mill Road/Millstone Meadows SD
Preliminary/Final SD Plan/Application Filing Letter

Dear Commissioners,

The Township staff has received an SD application for 1010 Hershey Mill Road, Millstone Meadows (Miller Property). The proposal is to create a subdivision tract for 14 single-family homes using the Open Space Development Option (Zoning Ordinance section 240-36). A Conditional Use was granted by the Board of Supervisors on March 8, 2023, for a 15 Lot subdivision under the single-family open space development option with 19 conditions. The application has been reviewed for completeness and was accepted by Township Staff on May 16, 2023.

Background Information:

- The property is approximately 16 acres.
- The property is in the R-2 Low Density Residential District.
- The property contains two (2) Class II historic resources that are currently detailed in the East Goshen Township Historic Resource Inventory (Existing house and barn).
- The property has a stream which is a tributary of Ridley Creek and is classified as a High-Quality Stream and has wetlands.
- The SD plans have been sent to Chester County Planning Commission for review on May 5, 2023.
- The start date for the project is May 23, 2023 (Day 1).
- The must act date for the Planning Commission is July 25, 2023 (Day 70).
- The must act date for the Board of Supervisors is August 14, 2023 (Day 90).

The following information was sent with this letter:

- Transmittal letter 230427
- 1010 Hershey Mill Conditional Use Decision 3-8-2023.
- 1010 Hershey Mill pipeline Awareness Study 230110.
- Bog Turtle Habitat Assessment.
- Chester County Act 247 Referral Application.
- Millstone Meadows SD application filed 5-16-2023.
- Millstone Meadows DA Plan 230420.
- Millstone Meadows SD Historic Resource Impact Study 10-2022.

- Millstone Meadows PCSM Report 230420.
- Millstone Meadows Subdivision Plan set 230420.
- Overlay Plan show the changes in number of lots.
- Zoning Code 240-36 Single-family open space development.

Sincerely,



Duane J. Brady Sr.
East Goshen Township
Zoning Officer



a civil engineering design & management firm

April 27, 2023

Duane Brady
Zoning Officer
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380-6199

**RE: *Millstone Meadows Subdivision
Preliminary/Final Subdivision Application
East Goshen Township, Chester County
DHE Project No. 22-001***

Dear Duane:

On behalf of the applicant, Grove Meadow Developers, LLC, please accept for review the enclosed Preliminary/Final Subdivision application for the above-mentioned project.

The following items have been enclosed specifically for your review:

- East Goshen Subdivision and Land Development Application
- Chester County Act 247 Referral Application
- Three (3) copies of the Subdivision Planset
- Two (2) copies of the Post Construction Stormwater Management Report
- Two (2) copies of the Bog Turtle Habitat Assessment
- \$599 check, made payable to Chester County, for review fees

The applicant is proposing to subdivide and develop the existing tract of land with 14 single-family residential lots. The property is located at 1010 Hershey Mills Road. While the development is located within the R-2 (Low Density Residential) Zoning District, the property is proposed to be developed under the Single Family Open Space Development Option Section 240-36 of the East Goshen Township Zoning Ordinance.

Access to the development shall be provided with the installation of a culvert across the existing stream. The access point shall be located directly across Hershey Mills Road from the end of Tanglewood Drive. Currently located on the property is an existing dwelling that is registered as a historic structure. While the plans incorporated the dwelling in the development, there is no intention to alter the structure at this time.

Should you have any questions, please feel free to contact me.

Sincerely,

Michael Hartman, P.E.
mhartman@dh-enterprises.net

Return to: Chester County Planning Commission
601 Westtown Road—Suite 270
P.O. Box 2747
West Chester, PA 19380-0990



Act 247 County Referral

To: Chester County Planning Commission

Subject: Request for review of a subdivision, land development proposal, ordinances, or comprehensive plans pursuant to the Pennsylvania Municipalities Planning Code, Act 247. This application must be completed by the applicant, and submitted by the municipality to the above address, along with one (1) complete set of plans and accompanying documents and the required fee for review (see reverse side)

TO BE COMPLETED BY THE MUNICIPALITY

From: (Municipality) _____
Date: _____
Official's Name: _____
Position: _____
Official's signature: _____

Applications with **ORIGINAL** signatures must be submitted to CCPC.

TO BE COMPLETED BY THE APPLICANT

Development name (if applicable): _____ Location: _____
Owner's name: _____ Phone #: _____
Owner's address: _____
Applicant's name: _____ Phone #: _____
Applicant's address: _____
Architect/Engineer/Surveyor name: _____ Phone #: _____

TYPE OF REVIEW REQUESTED

(Check all appropriate boxes)

- ☐ Unofficial sketch plan (**no fee**)
☐ Subdivision plan
☐ Land development plan
☐ Planned residential development
☐ Zoning ordinance (**no fee**)
☐ Curative amendment (**no fee**)
☐ Subdivision ordinance (**no fee**)
☐ Comprehensive plan (**no fee**)
☐ Other _____

REVIEW FEE

(Fee schedule on other side)

- ☐ Attached \$ _____
☐ Not applicable

TYPE OF PLAN

- ☐ Unofficial sketch
☐ Preliminary
☐ Final

TYPE OF SUBMISSION

- ☐ New proposal
☐ Revision to a prior proposal
☐ Phase of a prior proposal
☐ Amendment/revision to recorded plan is a new proposal

Tax parcel(s): # _____

Total area (gross acres): _____

PLAN INFORMATION

Length of new roads: _____
Number of new parking spaces: _____
Ownership of roads:
☐ Public ☐ Private
Open space:
☐ Public ☐ Private
Acres: _____ Acres: _____

HOA responsible for common facilities/areas:
☐ Yes ☐ No

HOA documents provided:
☐ Yes ☐ No

Traffic study included:
☐ Yes ☐ No ☐ Not conducted

***Information to be filled in for Commercial, Industrial or Institutional land use ONLY**

*Total square footage of addition to existing building: _____

*Total square footage of new building(s): _____

LAND USE

of lots/units

Agriculture	
Single family	
Townhouses	
Twin units	
Apartments	
Mobile homes	
*Commercial	
*Industrial	
*Institutional	
Other	

ZONING DISTRICT OF PROPOSAL

Existing: _____
Proposed: _____
Variances/
Special exception
granted: _____

PROPOSED UTILITIES

(Check appropriate boxes)

	Water	Sewer
Public	<input type="checkbox"/>	<input type="checkbox"/>
On-site	<input type="checkbox"/>	<input type="checkbox"/>
Package	<input type="checkbox"/>	<input type="checkbox"/>

No new sewage disposal or water supply proposed ☐

ADDITIONAL INFORMATION (This plan has been submitted to):

☐ County Health Department Date _____
☐ PennDOT Date _____
☐ DEP Date _____
☐ Other _____ Date _____

THE TERM "LOTS"

The term "**LOTS**" includes conveyance, tracts or parcels of land for the purpose, whether immediate or future, of lease, transfer of ownership or building or development, as well as residue parcels, annexations, or the correction of lot lines.

FEE SCHEDULE

The following fees shall apply to each land subdivision or land development submitted to the Chester County Planning Commission for review in accordance with Article V, Section 502, Pennsylvania Municipalities Planning Code, Act 247, as amended.

- If a plan for a non-residential use is to be subdivided and developed, the fee is the total of Category II plus Category III.
- For Categories I and II, the fee applies to total number lots/units after subdivision. Subdivisions include lot line revisions and lot consolidations.
- Maximum one-time fee: \$10,000.

CATEGORY I RESIDENTIAL SUBDIVISION OR LAND DEVELOPMENT

These fees apply to residential projects for sale, condominium ownership, or rental; any type of buildings, either as a subdivision or single tract land development; or an agricultural subdivision (except for guidelines in Article I, Section 107, Subdivision, Pennsylvania Municipal Planning Code, Act 247, as amended). This category does not include institutional living facilities.

Number of lots and dwelling units	Base fees	Fees for each lot and/or unit
1–2 lots/dwelling units	\$175.00	None
3–5 lots/dwelling units	\$175.00	Plus \$29.00/lot/unit
6–20 lots/dwelling units	\$235.00	Plus \$26.00/lot/unit
21–75 lots/dwelling units	\$425.00	Plus \$23.00/lot/unit
76 lots/dwelling units and over	\$850.00	Plus \$18.00/lot/unit

CATEGORY II NON-RESIDENTIAL SUBDIVISIONS

These fees apply to applications for subdivision and conveyance of land for non-residential uses, not proposed for land development as defined in Section 107 of the Planning Code.

Number of lots or units	Base fees	Fees for each lot and/or unit
1–2 lots/units	\$295.00	Plus \$57.00/lot/unit
3–10 lots/units	\$585.00	Plus \$57.00/lot/unit
11 lots/units and over	\$850.00	Plus \$53.00/lot/unit
Financial subdivisions	\$295.00	Plus \$57.00/lot/unit

CATEGORY III NON-RESIDENTIAL LAND DEVELOPMENT

These fees apply to all projects or sections of mixed projects which are for non-residential use for sale, condominium, lease or rent in any type of building on a single tract of land.

Building square footage (gross)	Base fees	Fees for gross floor area
0 to 5,000 sq. ft.	\$480.00	Plus \$47.00/1,000 sq. ft. of gross floor area
5,001 to 25,000 sq. ft.	\$585.00	Plus \$42.00/1,000 sq. ft. of gross floor area
25,001 to 75,000 sq. ft.	\$955.00	Plus \$42.00/1,000 sq. ft. of gross floor area
75,001 sq. ft. and over	\$1,435.00	Plus \$29.00/1,000 sq. ft. of gross floor area

CATEGORY IV SECOND REVIEWS

These fees apply to each review conducted after the first review (within a three (3) year period of the initial review) and only if requested by the municipality.

- Flat fee of \$175.00 for residential subdivisions/land developments
- Flat fee of \$235.00 for non-residential subdivisions/land developments

CHECKS OR MONEY ORDERS SHOULD BE PAYABLE TO: County of Chester

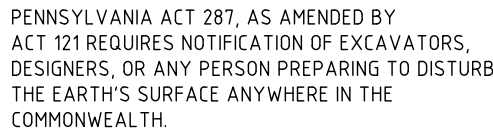
Cash will not be accepted. All fees are to be submitted to the Chester County Planning Commission (CCPC) through the appropriate township or borough at the time of application; and in accordance with the administrative guidelines established by CCPC. Upon written request from the municipality, CCPC may waive the fees for plan reviews associated with municipally-owned subdivisions or land developments.

INFORMAL REVIEWS AND ADDITIONAL WORK:

An informal review request to CCPC (such as meetings and discussions prior to the formal development application) shall be free of charge if said written request is from the municipality, or from an applicant with the knowledge and written consent of the municipality. In no case will informal review by CCPC replace the need for a formal review which would include the submission of the required fee listed above pursuant to the Municipalities Planning Code.

TIME LIMITATIONS:

The review time period will begin from the date of receipt by CCPC of the application requesting a review by CCPC. CCPC has thirty (30) days within which to review subdivision and land development applications and submit review comments. The review period may be extended if requested by the applicant or a time extension has been granted by the municipality with the concurrence of the applicant. When the time period has been stopped due to an incomplete application package, incorrect fee submittal or other reasons, the time period will continue from the day in which the application package is complete. CCPC has thirty (30) days within which to review ordinance amendments, and forty-five (45) days within which to review comprehensive plans, official maps, and complete ordinances.



ACT 287 UNDERGROUND UTILITY PROTECTION ACT, AS AMENDED BY
ACT 172 OF 1986, ACT 38 OF 1991, ACT 187 OF 1996,
ACT 199 OF 1704, ACT 181 OF 1706, ACT 121 OF 1708

PA ONE CALL SYSTEM INFORMATION:
PENNSYLVANIA ACT 287, AS AMENDED, REQUIRES THREE (3) WORKING DAYS NOTICE
FOR CONSTRUCTION PHASE AND FIVE (5) WORKING DAYS NOTICE IN DESIGN STAGE.
PA ONE CALL PHONE NUMBER: 1-800-242-1776

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY NAVE NEWELL, INC
DATE: 11/07/22
ONE CALL SYSTEM SERIAL NUMBER: 20223113472

UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, ACT 287 OF 1974, AS AMENDED, UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION.

LIST OF RESPONDERS:

AQUA PENNSYLVANIA INC	COMCAST CABLE COMMUNICATIONS INC
EAST GOSHEN TOWNSHIP	PECO ENERGY
TEXAS EASTERN TRANSMISSION LP	VERIZON PENNSYLVANIA LLC

1 SITE FEATURES SHOWN HEREON OBTAINED BY A FIELD SURVEY PERFORMED BY NAVE NEWELL, INC. COMPLETED ON DECEMBER 12, 2022.
2 THE SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT, AS REFERENCE HEREON IS SUBJECT TO THE TITLE REPORT.
3 THE CONTRACTED REPRESENTS NO DOCUMENTS OTHER THAN AS NOTED ON THE SURVEY WERE REVIEWED IN THE COURSE OF COMPLETING THE
4 SURVEY.
5 THE CONTRACT REPRESENTS CONDITIONS AS OF THE DATE OF THE SURVEY EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, THAT
6 MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, ON THE SURFACE OF THE LANDS OR ABOVE THE SURFACE OF THE LAND AND
7 NOT VISIBLE.
8 BEARING BASIS FOR THE SURVEY IS BASED ON THE DEED OF REFERENCE THEREIN. BEARINGS NOTED AS NAD 83. REFERENCE THE
9 PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE AS DERIVED FROM GPS OBSERVATIONS. THE NAD 83 BEARING ARE
10 GIVEN IN DEGREES, MINUTES AND SECONDS. THE COORDINATE SYSTEM IS BASED ON THE NORTH AMERICAN DATUM OF 1983.
11 PROPERTY FALLS WITHIN ZONE "A", "AE" AREA DETERMINED TO BE INSIDE THE 0% ANNUAL CHANCE OF FLOODING AS DEPICTED ON
12 THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP. MAP NO. 42029C0155G/42029C060S DATED
13 FEBRUARY 1, 2007.
14 LOCATIONS OF EXISTING UTILITIES AS SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS, PLANS BY OTHERS
15 AND/OR ABOVE GROUND EXAMINATION OF SITE. THIS PLAN ILLUSTRATES UTILITIES OF RECORD PROVIDED BY OR BEFORE THE DATE
16 OF THIS SURVEY. THIS MAY OR MAY NOT COMPRISE ALL THE UTILITY INFORMATION FOR THIS PROPERTY. THE COMPLETENESS OR
17 ACCURACY OF THE UTILITIES SHOWN HEREON, INCLUDING ANY CONSTRUCTION BEING PROPOSED, THE CONTRACTOR MUST
18 VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES BEFORE START OF WORK.
19 UNIT AND BLOCK NUMBERS REFER TO THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF EAST GOSHEN, PENNSYLVANIA.
20 REFERENCE PLANS:
21 8.1 OFFICIAL TAX MAPS OF EAST GOSHEN, CHESTER COUNTY, PA.
22 8.2 PLAN ENTITLED, "FINAL SUBDIVISION PLAN" - MADE FOR JOHN J. HILL AND BETTY C. LEWIS, PREPARED BY YERKES ASSOCIATES, INC.
23 DATED OCTOBER 17, 1998 AND RECORDED IN THE CHESTER COUNTY COURTHOUSE AS PLAN BOOK 8746 PAGE 3.
24 8.3 PLAN ENTITLED "GOSHEN TOWNSHIP FINAL TITLE PLAN" DATED JANUARY 1, 1978 AND RECORDED IN THE
25 CHESTER COUNTY COURTHOUSE AS PLAN BOOK 1746 PAGE 1.

4. THE WETLAND INFORMATION SHOWN HEREON IS BASED ON A WETLAND DELINEATION PERFORMED BY LIBERTY ENVIRONMENTAL, INC. ON JUNE 12, 2012.
5. THE RIGHT-OF-WAY FOR THE PROPOSED ROAD (MILLS/STONE CIRCLE) IS INTENDED TO BE DEDICATED TO EAST GOSHEN TOWNSHIP. THE PROPOSED OPEN SPACE AREAS ARE NOT FOR DEDICATION AND WILL REMAIN PRIVATELY OWNED. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PARCEL. THE CENTRAL OPEN SPACE IS INTENDED TO BE USED OF ACTIVE RECREATION AND INTENDED TO BE MAINTAINED IN A NATURALISTIC MEADOW/WOODED COVER CONDITION.
6. ALL STORM WATER MANAGEMENT FACILITIES LOCATED OUTSIDE OF THE ROAD RIGHT-OF-WAY SHALL BE OWNED PRIVATELY BY THE HOMEOWNERS ASSOCIATION. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM WATER MANAGEMENT FACILITIES.
7. THE PROPOSED SANITARY SEWER SYSTEM IS INTENDED TO BE DEDICATED TO EAST GOSHEN TOWNSHIP.
8. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS FROM ALL AGENCIES, INCLUDING CONSTRUCTION OF THE ROAD, HAVE BEEN OBTAINED. THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
9. THE IMPROVEMENTS SHOWN WITHIN THE LOTS HAS BEEN PROVIDED TO SHOW GENERAL COMPLIANCE WITH THE EAST GOSHEN TOWNSHIP ZONING ORDINANCE. THE LOTS SHOWN WITHIN THE ZONING DISTRICTS SHALL BE CONSIDERED TO BE IN COMPLIANCE WITH THE MINIMUM IMPERVIOUS SURFACE COVERAGE RATIOS, ETC. INDIVIDUAL LOT PLOT PLANS DOCUMENTING COMPLIANCE ARE TO BE PROVIDED WITH THE SUBMISSION OF THE BUILDING PERMIT APPLICATIONS.
10. THE EAST GOSHEN TOWNSHIP OF EAST GOSHEN, CHESTER COUNTY AND PENNDOT STANDARDS.
11. MONITORING AND COMPACTION VERIFICATION FOR ALL SITE FILL PLACEMENT WILL NEED TO BE COMPLETED BY THE CONTRACTOR'S GEOTECHNICAL ENGINEER.
12. ALL SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE EAST GOSHEN TOWNSHIP ZONING ORDINANCE. PRIOR TO SIGN CONSTRUCTION, ALL NECESSARY SIGN AND/OR ZONING PERMITS SHALL BE ACQUIRED.
13. PERMANENT CONCRETE MONUMENTS SHALL BE SET AT ALL POINTS OF CURVATURE AND AT ALL POINTS OF TANGENCY ON A RIGHT-OF-WAY FOR ALL PUBLIC STREETS. MONUMENTS SHALL BE OF CONCRETE, WITH A FLAT TOP HAVING A MINIMUM WIDTH OF 18 INCHES AND A MINIMUM HEIGHT OF 30 INCHES.
14. LOT MARKERS SHALL BE PLACED AT ALL LOT CORNERS. MARKERS SHALL CONSIST OF IRON PIPES OR STEEL BARS AT LEAST 30 INCHES LONG AND NOT LESS THAN 1 3/4 INCH DIAMETER.
15. NO DEBRIS SHALL BE PLACED OR STORED WITHIN THE RIGHT-OF-WAY OF ANY STREET MONUMENTS, BOUNDARY PINS AND/OR MONUMENTS AND LOT CORNER PINS INDICATED ON THE PLANS. ALL MARKERS MUST BE INSTALLED PRIOR TO CLOSE OUT OF THE PROJECT WITH EAST GOSHEN TOWNSHIP.
16. THE SPEED LIMIT FOR THE PROPOSED ROADWAYS IS 25 MPH.
17. NO DEBRIS SHALL BE BURIED ON THIS SITE. ALL DEBRIS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE AND FEDERAL LAWS AND REQUIREMENTS.
18. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO COMPLY WITH ALL APPLICABLE ADA REQUIREMENTS FOR SITE ACCESS AND PARKING. THE OWNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND SHALL BE THE OWNER'S RESPONSIBILITY TO CONSTRUCT, SUSTAIN AND TO MAINTAIN SAID FACILITIES IN GOOD CONDITION. ALL APPLICABLE PROPOSED STRUCTURES AND FACILITIES SHALL COMPLY WITH THE "AMERICAN DISABILITIES ACT", "ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES", AND "THE FENWICKS ACT".
19. ALL REQUIRED AGREEMENTS AND FINANCIAL SECURITY IN A FORM ACCEPTABLE TO EAST GOSHEN TOWNSHIP SHALL BE PROVIDED.

TRAFFIC CONTROL SIGNS MUST BE POSTED ON PENNDOT-APPROVED BREAKAWAY POSTS IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE TC-700 SERIES IN PENNDOT PUBLICATION 236M. ALL TRAFFIC CONTROL SIGNS SHALL BE POSTED IN ACCORDANCE WITH THE 2009 MUTCD AND THE MOST RECENT VERSIONS OF PENNDOT PUBLICATION 236M, ("HANDBOOK OF APPROVED SIGNS").

✓ CLEAR SIGN TRIANGLES (C.S.T.) HAVE BEEN ESTABLISHED BY MEASURING 1/5' ALONG THE CENTERLINE OF EACH STREET FROM THE POINT OF INTERSECTION OF THE CENTERLINES OF THE TWO STREETS. WITHIN SIGN TRIANGLES, NO WALL, FENCE OR OTHER OBSTRUCTION SHALL BE PLACED. THE SIGN SHALL BE PLACED ON THE TRUCK SIDE OF THE STREET. THE SIGN SHALL BE PLANTING ON THE PLANTING OR THE HEIGHT OF 30 INCHES AND BELOW THE HEIGHT OF 10' FEET MEASURED FROM THE CENTER LINE GRAD OF THE INTERSECTING STREETS.

✓ ALL SIGN DISTANCE OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO EMBANKMENTS AND VEGETATION SHALL BE REMOVED BY THE APPLICANT TO PROVIDE A MINIMUM OF 300 FEET OF SIGHT DISTANCE TO BOTH THE LEFT AND RIGHT FOR A DRIVER EXITING ROAD A ONTO FOREST LANE. THE DRIVER MUST BE CONSIDERED TO BE POSITIONED 1/5' FROM THE NEAR EDGE OF THE CLOSEST HIGHWAY THROUGH TRAVEL LANE AT AN EYE HEIGHT OF THREE FEET—SIX INCHES (3'-6") ABOVE THE PAVEMENT SURFACE. THE POINT SIGHTED BY THE EXITING DRIVER FROM THREE FEET—SIX INCHES (3'-6") ABOVE THE PAVEMENT SURFACE IS LOCATED IN THE CENTER OF THE FOREST LANE TRAVEL LANE. THE SIGN SHALL BE PLACED ON THE TRUCK SIDE OF THE STREET. THE SIGHT DISTANCE SHALL BE MAINTAINED BY THE APPLICANT AND/OR THE APPLICANT'S SUCCESSORS AND ASSIGNSORS.

THIS PLAN PROPOSES PUBLIC WATER SUPPLY AND PUBLIC SEWER. PUBLIC WATER WILL BE PROVIDED BY AUSA PENNSYLVANIA. ALL WATER MAINS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS AS ADOPTED BY THE EAST GOSHEN TOWNSHIP BOARD OF SUPERVISORS.

WATER SUPPLY: ALL WATER SERVICES, INCLUDING DOMESTIC AND FIRE PROTECTION, SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS OF EAST GOSHEN TOWNSHIP. SHOP DRAWINGS AND/OR CATALOG CUTS FOR ALL PROPOSED MATERIALS SHALL BE SUBMITTED TO EAST GOSHEN TOWNSHIP AS PART OF THE APPLICATION FOR A PLAT.

SANITARY SEWERAGE: ALL SANITARY SEWER MAINS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS OF THE EAST GOSHEN TOWNSHIP.

SANITARY SEWERAGE: ALL SEWER LATERALS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS OF THE EAST GOSHEN TOWNSHIP. SHOP DRAWINGS AND/OR CATALOG CUTS FOR ALL PROPOSED MATERIALS SHALL BE SUBMITTED TO EAST GOSHEN TOWNSHIP.

THE SANITARY SEWER SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY AND AT LEAST 18 INCHES VERTICALLY FROM OTHER UTILITIES.

THE SANITARY SEWER MAINS AND LATERALS SHALL BE BURIED A MINIMUM OF 4 FEET DEEP.

OTHER UTILITIES: ALL OTHER UTILITIES (ELECTRIC, COMMUNICATIONS, GAS, ETC.) SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY COMPANY'S REQUIREMENTS AND SHALL BE INSTALLED AS TO NOT CONFLICT WITH THE WATER, SANITARY SEWER AND/OR STORM FACILITIES PROPOSED AS PART OF THIS PLANS.

BACKFILL OF ALL UTILITY TRENCHES WITHIN EXISTING AND/OR PROPOSED RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS OF EAST GOSHEN AND BE SUBJECT TO THE APPROVAL OF EAST GOSHEN TOWNSHIP OR THEIR DESIGNEE.

3. THE STORM WATER MANAGEMENT FACILITIES HAVE BEEN DESIGNED ASSUMING AN AMOUNT OF IMPERVIOUS COVERAGE BASED ON THE IMPROVEMENTS SHOWN PLUS AN ADDITIONAL 2,000 SQUARE FEET PER LOT TO ACCOUNT FOR FUTURE IMPROVEMENTS BY THE HOMEOWNERS.

4. THE PROPOSED TREE PLANTINGS ARE PART OF THE OVERALL SITE STORM WATER MANAGEMENT SYSTEM.

5. ROOF LEADING CHIMNEYS SHALL BE SPASH BLOCKS AND DIRECTED TOWARD NON-VEGETATED SURFACES (AS PRACTICABLE).

6. ALL STORM CONVEYANCE PIPE SHALL BE SMOOTH LINED DOUBLE WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE), UNLESS OTHERWISE SPECIFIED.

7. END WALLS AND END SECTIONS SHALL BE REQUIRED ON ALL OPEN PIPES. SHALL BE OF CONCRETE CONSTRUCTION, AND SHALL BE SET ON A MINIMUM OF TWELVE (12) INCHES OF AASHTO NO. 57 (PENNDOT 28) COARSE AGGREGATE.

CONDITIONAL USE APPLICATION OF GROVE MEADOW DEVELOPERS, LLC
DATED MARCH 7, 2023

NOW, THIS 17TH DAY OF MARCH, 2023, THE BOARD OF SUPERVISORS OF EAST GOSHEN TOWNSHIP HEREBY ORDERS THE FOLLOWING
 THE APPLICATION FOR A SINGLE-FAMILY OPEN SPACE DEVELOPMENT IS HEREBY GRANTED, SUBJECT TO THE CONDITIONS HERINAFTER
 ENUMERATED:
 1. PURSUANT TO SECTION 240-36.6 OF THE HISTORIC PRESERVATION ORDINANCE, A MODIFICATION FROM SECTION 20-23B(2)(B)(C)1
 PERMITTING ONLY ONE FLAG LOT, IS GRANTED TO ALLOW TWO (2) FLAG LOTS FOR THE HISTORIC RESOURCES ON THE PROPERTY.
 2. THE APPLICANT SHALL COMPLY WITH ALL OUTSTANDING COMMENTS CONTAINED IN THE PENNOM REVIEW LETTER DATED OCTOBER 27,
 2022, HEREIN REF. TO THE SATISFACTION OF THE TOWNSHIP ENGINEER, AS AMENDED BY THIS ORDER.
 3. DURING THE SUBDIVISION/AND DEVELOPMENT PROCESS, THE APPLICANT SHALL ADEQUATELY ADDRESS STORMWATER MANAGEMENT
 TO THE SATISFACTION OF THE TOWNSHIP ENGINEER, INCLUDING BUT NOT LIMITED TO STORMWATER CONVEYANCES THROUGHOUT THE SITE
 FROM ADJACENT STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY STORMWATER EASEMENTS.
 4. THE APPLICANT SHALL PROVIDE ADEQUATELY MAINTAINED AND ACCESSIBLE PEDESTRIAN ACCESS EASEMENT APPROXIMATELY
 LOCATED BETWEEN LOTS 6 AND 7, TO THE SATISFACTION OF THE TOWNSHIP. THE PEDESTRIAN ACCESS EASEMENT SHALL BE
 DEMARCATED BY POST-AND-RAIL FENCING, STONES, MULCH, GRASS PAVERS, OR THE LIKE. THE PEDESTRIAN ACCESS EASEMENT SHALL
 BE MAINTAINED BY THE APPLICANT, AND THE APPLICANT SHALL BE RESPONSIBLE FOR ANY LANDSCAPING PLANS THAT BE REQUIRED BY THE
 COVENANTS, CONDITIONS AND RESTRICTIONS (THE "DECLARATION") TO THE SATISFACTION OF THE TOWNSHIP. NOTICE OF THE EASEMENT
 SHALL ALSO BE PROVIDED TO ANY PROSPECTIVE BUYERS OF LOTS 6 AND 7 PRIOR TO EXECUTION OF AN AGREEMENT OF SALE. THE
 APPLICANT SHALL COMPLETE THE DEMARCATION OF THE PEDESTRIAN ACCESS PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR LOT
 6 AND 7.
 5. THE "CENTRAL GREEN" LOCATED WITHIN THE CUL-DE-SAC SHALL BE GRADED AND MAINTAINED TO ALLOW FOR ACTIVE RECREATION
 6. THE APPLICANT SHALL PRESERVE AS MUCH OF THE EXISTING PERENNIAL VEGETATION AS POSSIBLE: ANY VEGETATION REPLACED
 PURSUANT TO THE ORDINANCE AND/OR THE TOWNSHIP'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE (THE "SALDO") SHALL BE
 REPLACED WITH NATATIVE TREES AND SHRUBS. THE APPLICANT SHALL MAINTAIN THE EXISTING TREES AND SHRUBS TO THE SATISFACTION
 OF THE EAST GOSHEN TOWNSHIP CONSERVATION BOARD AND THE TOWNSHIP ENGINEER TO ENSURE COMPLIANCE WITH THE ORDINANCE AND
 SALDO. FURTHERMORE, THE PERIMETER OF THE PROPERTY SHALL CONTAIN A TRADITIONAL POST-AND-RAIL OR EQUIVALENT FENCE
 THAT REUSES THE EXISTING CONCRETE POTS, WHERE POSSIBLE.
 7. THE APPLICANT SHALL MAINTAIN A 10' BUFFER FROM THE RIGHT-OF-WAY FOREST BUFFER IN ACCORDANCE WITH THE RIPARIAN BUFFER
 REQUIREMENTS OUTLINED IN 25 PA. CODE § 102.14 FOR THE PORTION OF STREAM WITHIN THE SUBJECT PROPERTY. SHOULD THE
 APPLICANT DEMONSTRATE TO THE TOWNSHIP THAT CREATION AND MAINTENANCE OF THE ENTIRE 50' RIPARIAN BUFFER AREA IS NOT
 POSSIBLE FOR ANY PORTION OF THE PROPERTY, THEN THE WIDTH OF THE BUFFER TO BE REDUCED BY THE BOARD OF SUPERVISORS,
 WITHIN THE LIMITS OF THE RESOURCES AVAILABLE TO THE APPLICANT. THE APPLICANT SHALL MAINTAIN AND MANAGE THE BUFFER
 TO MEET THE RIPARIAN BUFFER REQUIREMENTS; HOWEVER, THESE AREAS SHALL BE REVIEWED BY AN ARBORIST OR QUALIFIED
 PROFESSIONAL TO ENSURE THAT THE COMPOSITION OF PLANT LIFE MEETS THE REQUIREMENTS OUTLINED. A PLAN SHALL BE
 PROVIDED TO THE RECORDING OFFICE THAT SHOWS THE BUFFER REQUIREMENTS AND THE APPLICANT SHALL BE RESPONSIBLE FOR THE
 OPERATION & MAINTENANCE PLAN SHALL BE DEVELOPED FOR THE RIPARIAN BUFFER TO ENSURE THAT THIS BUFFER IS MAINTAINED
 FREE OF INVASIVE SPECIES IN PERPETUITY, WITH SUCH PLAN BEING RECORDED WITH THE APPROVED FINAL PLANS.
 8. MAINTENANCE OF ALL LANDSCAPING ON HOA-OWNED PROPERTY, AS WELL AS ALL STREET TREES, SHALL BE THE RESPONSIBILITY OF
 THE HOMEOWNERS. THE APPLICANT SHALL MAINTAIN THE EXISTING TREES AND SHRUBS TO THE SATISFACTION OF THE TOWNSHIP. ALL
 STREET TREES SHALL BE LOCATED OUTSIDE OF ANY ROAD RIGHT-OF-WAY.
 9. PRIOR TO RECORDING THE PLANS, THE APPLICANT SHALL PREPARE AND SUBMIT TO THE TOWNSHIP A SHARED ACCESS EASEMENT, AS
 APPROVED BY THE TOWNSHIP SOLICITOR, FOR THE SHARED DRIVEWAY SERVING THE TWO (2) FLAG LOTS.
 10. THE APPLICANT SHALL PROVIDE A 10' BUFFER FROM THE RIGHT-OF-WAY FOREST BUFFER WITHIN THE WIDTH OF THE 205'-4" AND
 SIDEWALKS/PATHS (SECTION 205-56). ANY WAIVER REQUESTS FROM THESE PROVISIONS WILL BE CONSIDERED BY THE BOARD OF
 SUPERVISORS (DURING THE SUBDIVISION/AND DEVELOPMENT PROCESS).
 11. THE APPLICANT SHALL PROVIDE AN OFFER OF DEDICATION OF ADDITIONAL PROPERTY ALONG HERSEY HILL ROAD FOR A POTENTIAL
 FUTURE SIDEWALK ON THE PROPERTY.
 12. ANY FUTURE RESIDENTIAL REUSE OF THE HISTORIC BARN SHALL REQUIRE FURTHER APPROVALS FROM THE TOWNSHIP, PURSUANT TO
 THE HISTORIC PRESERVATION PROVISIONS OF THE ORDINANCE (SECTIONS 240-38.1 THROUGH 240-38.11) DURING ITS OWNERSHIP OF THE
 HISTORIC BARN. THE APPLICANT SHALL ENSURE THAT IT IS WELL MAINTAINED AND DOES NOT FALL INTO DISREPAIR.
 13. THE APPLICANT SHALL PROVIDE A 10' BUFFER FROM THE RIGHT-OF-WAY FOREST BUFFER WITHIN THE WIDTH OF THE 205'-4" AND
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 SUPERVISORS (DURING THE SUBDIVISION/AND DEVELOPMENT PROCESS).
 38. THE APPLICANT SHALL PROVIDE AN OFFER OF DEDICATION OF ADDITIONAL PROPERTY ALONG HERSEY HILL ROAD FOR A POTENTIAL

GROVE MEADOW DEVELOPERS LLC
1171 LANCASTER AVE. SUITE 201
BERWYN PA 19312

MARK S. & CHRISTINE S. MILLER
210 N. ABERDEEN AVENUE
WAYNE, PA 19087

PIN# 53-1-19 DBV 3587 PAGE 895

SINGLE FAMILY OPEN SPACE DEVELOPMENT
TOTAL UNITS:
TOTAL AREA:

PROPOSED DENSITY:
WATER SERVICE:
SEWER SERVICE:

BENCHMARK: EXISTING SANITARY SEWER MANHOLE IN TANGLEWOOD DRIVE
TOP OF MANHOLE=459.50
DATUM IS BASED ON NAVD DATUM OF 1988

HERSHEY MILL ROAD	0.399 ACRES
PROPOSED ROAD (MILLSTONE CIRCLE)	1.400 ACRES

LOW DENSITY RESIDENTIAL DISTRICT (R-2)

LOT WIDTH	150 FT. (AT BUILDING LINE 60 FT. (AT STREET LINE))
FRONT YARD	45 FT. MINIMUM 60 FT. AVERAGE
SIDE YARD	20 FT. EACH
REAR YARD	50 FT.
BUILDING HEIGHT	3 STORIES OR 30 FT.
MAX. BLDG. COVERAGE	25 %
MAX. IMP. COVERAGE	30 %

REQUIRED OPEN SPACE (55% OF TRACT) 8.651 ACRES

PERIMETER OPEN SPACE (PARCEL 100)	8.205 ACRES
CENTRAL GREEN SPACE (PARCEL 101)	1.045 ACRES
QUALIFYING OPEN SPACE	9.250 ACRES (58.8 %)

1. THE PROPOSED OPEN SPACE MAY NOT BE SEPARATELY SOLD, NOR SHALL SUCH LAND BE FURTHER DEVELOPED OR SUBDIVIDED.
2. THE OPEN SPACE AREA DESIGNATED AS PARCEL 100 AND 102 SHALL BE CONSIDERED A PASSIVE OPEN SPACE.
3. THE OPEN SPACE AREA DESIGNATED AS PARCEL 101 SHALL BE CONSIDERED AN ACTIVE OPEN SPACE AREA AND AVAILABLE FOR THE COMMUNITY USE.
4. THE OPEN SPACE AREAS SHALL BE PROTECTED BY A CONSERVATION EASEMENT. OWNERSHIP AND OWNED, MANAGED AND MAINTAINED BY A HOMEOWNERS' ASSOCIATION.
5. THE PLANTINGS SHOWN ON THIS PLAN ARE TO SHOW GENERAL COMPLIANCE WITH THE TOWNSHIP ORDINANCES. FORMAL PLANTING PLANS SHALL BE PROVIDED WITH THE SUBDIVISION AND LAND DEVELOPMENT PLANS.
6. STORAGE SHEDS ARE NOT A PERMITTED AGENCY USE

Co - CODORUS SILT LOAM
Ha - HATBORO SILT LOAM
Ggb - GLENELG SILT LOAM, 3 TO 8 PERCENT SLOPES
MaB - MANOR LOAM, 3 TO 8 PERCENT SLOPES
MaC - MANOR LOAM, 8 TO 15 PERCENT SLOPES
MaD - MANOR LOAM, 15 TO 25 PERCENT SLOPES
MaE - MANOR LOAM, 25 TO 35 PERCENT SLOPES
UuB - URBAN LAND - UDORHTHENS SCHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES

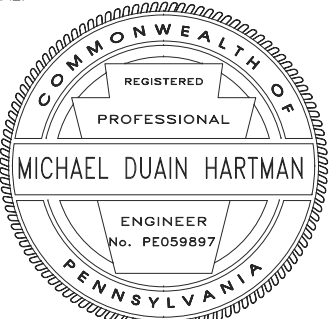
VICINITY MAP
SCALE: 1"=800'

Revision	Date	Description	Rev. By
		THIS DOCUMENT AND WORK PRODUCT REPRESENTED BY AND CONTAINED HEREIN IS THE SOLE AND EXCLUSIVE PROPERTY OF THE COMPANY AND IS NOT TO BE REPRODUCED, COPIED, OR DISCLOSED TO ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF THE COMPANY. ALL RIGHTS RESERVED.	

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a civil engineering design & management firm

Enterprises



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CONSTRUCTION DETAILS - SANITARY (RESERVED)	22-001-F-D-91	17 OF 17

	<p align="center">CHESTER COUNTY RECORDER OF DEEDS</p> <p>RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA, IN PLAN BOOK _____, PAGE _____, ON THE _____ DAY OF _____, 20____.</p> <p>(DEPUTY) RECORDER OF DEEDS _____</p>	<p align="center">CERTIFICATE OF ACCURACY – SURVEY</p> <p>I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, ALL SURVEY INFORMATION AND COMPUTATIONS SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY WILLISTOWN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, (BOUNDARY LINES CLOSE WITH AN ERROR OF LESS THAN ONE FOOT IN 10,000 FEET).</p> <p>ROGER FRY, P.L.S LIC NO. SU-28855-E _____</p> <p>DATE _____</p>	<p align="center">CERTIFICATE OF MUNICIPAL APPROVAL – BOARD OF SUPERVISORS</p> <p>APPROVED BY THE BOARD OF SUPERVISORS OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, THIS _____ DAY OF _____, 20____.</p> <p>CHAIRMAN _____</p> <p>VICE CHAIRMAN _____ MEMBER _____</p> <p>MEMBER _____ MEMBER _____</p>
<p align="center">TOWNSHIP ENGINEER</p> <p>REVIEWED BY THE EAST GOSHEN TOWNSHIP TOWNSHIP ENGINEER, THIS _____ DAY OF _____, 20____.</p> <p>TOWNSHIP ENGINEER _____ NOTARY _____</p>	<p align="center">CHESTER COUNTY PLANNING COMMISSION</p> <p>REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.</p> <p>SECRETARY _____</p>	<p align="center">CERTIFICATE OF ACCURACY</p> <p>THESE PLANS ARE PREPARED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE COMMONWEALTH OF PENNSYLVANIA, CHESTER COUNTY, AND WILLISTOWN TOWNSHIP</p> <p>MICHAEL DUAN HARTMAN, P.E. LIC. NO. PE059897 _____</p> <p>DATE _____</p>	<p align="center">CERTIFICATE OF REVIEW – PLANNING COMMISSION</p> <p>REVIEWED BY THE PLANNING COMMISSION OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, THIS _____ DAY OF _____, 20____.</p> <p>CHAIRMAN _____</p> <p>VICE CHAIRMAN _____ MEMBER _____</p> <p>MEMBER _____ MEMBER _____</p>

"MILLSTONE MEADOWS"
PRELIMINARY/FINAL PLAN
COVER SHEET

CLIENT: GROVE MEADOW DEVELOPERS LLC
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
DATE: APRIL 20, 2023

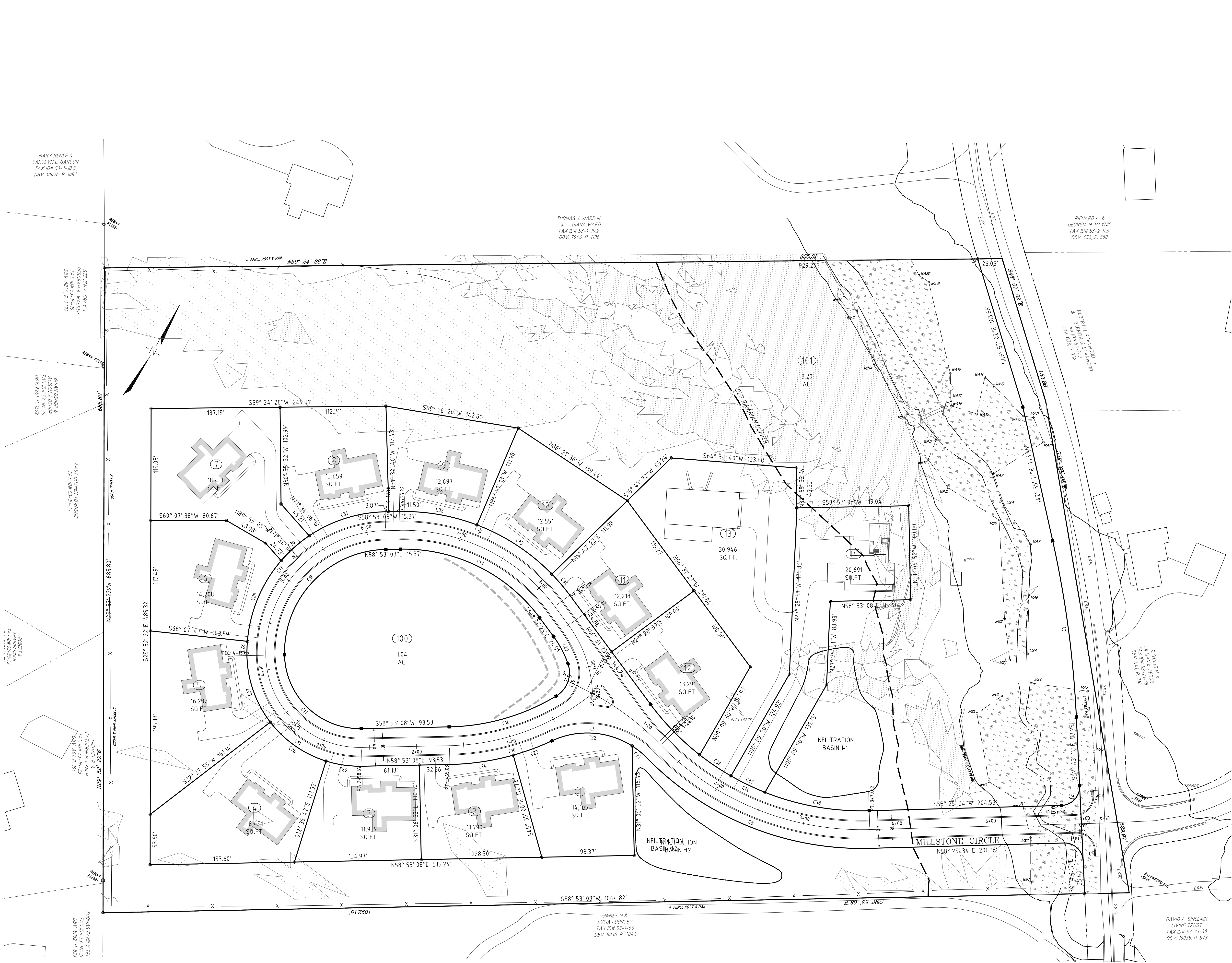
DRAWN BY:
M.D.HARTMAN

PROJ. MANAGER:
M.D. HARTMAN

SCALE: $1'' = 50'$

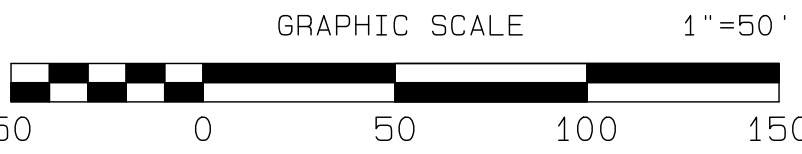
SHEET: 1 OF 17

PLAN NO.
22-001-F-D-



PROPERTY LINE CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CH BEARING & DIST.
C1	1.16'	775.00'	000°05'08"	N46°53'40"W 1.16'
C2	189.43'	1100.00'	009°52'01"	S37°39'17"E 189.20'
C6	318.2'	20.00'	091°08'51"	S12°51'09"W 28.57'
C7	30.41'	20.00'	087°07'46"	S78°02'09"E 27.57'
C8	263.44'	320.00'	047°10'05"	N82°00'37"E 256.06'
C9	109.62'	89.00'	070°34'15"	N70°18'32"E 102.82'
C10	112.45'	270.00'	023°51'44"	N46°57'16"E 111.64'
C11	188.50'	120.00'	090°00'00"	S76°06'52"E 169.71'
C12	235.62'	150.00'	090°00'00"	S13°53'08"W 212.13'
C13	209.62'	220.00'	054°35'29"	S86°10'53"W 201.78'
C14	269.03'	280.00'	055°03'03"	S85°57'06"W 258.80'
C15	39.71'	29.00'	078°27'05"	S10°14'35"E 36.68'
C16	120.04'	230.00'	029°54'11"	S43°56'02"W 118.68'
C17	125.66'	80.00'	090°00'00"	N76°06'52"W 113.14'
C18	172.79'	110.00'	090°00'00"	N13°53'08"E 155.56'
C19	171.50'	180.00'	054°35'29"	N86°10'53"E 165.09'
C20	32.74'	110.00'	017°03'15"	S57°59'45"E 32.62'
C21	20.56'	89.00'	013°14'14"	S81°01'28"E 20.52'
C22	89.06'	89.00'	057°20'01"	N63°41'25"E 85.39'
C23	44.03'	270.00'	009°20'36"	N39°41'42"E 43.98'
C24	68.42'	270.00'	014°31'08"	N51°37'34"E 68.24'
C25	38.75'	120.00'	018°30'10"	N68°08'13"E 38.58'
C26	73.47'	120.00'	035°04'37"	S85°04'24"E 72.32'
C27	76.28'	120.00'	036°25'13"	S49°19'28"E 75.00'
C28	15.18'	150.00'	005°47'57"	S28°12'54"E 15.18'
C29	94.53'	150.00'	036°06'25"	S07°15'42"E 92.97'
C30	40.00'	150.00'	015°16'44"	S18°25'52"W 39.88'
C31	85.91'	150.00'	032°48'54"	S42°28'41"W 84.74'
C32	84.05'	220.00'	021°53'21"	S69°49'48"W 83.54'
C33	96.05'	220.00'	025°00'53"	N86°43'04"W 95.29'
C34	29.52'	220.00'	007°41'15"	N70°22'00"W 29.50'
C35	75.39'	280.00'	015°25'40"	N74°14'13"W 75.17'
C36	40.14'	280.00'	008°12'48"	N86°03'26"W 40.10'
C37	40.14'	280.00'	008°12'48"	S85°43'46"W 40.10'
C38	113.36'	280.00'	023°11'48"	S70°01'28"W 112.59'

LEGEND	
	EXISTING LIGHT STANDARD
	EXISTING CURB
	PROPOSED CURB
	SOIL LINE
	RIPARIAN BUFFER
	WETLAND DELINEATION
	EXISTING WETLANDS
	EXISTING STREET SIGN
	EXISTING FEATURES ARE LABELED WITH SLANTED TEXT
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING EDGE OF WOODS
	PROPOSED CONCRETE MONUMENT
	PROPOSED IRON PIN (TYP.)
	PROPOSED CURB TAPER
	PROPOSED HANDICAPPED RAMP
	RETAINING WALL



2815 PENN AVENUE
WEST LAWN, PA
610-927-4242

"MILLSTONE MEADOWS"
PRELIMINARY/FINAL PLAN
SUBDIVISION PLAN

CLIENT: GROVE MEADOW DEVELOPERS LLC
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
DATE: APRIL 20, 2023

DRAWN BY:
M.D.HARTMAN

PROJ. MANAGER:
M.D.HARTMAN

SCALE:
1" = 50'

SHEET:
2 OF 17

PLAN NO:
22-001-F-D-2.0

Revised By

Description

Date

Revision

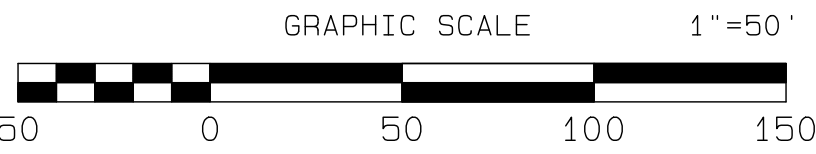
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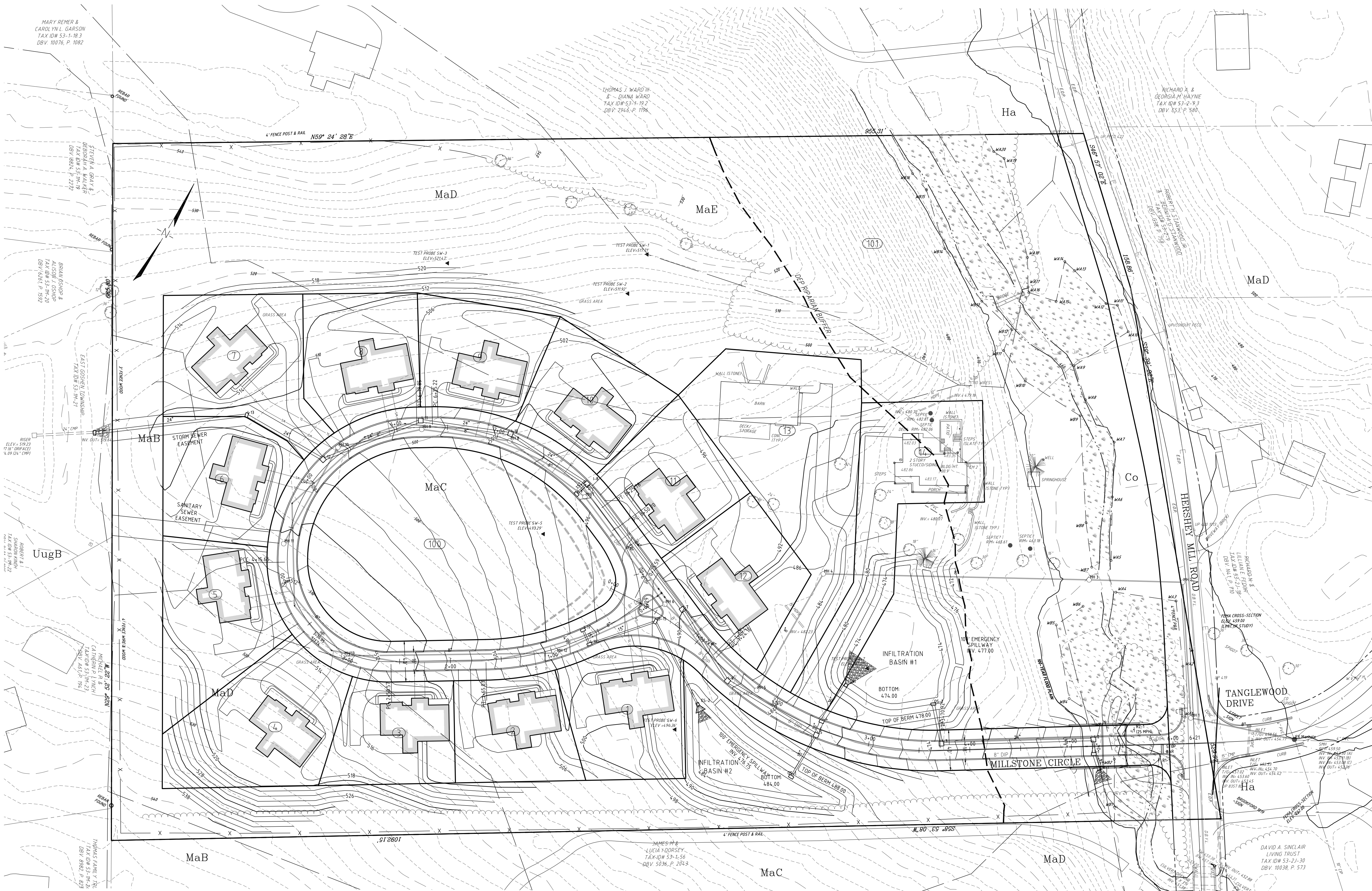
- DEMOLITION NOTES**
- CONTRACTOR TO DEMOLISH ALL ITEMS NECESSARY TO CONSTRUCT PROPOSED BUILDING AND SITE FEATURES WHETHER OR NOT INDICATED IN THE CONSTRUCTION DOCUMENTS. ADEQUATE AND PROPER PROTECTION SHALL BE PROVIDED TO EXISTING FEATURES NOT BEING REMOVED.
 - EXCAVATIONS THAT ARE LEFT OPEN DURING THE DEMOLITION PROCESS SHALL BE COVERED OR FENCED OFF. THE AREA SHALL BE ADEQUATELY MARKED TO ENSURE WORKER AND PUBLIC SAFETY.
 - THE CONTRACTOR IS RESPONSIBLE FOR TERMINATING ALL APPLICABLE UTILITIES WHERE ITEMS ARE BEING REMOVED IN A SAFE AND CODE CONFORMING MANNER.
 - UNUSABLE MATERIALS AND RUBBISH SHALL BE IMMEDIATELY REMOVED FROM THE SITE. MATERIALS TO BE REUSED WILL BE STOCKPILED IN A SAFE AND SECURE LOCATION. MATERIAL THAT REQUIRES PROTECTION FROM THE WEATHER SHALL BE STORED IN A SECURE DRY LOCATION.
 - DAMAGE CAUSED TO EXISTING FEATURES DURING THE DEMOLITION PROCESS SHALL BE REPAIRED AND RESTORED TO PREDEMOLITION CONDITIONS. IF DAMAGE CANNOT BE REPAIRED ADEQUATELY THAN THE DAMAGED ITEM SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 - FEATURES SHOWN IN BOLD INDICATE ITEMS THAT MUST AT A MINIMUM BE REMOVED. ALSO SEE NOTE 1.
- EXISTING NATURAL FEATURES:**
- TOPOGRAPHY AND CONTOURS:
THE EXISTING TOPOGRAPHY AND CONTOURS HAVE BEEN SHOWN ON PLANS.
 - SITE BENCHMARK AND DATUM:
BENCHMARK: EXISTING SANITARY SEWER MANHOLE IN TANGLEWOOD DRIVE
TOP OF MANHOLE = 458.50
DATUM IS BASED ON NAVD DATUM OF 1988
 - STEEP SLOPES:
THE STEEP SLOPES HAVE BEEN DELINEATED ON THE PLANS FOR 15%-25% AND GREATER THAN 25% SLOPES.
 - WATERCOURSES, PONDS AND FLOOD HAZARD DISTRICT:
THERE IS AN EXISTING PERENNIAL STEAM CHANNEL ON-SITE. THE PROPOSED LAYOUT HAS LIMITED DISTURBANCE TO A ROADWAY CROSSING OF THE STREAM CHANNEL TOWARDS THE SOUTH-EASTERN CORNER OF THE SITE. THERE IS AN EXISTING STREAM CROSSING THAT SHALL BE REMOVED AS PART OF THE DEVELOPMENT. THE SITE IS LOCATED WITHIN THE FLOOD HAZARD DISTRICT "A".
 - SOIL DATA:
Co - CODORUS SILT LOAM
Ha - HATBORO SILT LOAM
GgB - GLENELG SILT LOAM, 3 TO 8 PERCENT SLOPES
MaB - MANOR LOAM, 3 TO 8 PERCENT SLOPES
MaC - MANOR LOAM, 8 TO 15 PERCENT SLOPES
MaD - MANOR LOAM, 15 TO 25 PERCENT SLOPES
MaE - MANOR LOAM, 25 TO 35 PERCENT SLOPES
UugB - URBAN LAND - UDORTHERTS SCHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES
 - GEOLOGIC FORMATION:
'GLENARM WISSAHICKON' FORMATION: QUARTZ, ALBITE, MUSCOVITE, AND CHLORITE
 - SOIL PERCOLATION TESTS:
SOIL TEST AND PROBE LOCATIONS ARE SHOWN ON THE PLANS.
 - WETLANDS:
THE WETLAND INFORMATION SHOWN HEREON IS BASED ON A WETLAND DELINEATION PERFORMED BY LIBERTY ENVIRONMENTAL, INC. IN JUNE 2022
 - EXISTING VEGETATION:
THE SITE VEGETATION IS PREDOMINATELY MEADOWS/PASTURE COVER, WITH AREAS OF MAINTAINED LAWN AND WOODED AREAS. THE WOODLANDS AND INDIVIDUAL TREES ARE SHOWN ON THE PLANS.
 - EXISTING STRUCTURES AND OTHER IMPROVEMENTS
THE EXISTING IMPROVEMENTS ARE SHOWN ON THE PLANS.
 - HISTORIC RESOURCES:
THE EXISTING DWELLING AND BARN ARE CONSIDERED HISTORIC RESOURCES AND WILL NOT BE ALTERED AS PART OF THIS PLAN. PER THE CONDITIONAL USE DECISION, ANY FUTURE RESIDENTIAL REUSE OF THE HISTORIC BARN SHALL REQUIRE FURTHER APPROVALS FROM THE TOWNSHIP. PURSUANT TO THE HISTORIC PRESERVATION PROVISIONS OF THE ORDINANCE SECTIONS 240-38.1 THROUGH 240-38.10, DURING ITS OWNERSHIP OF THE HISTORIC BARN, THE APPLICANT SHALL ENSURE THAT IT IS WELL MAINTAINED AND DOES NOT FALL INTO DISREPAIR.
 - EXISTING PATHS AND TRAILS
THERE ARE NO EVIDENCE OF PATHS OR TRAILS ON SITE.
 - EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES
THERE ARE NO EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES ON SITE.
 - ANY OTHER SIGNIFICANT EXISTING NATURAL OR MAN-MADE FEATURES
THERE ARE NO OTHER SIGNIFICANT EXISTING NATURAL OR MAN-MADE FEATURES ON SITE.
 - DELINEATION OF THOSE PORTIONS OF THE LOT VISIBLE FROM ADJACENT PUBLIC ROADS.
DUE TO THE SURROUNDING DEVELOPED PROPERTIES AND EXISTING VEGETATION, THE VISIBILITY OF THE PROPERTY FROM HERSEY MILL ROAD AND TANGLEWOOD DRIVE IS VERY LIMITED.

LEGEND

	EXISTING CURB
	EXISTING CONTOURS
	EXISTING SPOT ELEVATION
	SOIL LINE
	RIPARIAN BUFFER
	WETLAND DELINEATION
	EXISTING WETLANDS
	EXISTING STREET SIGN
	EXISTING FEATURES ARE LABELED WITH SLANTED TEXT
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING EDGE OF WOODS TO BE REMOVED
	EXISTING SANITARY SEWER & MANHOLE
	EXISTING WATER LINE & VALVE
	15% - 25% SLOPES
	25%+ SLOPES

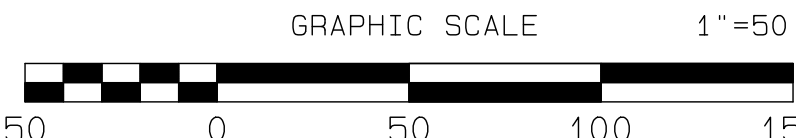


2815 PENN AVENUE WEST LAWN, PA 610-927-4242	Enterprise	Seal of Michael Duane Hartman, Professional Engineer, No. PC00897, State of Pennsylvania	"MILLSTONE MEADOWS" PRELIMINARY/FINAL PLAN EXISTING CONDITIONS AND DEMOLITION PLAN CLIENT: GROVE MEADOW DEVELOPERS LLC LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA DATE: APRIL 20, 2023
DRAWN BY: M.D.HARTMAN		PROJ. MANAGER: M.D.HARTMAN	
SCALE: 1" = 50'		SHEET: 3 OF 17	
PLAN NO: 22-001-F-D-3.0			

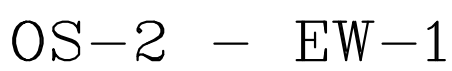


- GENERAL CONSTRUCTION NOTES:**
- AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MINIMUM DENSITY OF 98% MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-698) IN THE BUILDING, PAVED AND SIDEWALK AREAS, AND 92% IN OTHER AREAS.
 - UNDERGROUND FACILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND PLANS OF OTHERS AND THEREFORE THEIR ELEVATIONS AND LOCATION MUST BE CONSIDERED AS APPROXIMATE ONLY. THE VERIFICATION OF EACH FACILITY SHOWN OR NOT SHOWN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR TO VERIFY LOCATION AND FLOW OF EXISTING UTILITIES PRIOR TO INSTALLATION OF PLUMBING. ALL SERVICES TO BE CONNECTED IN ACCORDANCE WITH LOCAL CODES AND/OR UTILITY COMPANIES REQUIREMENT.
 - PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH PENNDOT SPECIFICATIONS PUBLICATION 408, LATEST EDITION.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT NO WORK IS DONE WITHOUT THE PROPER INSPECTIONS BY LOCAL AUTHORITY OR GOVERNING AGENCY.
 - CONTRACTOR TO NOTIFY ENGINEER AS SOON AS POSSIBLE IF CONDITIONS ON GROUND DIFFER FROM THOSE SHOWN ON THE PLANS.
 - ALL AREAS OTHER THAN PAVED AREAS SHALL HAVE A MINIMUM DEPTH OF SIX INCHES (6") OF TOPSOIL PRIOR TO SEEDING. THE SURFACE SHALL BE SCARIFIED AND CLEARED OF ALL TRASH DEBRIS, ROOTS AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTINGS, FERTILIZING OR MAINTENANCE OPERATIONS.
 - SEEDING AND MULCHING SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408.
 - ALL SPOT ELEVATIONS SHOWN AT THE CURBLINE ARE THE BOTTOM OF CURB, UNLESS OTHERWISE NOTED.
- CONSTRUCTION INSPECTION SCHEDULE:**
- INSPECTIONS SHALL BE REQUIRED AS FOLLOWS:
- AT THE COMPLETION OF PRELIMINARY SITE PREPARATION.
 - AT THE COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACEMENT OF TOPSOIL.
 - DURING THE CONSTRUCTION OF PERMANENT STORMWATER FACILITIES, OR AS DEEMED NECESSARY BY THE MUNICIPAL ENGINEER.
 - UPON COMPLETION OF PERMANENT STORMWATER FACILITIES.
 - UPON COMPLETION OF FINAL GRADING AND PERMANENT VEGETATIVE CONTROLS.

- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - SOIL LINE
 - EXISTING STREET SIGN
 - EXISTING FEATURES ARE LABELED WITH SLANTED TEXT TO BE REMOVED
 - EXISTING DECIDUOUS TREE
 - PROPOSED SANITARY SEWER & MANHOLE
 - PROPOSED STORM SEWER & CATCH BASIN
 - EXISTING WATER LINE & VALVE
 - PROPOSED WATER LINE & VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED GRINDER PUMP
 - PROPOSED WATER LATERAL
 - PROPOSED CURB TAPER

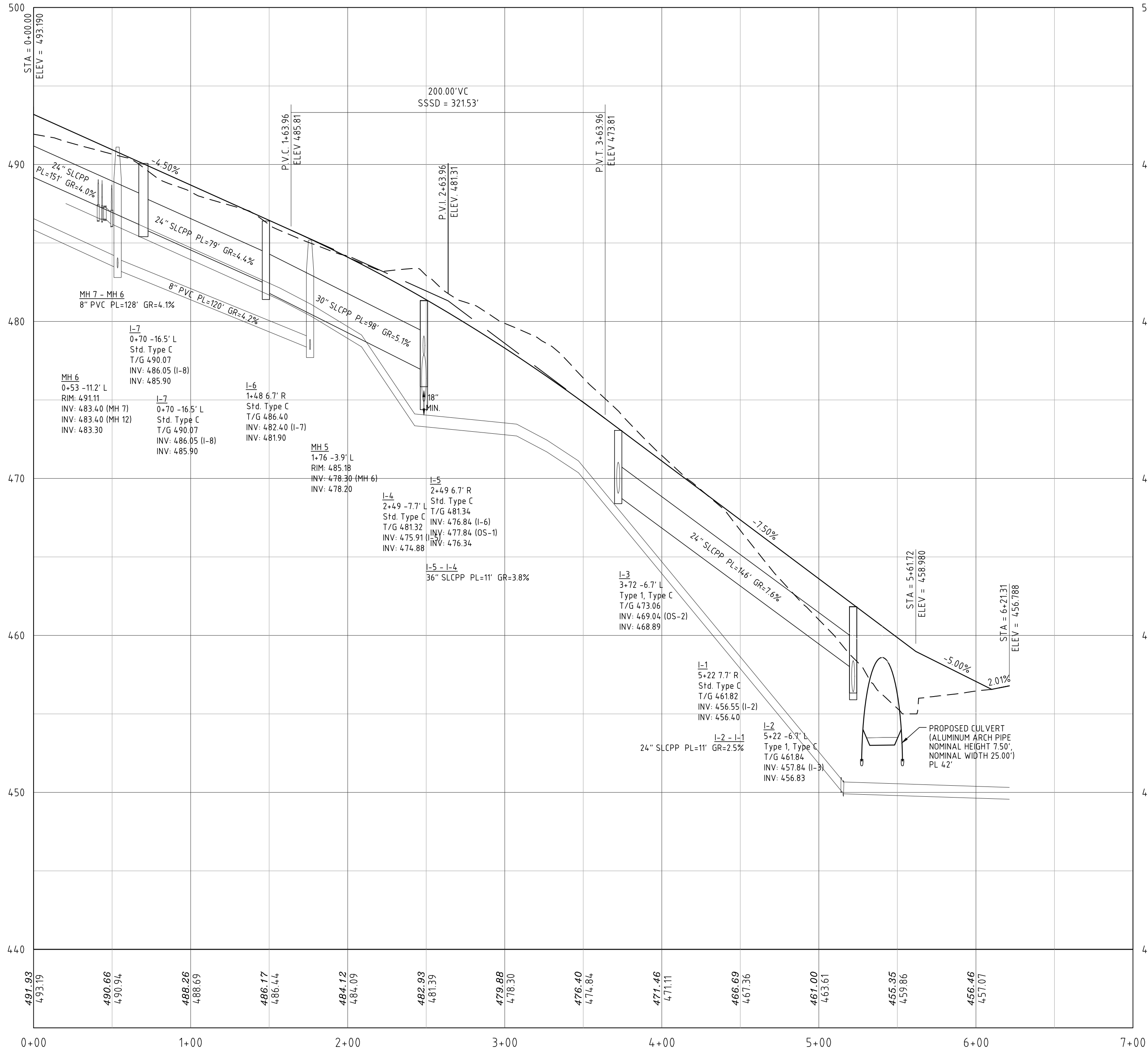


2815 PENN AVENUE WEST LAWN, PA 610-927-4242	Enterprises	Seal of Michael Duane Hartman, Professional Engineer, No. PC08997, State of Pennsylvania	"MILLSTONE MEADOWS" PRELIMINARY/FINAL PLAN GRADING & UTILITY PLAN	CLIENT: GROVE MEADOW DEVELOPERS LLC LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA DATE: APRIL 20, 2023
Revised	Date	Description	Drawn By: M.D. HARTMAN	Proj. Manager: M.D. HARTMAN
Scale	1" = 50'	Sheet: 4 OF 17	Plan No: 22-001-F-D-4.0	

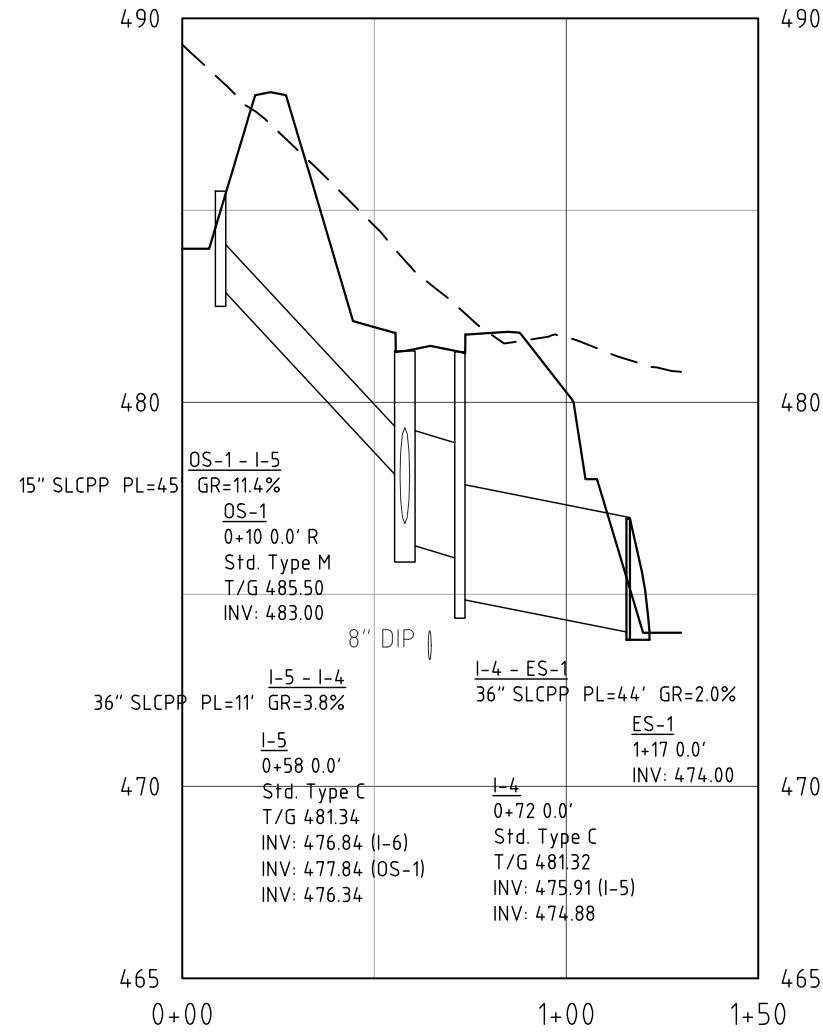


1. STORM SEWERS AND SANITARY SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND AUTHORITY DETAILS AND SPECIFICATIONS.
2. GRADE ELEVATIONS FOR INLETS ALONG CURB ARE COMPUTED TO THE CENTER OF THE INLET AT THE GUTTERLINE.
3. GRADE ELEVATIONS FOR INLETS IN NON-CURBED AREAS ARE COMPUTED TO THE CENTER OF THE INLET IN BOTH DIMENSIONS.
4. SANITARY SEWER AND STORM SEWER MANHOLE RIM ELEVATIONS ARE COMPUTED TO CENTER OF THE LID.
5. PROTECTION OF PIPES - THE CONTRACTOR MUST PROVIDE AND MAINTAIN A MINIMUM OF 18" OF COVER OVER ALL STORM SEWER AND SANITARY SEWER PIPES DURING CONSTRUCTION STAGES UNTIL THE BINDER PAVING COURSE IS PLACED.
6. PROTECTION OF STORM SEWERS - ALL STORM SEWER PIPE MUST BE PLACED AT A SUFFICIENT DEPTH TO ALLOW FOR THE FULL DEPTH OF PAVING, INCLUDING THE BASE COURSE, TO BE PLACED ABOVE THE TOP OF PIPE.

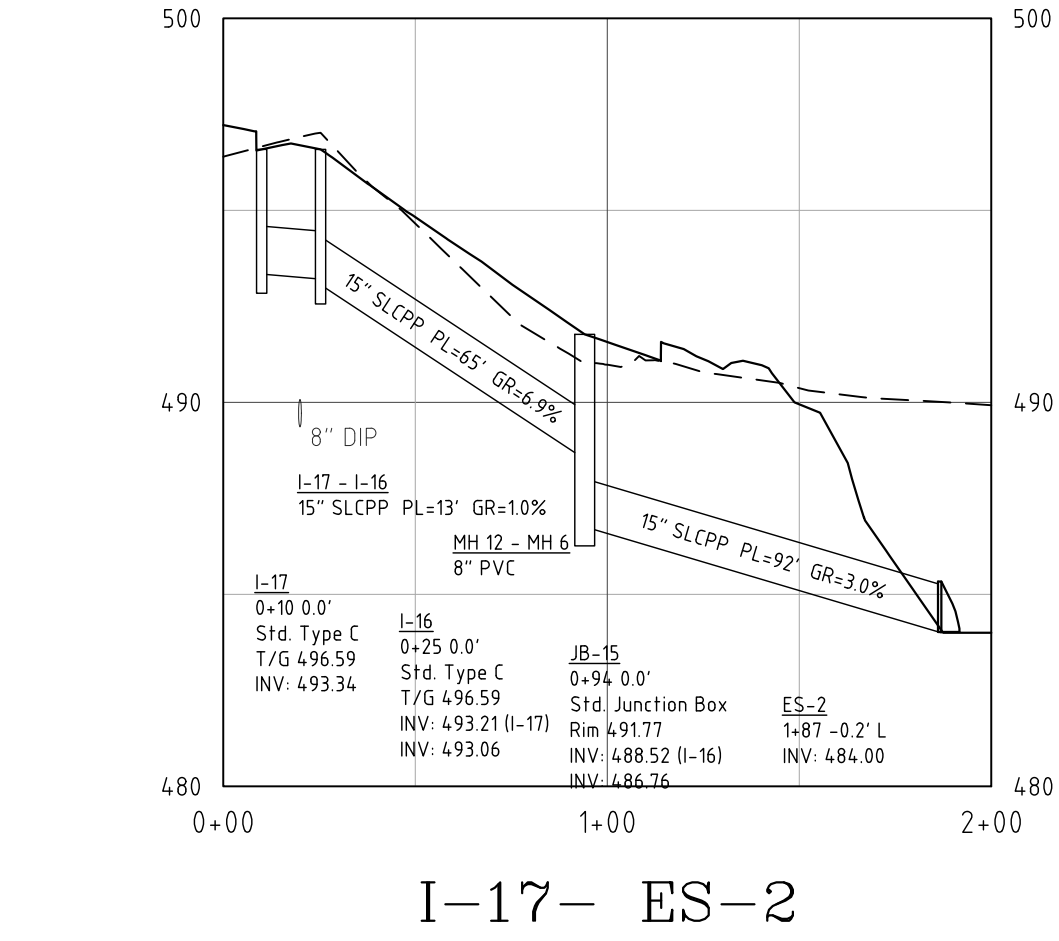
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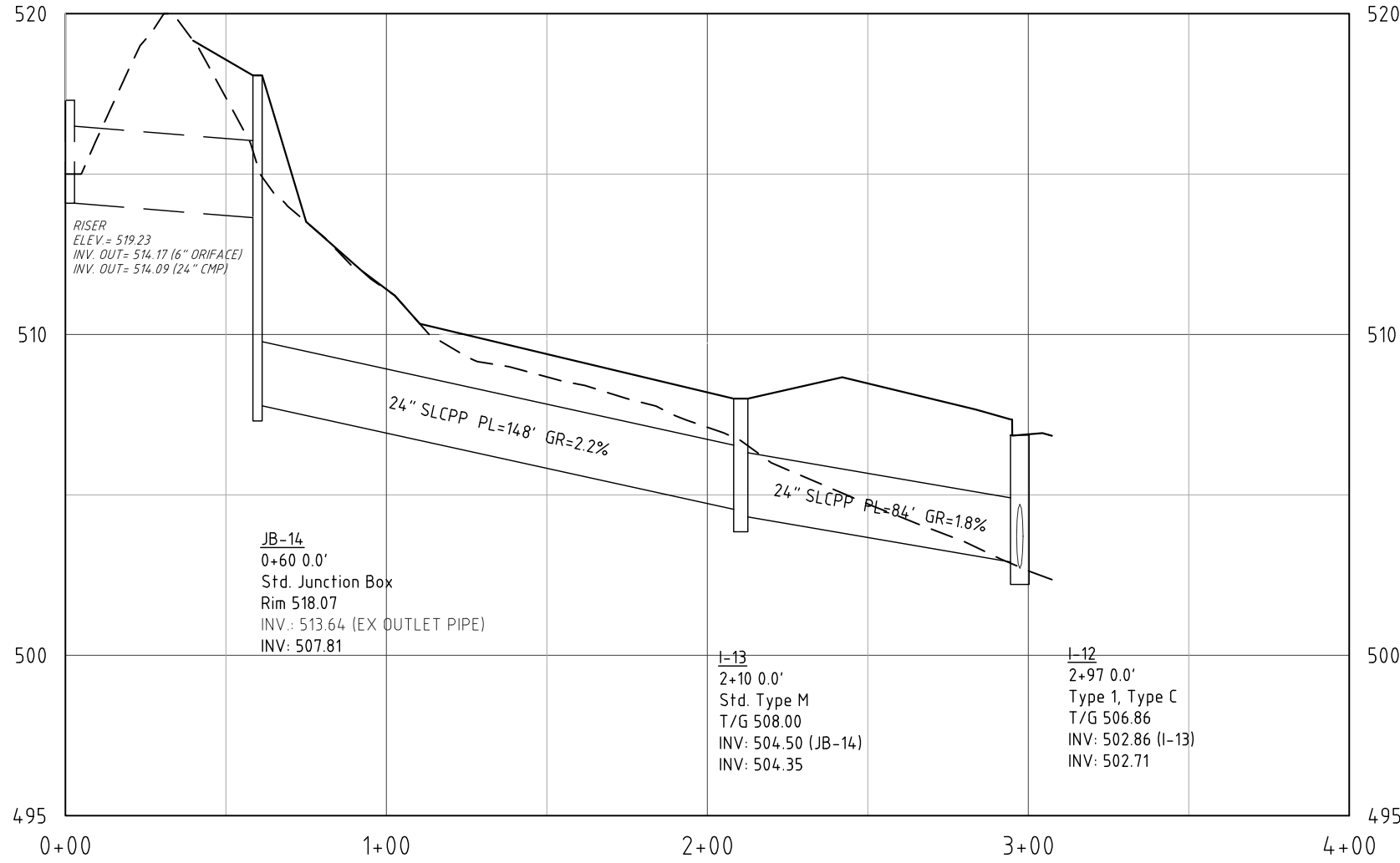
MILLSTONE CIRLCE (MAIN DRIVE)



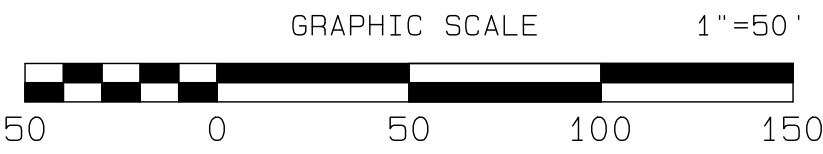
OS-1 - ES-1



I-17- ES-2



JB-14 - I-12



2815 PENN AVENUE WEST LAWN, PA 610-927-4242		a civil engineering design & management firm		Enterprises	
"MILLSTONE MEADOWS" PRELIMINARY /FINAL PLAN PROFILES		CLIENT: GROVE MEADOW DEVELOPERS LLC LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA DATE: APRIL 20, 2023		SEAL: 	
DRAIN BY: M.D.HARTMAN		PROJ. MANAGER: M.D.HARTMAN		SCALE: 1" = 50'	
PLAN NO: 22-001-F-D-6.2		SHEET: 7 OF 17		DATE: APRIL 20, 2023	



PENNSYLVANIA ACT 287, AS AMENDED BY ACT 121 REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

ACT 287 UNDERGROUND UTILITY PROTECTION ACT,
AS AMENDED BY ACT 121

ACT 287 UNDERGROUND UTILITY PROTECTION ACT, AS AMENDED BY:
ACT 172 OF 1986, ACT 38 OF 1991, ACT 187 OF 1996,
ACT 199 OF 1704, ACT 181 OF 1706, ACT 121 OF 1708

PA ONE CALL SYSTEM INFORMATION:
PENNSYLVANIA ACT 287, AS AMENDED, REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND FIVE (5) WORKING DAYS NOTICE IN DESIGN STAGE.
PA ONE CALL PHONE NUMBER: 1-800-242-1176

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY NAVE NEWELL, INC.
DATE: 11/01/22
ONE CALL SYSTEM SERIAL NUMBER: 20223193472

UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION. ACT 287 OF 1974, AS AMENDED, UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION.

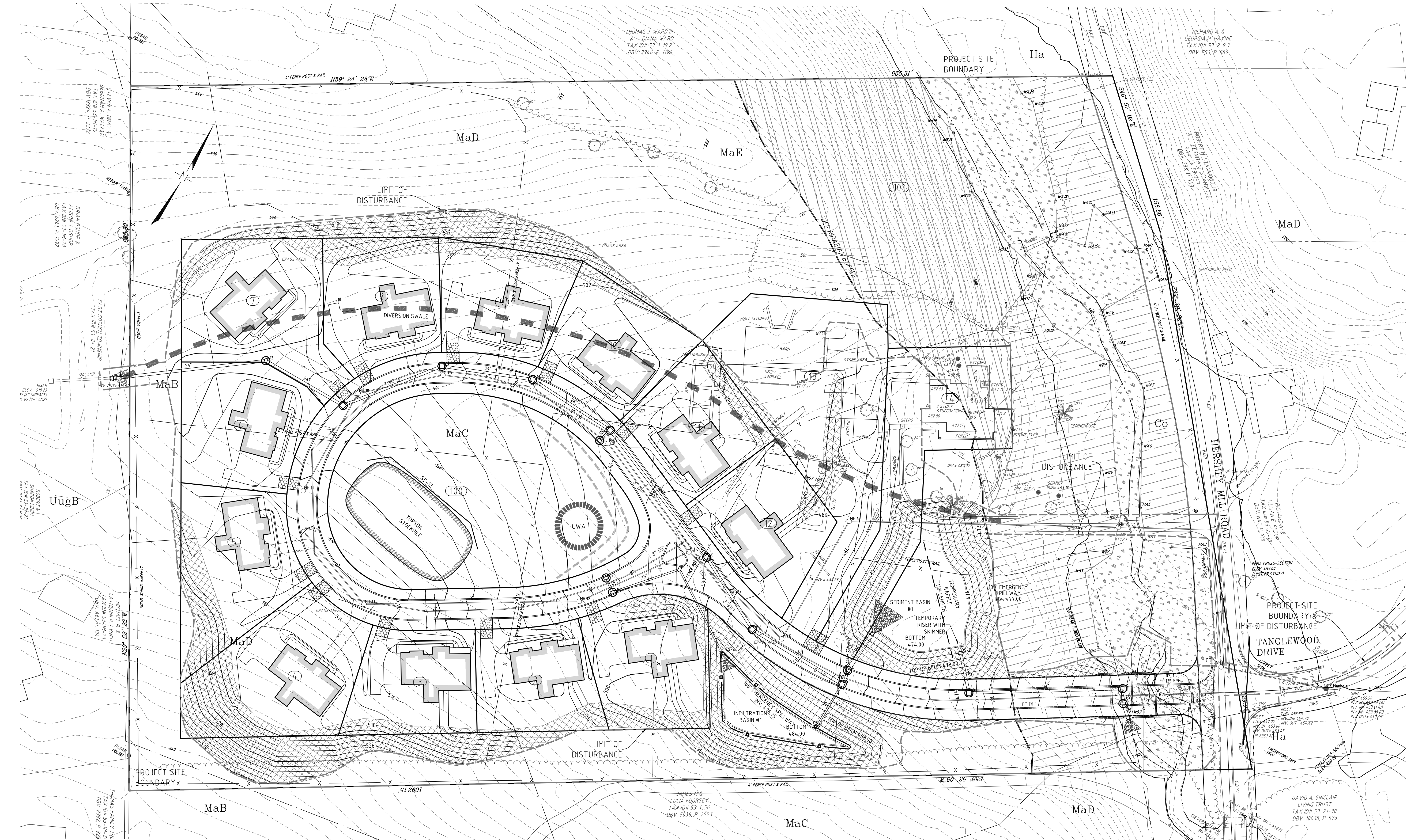
LIST OF RESPONDERS:
AQUA PENNSYLVANIA INC
EAST GOSHEN TOWNSHIP
TEXAS EASTERN TRANSMISSION LP
COMCAST CABLE COMMUNICATIONS INC
PECO ENERGY
VERIZON PENNSYLVANIA LLC

PROJECT SITE BOUNDARY AREA = 16.00 ACRES
LIMIT OF DISTURBANCE AREA = 8.83 ACRES

U.S. FISH AND WILDLIFE SERVICE AVOIDANCE MEASURE:
DO NOT CONDUCT THIS PROJECT/ACTIVITY WITHIN 50 FEET OF ANY STREAMS, RIVERS, CREEKS, OR TRIBUTARIES. THIS INCLUDES BOTH PERENNIAL AND INTERMITTENT WATERWAYS.



VICINITY MAP
SCALE: 1"=800'

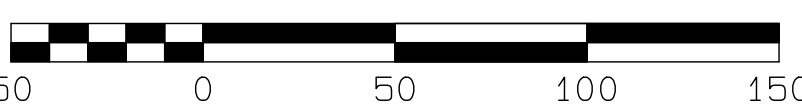


- EXISTING CURB
- PROPOSED CURB
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- SOL LINE
- EXISTING STREET SIGN
- EXISTING FEATURES ARE LABELED WITH SLANTED TEXT TO BE REMOVED
- EXISTING DECIDUOUS TREE
- PROPOSED SANITARY SEWER & MANHOLE
- PROPOSED STORM SEWER & CATCH BASIN
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED GRINDER PUMP
- PROPOSED WATER LATERAL
- PROPOSED CURB TAPER

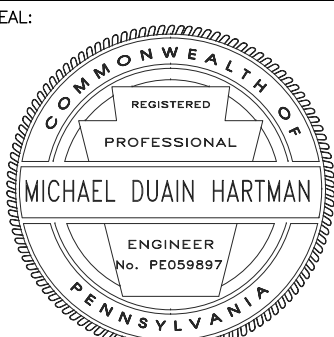
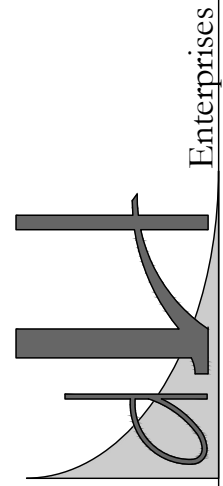
E&SPC LEGEND

- INLET FILTER PROTECTION
- FILTREXX SILT/SSXX
- FILTREXX SILT/SSXX
- 12" SILT/SSXX (UNLESS SPECIFIED)
- INDIVIDUAL LOT CONTROL
- ROCK CONSTRUCTION ENTRANCE
- MOUNTABLE STONE FILTER BERM
- ROCK CONSTRUCTION ENTRANCE
- INDIVIDUAL LOT CONTROL
- TOPSOIL STOCKPILE WITH 12" SILT/SSXX (UNLESS SPECIFIED)
- INDIVIDUAL LOT CONTROL
- CONCRETE WASH AREA
- EROSION CONTROL BLANKET
- NAG S75 (or approved equal)
- LIMIT OF DISTURBANCE
- PROJECT SITE BOUNDARY
- PROJECT SITE BOUNDARY
- PROJECT SITE BOUNDARY
- ORANGE CONSTRUCTION SAFETY FENCING
- RIPIARIAN BUFFER - 150'

GRAPHIC SCALE 1"=50'



2815 PENN AVENUE
WEST LAWN, PA
610-927-4242



"MILLSTONE MEADOWS"
PRELIMINARY/FINAL PLAN
EROSION AND SEDIMENT CONTROL PLAN

DRAWN BY: M.D.HARTMAN

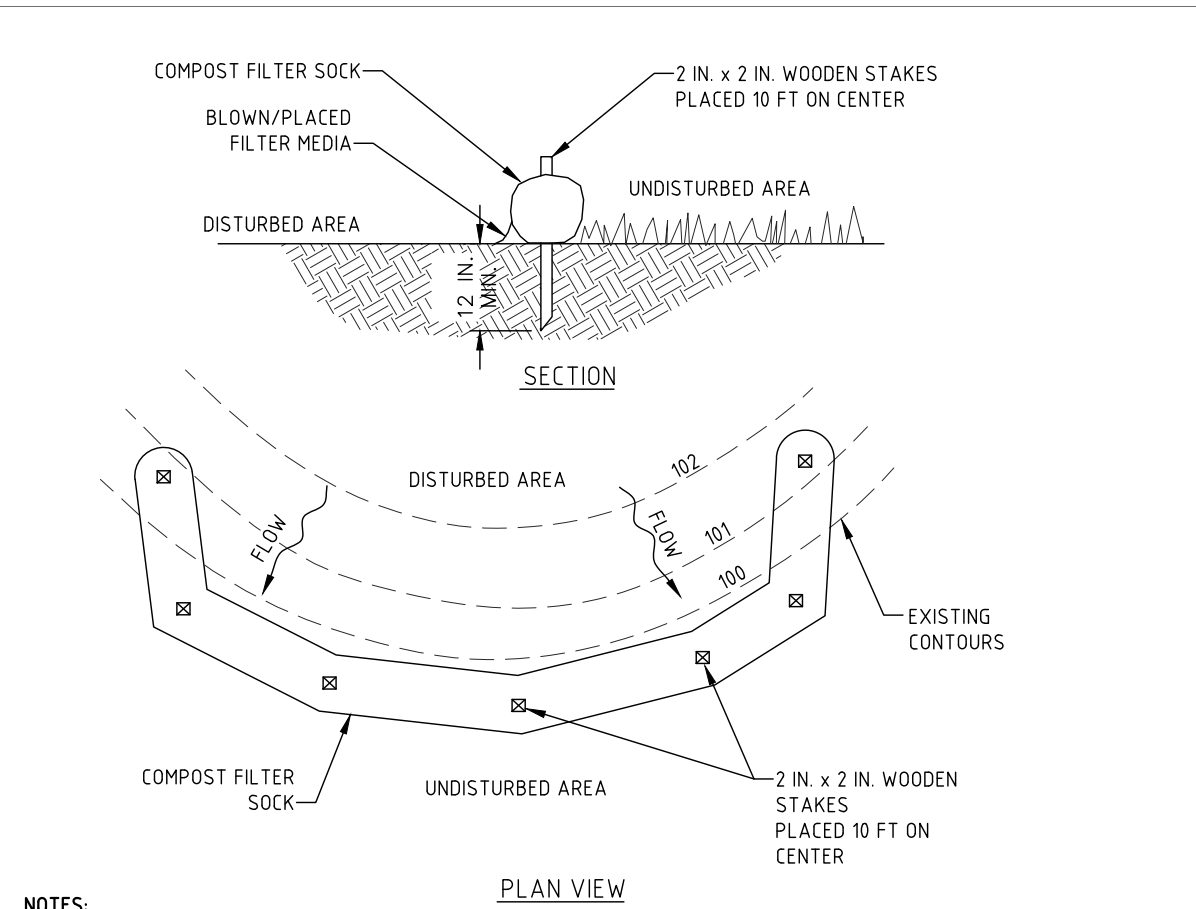
PROJECT MANAGER: M.D.HARTMAN

SCALE: 1" = 50'

SHEET: 8 OF 17

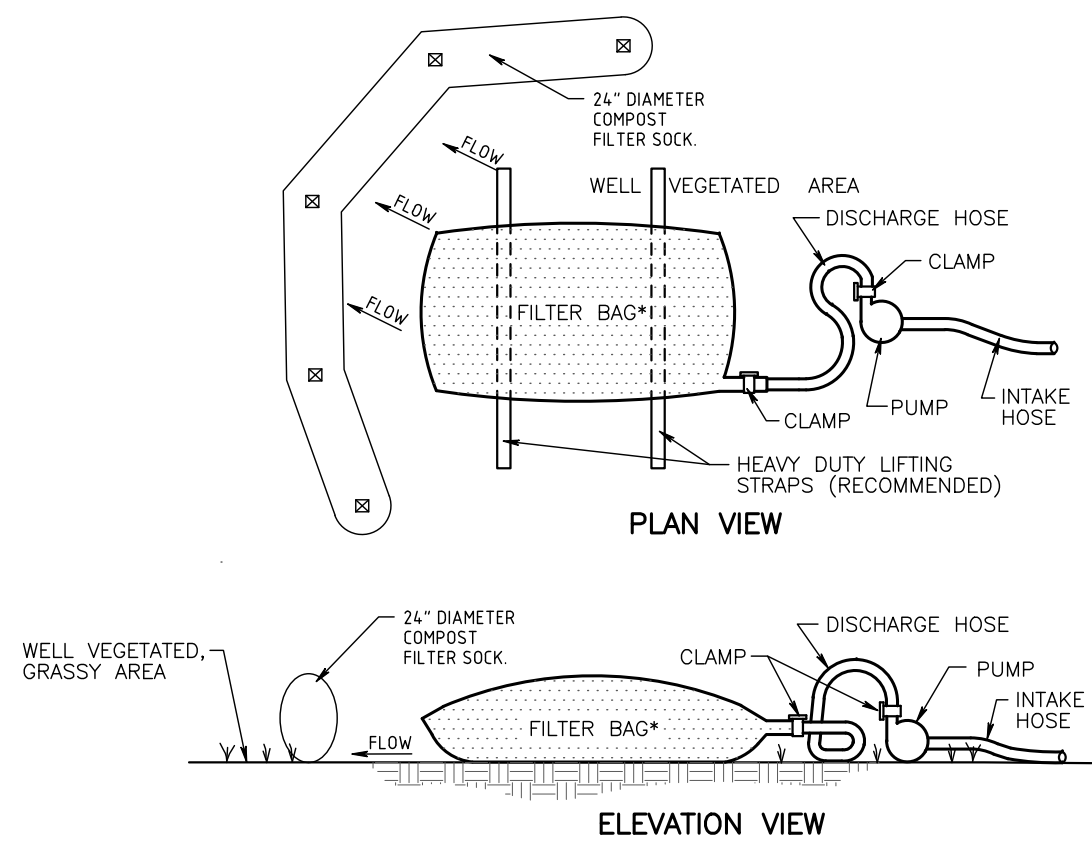
PLAN NO: 22-001-F-D-7.1

CLIENT: GROVE MEADOW DEVELOPERS LLC
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
DATE: APRIL 20, 2023



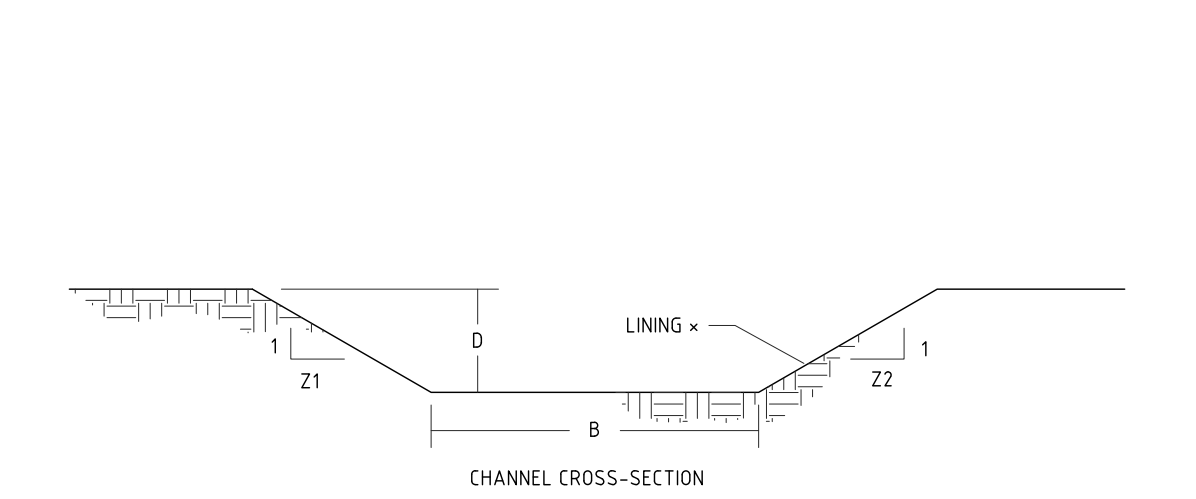
- NOTES:**
- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 - COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 - TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 - COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS, PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
 - SHEET FLOW SHALL BE MAINTAINED TO COMPOST SOCKS DURING CONSTRUCTION. IF OVERTOPPING OR CONCENTRATED FLOW OCCURS, A ROCK FILTER SHALL BE INSTALLED AT THAT LOCATION.

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK



- NOTES:**
- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "U" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:
- | PROPERTY | TEST METHOD | MINIMUM STANDARD |
|--------------------------|-------------|------------------|
| AVG. WIDE WIDTH STRENGTH | ASTM D-4844 | 60 lb/in |
| GRAB TENSILE | ASTM D-4632 | 205 lb |
| PUNCTURE | ASTM D-4633 | 110 lb |
| HOLDEN BURY | ASTM D-5196 | 300 lbs |
| UV RESISTANCE | ASTM D-4395 | 70% |
| ADS X RETAINED | ASTM D-4751 | 80 SIEVE |
- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME HALF FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
 - BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS WHERE THIS IS NOT POSSIBLE A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
 - NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
 - THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
 - THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER. IF PUMPING IS LESS, PUMP INTAKE SHALL BE FLOATING AND SCREENED.
 - FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

PUMPED WATER FILTER BAG



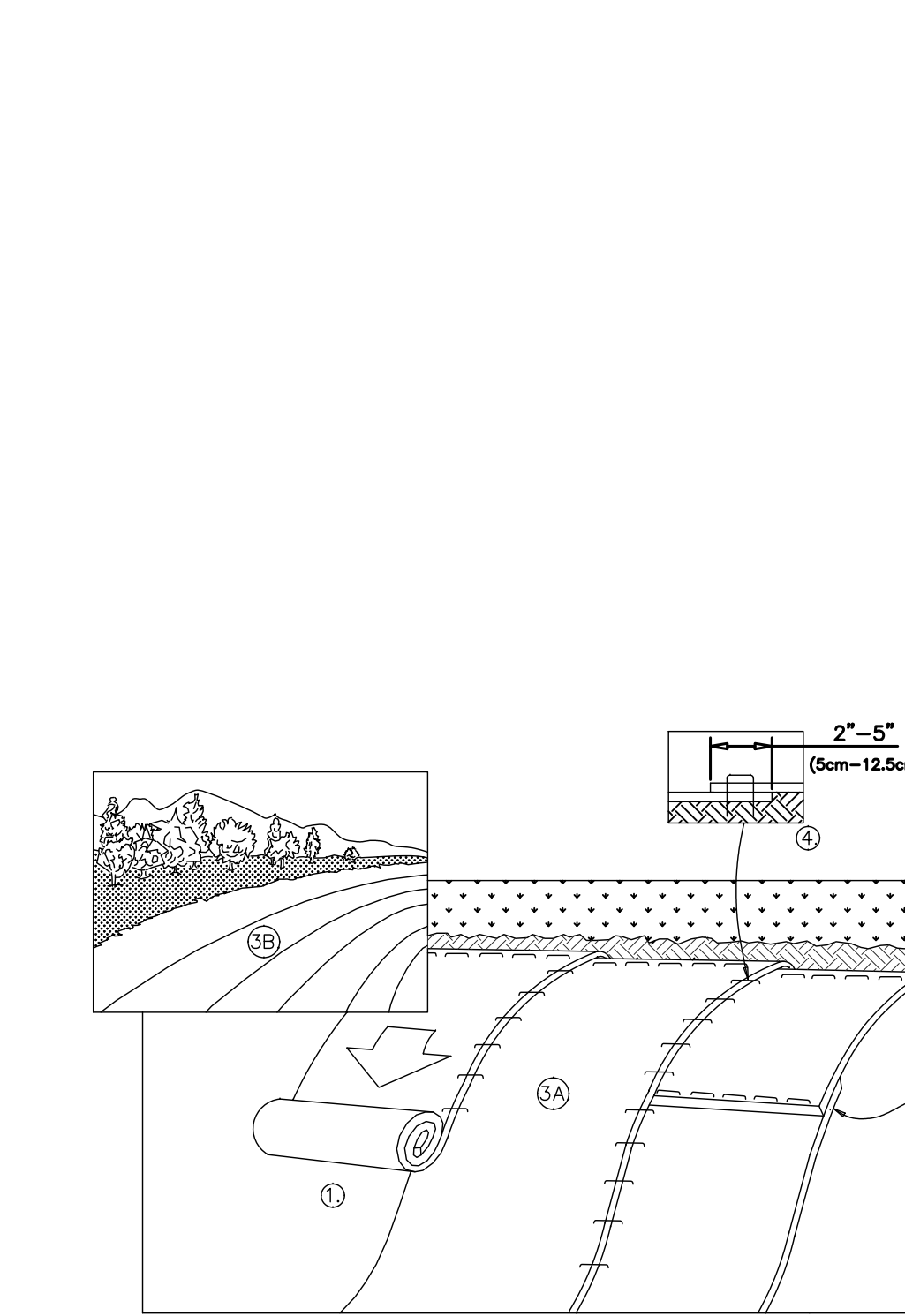
CHANNEL NO.	SECTION	BOTTOM WIDTH B (FT)	DEPTH D (FT)	Z1 (FT)	Z2 (FT)	PERMANENT LINING	TEMPORARY LINING
DIVERSION	1	4.0	14.5	3.0	3.0	VEGETATED	NAG C125

- NOTES:**
- HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
 - IF ROCK OR GRAVEL LENSES ARE ENCOUNTERED DURING SWALE EXCAVATION, UNDERCUT ROCK OR GRAVEL TO 8" BELOW FINISHED GRADE. COVER ROCK WITH 4" OF SOIL AND 4" OF TOPSOIL.
 - ALL CHANNELS MUST BE KEPT FREE OF OBSTRUCTIONS SUCH AS FILL GROUND, FALLEN LEAVES AND WOODY DEBRIS. ACCUMULATED SEDIMENT AND CONSTRUCTION MATERIALS/WASTES CHANNELS SHOULD BE KEPT MOVED AND/OR FREE OF ALL WEEDY, BRUSHY OR WOODY GROWTH. ANY UNDERGROUND UTILITIES RUNNING ACROSS / THROUGH THE CHANNEL(S) SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL(S) REPAIRED AND STABILIZED PER THE CHANNEL CROSS-SECTION DETAIL.
 - VEGETATED CHANNELS SHALL BE CONSTRUCTED FREE OF ROCKS, TREE ROOTS, STUMPS OR OTHER PROJECTIONS THAT WILL IMPEDE NORMAL CHANNEL FLOW AND/OR PREVENT GOOD LINING TO SOIL CONTACT. THE CHANNEL SHALL BE INITIALLY OVER EXCAVATED TO ALLOW FOR THE PLACEMENT OF TOPSOIL.

TYPICAL VEGETATED SWALES

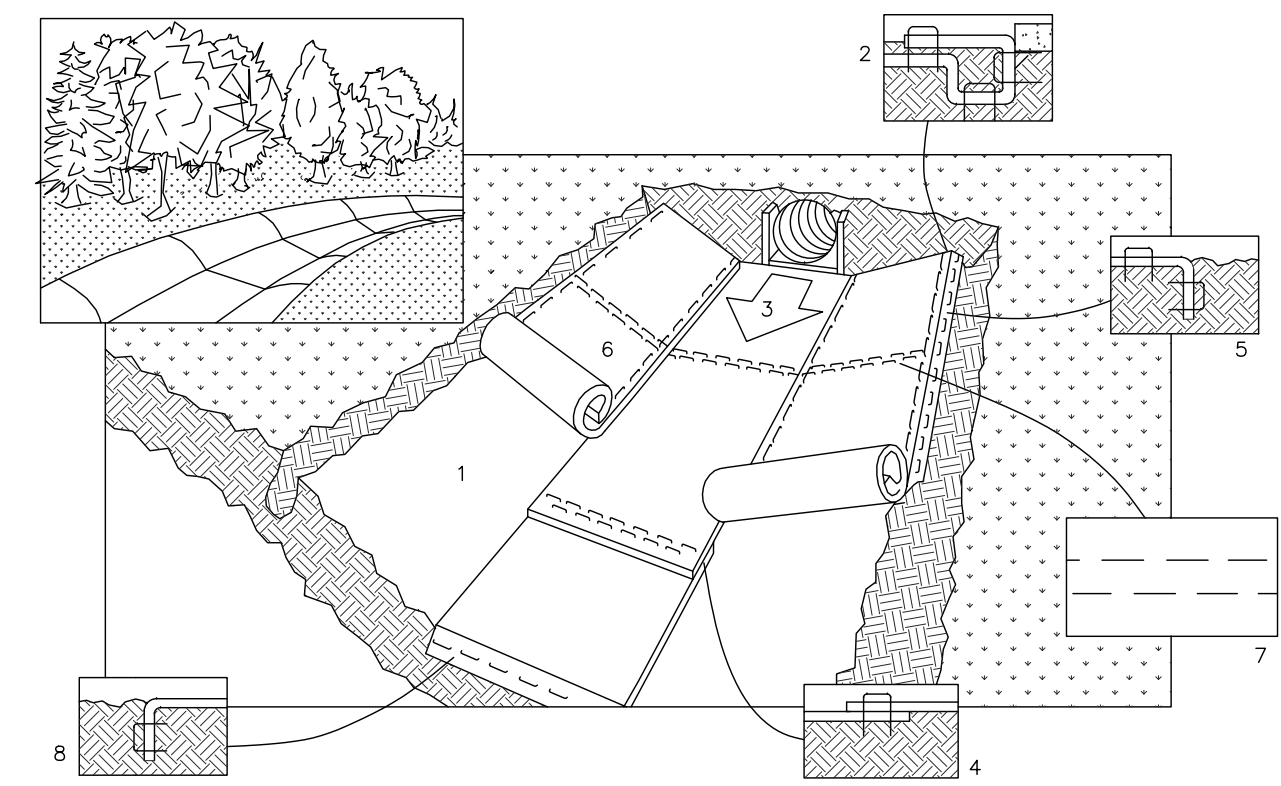
TABLE 4.1 COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS						
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE MESH	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE HDPEPP	PHOTO-DEGRADABLE
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH	23% AT 1000 HR	23% AT 1000 HR	26 PSI	44 PSI	202 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM D-155)	23% AT 1000 HR	23% AT 1000 HR	26 PSI	44 PSI	202 PSI	202 PSI
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS	2 YEARS

TABLE 4.2 COMPOST STANDARDS	
ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 (5% M) MPHOS/CM MAXIMUM

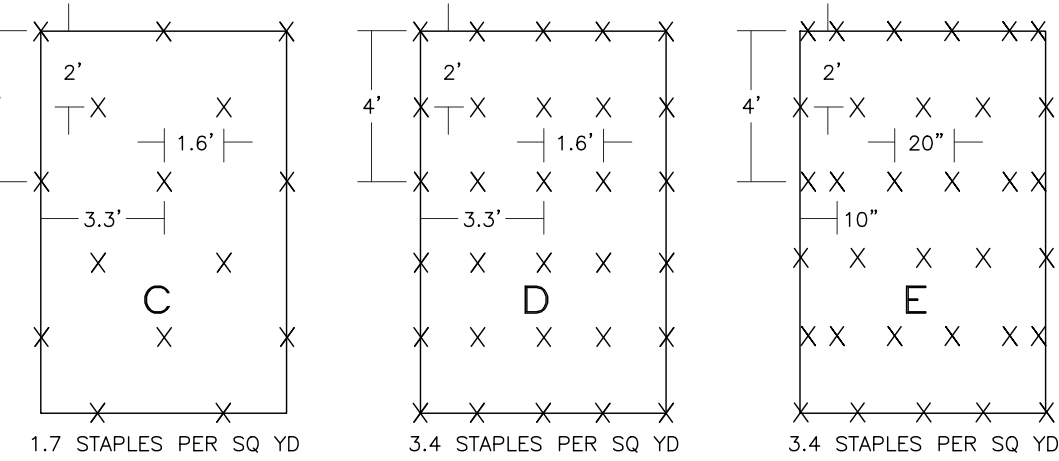


- NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FILL REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" (5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 - CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

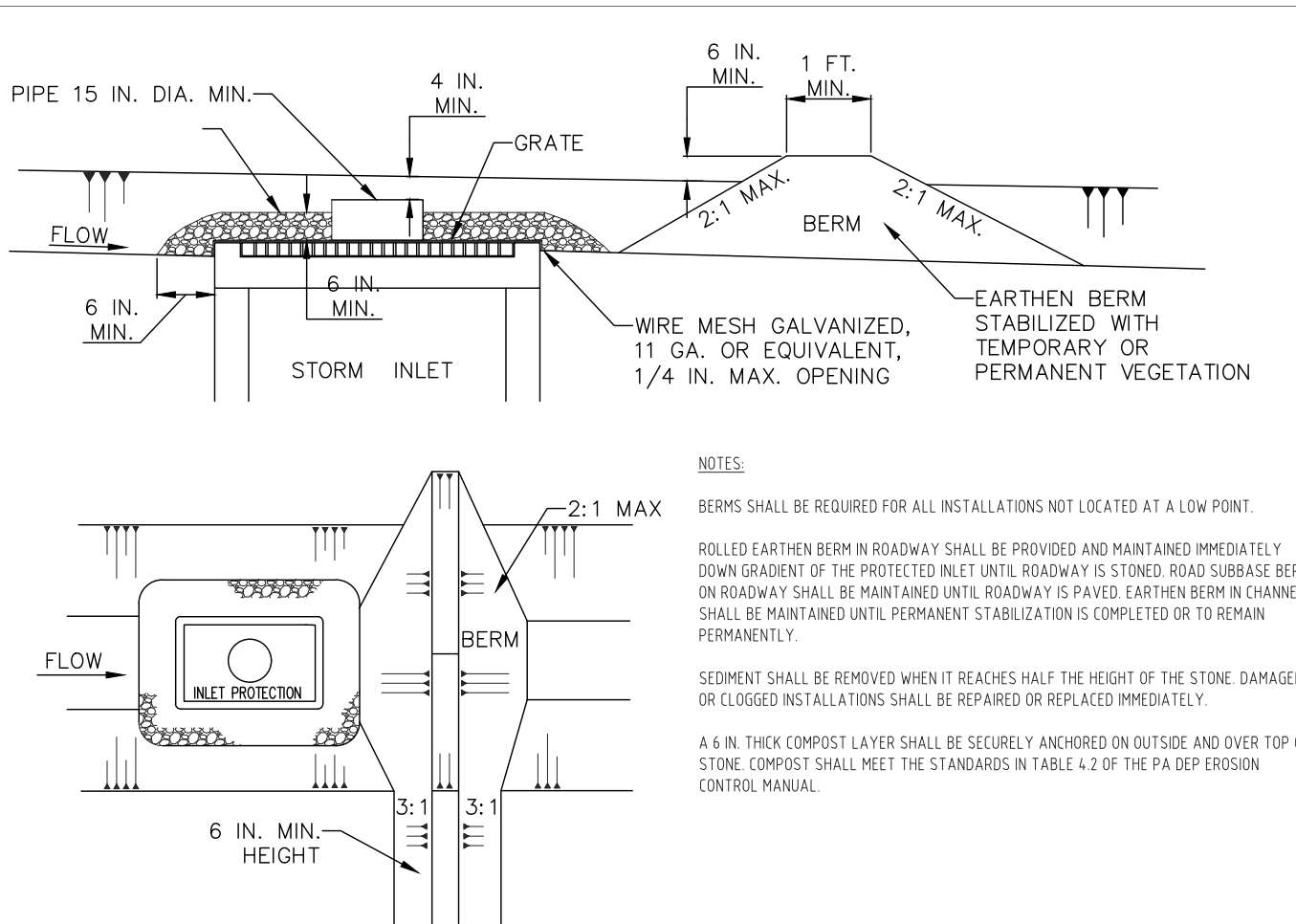
SLOPE PROTECTION INSTALLATION DETAIL



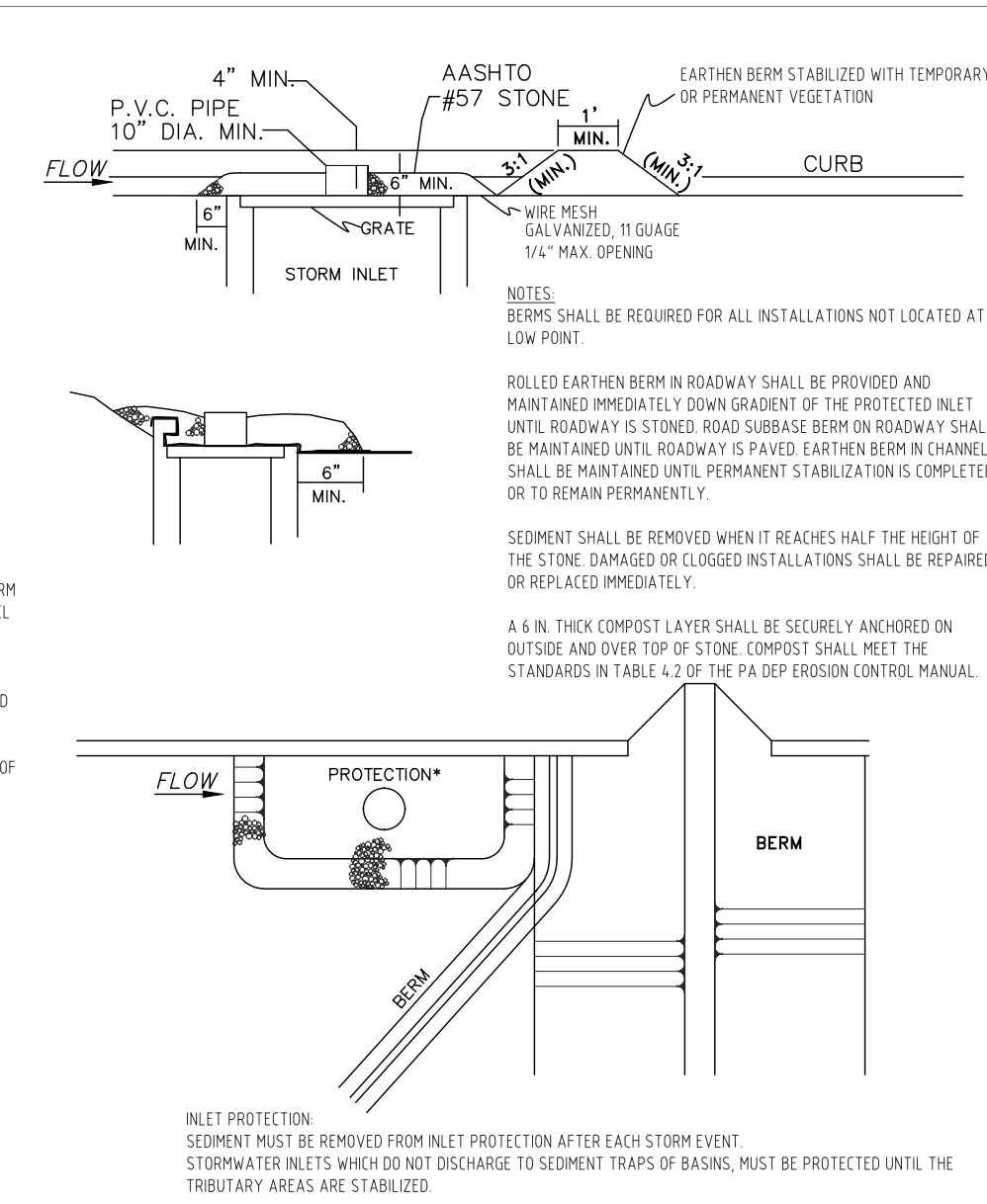
- NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
 - BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW ON BOTTOM OF CHANNEL.
 - PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH A 6" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE BLANKETS.
 - FULL LENGTH EDGE BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - BLANKETS ON SIDE SLOPES MUST BE OVERLAPPED 4" OVER THE CENTER BLANKET AND FOOTED (2" FOR C350 MATTING).
 - IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
 - THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.



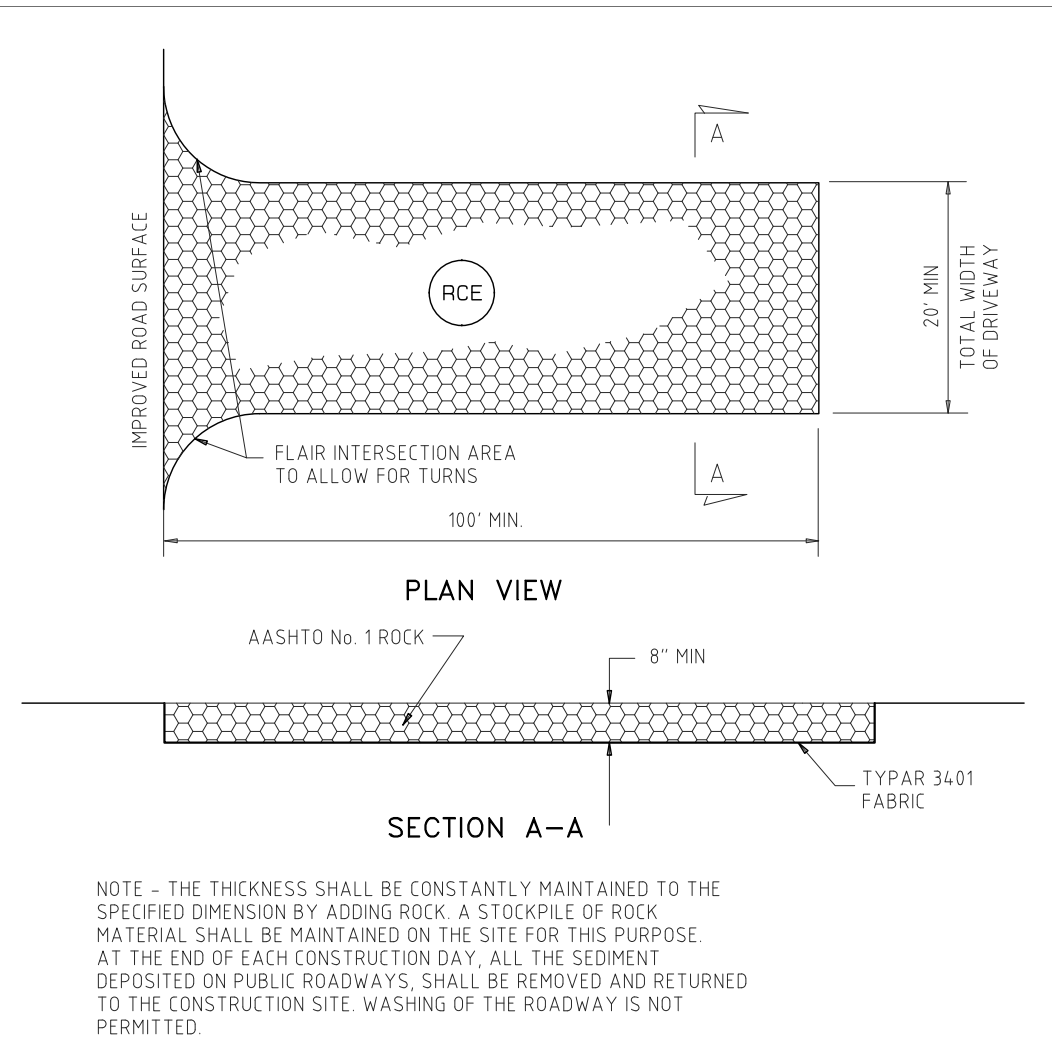
STAPLE PATTERN GUIDE



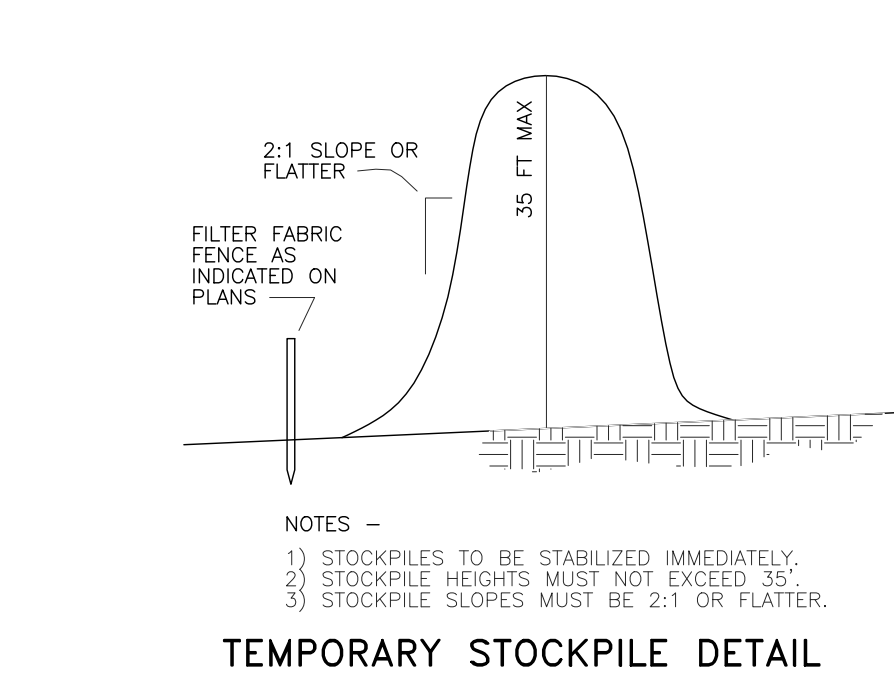
TYPE M INLET PROTECTION DETAIL



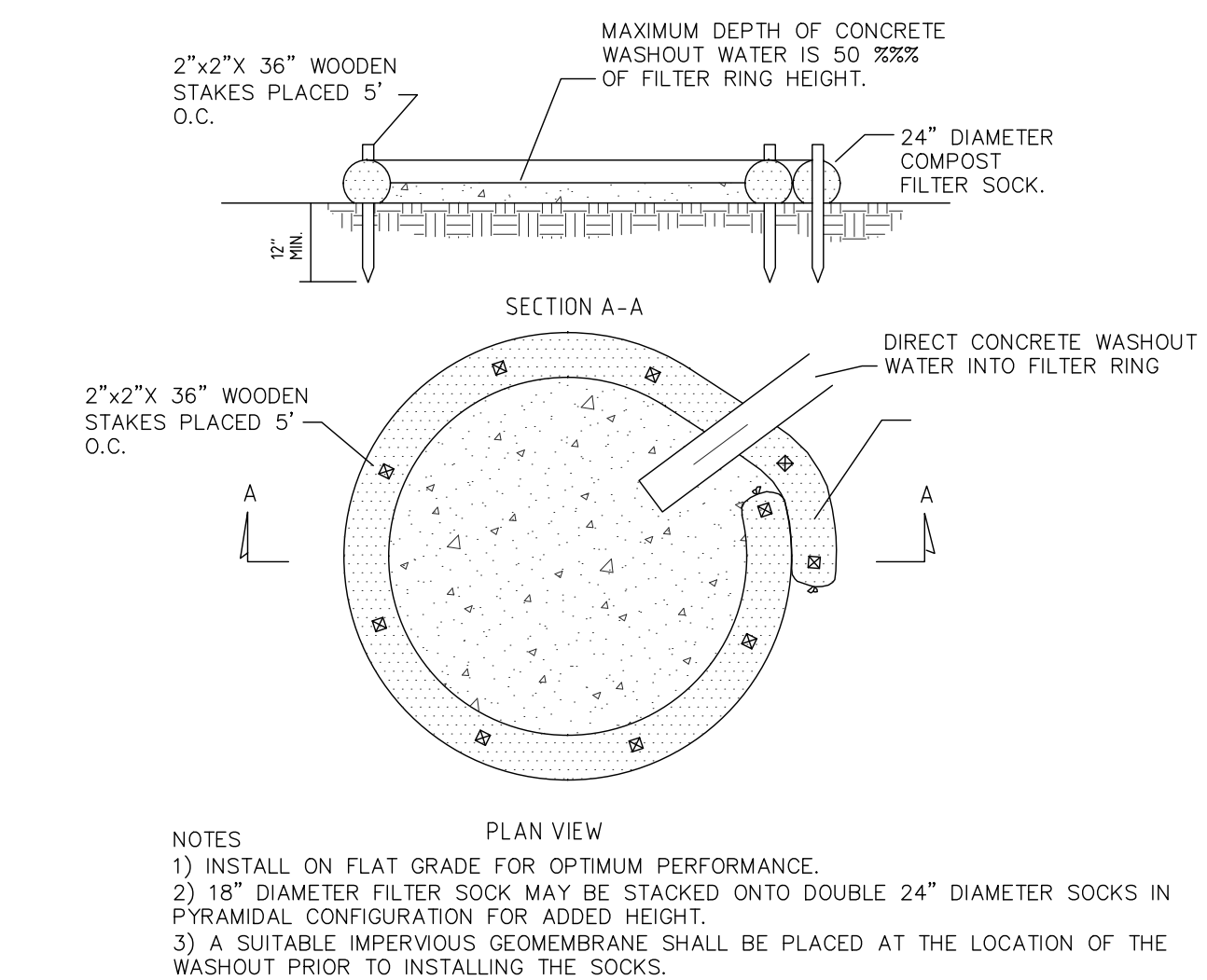
TYPE C INLET PROTECTION DETAIL



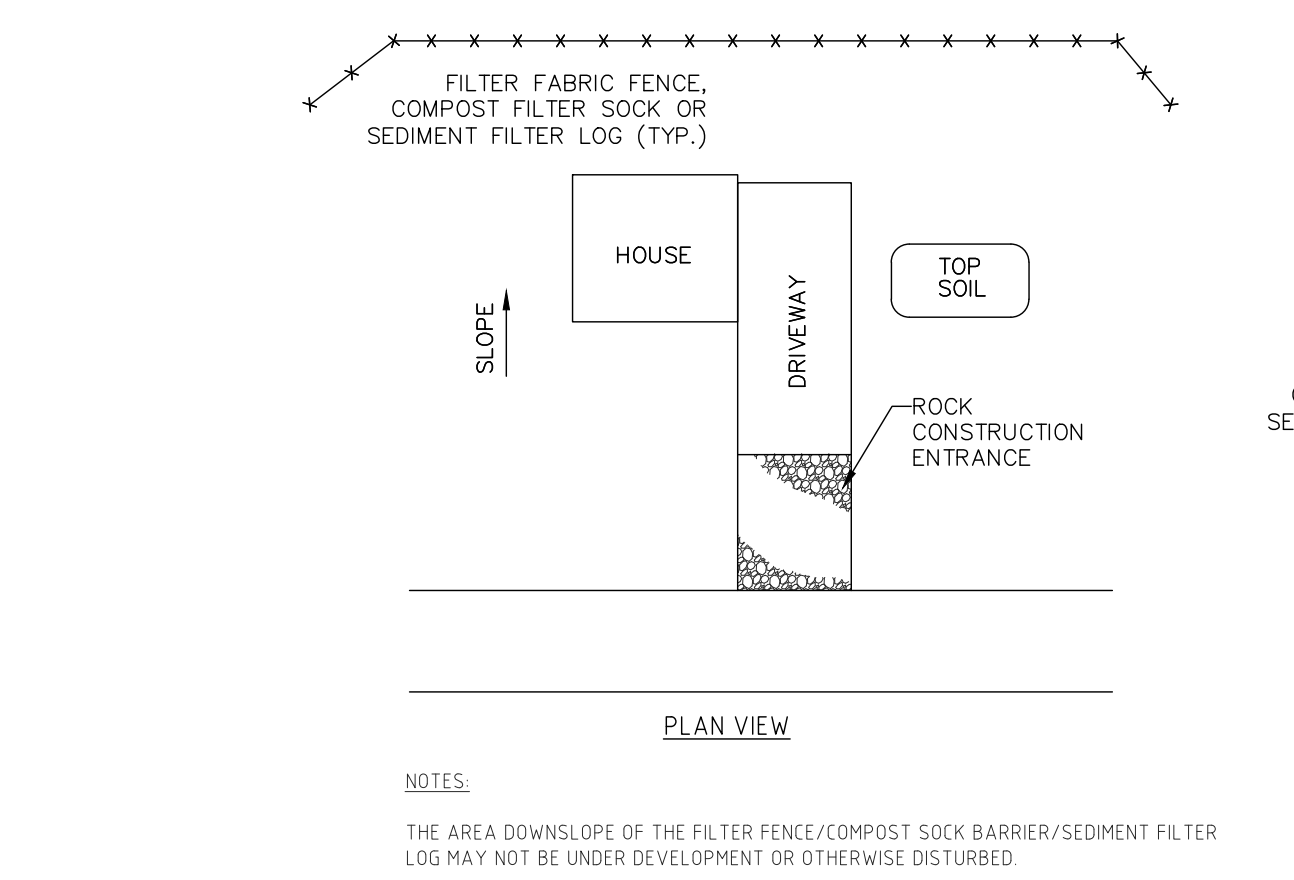
ROCK CONSTRUCTION ENTRANCE NOT TO SCALE



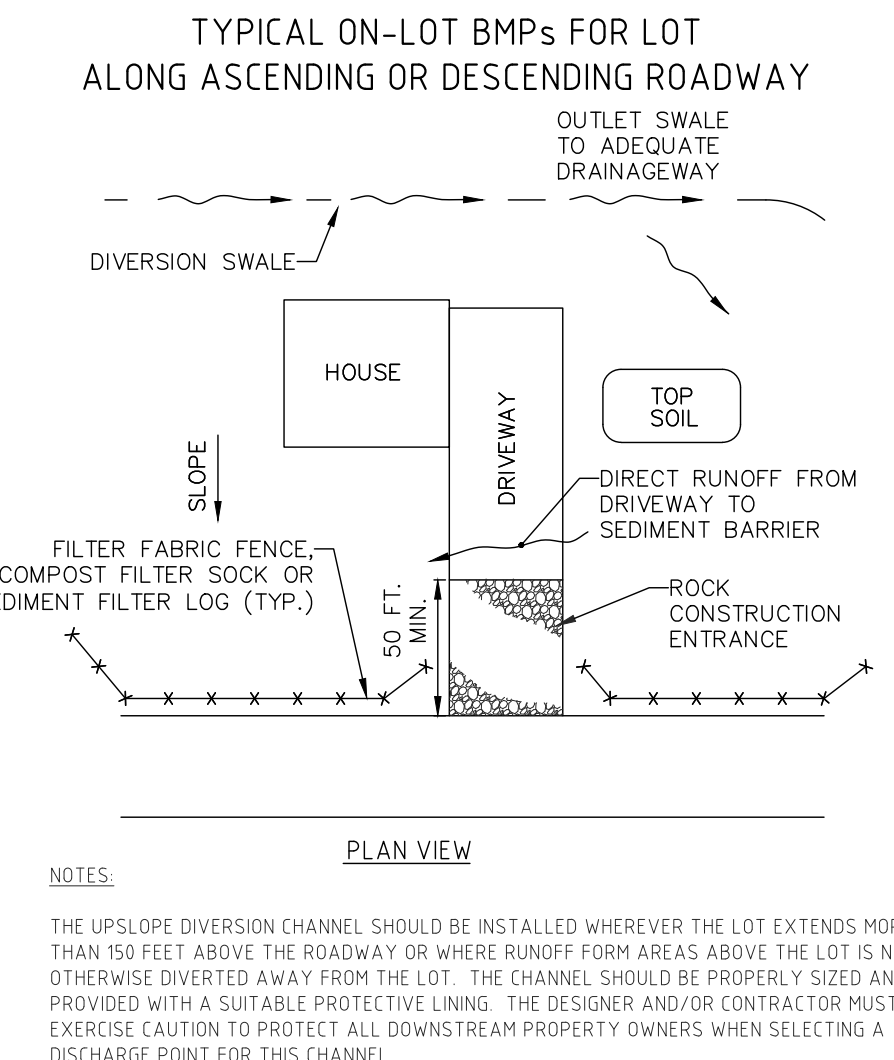
TEMPORARY STOCKPILE DETAIL



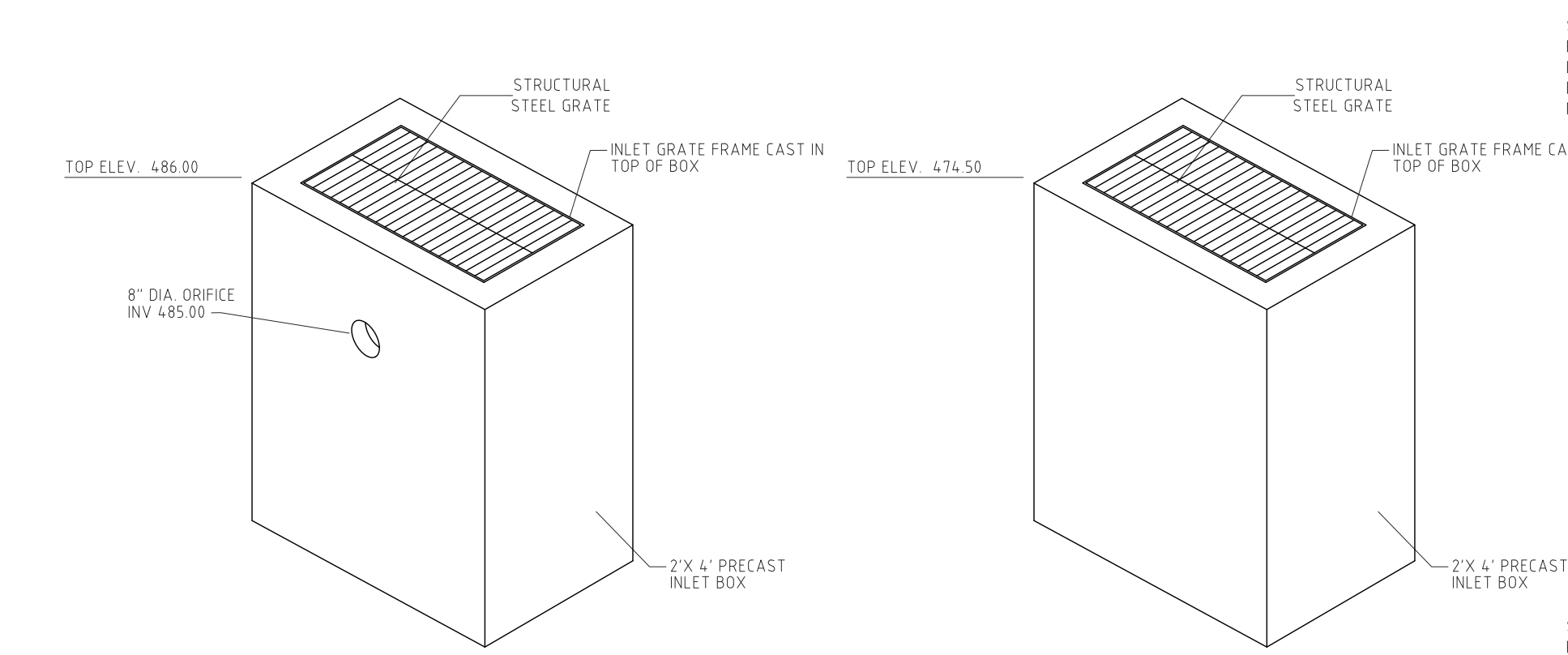
COMPOST SOCK CONCRETE WASHOUT DETAIL



TYPICAL ON-LOT BMPs FOR LOT BELOW ROADWAY



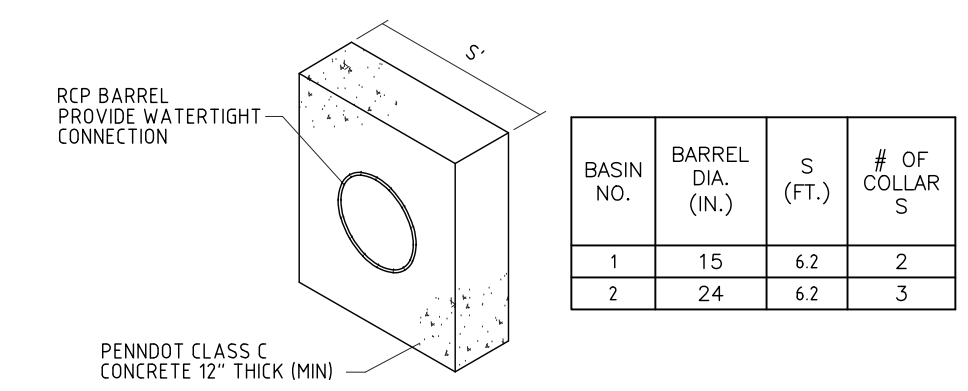
TYPICAL ON-LOT BMPs FOR LOT ABOVE ROADWAY



NOTES
1. PROVIDE MANHOLE STEPS IN ACCORDANCE WITH PENNDOT RC-39.
2. OUTLET STRUCTURE MANUFACTURED BY TERRE HILL CONCRETE PRODUCTS (800) 242-1509, OR APPROVED EQUAL.

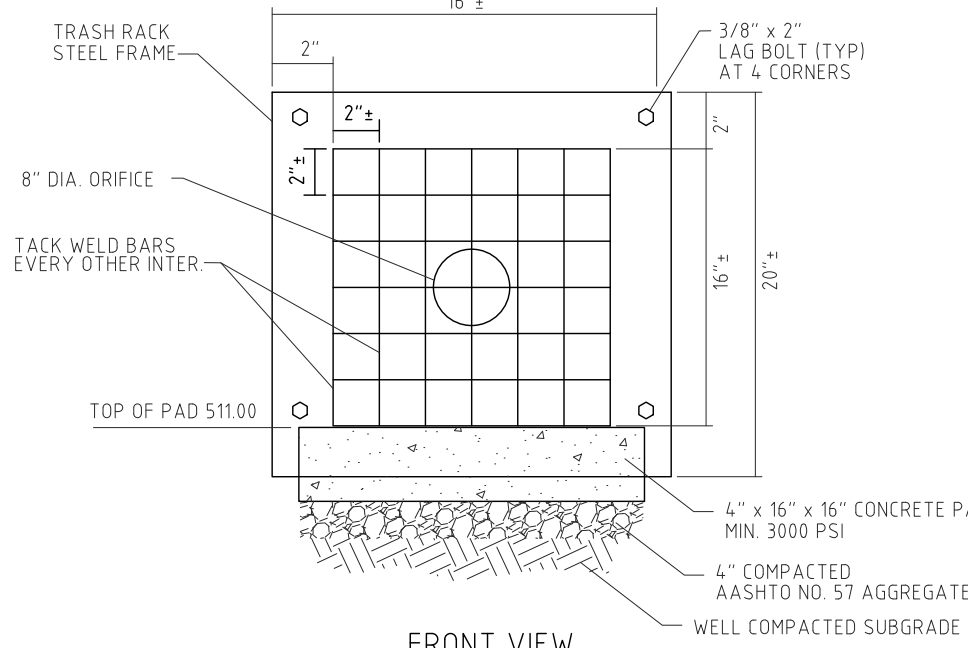
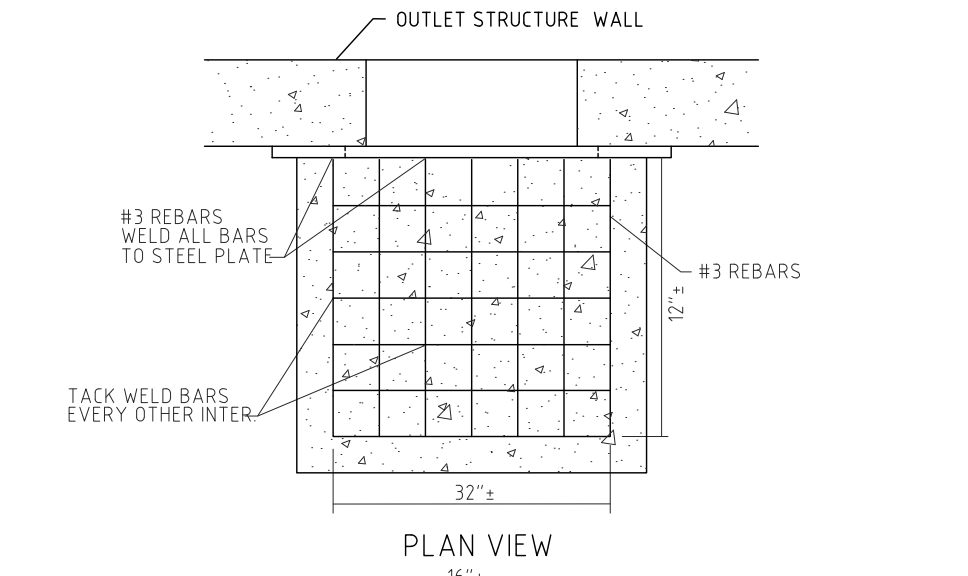
INFILTRATION BASIN OUTLET STRUCTURE (OS-1)

INFILTRATION BASIN OUTLET STRUCTURE (OS-2)



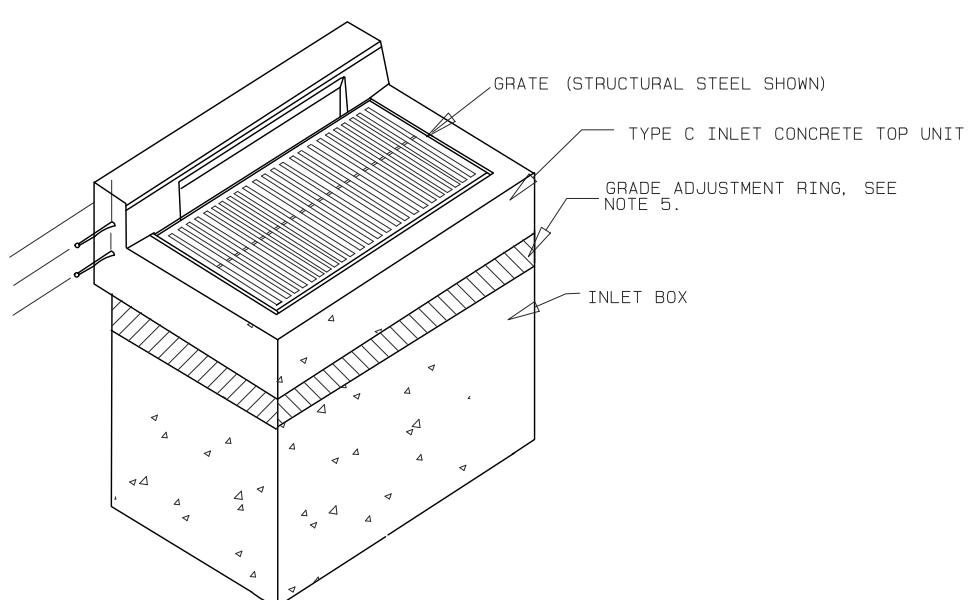
BASIN NO.	BARREL DIA. (IN.)	S (FT.)	# OF COLLAR S
1	15	6.2	2
2	24	6.2	3

TYPICAL ANTI-SEEP COLLAR

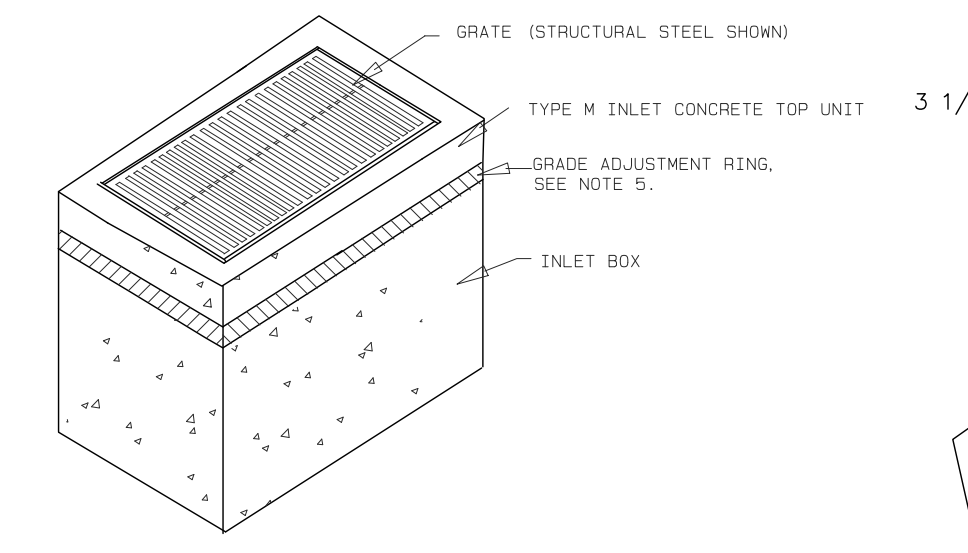


NOTES
1. APPLY 2 COATS OF RUST-INHIBITIVE PAINT TO ALL BARS AFTER WELDING.
2. OPENINGS IN TRASH RACK SHALL NOT EXCEED 1/2" OF ORIFICE SIZE.

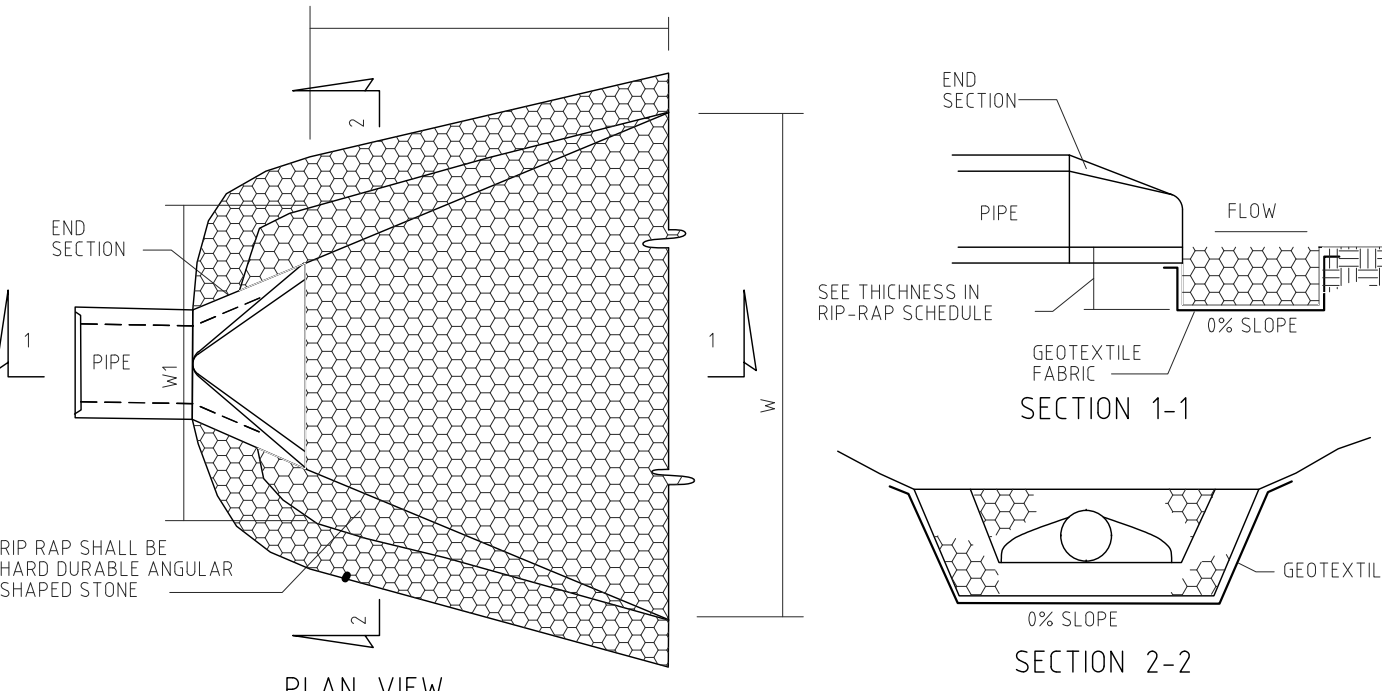
BASIN 1 OUTLET PLATE DETAIL



TYPE C INLET



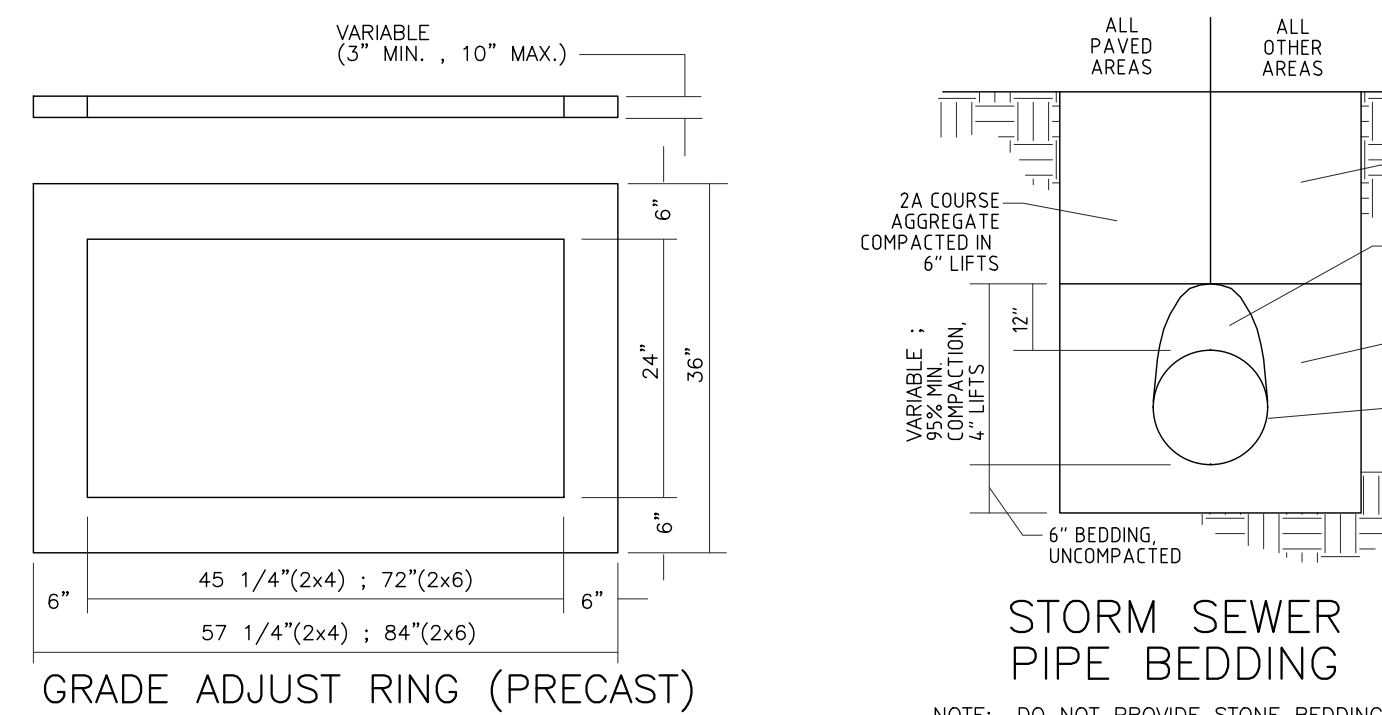
TYPE M INLET



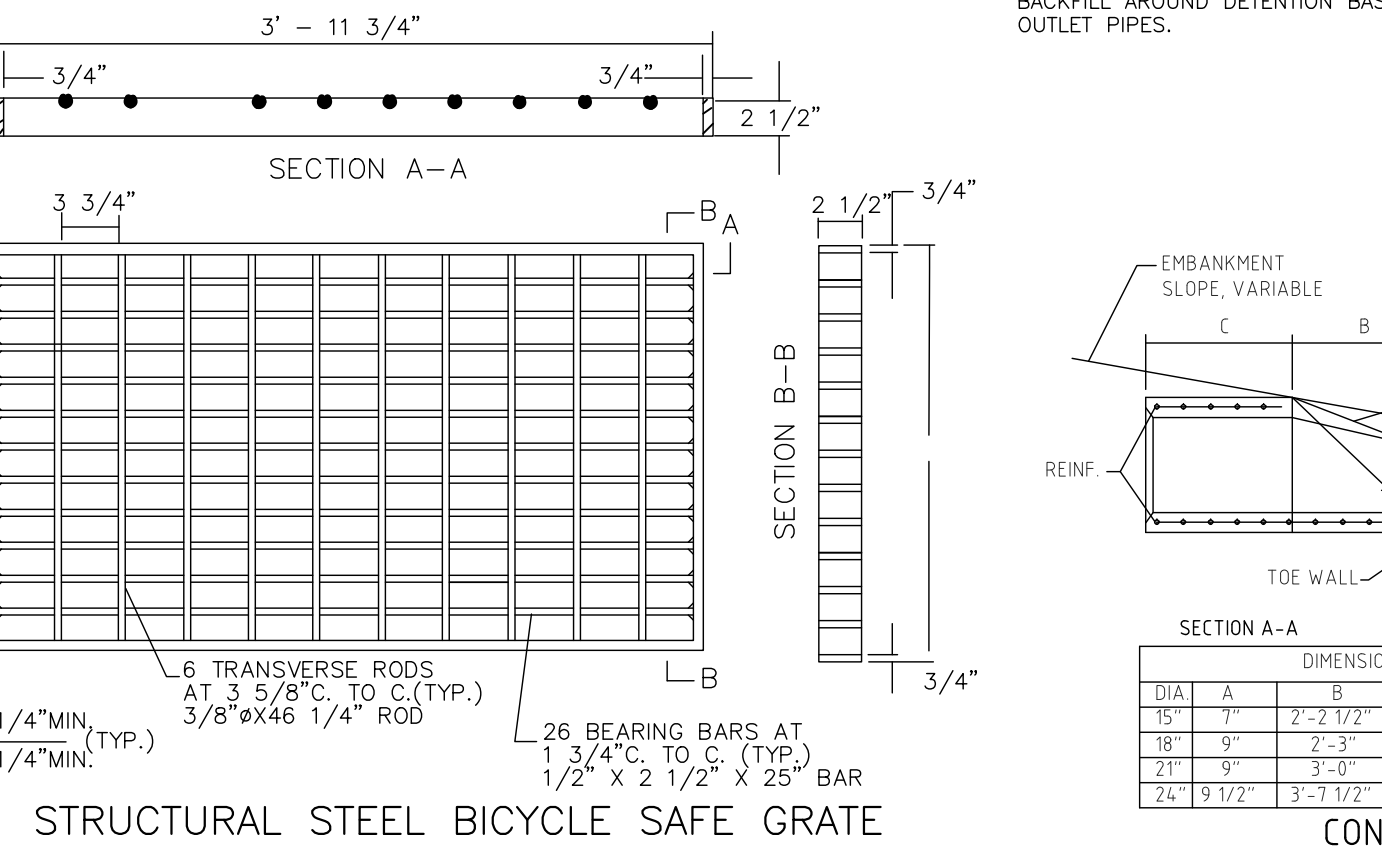
PERCENT PASSING (SQUARE OPENING)						
PENNDOT CLASSIFICATION CLASS, SIZE NO.	R-8	R-7	R-6	R-5	R-4	R-3
48	100+					
30		100+				
24	15-50		100+			
18		15-50	100+			
15	0-15	15-50		100+		
12		0-15	15-50		100+	
9		0-15	15-50			100+
6		0-15		15-50	100+	
4		0-15			15-50	100+
3				0-15	15-50	
2					0-15	
	72"	45"	36"	27"	18"	9"

RIP RAP CHART					
END SECTION NO.	PIPE DIA. (IN.)	L3 (FT)	W (FT)	W1 (FT)	PENNDOT CLASSIFICATION
EW-1	24	12.00	18.00	6.00	R-4
ES-1	36	9.00	23.00	32.00	R-6
ES-2	15	10.00	13.75	3.75	R-5

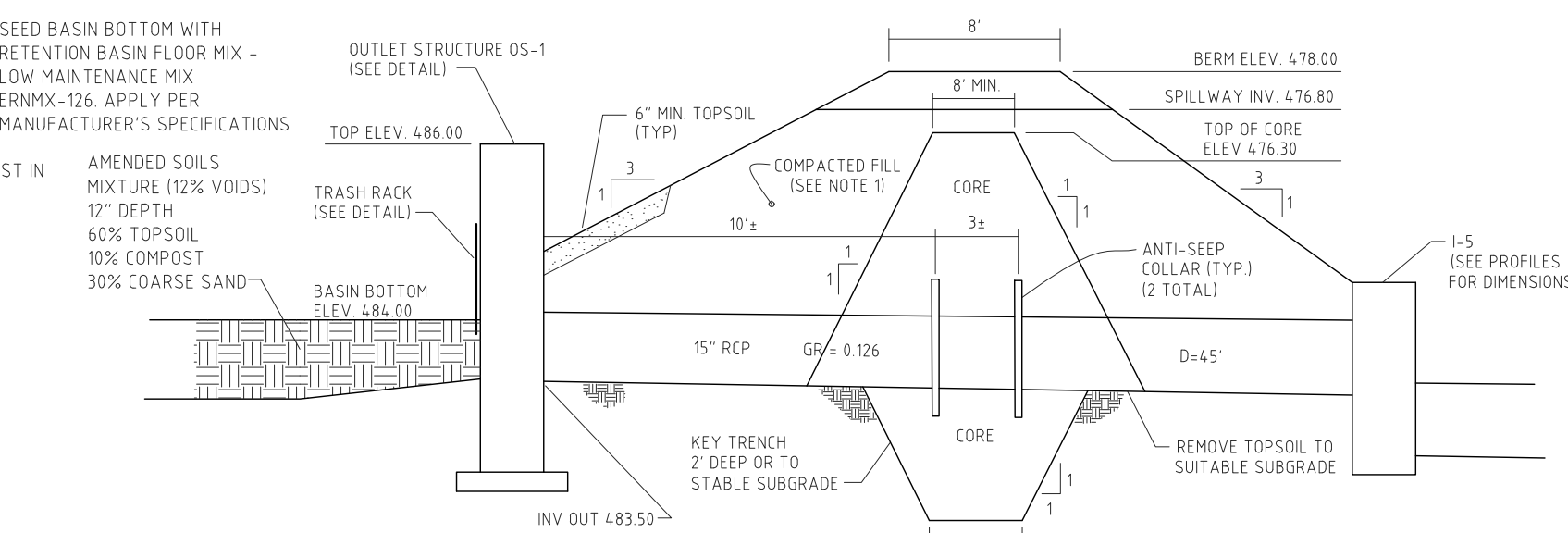
RIP RAP APRON DETAIL



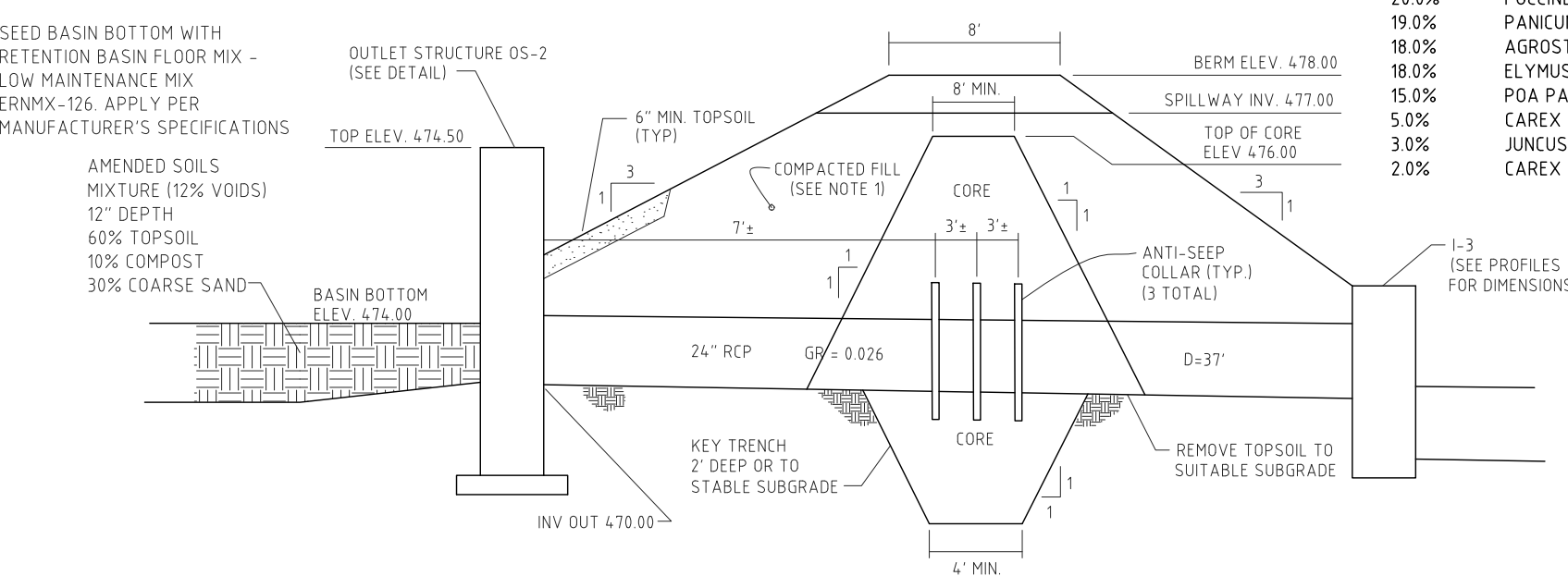
GRADE ADJUST RING (PRECAST)



STRUCTURAL STEEL BICYCLE SAFE GRATE



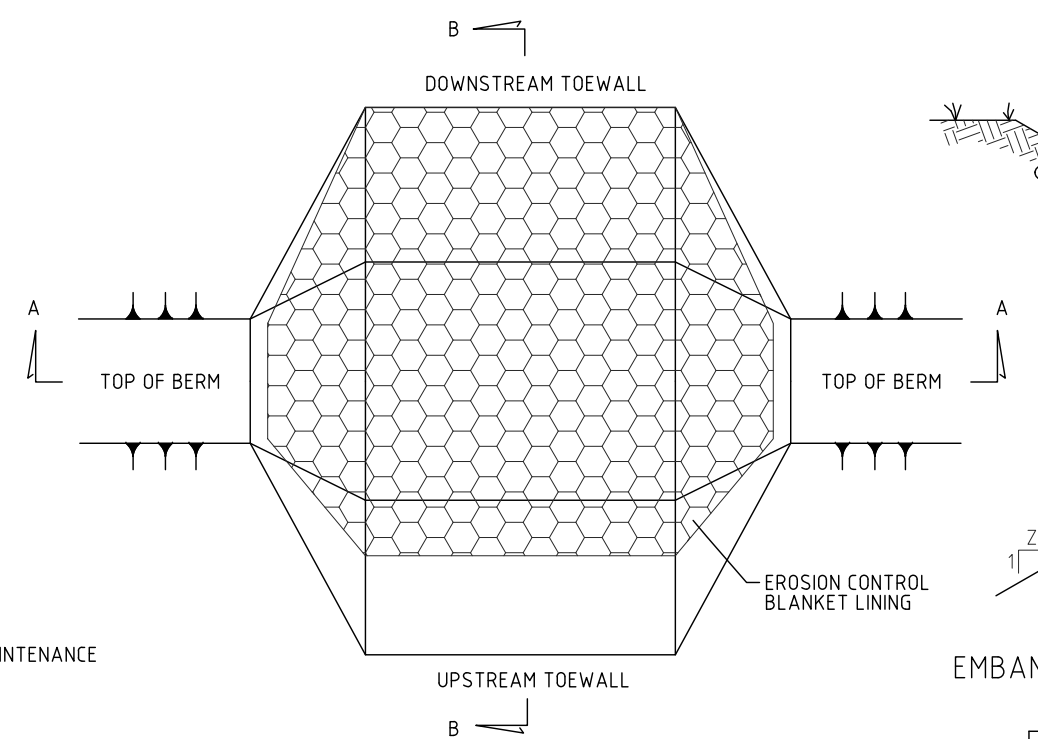
INFILTRATION BASIN #1 CROSS-SECTION



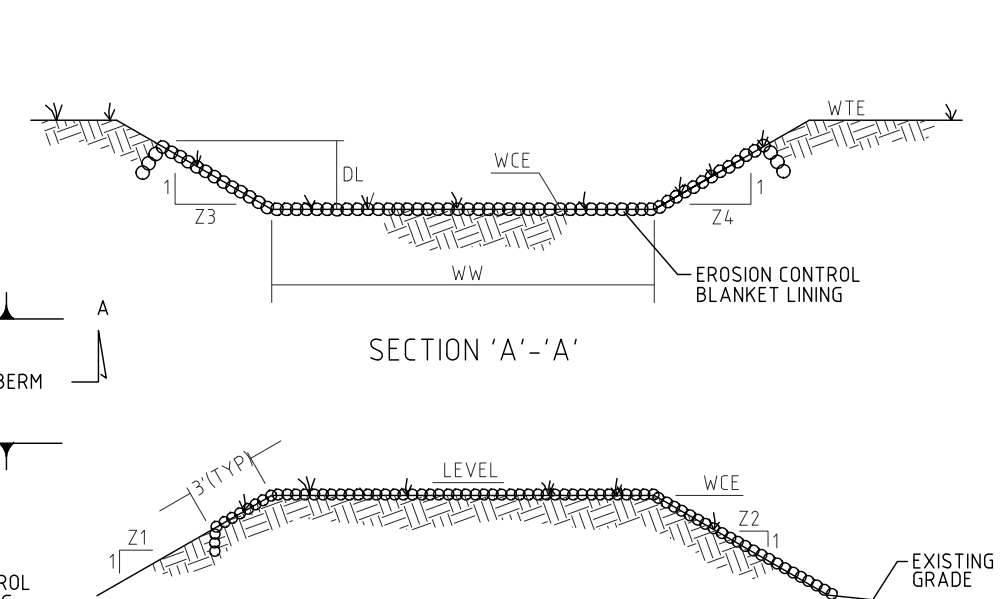
INFILTRATION BASIN #2 CROSS-SECTION

RETENTION BASIN FLOOR MIX - LOW MAINTENANCE

20.0%	PUCCELLIA DISTANS, 'FULST'
19.0%	PANICUM CLADESTINUM, 'TOGA'
18.0%	AGROSTIS STOLONIFERA
18.0%	ELYMUS VIRGINICUS, PA ECOTYPE
15.0%	POA PALUSTRIS
5.0%	CAREX VULPINODEA, PA ECOTYPE
3.0%	JUNCUS EFFUSUS
2.0%	CAREX SCOPARIA, PA ECOTYPE



PLAN VIEW



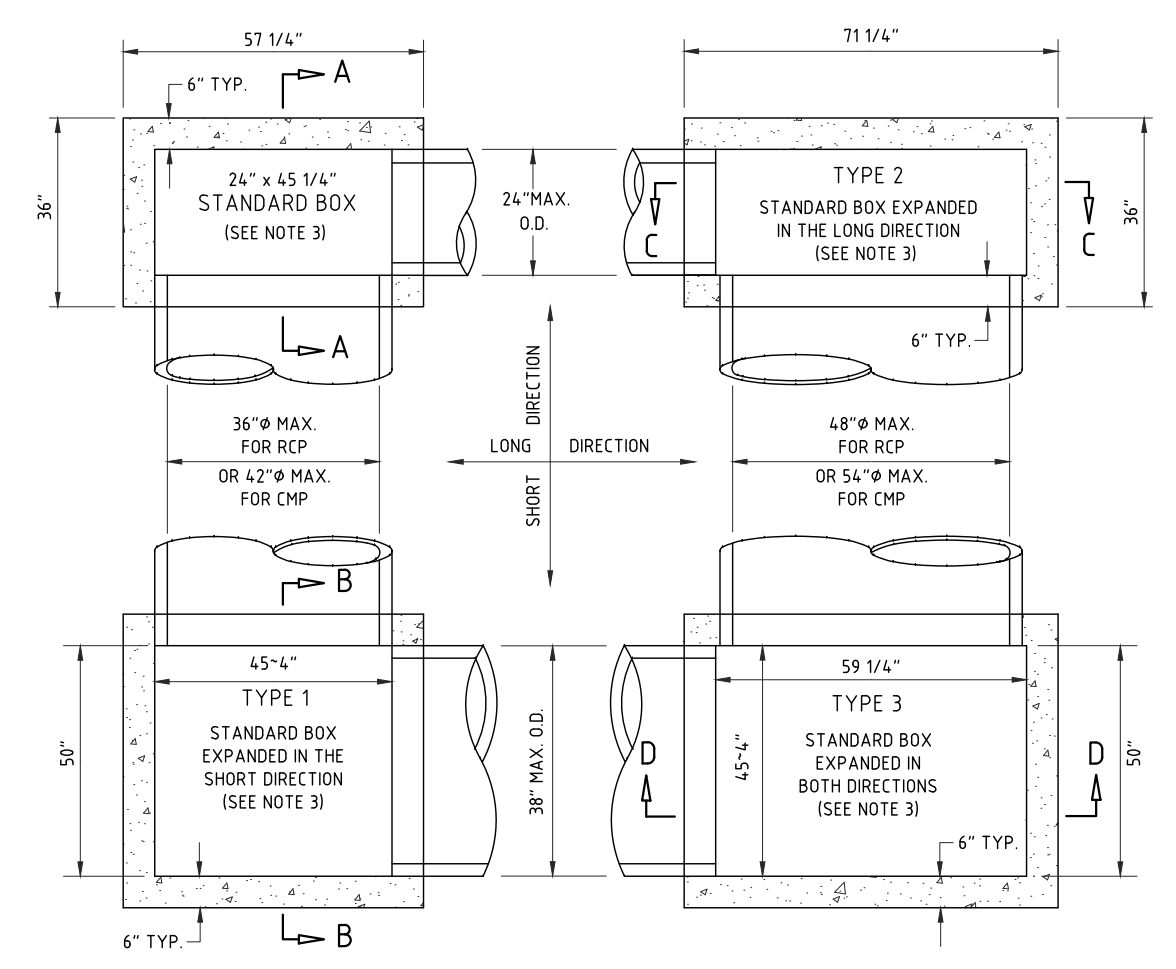
EMBANKMENT SECTION 'B' - 'B' ALONG EMERGENCY SPILLWAY

WEIR				ECB LINING			
BASIN	Z3	Z4	TOP ELEV. (FT)	CREST ELEV. (FT)	WIDTH (FT)	MAT'L & STAPLE PATTERN	LINING DEPTH (FT)
2	3	3	4.78.00	4.77.00	100	PSS0/E	1.0'

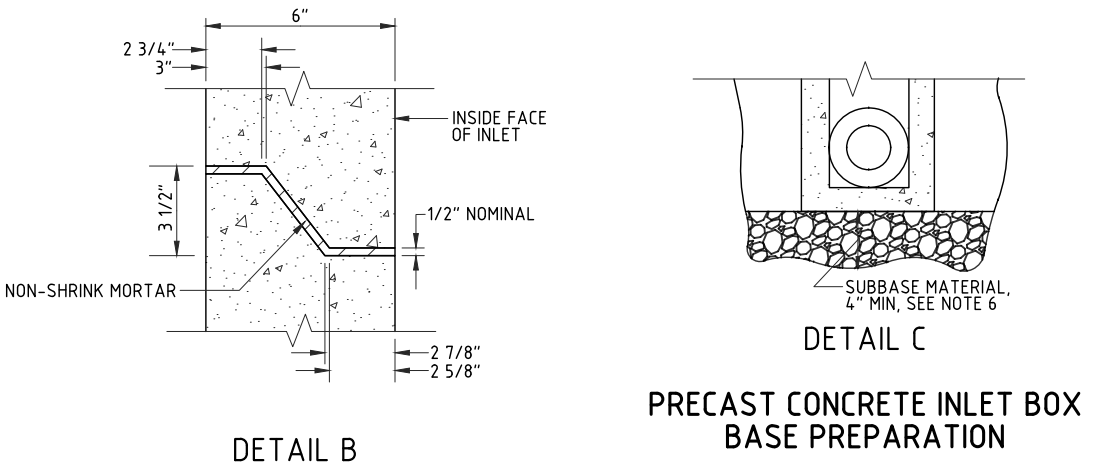
BASIN EMERGENCY SPILLWAY

INFILTRATION BASIN CONSTRUCTION NOTES:

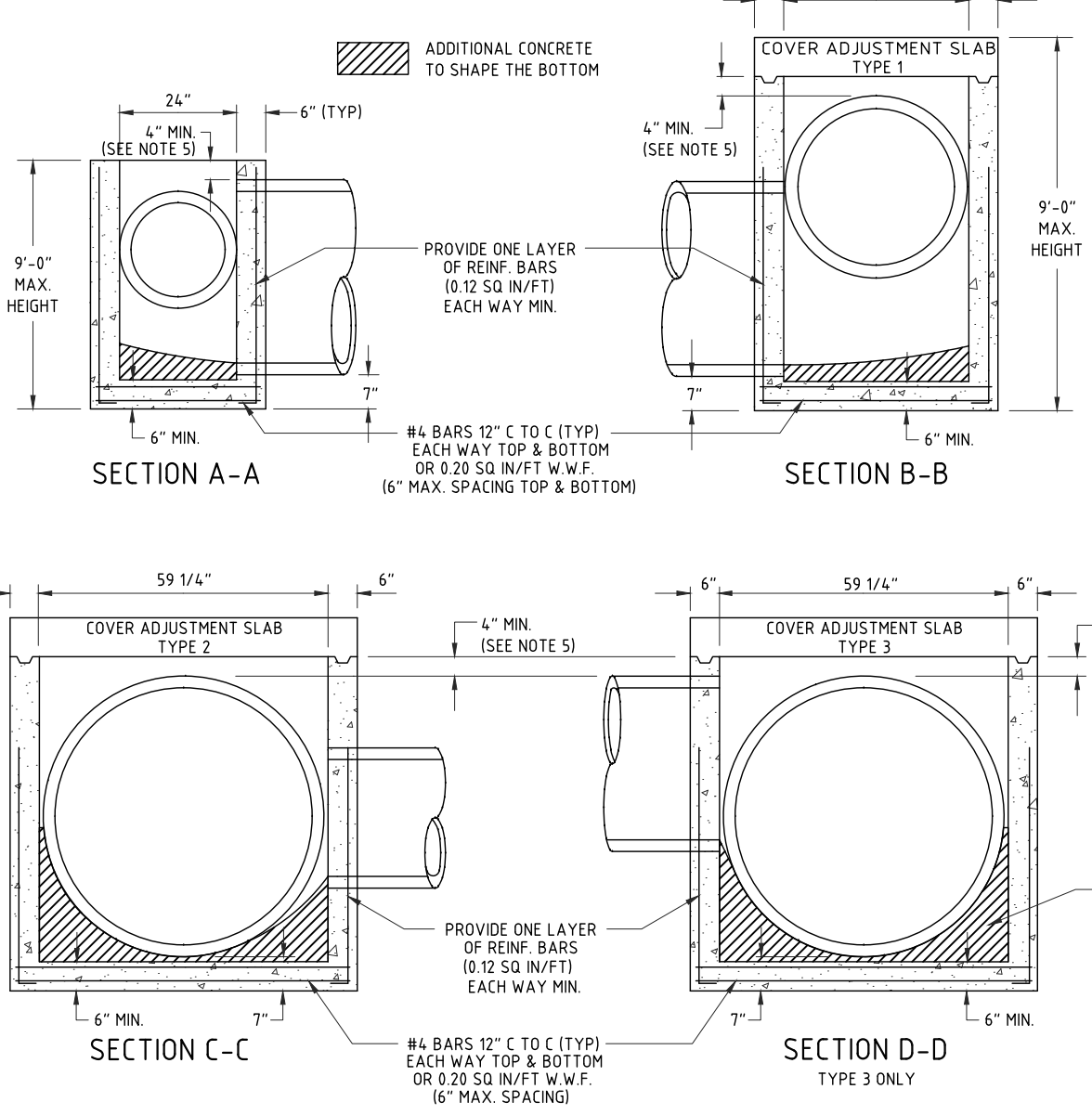
- EMBANKMENT MATERIAL SHALL CONSIST OF SUITABLE MATERIAL FREE OF ALL ROOTS, SOD, FROZEN SOIL, ROCK OVER 4" IN DIAMETER, AND ANY OTHER MATERIAL NOT APPROVED BY THE ENGINEER. FILL SHALL BE COMPACTED IN 8" LIFTS TO AT LEAST 95% OF STANDARD MAXIMUM DRY DENSITY PER ASTM D698, STANDARD PROCTOR PRIOR TO PLACEMENT OF A NEW LIFT. THE TOP 3" OF THE PREVIOUS LIFT SHALL BE SCARIFIED.
- CORE MATERIAL TO BE LAYEY SOIL UNIMPED CLASS CL, ML, OR CL-ML COMPACTED TO 98% MAXIMUM DRY DENSITY.
- EMBANKMENT CORE MAY BE ELIMINATED IF THE ENTIRE EMBANKMENT CONFORMS TO NOTE 2. KEY TRENCH CORE IS STILL REQUIRED.
- AFTER SITE IS PERMANENTLY STABILIZED, REMOVE SEDIMENT, EXCAVATE TO FINAL SUBGRADE, SPREAD 6" OF TOPSOIL INSIDE BASIN BELOW CLEANOUT ELEVATION AND PERMANENTLY STABILIZE PER SEEDING AND MULCHING SPECIFICATIONS.
- BASIN BOTTOM AND EMBANKMENT TO BE TOPSOILED AND PERMANENTLY SEEDED AND MULCHED PER SEEDING AND MULCHING SPECIFICATIONS.
- RCP OUTLET PIPE SHALL BE PROVIDED WITH WATERTIGHT COUPLERS.
- DO NOT PROVIDE STONE BEDDING OR BACKFILL AROUND THE OUTLET PIPE.
- PIPE LENGTH IS MEASURED TO THE OUTFALL END OF THE END SECTION, WHERE APPLICABLE.



- NOTES:
- CONSTRUCT INLET BOXES IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLICATION 408, SECTION 7H.
 - PERMIT ONLY PRECAST INLET BOXES SUPPLIED BY A MANUFACTURER LISTED IN BULLETIN 15, USE CLASS AA CEMENT CONCRETE FOR PRECAST BOXES. FOR DEVIATIONS OR MODIFICATIONS OF THE STANDARDS, SUBMIT SHOP DRAWINGS FOR APPROVAL.
 - PROVIDE STANDARD INLET BOXES AND COVER ADJUSTMENT SLABS WITH A 24" x 45" OPENING TO ACCOMMODATE STANDARD TOP COMPONENTS.
 - FOR INLETS THAT DEVIATE FROM THE STANDARD SUBMIT SPECIAL DETAILS AND DESIGN FOR THE INLET WALLS AND BASE TO THE BUREAU OF CONSTRUCTION FOR REVIEW AND APPROVAL. CONSTRUCT INLETS THAT EXCEED 5' IN HEIGHT WITH STEPS SIMILAR TO MANHOLES (SEE RC-39M). FOR INLETS OTHER THAN AS SHOWN ON THE STANDARDS, PROVIDE REINFORCEMENT BASED ON HS-25 LOADING AND IN ACCORDANCE WITH PUBLICATION 408M.
 - LOCATE PIPE OR PIPES, AS INDICATED, WITH THE INLET BOTTOM SHAPED TO CHANNEL THE FLOW TOWARD THE OUTLET PIPE. WHEN PROJECT CONDITIONS REQUIRE PIPE BLOCKOUTS TO BE FORMED WITHIN 4" FROM THE TOP OF THE INLET BOX, PROVIDE AN ADDITIONAL #3 REINFORCEMENT BAR LOCATED 15/8" FROM THE TOP OF THE INLET BASE, FULL WIDTH ALONG THE INLET FACE. REMOVE ANY VISIBLE PORTION OF THE BAR, IF REQUIRED DURING INSTALLATION AND PRIOR TO JOINING THE PIPE TO THE INLET. IF REINFORCED CONCRETE PIPE IS USED, THE PIPE BLOCKOUT MAY BE FORMED FLUSH WITH THE INLET BASE. LIMIT PIPE BLOCKOUT OF WALL TO 1".
 - PLACE SUBBASE MATERIAL MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 350.2, IN LAYERS 4" THICK, COMPACTED TO A DENSITY SATISFACTORY TO THE ENGINEER AND INCIDENTAL TO THE INLET PAY ITEM.
 - FOR PIPE DIAMETERS LARGER THAN 48" RCP OR 54" CMP, USE A MODIFIED INLET BOX.
 - TAPERS MAY BE PROVIDED ON VERTICAL FACES OF PRECAST INLET BOX BASE UNITS TO FACILITATE FORM STRIPPING. TAPERS WILL RESULT IN INTERNAL BOTTOM DIMENSIONS THAT VARY TO A MAXIMUM OF 1".
 - PROVIDE SUITABLE LIFTING DEVICES FOR HANDLING AND INSTALLATION. GALVANIZED METAL DEVICES AS SPECIFIED IN PUBLICATION 408 SECTION 1105. TAPERS MAY BE PROVIDED ON INSIDE VERTICAL FACES OF PRECAST INLET TOPS TO FACILITATE FORM STRIPPING. TAPERS WILL RESULT IN INTERNAL BOTTOM DIMENSIONS THAT VARY TO A MAXIMUM OF 1".



PRECAST CONCRETE INLET BOX BASE PREPARATION



NOTE
JUNCTION BOXES SHALL BE TYPE 1 BOXES WITH 8" SLAB TOP (HS-25 LOADING UNDER PAVING) AND 24" MANHOLE FRAME AND LID. LIDS SHALL HAVE THE WORDS "STORM SEWER" CAST IN RAISED LETTERS.

PRECAST CONCRETE BOXES FOR STORM INLETS AND JUNCTION BOXES

COVER ADJUSTMENT SLABS

2815 PENN AVENUE
WEST LAWN, PA
610-927-4242

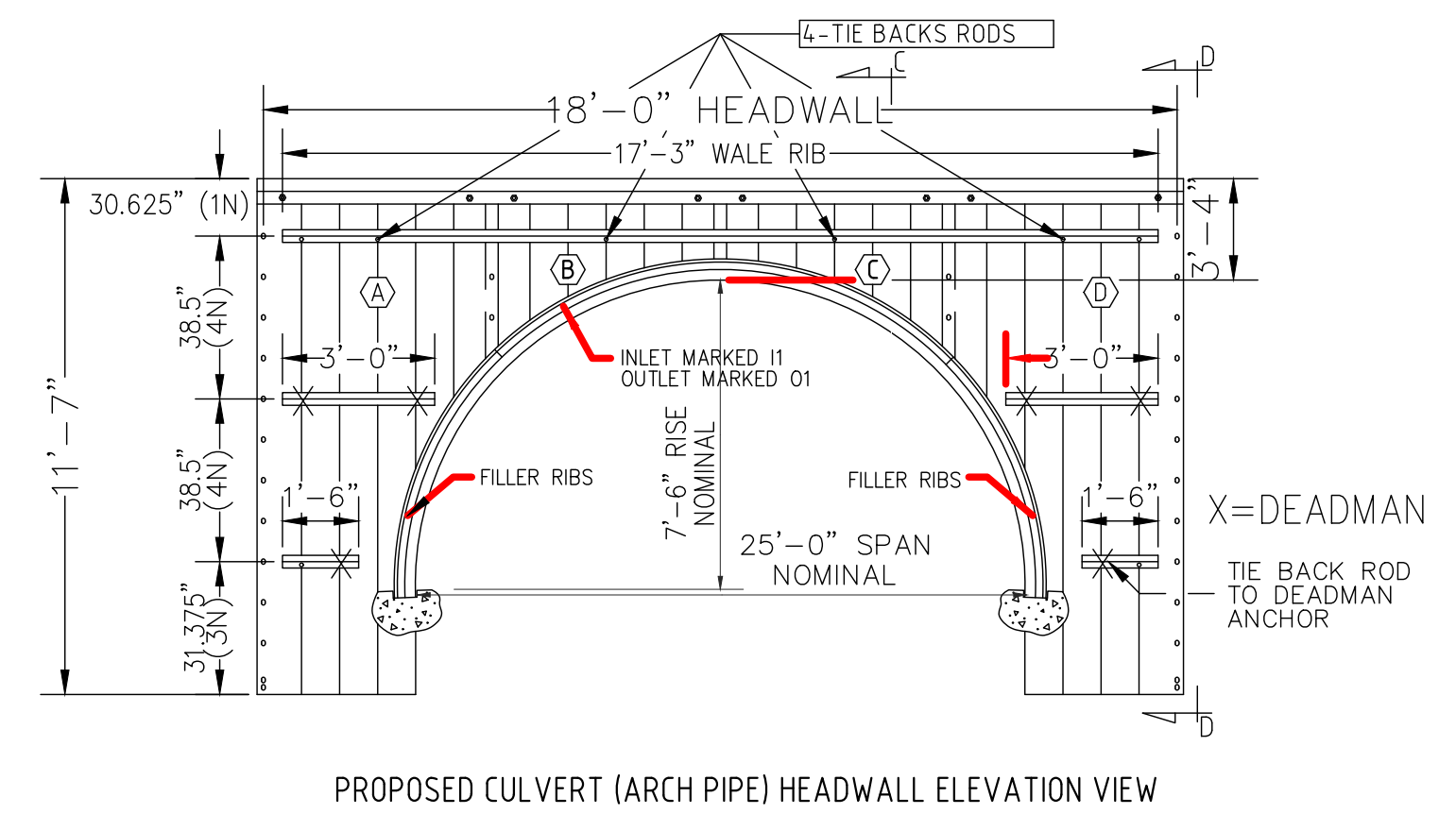
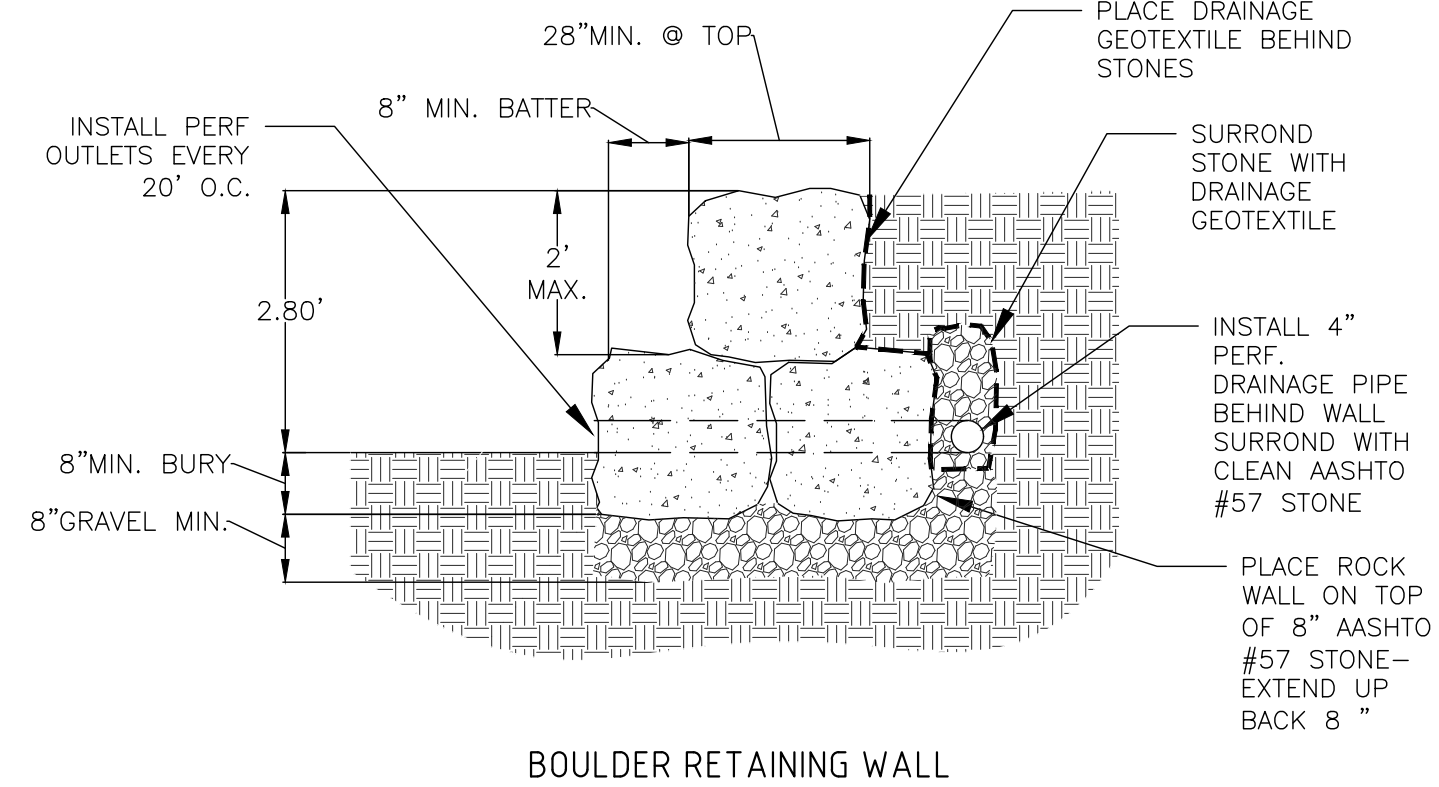
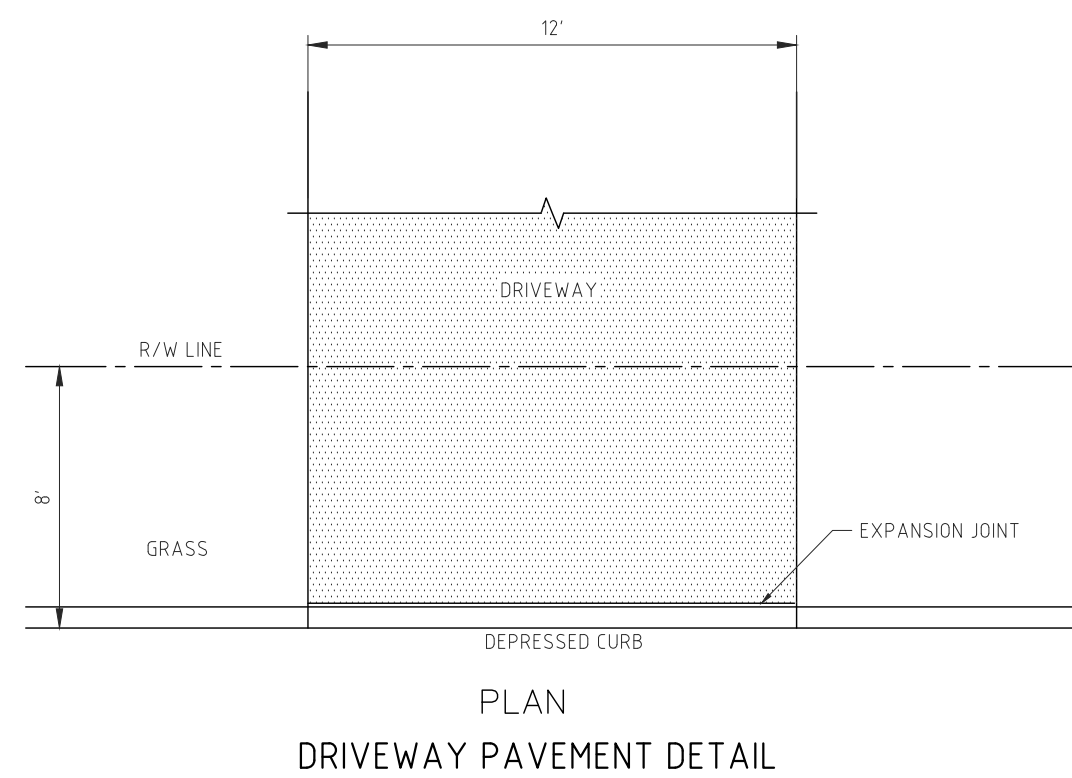
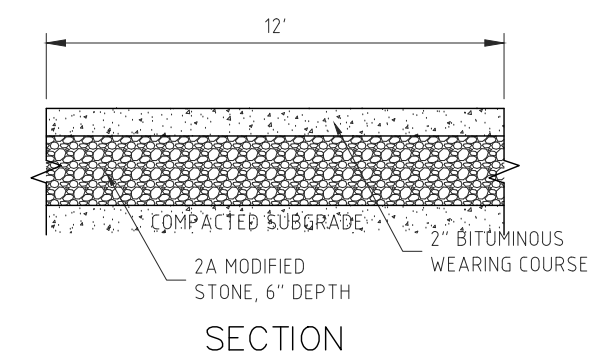
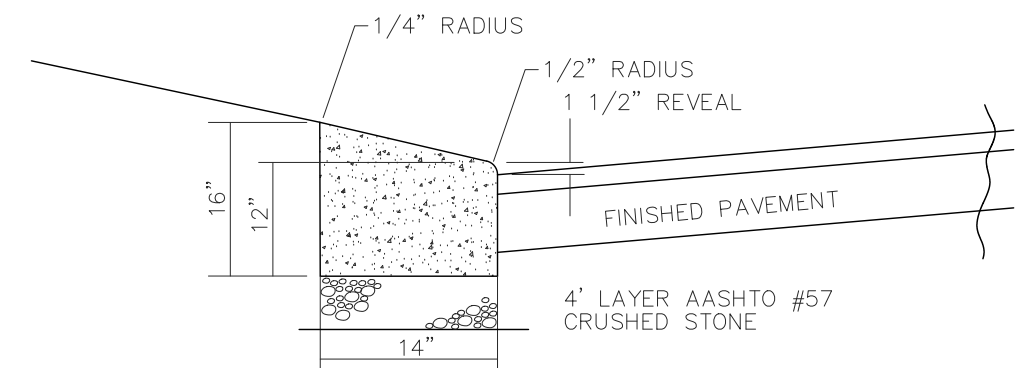
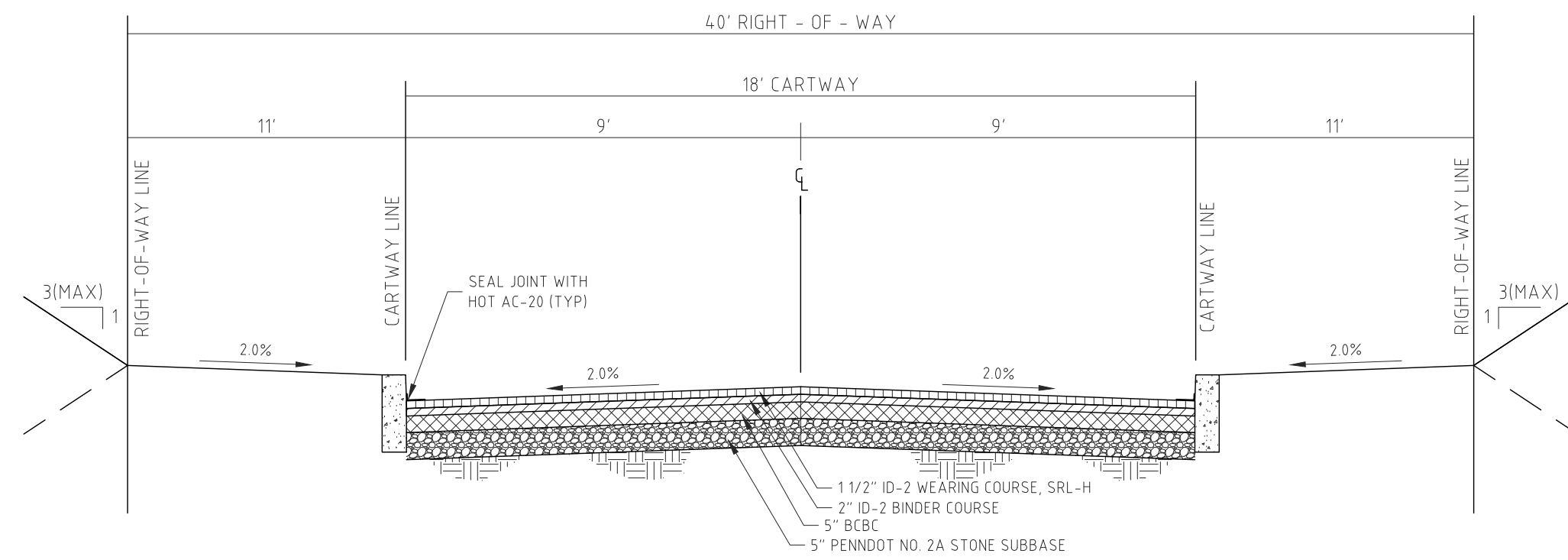
Enterprises

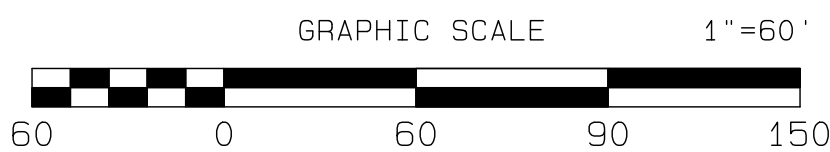
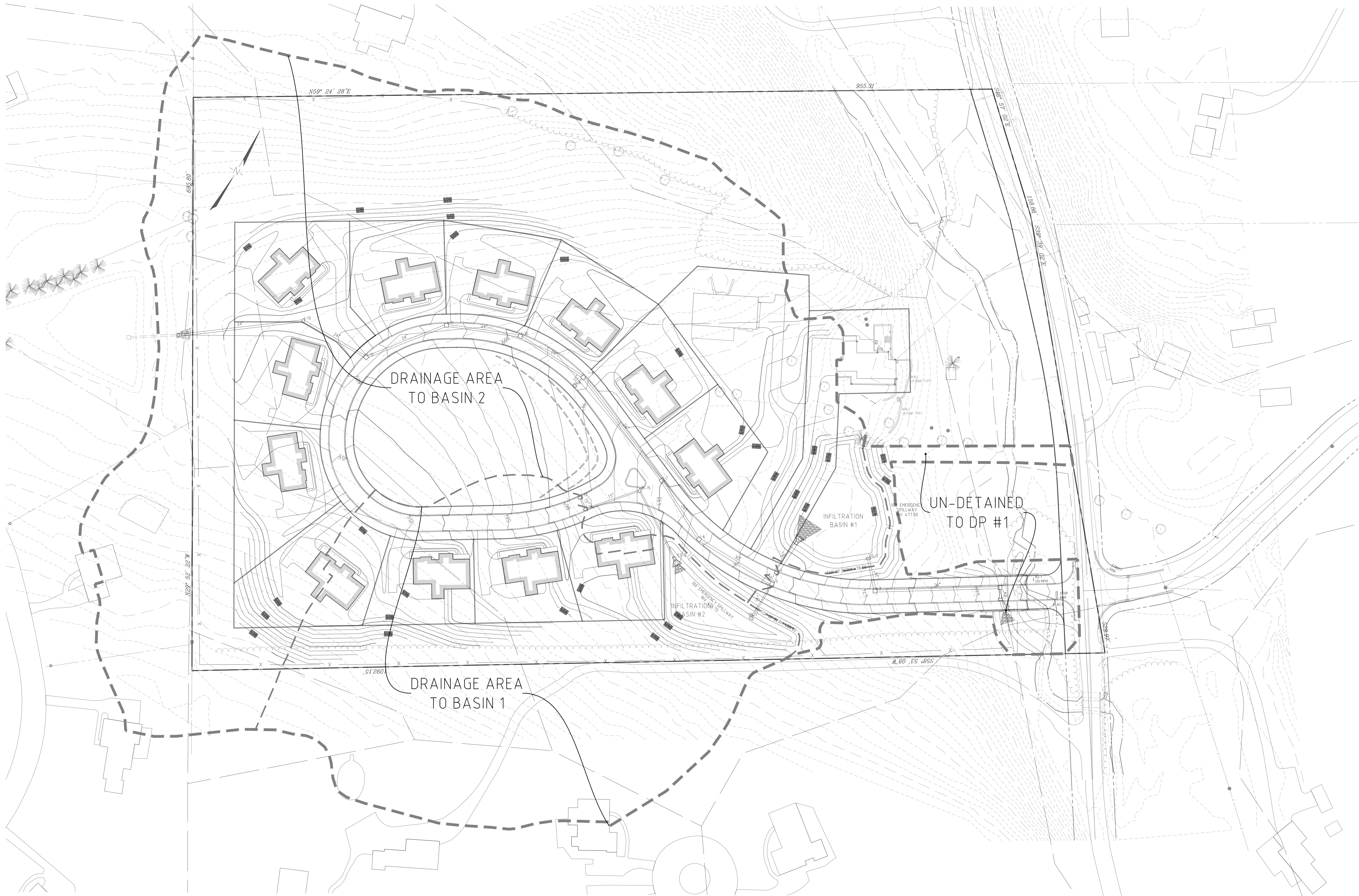
SEAL:
COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
MICHAEL DUAIN HARTMAN
No. PC08897

"MILLSTONE MEADOWS"
PRELIMINARY/FINAL PLAN
PCSM DETAILS
CLIENT: GROVE MEADOW DEVELOPERS, LLC
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
DATE: APRIL 20, 2023

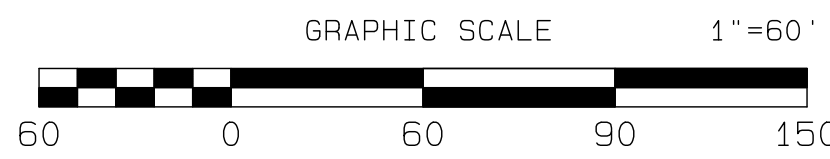
DRAWN BY: M.D.HARTMAN
PROJECT MANAGER: M.D.HARTMAN
SCALE: 1" = 50'
SHEET: 13 OF 17
PLAN NO: 22-001-F-D-8.2

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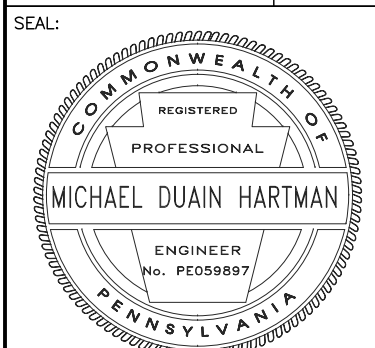


2815 PENN AVENUE WEST LAWN, PA 610-927-4242		a t y e e n g i n e e r i n g d e s i g n & m a n a g e m e n t p r o f e s s i o n a l s		Enterprises		SEAL: 		"MILLSTONE MEADOWS" STORM WATER MANAGEMENT PLANS POST-DEVELOPMENT		CLIENT: GROVE MEADOW DEVELOPERS LLC LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA DATE: APRIL 20, 2023	
Revision		Date		Description		Rev. By		DRAIN BY: M.D.HARTMAN		PROJECT MANAGER: M.D.HARTMAN	
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2								PLAN NO: 22-001-F-D-10.1			



CLIENT: GROVE MEADOW DEVELOPERS LLC
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
DATE: APRIL 20, 2023

Enterprises



Revision	Date	Description	Rev By
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