

EAST GOSHEN TOWNSHIP CHESTER COUNTY, PA

SUBDIVISION AND / OR LAND DEVELOPMENT APPLICATION

	Date Filed:
	Application for (Circle one):
	OSubdivision OLand Development OSubdivision & Land Development
Α.	Application is hereby made by the undersigned for approval of a Subdivision and or Land Development Plan, more particularly described below.
	1. Applicant's name: Grove Meadow Developers, LLC.
	Address: 1171 Lancaster Avenue, Suite 201, Berwyn, PA 19312 Phone: 610-725-0812
	Fax: Email: tr@moserhomes.com
	2. Name and address of present owner (if other than 1. above) Name: Mark & Christine Miller
	Address: 210 N. Aberdeen Avenue, Wayne, PA 19087 Phone:
	Fax: Email:
	3. Location of plan: Hershey Mill Road at intersection of Tanglewood drive
	4. Proposed name of plan: Millstone Meadows Subdivisions
A.	5. County Tax Parcel No.: 53-1-19 Zoning District: R-2
	6. Area of proposed plan (ac.): 16.128 Number of lots: 14 Single Family
	7. Area of open space (ac.): 9.25
Applica A. Applica Develor 1. Applica Address Addres	8. Type of structures to be constructed: Single Family Dwellings
	9. What provisions are to be made for water supply and sanitary sewer? Public
	10. Linear feet of road to be constructed: 1,500 ft
	11. Name, of Engineer: Michael Hartman, dH Enterprises
	Phone Number: 484-663-3487 Fax:
1 1 2 3 4 5 6 7 8 9	Email address: mhartman@dh-enterprises.net

EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

SUBDIVISION AND/OR LAND DEVELOPMENT CHECKLIST

This checklist outlines the steps and items needed to insure completeness of the application and to insure the application follows the process and conforms to the timeframe outlined by the State of Pennsylvania and East Goshen Township. This checklist is broken into two parts, the Application Process and the Review Process. The application process must be completed in its entirety prior to the advancement into the Review Process.

* Review the formal Planning Commission review procedure on page five.
Application for (Circle all appropriate): SubdivisionOLand Development
Applicant Information:
Name of Applicant: Grove Meadow Developers, LLC.
Address: 1171 Lancaster Avenue, Suite 201, Berwyn, PA 19312
Telephone Number: 610-725-0812 Fax:
Email Address: tr@moserhomes.com
Property Address: 1010 Hershey Mill Road
Property Information:
Owner's Name: Mark & Christine Miller
Address: 210 N. Aberdeen Avenue, Wayne, PA 19087
Tax Parcel Number: 53-1-19 Zoning District: R-2 Acreage: 16.128
Description of proposed subdivision and or land Development:
Subdivide tract for 14 single family lots per Township's
Open Space Development Option

EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

B.

C.

D.

12. Name of Land Planner: Nave	e Newell	
Phone Number: 610-265-	8523 _{Fax:}	9
Email address: plepard@)navenewell.ne	
 B. I/We agree to reimburse the Town Township may incur for the services relation to the Subdivision Plan. C. I/We agree to post financial security land Development Plan pursuant to t D. I/We agree to reimburse the Townsh to Township. 	s of an Engineer(s) in inver for the improvements depined the Subdivision and Land De	stigations, tests, and review in cted on the Subdivision and or evelopment Ordinance.
	NOTICE	
The Township requires an Occupancy F Permit will be issued until final insperinspector. Signature	Permit before any building control and approved by the Approant Signature	an be occupied; no Occupancy e Zoning Officer and Building
	Administrative Use	
Fees received from applicant \$	basic fee, plus \$	per lot
For lots = \$		
Application and plan received by: (Signal	Dature)	e:
Application accepted as complete on:	Date)	

Memorandum

East Goshen Township 1580 Paoli Pike West Chester, PA 19380

Voice: 610-692-7171 Fax: 610-692-8950

E-mail: dbrady@eastgoshen.org

Date: 5-19-2023

To: Planning Commission

From: Duane J. Brady Sr., Zoning Officer

Re: 1010 Hershey Mill Road/Millstone Meadows SD

Preliminary/Final SD Plan/Application Filing Letter

Dear Commissioners,

The Township staff has received an SD application for 1010 Hershey Mill Road, Millstone Meadows (Miller Property). The proposal is to create a subdivision tract for 14 single-family homes using the Open Space Development Option (Zoning Ordinance section 240-36). A Conditional Use was granted by the Board of Supervisors on March 8, 2023, for a 15 Lot subdivision under the single-family open space development option with 19 conditions. The application has been reviewed for completeness and was accepted by Township Staff on May 16, 2023.

Background Information:

- > The property is approximately 16 acres.
- > The property is in the R-2 Low Density Residential District.
- > The property contains two (2) Class II historic resources that are currently detailed in the East Goshen Township Historic Resource Inventory (Existing house and barn).
- > The property has a stream which is a tributary of Ridley Creek and is classified as a High-Ouality Stream and has wetlands.
- ➤ The SD plans have been sent to Chester County Planning Commission for review on May 5, 2023.
- The start date for the project is May 23, 2023 (Day 1).
- The must act date for the Planning Commission is July 25, 2023 (Day 70).
- The must act date for the Board of Supervisors is August 14, 2023 (Day 90).

The following information was sent with this letter:

- ➤ Transmittal letter 230427
- ➤ 1010 Hershey Mill Conditional Use Decision 3-8-2023.
- > 1010 Hershey Mill pipeline Awareness Study 230110.
- > Bog Turtle Habitat Assessment.
- ➤ Chester County Act 247 Referral Application.
- ➤ Millstone Meadows SD application filed 5-16-2023.
- Millstone Meadows DA Plan 230420.
- ➤ Millstone Meadows SD Historic Resource Impact Study 10-2022.

- Millstone Meadows PCSM Report 230420.
 Millstone Meadows Subdivision Plan set 230420.
- > Overlay Plan show the changes in number of lots.
- > Zoning Code 240-36 Single-family open space development.

Sincerely,

Duane J. Brady Sr.
East Goshen Township

Zoning Officer



a civil engineering design & management firm

Office: 610-927-4242

Cell: 484-663-3487

April 27, 2023

Duane Brady Zoning Officer East Goshen Township 1580 Paoli Pike West Chester, PA 19380-6199

RE: Millstone Meadows Subdivision
Preliminary/Final Subdivision Application
East Goshen Township, Chester County
DHE Project No. 22-001

Dear Duane:

On behalf of the applicant, Grove Meadow Developers, LLC, please accept for review the enclosed Preliminary/Final Subdivision application for the above-mentioned project.

The following items have been enclosed specifically for your review:

- East Goshen Subdivision and Land Development Application
- Chester County Act 247 Referral Application
- Three (3) copies of the Subdivision Planset
- Two (2) copies of the Post Construction Stormwater Management Report
- Two (2) copies of the Bog Turtle Habitat Assessment
- \$599 check, made payable to Chester County, for review fees

The applicant is proposing to subdivide and develop the existing tract of land with 14 single-family residential lots. The property is located at 1010 Hershey Mills Road. While the development is located within the R-2 (Low Density Residential) Zoning District, the property is proposed to be developed under the Single Family Open Space Development Option Section 240-36 of the East Goshen Township Zoning Ordinance.

Access to the development shall be provided with the installation of a culvert across the existing stream. The access point shall be located directly across Hershey Mills Road from the end of Tanglewood Drive. Currently located on the property is an existing dwelling that is registered as a historic structure. While the plans incorporated the dwelling in the development, there is no intention to alter the structure at this time.

Should you have any questions, please feel free to contact me.

Sincerely,

Michael Maryman, P.E. mhartman@dh-enterprises.net



Return to: Chester County Planning Commission 601 Westtown Road-Suite 270 P.O. Box 2747

West Chester, PA 19380-0990

Act 247 County Referral

To: Chester County Planning Commission TO BE COMPLETED BY THE MUNICIPALITY **Subject:** Request for review of a subdivision, land development From: (Municipality) proposal, ordinances, or comprehensive plans pursuant Date: to the Pennsylvania Municipalities Planning Code, Act 247. Official's Name: This application must be completed by the applicant, and Position: submitted by the municipality to the above address, along Official's signature: with one (1) complete set of plans and accompanying documents and the required fee for review (see reverse side) Applications with ORIGINAL signatures must be submitted to CCPC. TO BE COMPLETED BY THE APPLICANT Development name (if applicable): Location: Phone #: Owner's name: Owner's address: Applicant's name: Applicant's address: Phone #: Architect/Engineer/Surveyor name: **TYPE OF REVIEW REQUESTED REVIEW FEE** TYPE OF SUBMISSION (Check all appropriate boxes) (Fee schedule on other side) New proposal Unofficial sketch plan (no fee) Attached \$ Revision to a prior proposal Subdivision plan Not applicable Phase of a prior proposal Land development plan Amendment/revision to recorded plan is Planned residential development a new proposal **TYPE OF PLAN** Zoning ordinance (no fee) Tax parcel(s): # Curative amendment (no fee) Unofficial sketch Subdivision ordinance (no fee) Preliminary Comprehensive plan (no fee) Final Total area (gross acres): Other **PLAN INFORMATION LAND USE** # of lots/units ZONING DISTRICT **PROPOSED UTILITIES** OF PROPOSAL (Check appropriate Agriculture Length of new roads: boxes) Existing: _ Number of new parking spaces: Single family Water Sewer Proposed: Ownership of roads: Townhouses Public Variances/ | Public | Private Twin units Special exception On-site Open space: **Apartments** granted: Public Private Package Mobile homes Acres: Acres: No new sewage *Commercial disposal or water HOA responsible for common facilities/areas: *Industrial supply proposed Yes *Institutional HOA documents provided: Other Yes No ADDITIONAL INFORMATION (This plan has been submitted to): Traffic study included: County Health Department Date __ Not conducted PennDOT DEP Date *Information to be filled in for Commercial, Other ____ Date Industrial or Institutional land use ONLY *Total square footage of addition THE TERM "LOTS" to existing building: The term "LOTS" includes conveyance, tracts or parcels of land for the purpose, wheth-*Total square footage er immediate or future, of lease, transfer of ownership or building or development, as of new building(s): well as residue parcels, annexations, or the correction of lot lines.

FEE SCHEDULE

The following fees shall apply to each land subdivision or land development submitted to the Chester County Planning Commission for review in accordance with Article V, Section 502, Pennsylvania Municipalities Planning Code, Act 247, as amended.

- If a plan for a non-residential use is to be subdivided and developed, the fee is the total of Category II plus Category III.
- For Categories I and II, the fee applies to total number lots/units after subdivision. Subdivisions include lot line revisions and lot consolidations.
- Maximum one-time fee: \$10,000.

CATEGORY I RESIDENTIAL SUBDIVISION OR LAND DEVELOPMENT

These fees apply to residential projects for sale, condominium ownership, or rental; any type of buildings, either as a subdivision or single tract land development; or an agricultural subdivision (except for guidelines in Article I, Section 107, Subdivision, Pennsylvania Municipal Planning Code, Act 247, as amended). This category does not include institutional living facilities.

Number of lots and dwelling units	Base fees	Fees for each lot and/or unit
I–2 lots/dwelling units	\$175.00	None
3-5 lots/dwelling units	\$175.00	Plus \$29.00/lot/unit
6-20 lots/dwelling units	\$235.00	Plus \$26.00/lot/unit
21 –75 lots/dwelling units	\$425.00	Plus \$23.00/lot/unit
76 lots/dwelling units and over	\$850.00	Plus \$18.00/lot/unit

CATEGORY II NON-RESIDENTIAL SUBDIVISIONS

These fees apply to applications for subdivision and conveyance of land for non-residential uses, not proposed for land development as defined in Section 107 of the Planning Code.

Number of lots or units	Base fees	Fees for each lot and/or unit
I_2 lots/units	\$295.00	Plus \$57.00/lot/unit
3-10 lots/units	\$585.00	Plus \$57.00/lot/unit
I I lots/units and over	\$850.00	Plus \$53.00/lot/unit
Financial subdivisions	\$295.00	Plus \$57.00/lot/unit

CATEGORY III NON-RESIDENTIAL LAND DEVELOPMENT

These fees apply to all projects or sections of mixed projects which are for non-residential use for sale, condominium, lease or rent in any type of building on a single tract of land.

Building square footage (gross)	Base fees	Fees for gross floor area
0 to 5,000 sq. ft.	\$480.00	Plus \$47.00/1,000 sq. ft. of gross floor area
5,001 to 25,000 sq. ft.	\$585.00	Plus \$42.00/1,000 sq. ft. of gross floor area
25,001 to 75,000 sq. ft.	\$955.00	Plus \$42.00/1,000 sq. ft. of gross floor area
75,001 sq. ft. and over	\$1,435.00	Plus \$29.00/1,000 sq. ft. of gross floor area

CATEGORY IV SECOND REVIEWS

These fees apply to each review conducted after the first review (within a three (3) year period of the initial review) and only if requested by the municipality.

- \bullet Flat fee of \$175.00 for residential subdivisions/land developments
- Flat fee of \$235.00 for non-residential subdivisions/land developments

CHECKS OR MONEY ORDERS SHOULD BE PAYABLE TO: County of Chester

Cash will not be accepted. All fees are to be submitted to the Chester County Planning Commission (CCPC) through the appropriate township or borough at the time of application; and in accordance with the administrative guidelines established by CCPC. Upon written request from the municipality, CCPC may waive the fees for plan reviews associated with municipally-owned subdivisions or land developments.

INFORMAL REVIEWS AND ADDITIONAL WORK:

An informal review request to CCPC (such as meetings and discussions prior to the formal development application) shall be free of charge if said written request is from the municipality, or from an applicant with the knowledge and written consent of the municipality. In no case will informal review by CCPC replace the need for a formal review which would include the submission of the required fee listed above pursuant to the Municipalities Planning Code.

TIME LIMITATIONS:

The review time period will begin from the date of receipt by CCPC of the application requesting a review by CCPC. CCPC has thirty (30) days within which to review subdivision and land development applications and submit review comments. The review period may be extended if requested by the applicant or a time extension has been granted by the municipality with the concurrence of the applicant. When the time period has been stopped due to an incomplete application package, incorrect fee submittal or other reasons, the time period will continue from the day in which the application package is complete. CCPC has thirty (30) days within which to review ordinance amend- ments, and forty-five (45) days within which to review comprehensive plans, official maps, and complete ordinances.

PENNSYLVANIA ACT 287, AS AMENDED BY ACT 121 REQUIRES NOTIFICATION OF EXCAVATORS. DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE

ACT 287 UNDERGROUND UTILITY PROTECTION ACT. AS AMENDED BY ACT 121

ACT 287 UNDERGROUND UTILITY PROTECTION ACT. AS AMENDED BY ACT 172 OF 1986, ACT 38 OF 1991, ACT 187 OF 1996, ACT 199 OF 1704, ACT 181 OF 1706, ACT 121 OF 1708

PA ONE CALL SYSTEM INFORMATION

PENNSYLVANIA ACT 287 AS AMENDED REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND FIVE (5) WORKING DAYS NOTICE IN DESIGN STAGE. PA ONE CALL PHONE NUMBER: 1-800-242-1776

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY NAVE NEWELL, INC.

ONE CALL SYSTEM SERIAL NUMBER: 20223113472

UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, ACT 287 OF 1974, AS AMENDED, UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION

LIST OF RESPONDERS: AQUA PENNSYI VANIA INC EAST GOSHEN TOWNSHIP

COMCAST CABLE COMMUNICATIONS INC PECO ENERGY TEXAS EASTERN TRANSMISSION LP VERIZON PENNSYLVANIA LLO

- 1. SITE FEATURES SHOWN HEREON OBTAINED BY A FIELD SURVEY PERFORMED BY NAVE NEWELL, INC. COMPLETED ON DECEMBER 12, 2022. 2. THE SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT, AS REFERENCE HEREIN, AND IS SUBJECT TO THE INFORMATION CONTAINED THEREIN. NO DOCUMENTS OTHER THAN AS NOTED ON THE SURVEY WERE REVIEWED IN THE COURSE OF COMPLETING THE
- 3. THE SURVEY REPRESENTS CONDITIONS AS OF THE DATE OF THE SURVEY EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, ON THE SURFACE OF THE LANDS OR ABOVE THE SURFACE OF THE LAND AND 4. BEARING BASIS FOR THE SURVEY IS BASED ON THE DEED OF REFERENCE THEREIN. BEARINGS NOTED AS NAD 83, REFERENCE THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE AS DERIVED FROM GPS OBSERVATIONS. THE NAD 83 BEARINGS ARE
- ROTATED 1°45'52" COUNTERCLOCKWISE FROM THE DEED BEARINGS. VERTICAL DATUM IS NAVD 1988 DATUM. . PROPERTY FALLS WITHIN ZONE "A", "AE" AREA DETERMINED TO BE INSIDE THE 0.1% ANNUAL CHANCE OF FLOODING AS DEPICTED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NO. 42029C0155G/42029C0160G DATED
- 6. LOCATIONS OF EXISTING UTILITIES AS SHOWN HEREIN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS, PLANS BY OTHERS AND/OR ABOVE GROUND EXAMINATION OF SITE. THIS PLAN ILLUSTRATES UTILITIES OF RECORD PROVIDED BY OR BEFORE THE DATE THIS SURVEY. THIS MAY OR MAY NOT COMPRISE ALL THE UTILITY INFORMATION FOR THIS PROPERTY. THE COMPLETENESS OR ACCURACIES OF THE LOCATIONS ARE NOT GUARANTEED. SHOULD ANY NEW CONSTRUCTION BE PROPOSED, THE CONTRACTOR MUST
- VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES BEFORE START OF WORK. 7. UNIT AND BLOCK NUMBERS REFER TO THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF EAST GOSHEN, PENNSYLVANIA.
- 8. REFERENCE PLANS 8.1. OFFICAL TAX MAPS OF EAST GOSHEN, CHESTER COUNTY, PA.
- PLAN ENTITILES, "FINAL SUBDIVISION PLAN" MADE FOR JOHN F. III AND BETTY C. LEWIS, PREPARED BY YERKES ASSOCATES, INC.) DATED OCTOBER 17, 1988 AND RECORDED IN THE CHESTER COUNTY COURTHOUSE AS PLAN BOOK 8746 PAGE 1.
- 8.3. PLAN ENTITLED, "GOSHEN DOWNS" "FINAL TITLE PLAN" PREPARED BY S.W.K. LTD. DATED JUNE 20, 1978 AND RECORDED IN TEH CHESTER COUNTY COURTHOUSE AS PLAN BOOK 1746 PAGE 1.

1. THE WETLAND INFORMATION SHOWN HEREON IS BASED ON A WETLAND DELINEATION PERFORMED BY LIBERTY ENVIRONMENTAL, INC. IN

- 2. THE RIGHT-OF-WAY FOR THE PROPOSED ROAD (MILLSTONE CIRCLE) IS INTENDED TO BE DEDICATED TO EAST GOSHEN TOWNSHIP 3. THE PROPOSED OPEN SPACE AREAS ARE NOT FOR DEDICATION AND WILL REMAIN PRIVATELY OWNED. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PARCEL. THE CENTRAL OPEN SPACE IS INTENDED TO BE USED OF ACTIVE RECREATION AND TO BE MAINTAINED IN A GRASS/MOWED COVER. THE PERIMETER OPEN SPACE IS INTENDED TO BE USED FOR PASSIVE RECREATION AND TO BE MAINTAINED IN A NATURALISTIC MEADOW/WOODED COVER CONDITION. 4. ALL STORM WATER MANAGEMENT FACILITIES LOCATED OUTSIDE OF THE ROAD RIGHT-OF-WAY SHALL BE OWNED PRIVATELY BY THE
- HOMEOWNER'S ASSOCIATION. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM WATER 5. THE PROPOSED SANITARY SEWER SYSTEM IS INTENDED TO BE DEDICATED TO EAST GOSHEN TOWNSHIP.
- 6 PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND
- THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES . THE IMPROVEMENTS SHOWN WITHIN THE LOTS HAS BEEN PROVIDED TO SHOWN GENERAL COMPLIANCE WITH THE EAST GOSHEN TOWNSHIP'S ORDINANCES. FINAL BUILDING DIMENSIONS SHALL ULTIMATELY CONFORM TO ALL APPLICABLE ZONING SETBACKS. IMPERVIOUS SURFACE COVERAGE RATIOS, ETC. INDIVIDUAL LOT PLOT PLANS DOCUMENTING COMPLIANCE ARE TO BE PROVIDED WITH THE SUBMISSION OF THE BUILDING PERMIT APPLICATIONS
- 8. ALL CONSTRUCTION SHALL COMPLY WITH THE TOWNSHIP OF EAST GOSHEN, CHESTER COUNTY AND PENNDOT STANDARDS. 9. MONITORING AND COMPACTION VERIFICATION FOR ALL SITE FILL PLACEMENT WILL NEED TO BE COMPLETED BY THE CONTRACTOR'S
- GEOTECHNICAL ENGINEER. 10. ALL SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE EAST GOSHEN TOWNSHIP ZONING ORDINANCE. PRIOR TO SIGN
- CONSTRUCTION, ALL NECESSARY SIGN AND/OR ZONING PERMITS SHALL BE ACQUIRED. 11. PERMANENT CONCRETE MONUMENTS SHALL BE SET AT ALL POINTS OF CURVATURE AND AT ALL POINTS OF TANGENCY ON A
- RIGHT-OF-WAY FOR ALL PUBLIC STREETS. MONUMENTS SHALL BE OF CONCRETE, WITH A FLAT TOP HAVING A MINIMUM WIDTH OR DIAMETER OF FOUR (4) INCHES AND A MINIMUM LENGTH OF THIRTY (30) INCHES 12. LOT MARKERS SHALL BE PLACED AT ALL LOT CORNERS. MARKERS SHALL CONSIST OF IRON PIPES OR STEEL BARS AT LEAST 30
- INCHES LONG AND NOT LESS THAN (3/4) INCH DIAMETER. 13. THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLATION OF ALL STREET MONUMENTS, BOUNDARY PINS AND/OR MONUMENTS AND
- LOT CORNER PINS INDICATED ON THE PLANS. ALL MARKERS MUST BE INSTALLED PRIOR TO CLOSE OUT OF THE PROJECT WITH EAST GOSHEN TOWNSHIP. 14. THE SPEED LIMIT FOR THE PROPOSED ROADWAYS IS 25 MPH.
- 15. NO DEBRIS SHALL BE BURIED ON THIS SITE. ALL DEBRIS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE AND FEDERAL LAWS AND REQUIREMENTS.
- 16. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO COMPLY WITH ALL APPLICABLE ADA REQUIREMENTS FOR SITE ACCESS AND ACCESS TO PUBLIC WAYS WHETHER SHOWN ON THESE PLANS OR NOT. IT SHALL BE THE OWNER'S RESPONSIBILITY TO CONSTRUCT SAID FACILITIES AND TO MAINTAIN SAID FACILITIES IN GOOD CONDITION. ALL APPLICABLE PROPOSED STRUCTURES AND FACILITIES SHALL COMPLY WITH "THE AMERICAN DISABILITIES ACT", "ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES", AND "THE
- PENNSYLVANIA UNIVERSAL ACCESSIBILITY ACT" 17. ALL REQUIRED AGREEMENTS AND FINANCIAL SECURITY IN A FORM ACCEPTABLE TO EAST GOSHEN TOWNSHIP SHALL BE PROVIDED.

TRAFFIC CONTROL NOTES:

- 1. TRAFFIC CONTROL SIGNS MUST BE POSTED ON PENNDOT-APPROVED BREAKAWAY POSTS IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE TC-8700 SERIES IN PENNDOT PUBLICATION 111M
- 2. ALL TRAFFIC CONTROL SIGNS SHALL BE POSTED IN ACCORDANCE WITH THE 2009 MUTCD AND THE MOST RECENT VERSIONS OF PENNDOT
- PUBLICATION 236M, "HANDBOOK OF APPROVED SIGNS." 3. CLEAR SIGHT TRIANGLES (C.S.T.) HAVE BEEN ESTABLISHED BY MEASURING 75' ALONG THE CENTERLINE OF EACH STREET FROM THE POINT OF INTERSECTION OF THE CENTERLINES OF THE STREETS. WITHIN SUCH TRIANGLES, NO WALL, FENCE OR OTHER OBSTRUCTION SHALL BE ERECTED, ALLOWED OR MAINTAINED, AND NO HEDGE, TREE, SHRUB OR OTHER GROWTH SHALL BE PLANTED OR EXIST ABOVE THE HEIGHT OF 30 INCHES AND BELOW THE HEIGHT OF 10 FEET MEASURED FROM THE CENTER LINE GRADES OF THE INTERSECTING
- 4. ALL SIGHT DISTANCE OBSTRUCTIONS (INCLUDING BUT NOT LIMITED TO EMBANKMENTS AND VEGETATION) SHALL BE REMOVED BY THE APPLICANT TO PROVIDE A MINIMUM OF 300 FEET OF SIGHT DISTANCE TO BOTH THE LEFT AND RIGHT FOR A DRIVER EXITING ROAD A ONTO FOREST LANE. THE DRIVER MUST BE CONSIDERED TO BE POSITIONED 15' FROM THE NEAR EDGE OF THE CLOSEST HIGHWAY THROUGH TRAVEL LANE AT AN EYE HEIGHT OF THREE FEET-SIX INCHES (3 '-6") ABOVE THE PAVEMENT SURFACE. THE POINT SIGHTED BY THE EXITING DRIVER SHALL BE THREE FEET-SIX INCHES (3' -6") ABOVE THE PAVEMENT SURFACE LOCATED IN THE CENTER OF THE CLOSEST HIGHWAY TRAVEL LANE DESIGNATED FOR USE BY APPROACHING TRAFFIC. THIS SIGHT DISTANCE SHALL BE MAINTAINED BY THE APPLICANT AND/OR THE APPLICANT'S SUCCESSORS AND ASSIGNORS.

- 1. THIS PLAN PROPOSES PUBLIC WATER SUPPLY AND PUBLIC SEWER. PUBLIC WATER WILL BE PROVIDED BY AQUA PENNSYLVANIA. 2. ALL WATER MAINS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS
- 3. WATER SUPPLY: ALL WATER SERVICES, INCLUDING DOMESTIC AND FIRE PROTECTION, SHALL MEET THE REQUIREMENTS OF AND BE
- INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS. STANDARDS AND DETAILS OF EAST GOSHEN TOWNSHIP. SHOP DRAWINGS AND/OR CATALOG CUTS FOR ALL PROPOSED MATERIALS SHALL BE SUBMITTED TO EAST GOSHEN TOWNSHIP AS PART OF THE
- 4. SANITARY SEWERAGE: ALL SANITARY SEWER MAINS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS OF THE EAST GOSHEN TOWNSHIP.
- 5. SANITARY SEWERAGE: ALL SEWER LATERALS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS OF EAST GOSHEN TOWNSHIP. SHOP DRAWINGS AND/OR CATALOG CUTS FOR ALL PROPOSED
- MATERIALS SHALL BE SUBMITTED TO EAST GOSHEN TOWNSHIP. 6. THE SANITARY SEWER SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY AND AT LEAST 18 INCHES VERTICALLY FROM OTHER
- 7. THE SANITARY SEWER MAINS AND LATERALS SHALL BE BURIED A MINIMUM OF 4 FEET DEEP 8. OTHER UTILITIES: ALL OTHER UTILITIES (ELECTRIC, COMMUNICATIONS, GAS, ETC.) SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY COMPANY'S REQUIREMENTS AND SHALL BE INSTALLED AS TO NOT CONFLICT WITH THE WATER, SANITARY SEWER AND/OR
- STORM FACILITIES PROPOSED AS PART OF THIS PLANS. 9. BACKFILL OF ALL UTILITY TRENCHES WITHIN EXISTING AND/OR PROPOSED RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS OF EAST GOSHEN AND BE SUBJECT TO THE APPROVAL OF EAST GOSHEN TOWNSHIP OR

STORM WATER NOTES

- 1 THE STORM WATER MANAGEMENT FACILITIES HAVE BEEN DESIGNED ASSUMING AN AMOUNT OF IMPERVIOUS COVERAGE BASED ON THE IMPROVEMENTS SHOWN PLUS AN ADDITIONAL 2,000 SQUARE FEET PER LOT TO ACCOUNT FOR FUTURE IMPROVEMENTS BY THE
- 3. ROOF LEADERS SHALL BE DISCHARGED ONTO SPLASH BLOCKS AND DIRECTED TOWARDS VEGETATED SURFACES (AS PRACTICABLE). 4. ALL STORM CONVEYANCE PIPE SHALL BE SMOOTH LINED DOUBLE WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE), UNLESS

THE PROPOSED TREE PLANTINGS ARE PART OF THE OVERALL SITE STORM WATER MANAGEMENT SYSTEM.

- 5. END WALLS AND END SECTIONS SHALL BE REQUIRED ON ALL OPEN PIPES, SHALL BE OF CONCRETE CONSTRUCTION, AND SHALL BE SET ON A MINIMUM OF TWELVE (12) INCHES OF AASHTO NO. 57 (PENNDOT 2B) COARSE AGGREGATE

TOWNSHIP ENGINEER

REVIEWED BY THE EAST GOSHEN TOWNSHIP TOWNSHIP ENGINEER, THIS DAY OF

TOWNSHIP ENGINEER

CONDITIONAL USE APPROVAL BY EAST GOSHEN TOWNSHIP:

<u>CONDITIONAL USE APPLICATION OF GROVE MEADOW DEVELOPERS, LLO</u>

AND NOW, THIS 7TH DAY OF MARCH, 2023, THE BOARD OF SUPERVISORS OF EAST GOSHEN TOWNSHIP HEREBY ORDERS THE FOLLOWING: 1. THE APPLICATION FOR A SINGLE-FAMILY OPEN SPACE DEVELOPMENT IS HEREBY GRANTED, SUBJECT TO THE CONDITIONS HEREINAFTER

- 2. PURSUANT TO SECTION 240-38.6 OF THE HISTORIC PRESERVATION ORDINANCE. A MODIFICATION FROM SECTION 210-23.B(2)(B)[2][C].
- PERMITTING ONLY ONE FLAG LOT, IS GRANTED TO ALLOW TWO (2) FLAG LOTS FOR THE HISTORIC RESOURCES ON THE PROPERTY. 3. THE APPLICANT SHALL COMPLY WITH ALL OUTSTANDING COMMENTS CONTAINED IN THE PENNONI REVIEW LETTER DATED OCTOBER 27, 2022 (EXHIBIT B-10), TO THE SATISFACTION OF THE TOWNSHIP ENGINEER, AS AMENDED BY THIS ORDER.
- 4. DURING THE SUBDIVISION/LAND DEVELOPMENT PROCESS, THE APPLICANT SHALL ADEQUATELY ADDRESS STORMWATER MANAGEMENT, TO THE SATISFACTION OF THE TOWNSHIP ENGINEER, INCLUDING BUT NOT LIMITED TO STORMWATER CONVEYANCES THROUGH THE SITE FROM ADJACENT STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY STORMWATER EASEMENTS.
- 5. THE APPLICANT SHALL PROVIDE TO THE TOWNSHIP A SANITARY SEWER AND PEDESTRIAN ACCESS EASEMENT APPROXIMATELY LOCATED BETWEEN LOTS 6 AND 7. TO THE SATISFACTION OF THE TOWNSHIP. THE PEDESTRIAN ACCESS EASEMENT SHALL BE DEMARCATED BY POST-AND-RAIL FENCING STONES MULCH GRASS PAVERS OR THE LIKE. THE PEDESTRIAN ACCESS EASEMENT SHAL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION AND WILL BE ADEQUATELY ADDRESSED IN THE ASSOCIATION'S DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS (THE "DECLARATION") TO THE SATISFACTION OF THE TOWNSHIP. NOTICE OF THE EASEMENT SHALL ALSO BE PROVIDED TO ANY PROSPECTIVE BUYERS OF LOTS 6 AND 7 PRIOR TO EXECUTION OF AN AGREEMENT OF SALE. THE APPLICANT SHALL COMPLETE THE DEMARCATION OF THE PEDESTRIAN ACCESS PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR LOTS IMMEDIATELY ADJACENT TO THE EASEMENT AREA.
- 6. THE "CENTRAL GREEN" LOCATED WITHIN THE CUL-DE-SAC SHALL BE GRADED AND MAINTAINED TO ALLOW FOR ACTIVE RECREATION. 7. THE APPLICANT SHALL PRESERVE AS MUCH OF THE EXISTING PERIMETER VEGETATION AS POSSIBLE. ANY VEGETATION REPLACED PURSUANT TO THE ORDINANCE AND/OR THE TOWNSHIP'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE (THE "SALDO") SHALL BE REPLACED WITH NATIVE AND DEER-RESISTANT MATERIALS. WHEREVER POSSIBLE LANDSCAPING PLANS SHALL BE REVIEWED BY TH EAST GOSHEN TOWNSHIP CONSERVANCY BOARD AND THE TOWNSHIP ENGINEER TO ENSURE COMPLIANCE WITH THE ORDINANCE AND SALDO. FURTHERMORE, THE PERIMETER OF THE PROPERTY SHALL CONTAIN A TRADITIONAL POST-AND-RAIL OR EQUIVALENT FENCE
- THAT REUSES THE EXISTING CONCRETE POSTS, WHERE POSSIBLE. 8. THE APPLICANT SHALL DESIGN AND INSTALL A 150' WIDE RIPARIAN FOREST BUFFER IN ACCORDANCE WITH THE RIPARIAN BUFFER REQUIREMENTS OUTLINED IN 25 PA. CODE § 102.14 FOR THE PORTION OF STREAM WITHIN THE SUBJECT PROPERTY. SHOULD THE APPLICANT DEMONSTRATE TO THE TOWNSHIP THAT CREATION AND MAINTENANCE OF THE ENTIRE 150' RIPARIAN BUFFER AREA IS NOT POSSIBLE FOR ANY PORTION OF THE PROPERTY, THEN THE WIDTH OF THE BUFFER MAY BE REDUCED BY THE BOARD OF SUPERVISORS IN THEIR SOLE DISCRETION, DURING THE SUBDIVISION/LAND DEVELOPMENT PROCESS. AREAS OF EXISTING WOODLAND MAY BE UTILIZED TO MEET THE RIPARIAN BUFFER REQUIREMENTS: HOWEVER, THESE AREAS SHALL BE REVIEWED BY AN ARBORIST OR QUALIFIED PROFESSIONAL TO ENSURE THAT THE COMPOSITION OF PLANT LIFE MEETS THE REQUIREMENTS OUTLINED. A PLAN SHALL BE ESTABLISHED TO REMOVE INVASIVE SPECIES WITHIN THE EXISTING WOODED AREAS AND ANY AREAS OF THE RIPARIAN BUFFER. AN OPERATION & MAINTENANCE PLAN SHALL BE DEVELOPED FOR THE RIPARIAN BUFFER TO ENSURE THAT THIS BUFFER IS MAINTAINED FREE OF INVASIVE SPECIES IN PERPETUITY, WITH SUCH PLAN BEING RECORDED WITH THE APPROVED FINAL PLANS.
- 9. MAINTENANCE OF ALL LANDSCAPING ON HOA-OWNED PROPERTY AS WELL AS ALL STREET TREES SHALL BE THE RESPONSIBILITY O THE HOMEOWNERS' ASSOCIATION AND WILL BE ADDRESSED IN THE DECLARATION, TO THE SATISFACTION OF THE TOWNSHIP. ALL STREET TREES SHALL BE LOCATED OUTSIDE OF ANY ROAD RIGHT-OF-WAY.
- 10. PRIOR TO RECORDING THE PLANS, THE APPLICANT SHALL PREPARE AND SUBMIT TO THE TOWNSHIP A SHARED ACCESS EASEMENT, AS APPROVED BY THE TOWNSHIP SOLICITOR. FOR THE SHARED DRIVEWAY SERVICING THE TWO (2) FLAG LOTS.
- 11. THE APPLICANT SHALL COMPLY WITH THE TOWNSHIP'S ORDINANCES REGARDING CARTWAY WIDTH (SECTION 205–44) AND SIDEWALKS/PATHS (SECTION 205-56). ANY WAIVER REQUESTS FROM THESE PROVISIONS WILL BE CONSIDERED BY THE BOARD OF SUPERVISORS DURING THE SUBDIVISION/LAND DEVELOPMENT PROCESS.
- 12. THE APPLICANT SHALL PROVIDE AN OFFER OF DEDICATION OF ADDITIONAL PROPERTY ALONG HERSHEY MILL ROAD FOR A POTENTIAL FUTURE SIDEWALK OR PATHWAY. 13. ANY FUTURE RESIDENTIAL REUSE OF THE HISTORIC BARN SHALL REQUIRE FURTHER APPROVALS FROM THE TOWNSHIP, PURSUANT TO
- THE HISTORIC PRESERVATION PROVISIONS OF THE ORDINANCE (SECTIONS 240-38.1 THROUGH 240-38.11). DURING ITS OWNERSHIP OF THE HISTORIC BARN, THE APPLICANT SHALL ENSURE THAT IT IS WELL MAINTAINED AND DOES NOT FALL INTO DISREPAIR. 14. PRIOR TO FINAL PLAN APPROVAL, A PHASE I ENVIRONMENTAL SITE ASSESSMENT FOR THE PROPERTY SHALL BE PROVIDED TO THE
- 15. THE USE OF THE PROPERTY SHALL BE IN SUBSTANTIAL CONFORMITY WITH THE APPLICANT'S APPLICATION AND THE TESTIMONY AND EXHIBITS PRESENTED AT THE HEARING ON THE APPLICATION AS DETERMINED BY THE TOWNSHIP, AS AMENDED BY THIS ORDER.
- 16. THE APPLICANT'S CONDITIONAL USE SHALL BE SUBJECT TO COMPLIANCE WITH ALL TERMS AND PROVISIONS OF THE ORDINANCE AND ALL OTHER TOWNSHIP ORDINANCES AND REGULATIONS 17. THE ATTACHED FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DISCUSSION ARE INCORPORATED INTO THIS ORDER.
- 18. THE APPLICANT SHALL EXECUTE AND PROVIDE TO THE TOWNSHIP A RECORDABLE, NOTARIZED COPY OF A MEMORANDUM CONTAINING A METES AND BOUNDS DESCRIPTION OF THE PROPERTY IN QUESTION AND STIPULATING THE TERMS AND CONDITIONS OF THIS APPROVAL AND SHALL CONSENT TO THE RECORDING BY THE TOWNSHIP IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY NO LATER THAN THE RECORDING OF THE APPROVED FINAL PLAN. ALL RECORDING COSTS SHALL BE REIMBURSED BY THE APPLICANT WITHIN 30 DAYS OF RECEIPT OF AN INVOICE FROM THE TOWNSHIP.
- 19. THE APPLICANT SHALL EXPRESS TO THE BOARD IN WRITING, DELIVERED TO THE TOWNSHIP OFFICE WITHIN 15 DAYS OF THE APPLICANT'S RECEIPT OF THIS DECISION, ITS FULL AND COMPLETE CONSENT TO THE CONDITIONS SPECIFIED HEREIN ABOVE OR THE APPLICATION FOR CONDITIONAL USE APPROVAL IS DENIED: THE BOARD EXPRESSLY FINDING AND CONCLUDING THAT THE APPLICATION IN THE ABSENCE OF COMPLIANCE WITH THE SAID CONDITIONS, IS INCONSISTENT WITH THE STANDARDS, CRITERIA, PURPOSES AND POLICIES CODIFIED IN SECTION 240-31 OF THE ORDINANCE.

PRELIMINARY/FINAL SUBDNISION AND LAND

DEVELOPMENTPLANS

"MILLSTONE MEADOWS"

SECRETARY

APPLICANT & EQUITABLE RECORD OWNER:

GROVE MEADOW DEVELOPERS LL 1171 LANCASTER AVE. SUITE 201

RECORD OWNER: MARK S. & CHRISTINE S. MILLER

210 N. ABERDEEN AVENUE WAYNE, PA 19087

SOURCE OF TITLE: PIN# 53-1-19 DBV 3587 PAGE 895

SINGLE FAMILY OPEN SPACE DEVELOPMENT TOTAL UNITS: 14 SINGLE FAMILY LOTS 16.128 ACRES (GROSS AREA) 15.729 ACRES (NET AREA) PROPOSED DENSITY 1.123 UNITS/ACRE

WATER SERVICE PUBLIC SEWER SERVICE: PUBLIC

BENCHMARK: EXISTING SANITARY SEWER MANHOLE IN TANGLEWOOD DRIVE TOP OF MANHOLE=459.50

DATUM IS BASED ON NAVD DATUM OF 1988 AREAS TO BE DEDICATED: 0.399 ACRES

HERSHEY MILL ROAD PROPOSED ROAD (MILLSTONE CIRCLE)

ZONING DATA TABULATION LOW DENSITY RESIDENTIAL DISTRICT (R-2) 150 FT. (AT BUILDING LINE)

60 FT. AVERAGE 20 FT. EACH REAR YARD BUILDING HEIGHT 3 STORIES OR 30 FT MAX. BLDG. COVERAG 25 %

OPEN SPACE DEVELOPMENT OPTION REQUIRED OPEN SPACE (55% OF TRACT) 8.651 ACRES

PERIMETER OPEN SPACE (PARCEL 100) 8.205 ACRES

1.045 ACRES CENTRAL GREEN SPACE (PARCEL 101) QUALIFYING OPEN SPACE 9.250 ACRES (58.8 %)

MAX. IMP. COVERAGE

FRONT YARD

THE PROPOSED OPEN SPACE MAY NOT BE SEPARATELY SOLD, NOR SHALL SUCH LAND BE FURTHER DEVELOPED OR SUBDIVIDED. THE OPEN SPACE AREA DESIGNATED AS PARCEL 100 AND 102 SHALL BE CONSIDERED A PASSIVE OPEN SPACE.

1.400 ACRES

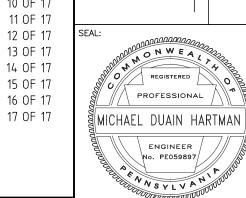
60 FT. (AT STREET LINE)

45 FT. MINIMUM

30 %

- THE OPEN SPACE AREA DESIGNATED AS PARCEL 101 SHALL BE CONSIDERED AN ACTIVE OPEN SPACE AREA AND AVAILABLE FOR THE COMMUNITY USE THE OPEN SPACE AREAS SHALL BE PROTECTED BY A CONSERVATION EASEMENT. OWNERSHIP AND OWNED, MANAGED AND MAINTAINED BY A
- HOMEOWNER'S ASSOCIATION 5. THE PLANTINGS SHOWN ON THIS PLAN ARE TO SHOW GENERAL COMPLIANCE WITH THE TOWNSHIP ORDINANCES. FORMAL PLANTING PLANS SHALL BE
- PROVIDED WITH THE SUBDIVISION AND LAND DEVELOPMENT PLANS. 6. STORAGE SHEDS ARE NOT A PERMITTED ACCESSORY USE
- Co CODORUS SILT LOAM
- Ha HATBORO SILT LOAM GaB - GLENELG SILT LOAM, 3 TO 8 PERCENT SLOPES
- MaB MANOR LOAM, 3 TO 8 PERCENT SLOPES MaC - MANOR LOAM, 8 TO 15 PERCENT SLOPES
- MaD MANOR LOAM, 15 TO 25 PERCENT SLOPES MaE - MANOR LOAM, 25 TO 35 PERCENT SLOPES
- UugB URBAN LAND UDORTHENTS SCHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES

1 OF 17 22-001-F-D-1.0 COVER SHEET SUBDIVISION PLAN 22-001-F-D-2.0 2 OF 17 EXISTING CONDITIONS AND DEMOLITION PLAN 3 OF 17 22-001-F-D-3.0 GRADING & UTILITY PLAN 22-001-F-D-4.0 4 OF 17 5 OF 17 LANDSCAPING PLAN (RESERVED 22-001-F-D-5.0 PROFILES 22-001-F-D-6.1 6 OF 17 PROFILES 22-001-F-D-6.2 7 OF 17 EROSION AND SEDIMENT CONTROL PLAN 8 OF 17 E&SC NOTES SHEET 22-001-F-D-7.2 9 OF 17 E&SC DETAILS SHEET 22-001-F-D-7.3 10 OF 17 E&SC DETAILS SHEET (RESERVED) 22-001-F-D-7.4 11 OF 17 POST-CONSTRUCTION STORM WATER MANAGEMENT PLAN 22-001-F-D-8.1 12 OF 17 PCSM NOTES SHEET 22-001-F-D-8.2 13 OF 17 PCSM DETAILS SHEET 22-001-F-D-8.3 14 OF 17 RIPARIAN BUFFFR MANAGEMENT PLAN (RESERVED) 22-001-F-D-8.4 15 OF 17 22-001-F-D-9.0 16 OF 17 CONSTRUCTION DETAILS - SITE CONSTRUCTION DETAILS - SANITARY (RESERVED) 22-001-F-D-9.1



CERTI	FICATE OF OWNERSHIP
DMMONWEALTH OF PENNSYLVANIA DUNTY OF CHESTER	
FICER, PERSONALLY APPEARED T.R. N POSES AND SAYS THAT HE IS THE P	, 20, BEFORE ME THE UNDERSIGNED 10SER WHO BEING DULY SWORN ACCORDING TO LAW, RESIDENT OF GROVE MEADOW DEVELOPERS LLC, WHICH IS ON THIS PLAN, THAT HE ACKNOWLEDGES ITS ACT AND S SUCH ACCORDING TO LAW.
R. MOSER, PRESIDENT	NOTARY

Millstream Dr

PROJECT

LOCATION

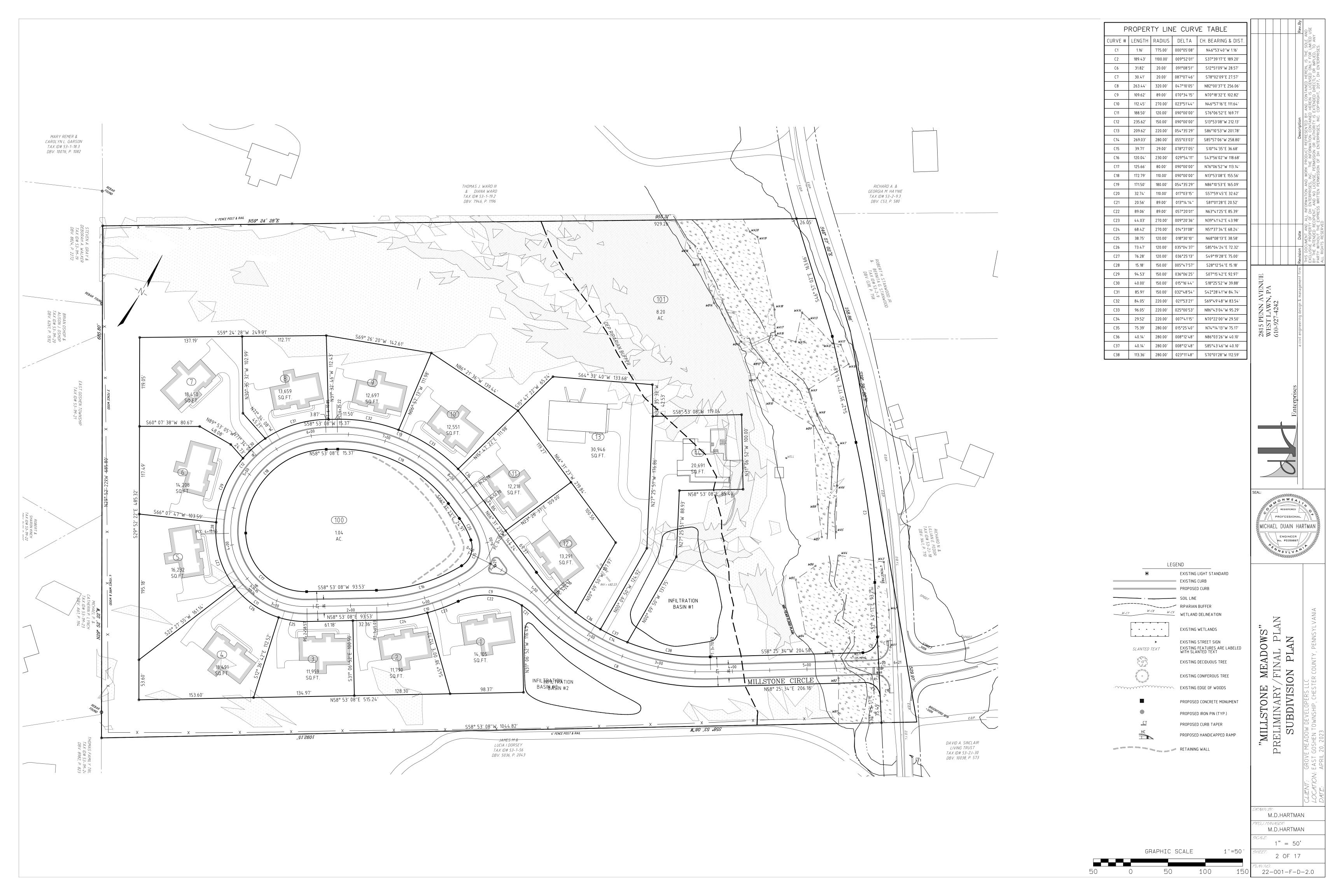
CHESTER COUNTY RECORDER OF DEEDS	CERTIFICATE OF ACCURACY - SURVEY	CERTIFICATE OF MUNICIPAL APPROVAL - BOARD OF SUPERVISORS
PENNSYLVANIA, IN PLAN BOOK PAGE ON THE DAY OF COMPUTATIONS SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY WILLISTOWN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, (BOUNDARY LINES CLOSE WITH AN ERROR OF LESS THAN ONE FOOT IN 10,000 FEET). ROGER FRY, PLS LICHOL SU-28835-E	APPROVED BY THE BOARD OF SUPERVISORS OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, THIS DAY OF	
	ROGER FRY, PLS LIC NO. SU-28835-E	VICE CHAIRMAN MEMBER
(DEPUTY) RECORDER OF DEEDS	DATE	MEMBER MEMBER
		MEMBER CERTIFICATE OF REVIEW - PLANNING COMMISSION
CHESTER COUNTY PLANNING COMMISSION REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS DAY OF	CERTIFICATE OF ACCURACY THESE PLANS ARE PREPARED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE	
CHESTER COUNTY PLANNING COMMISSION REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION THIS DAY OF	CERTIFICATE OF ACCURACY THESE PLANS ARE PREPARED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE	CERTIFICATE OF REVIEW - PLANNING COMMISSION REVIEWED BY THE PLANNING COMMISSION OF EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, THIS DAY OF

MEADOV FINAL | SHEET IILLSTONI ILIMINARY

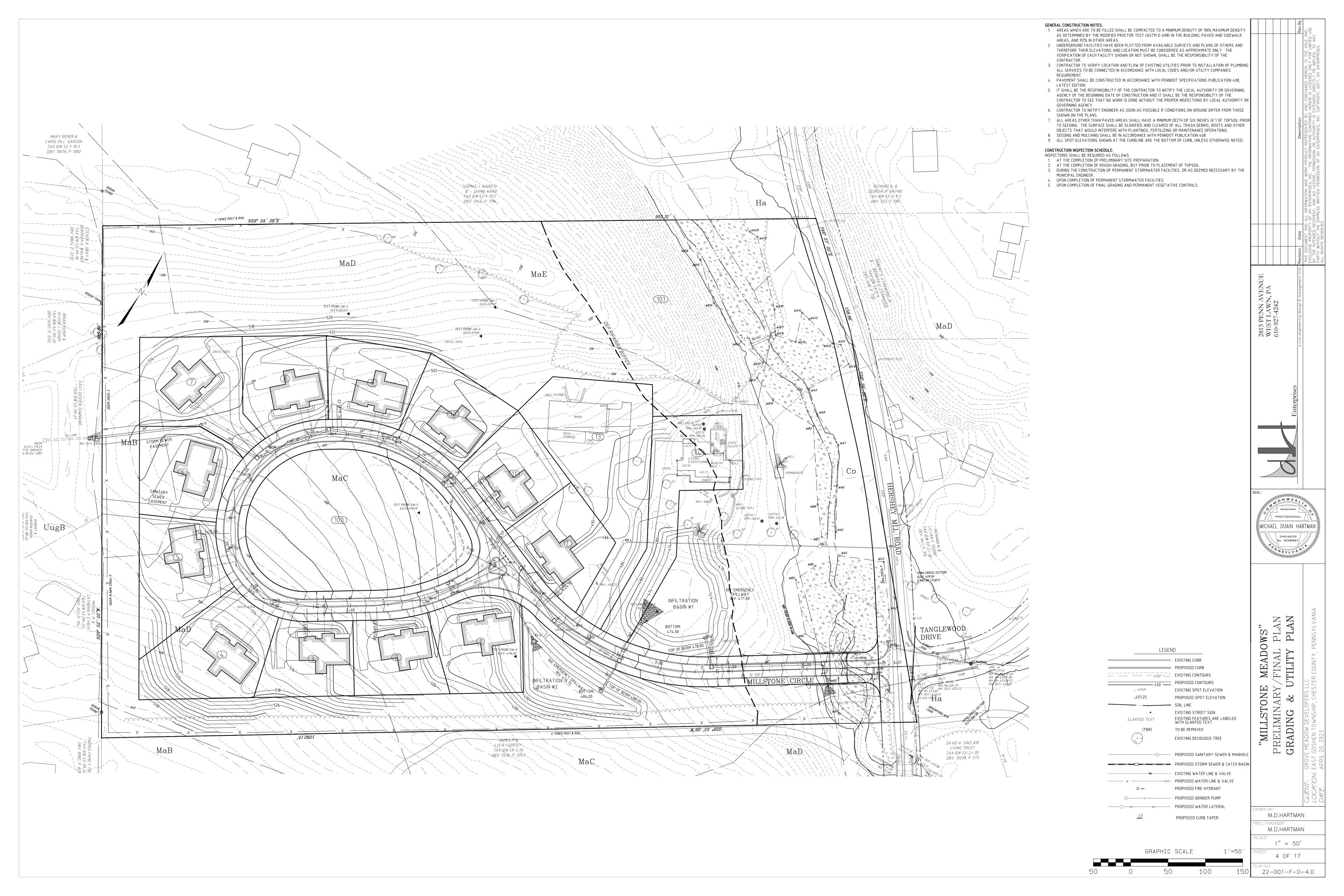
M.D.HARTMAN

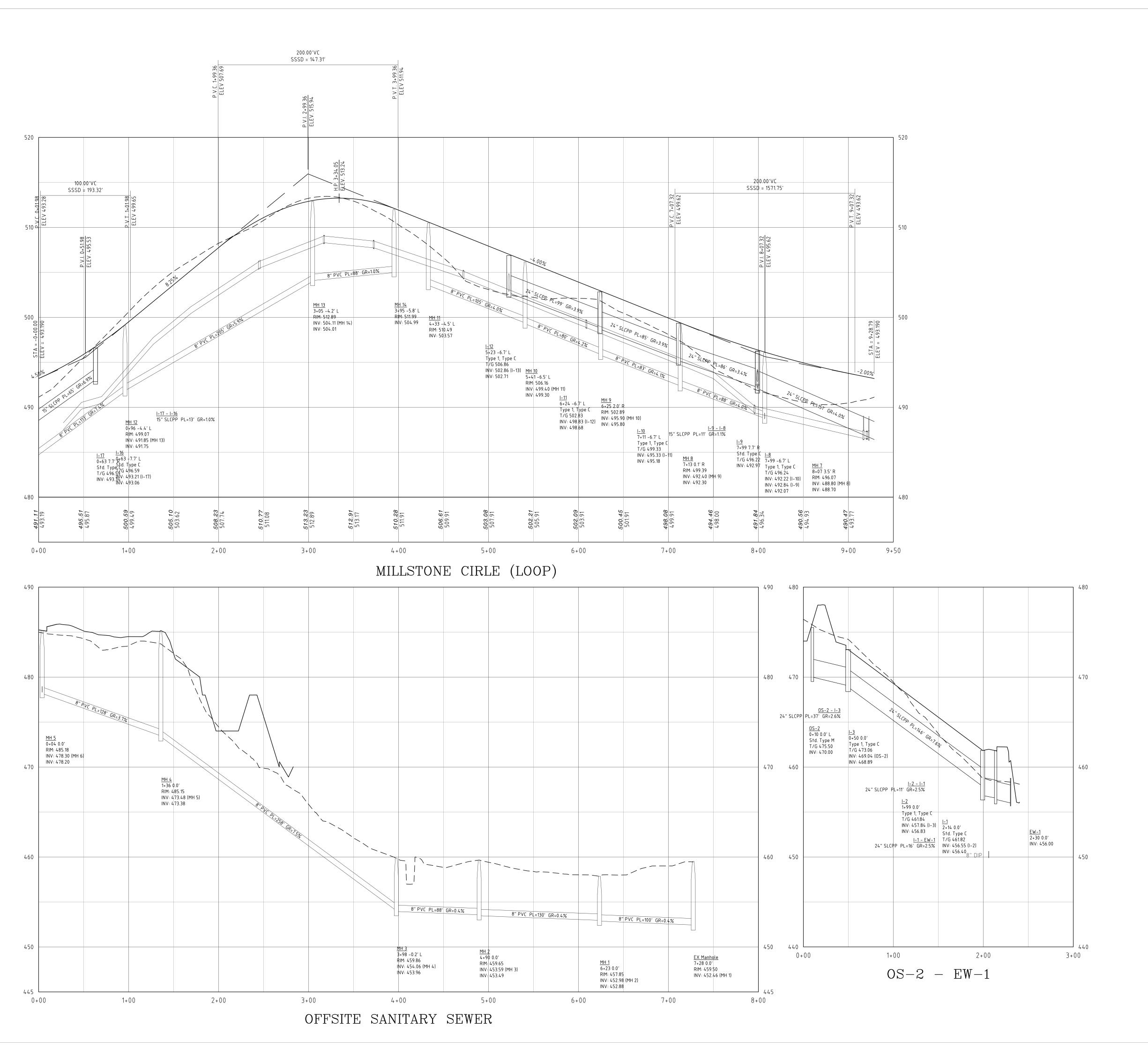
M.D.HARTMAN 1" = 50'1 OF 17

22-001-F-D-1.0









STORM AND SANITARY SEWER NOTES:

- STORM SEWERS AND SANITARY SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND AUTHORITY DETAILS AND SPECIFICATIONS.
- 2. GRATE ELEVATIONS FOR INLETS ALONG CURB ARE COMPUTED TO THE CENTER OF THE INLET AT THE GUTTERLINE
- 3. GRATE ELEVATIONS FOR INLETS IN NON-CURBED AREAS ARE COMPUTED TO THE CENTER
- OF THE INLET IN BOTH DIMENSIONS.

 4. SANITARY SEWER AND STORM SEWER MANHOLE RIM ELEVATIONS ARE COMPUTED TO
- CENTER OF THE LID.
 5. PROTECTION OF PIPES THE CONTRACTOR MUST PROVIDE AND MAINTAIN A MINIMUM OF
- 18" OF COVER OVER ALL STORM SEWER AND SANITARY SEWER PIPES DURING
 CONSTRUCTION STAGES UNTIL THE BINDER PAVING COURSE IS PLACED.
- 6. DEPTH OF STORM SEWERS ALL STORM SEWER PIPE MUST BE PLACED AT A SUFFICIENT DEPTH TO ALLOW FOR THE FULL DEPTH OF PAVING, INCLUDING THE BASE COURSE, TO BE PLACED ABOVE THE TOP OF PIPE.

MICHAEL DUAIN HARTMAN "MILLSTONE MEADOWS"
PRELIMINARY/FINAL PLAN
PROFILES

GRAPHIC SCALE 1"=50'

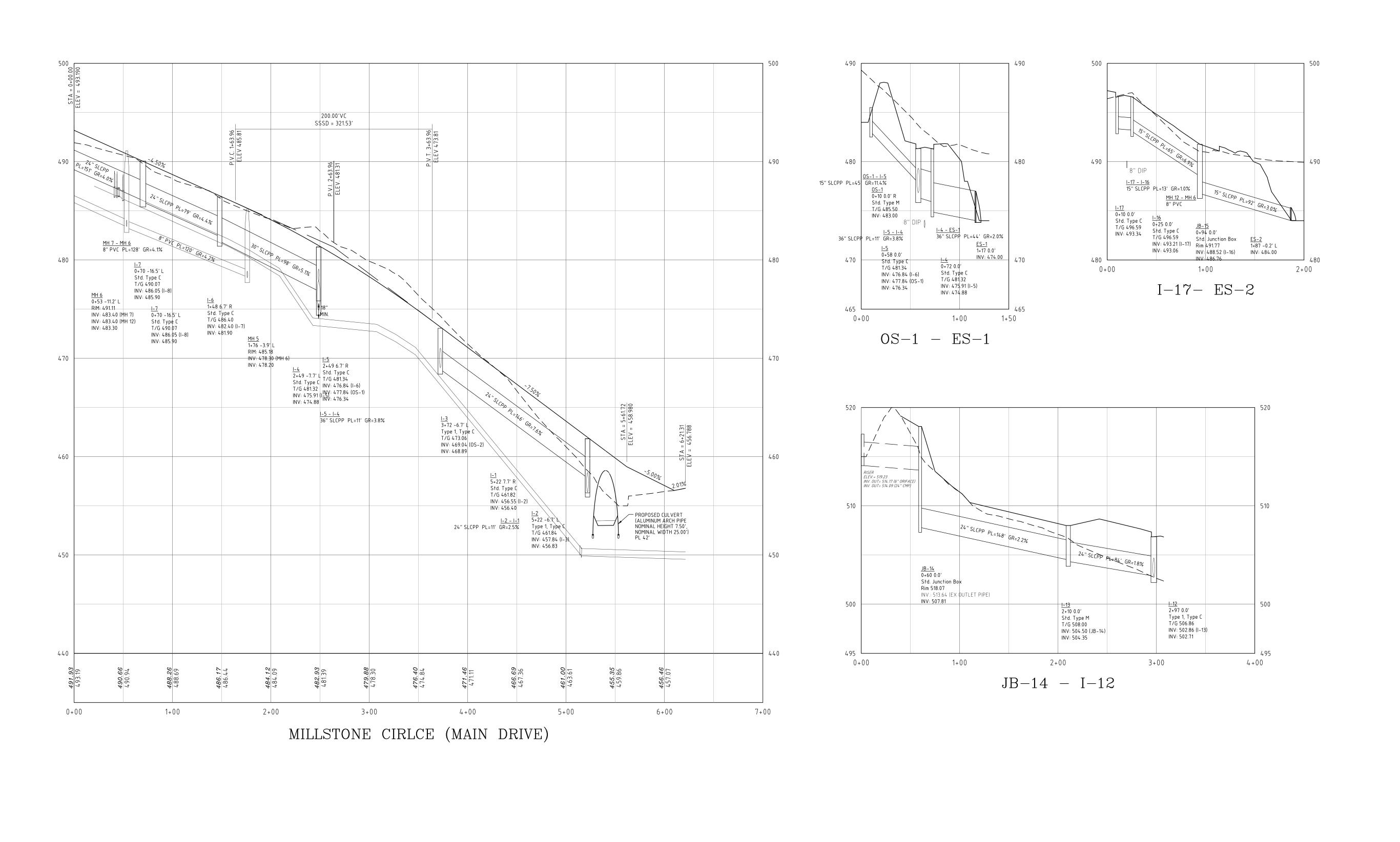
6 OF 17

PLAN NO.
22-001-F-D-6.1

M.D.HARTMAN

M.D.HARTMAN

1" = 50'

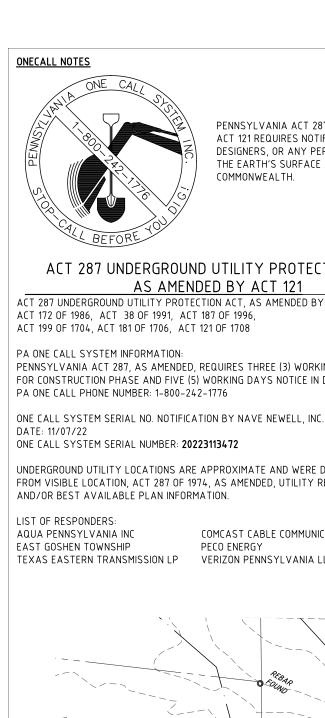


MICHAEL DUAIN HARTMAN

"MILLSTONE MEADOWS"
PRELIMINARY/FINAL PLAN
PROFILES

RAWN BY: M.D.HARTMAN OJ. MANAGER; M.D.HARTMAN 1" = 50'

1"=50' 7 OF 17 22-001-F-D-6.2



PENNSYLVANIA ACT 287, AS AMENDED BY ACT 121 REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE

ACT 287 UNDERGROUND UTILITY PROTECTION ACT, AS AMENDED BY ACT 121

ACT 199 OF 1704, ACT 181 OF 1706, ACT 121 OF 1708

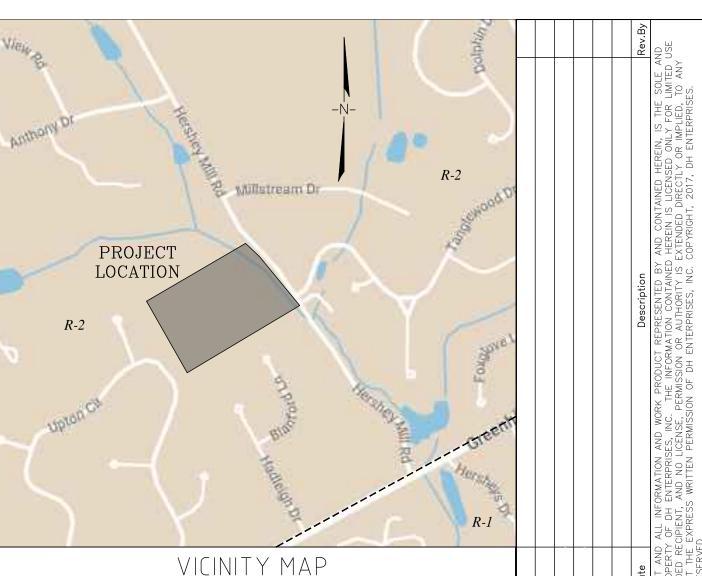
PENNSYLVANIA ACT 287, AS AMENDED, REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND FIVE (5) WORKING DAYS NOTICE IN DESIGN STAGE.

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY NAVE NEWELL, INC.

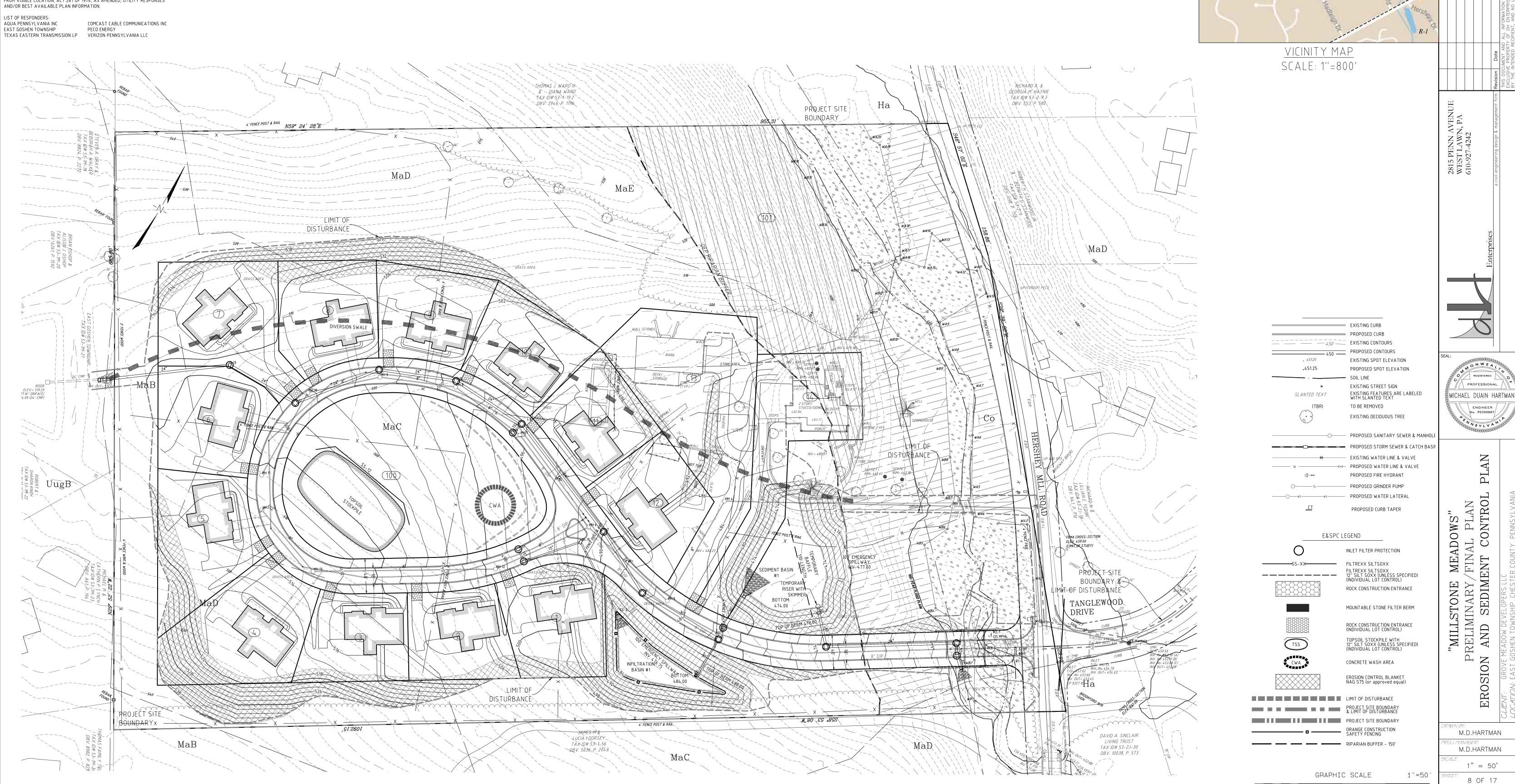
UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, ACT 287 OF 1974, AS AMENDED, UTILITY RESPONSES



U.S. FISH AND WILDLIFE SERVICE AVOIDANCE MEASURE: DO NOT CONDUCT THIS PROJECT/ACTIVITY WITHIN 50 FEET OF ANY STREAMS, RIVERS, CREEKS, OR TRIBUTARIES. THIS INCLUDES BOTH PERENNIAL AND INTERMITTENT WATERWAYS.



22-001-F-D-7.1



- CONSTRUCTION SEQUENCE NOTES 1. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED IN COMPLIANCE WITH CHAPTER 102 REGULATIONS BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL
- BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE 2. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES. THE LANDOWNER ALL APPROPRIATE MUNICIPAL OFFICIALS, THE E&S CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE CHESTER COUNTY CONSERVATION DISTRICT TO SCHEDULE AN ON-SITE
- PRE-CONSTRUCTION MEETING. IN ADDITION, AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR BURIED UTILITIES B. BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN
- OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E & S CONTROL PLAN. THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CHESTER COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR
- ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. . THE ANTICIPATED WASTES ARE GENERAL CONSTRUCTION WASTES. THE OPERATOR SHALL REMOVE FROM THE SITE. RECYCLE. OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOI ID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.2 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE. 5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. ADDITIONALLY, THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED. AND HAS BEEN APPROVED BY THE CHESTER COUNTY CONSERVATION DISTRICT AND/OR LOCAL MUNICIPALITY IN COMPLIANCE

WITH CHAPTER 102 RULES & REGULATIONS, AND IS BEING IMPLEMENTED AND MAINTAINED FOR

- ALL OFF SITE SOIL AND/OR ROCK SPOIL AND/OR BORROW AREAS. MAIN SITE DEVELOPMENT INSTALL ROCK CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN.
- 2. FIELD DELINEATE THE LIMIT OF DISTURBANCE (LOD) PRIOR TO DISTURBANCE ACTIVITIES WITH SURVEY STAKES, POSTS & ROPE. INSTALL SILT SOXX AND ORANGE CONSTRUCTION SAFETY FENCING IN THE LOCATIONS AS SHOWN ON THE E&S CONTROL PLAN. 3. INSTALL STREAM CROSSING. **Installation of culvert shall be in accordance with** APPROVED PERMIT DRAWINGS.
- 4. THE CONVERSION OF THE RIPARIAN BUFFER AREA TO A FORESTED RIPARIAN BUFFER AREA MAY PROCEED AT ANY TIME FOLLOWING THE THE CONSTRUCTION SEQUENCE PROVIDED ON THE RIPARIAN BUFFER MANAGEMENT PLANS
- 5. INSTALL DIVERSION SWALE. PERMANENTLY STABILIZE AND INSTALL EROSION CONTROL
- 6. INITIATE INSTALLATION OF THE SEDIMENT BASIN #1 WITH DISCHARGE PIPE OS-2 TO EW-1, INCLUDING, ANTI-SEEP COLLARS AND OUTFALL RIP-RAP APRON. INSTALL TEMPORARY RISER, BAFFLES, CLEANOUT STAKES, DEWATERING FACILITIES AND PERMANENT OUTLET STRUCTURE TEMPORARY TRASH RACK '. GRADE AREA BEHIND BERM AS SHOWN FOR THE SEDIMENT BASIN THE E&S CONTROL PLAN AND
- IMMEDIATELY IMPLEMENT PERMANENT VEGETATIVE SURFACE STABILIZATION OF ALL DISTURBED 8. CONCURRENTLY WITH STAGE 5, INSTALL THE STORM SEWER FROM I-4 TO ES-1, INCLUDING
- RIP-RAP APRON 9. INITIATE CLEARING AND GRUBBING OF THE WOODED AREA ALONG MILLSTONE CIRCLE TO THE
- EXTENTS NECESSARY TO ACHIEVE PROPOSED GRADES. 10. INITIATE STRIPPING AND STOCKPILING OF TOPSOIL FROM THE RIGHT-OF-WAY OF MILLSTONE CIRCLE TO THE EXTENT NECESSARY TO ACHIEVE PROPOSED GRADES AS SHOWN ON THE E&S
- CONTROL PLANS. NOTE: ALL RUNOFF FROM THE DISTURBED AREAS SHALL BE DIRECTED TOWARDS EITHER SILT SOXX OR THE SEDIMENT BASIN. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER. STRIPPING OF TOPSOIL SHALL BE KEPT TO A MINIMUM FOR THOSE AREAS BEING REGARDED AT A GIVEN TIME. 11. INITIATE ROUGH GRADING ACTIVITIES REQUIRED TO ACHIEVE THE PROPOSED GRADES OF THE
- AREAS WHERE TOPSOIL HAS BEEN STRIPPED IN THE PREVIOUS STAGE. 12. UPON REACHING SUBGRADE WITHIN THE PROPOSED ROAD, INSTALL THE SANITARY SEWER, STORM SEWER AND WATER LINE. INSTALL STONE INLET PROTECTION IN INLETS NOTED ON THE
- NOTE: BERMS ARE REQUIRED FOR ALL INSTALLATIONS. EARTHEN BERMS ARE TO BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM TO BE MAINTAINED UNTIL ROADWAY IS PAVED. NOTE: INLETS I-16 ND I-17 ARE TO BE BLOCKED AT THIS TIME.
- 12. PLACE STONE SUBBASE ON ROADWAY SUBGRADE 13. BEGIN HOME CONSTRUCTION IN ACCORDANCE WITH THE INDIVIDUAL LOT CONSTRUCTION SEQUENCE. IN THE EVENT THAT HOME CONSTRUCTION IS NOT TO BEGIN IMMEDIATELY, IMPLEMENT TEMPORARY VEGETATIVE STABILIZATION ON THAT LOT
- 14 INSTALL BITUMINOUS PAVING, CURBING AND SIDEWALK ALONG ROADWAYS, 15. COMMENCE AND COMPLETE THE PERMANENT VEGETATIVE STABILIZATION OF ALL DISTURBED AREAS WHICH ARE AT FINAL GRADE. INSTALL PROPOSED TREES AS SHOWN ON THE
- LANDSCAPING PLAN. 16. UPON STABILIZATION OF ALL UPSLOPE DISTURBED AREAS TRIBUTARY TO INFILTRATION BASIN #1. INITIATE INSTALLATION OF INFILTRATION BASIN #1 IN ACCORDANCE WITH THE **INDIVIDUAL** BMP CONSTRUCTION SEQUENCE AND CRITICAL STAGES OF IMPLEMENTATION PROVIDED IN THE
- POST CONSTRUCTION STORM WATER MANAGEMENT PLANS AND DETAILS 17. UPON STABILIZATION OF ALL UPSLOPE DISTURBED AREAS TRIBUTARY TO INFILTRATION BASIN #2 INITIATE CONVERSION OF THE BASIN FROM A SEDIMENT BASIN TO THE PERMANENT INFILTRATION BASIN IN ACCORDANCE WITH THE INDIVIDUAL BMP CONSTRUCTION SEQUENCE AND
- CRITICAL STAGES OF IMPLEMENTATION PROVIDED IN THE POST CONSTRUCTION STORM WATER MANAGEMENT PLANS AND DETAILS 18. UPON STABILIZATION OF ALL DISTURBED AREAS. REMOVE ALL OTHER E&SC FACILITIES AND MEASURES INCLUDING SILT SOXX INLET BERMS FTC. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM 70% UNIFORM PERENNIAL VEGETATIVE
- COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS 19. WITHIN 30 DAYS AFTER THE COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING THE PERMANENT STABILIZATION OF THE SITE AND PROPER
- INSTALLATION OF PCSM BMPS, THE PERMITTEE SHALL FILE WITH THE DEPARTMENT, OR AUTHORIZED CONSERVATION DISTRICT. A NOTICE OF TERMINATION. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED. TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF CONTROLS MUST BE

STABILIZED IMMEDIATELY. CONSTRUCTION SEQUENCE - INDIVIDUAL LOT

- 1. INSTALL TEMPORARY ROCK CONSTRUCTION ENTRANCE AND SILT SOXX AS SHOWN ON THE PLAN DRAWING AND STANDARD DETAILS, IF APPLICABLE. 2. LIMIT THE DISTURBANCE TO ONLY THE AREA REQUIRED FOR LOT IMPROVEMENTS.
- 3. STRIP TOPSOIL AND STOCKPILE IN DESIGNATED AREA. IMMEDIATELY SEED AND STRAW MULCH THE STOCKPILE. 4. CONSTRUCT HOUSE AND OTHER LOT IMPROVEMENTS.
- 5. UPON COMPLETION OF ALL LOT IMPROVEMENTS, IMMEDIATELY REPLACE TOPSOIL AND PERMANENTLY SEED AND MULCH ALL DISTURBED AREAS. INSTALL AN EROSION CONTROL
- BLANKET IN ALL AREAS OF CONCENTRATED FLOWS AND ON BANKS STEEPER THAN 3:1. 6. REMOVE THE SILT SOXX ONLY AFTER PERMANENT GRASS COVER IS WELL-ESTABLISHED ON ALL DISTURBED AREAS.

CONSTRUCTION SEQUENCE - OFFSITE UTILITIES

AREAS WHICH ARE AT FINAL GRADE

- 1. INITIATE INSTALLATION OF UTILITY LINE. IMMEDIATELY IMPLEMENT TEMPORARY VEGETATIVE STABILIZATION. THE LENGTH OF TRENCH SHOULD BE LIMITED TO THE AMOUNT THAT CAN BE INSTALLED AND BACKFILLED IN A DAY. 2. COMMENCE AND COMPLETE THE PERMANENT VEGETATIVE STABILIZATION OF ALL DISTURBED
- B. UPON STABILIZATION OF ALL DISTURBED AREAS, REMOVE ALL OTHER E&SC FACILITIES AND MEASURES INCLUDING SILT SOXX INLET BERMS FTC. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

UTILITY LINE TRENCH EXCAVATION NOTES:

AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY. 2. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF-CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND
- SITE RESTORATION AND STABILIZATION OPERATIONS. 3. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH. 4. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION
- 5. WATER THAT ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/ OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- 6. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.

- ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS FOR CONSTRUCTION/INSTALLATION OF PROPOSED BMP'S AND FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE CONTROLS. ADDITIONALLY, VEHICULAR/EQUIPMENT TRAFFIC ON AREAS TO BE STABILIZED WITH PERMANENT VEGETATION SHALL BE LIMITED TO PREVENT OVER
- COMPACTION OF SOILS 2. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS. 3. THE SIZE AND DURATION OF DISTURBANCE SHALL BE LIMITED TO THAT WHICH IS NECESSARY TO
- COMPLETE THE WORK OUTLINED FOR THAT GIVEN STAGE OF THE CONSTRUCTION SEQUENCE. 4. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED IMMEDIATELY
- 5. AT THE END OF EACH WORKING DAY, ANY SEDIMENT TRACKED OR CONVEYED ONTO A PUBLIC ROADWAY WILL BE REMOVED AND REDEPOSITED ONTO THE CONSTRUCTION SITE. REMOVAL CAN BE COMPLETED THROUGH USE OF MECHANICAL OR HAND TOOLS, BUT MUST NEVER BE WASHED OFF THE ROAD BY USE OF WATER
- 6. SEDIMENT REMOVED FROM E&SPC CONTROLS & FACILITIES SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE
- SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES. 7. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A DIRT BAG FILTRATION DEVICE, OR EQUIVALENT SEDIMENT REMOVAL FACILITY. OVER NON-DISTURBED VEGETATED AREAS. DISCHARGE POINTS SHOULD BE ESTABLISHED TO PROVIDE FOR MAXIMUM DISTANCE TO ACTIVE WATERWAYS.
- 8 SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED
- 9. ALL EXCAVATION FOR UTILITY LINE INSTALLATION SHALL BE LIMITED TO THE AMOUNT THAT CAN BE EXCAVATED, INSTALLED, BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY. ALL EXCAVATED MATERIAL SHALL BE DEPOSITED ON THE UPSLOPE SIDE OF THE TRENCH. 10. SHOULD UNFORESEEN EROSIVE CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT
- PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT STOCKPILES OF WOOD CHIPS HAY BALES CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION. 11. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF
- ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL 12. A COPY OF THIS EROSION AND SEDIMENTATION CONTROL REPORT AND PLANS MUST BE POSTED
- 13. BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE OPERATOR MUST ASSURE THAT EACH SPOIL AND BORROW AREA HAS AN E&S CONTROL PLAN APPROVED BY LOCAL COUNTY CONSERVATION DISTRICT, AND WHICH IS BEING IMPLEMENTED AND MAINTAINED ACCORDING TO DEP CHAPTER 102 REGULATIONS. ALL RECYCLING OR DISPOSAL OF MATERIALS SHALL BE ALSO IN ACCORDANCE WITH DEP CHAPTER 102 REGULATIONS.

- UPON REDUCTION, LOSS OR FAILURE OF THE BMP, THE PERMITTEE AND CO-PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE THE BMPS OR PROVIDE AN ALTERNATIVE METHOD OF TREATMENT WHERE E&S BMPS ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR
- ANY OTHER TIME, THE PERMITTEE AND CO-PERMITTEE SHALL IMMEDIATELY CONTACT THE BERKS COUNTY CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN 5 DAYS OF THE INITIAL CONTACT. 3. PERMITTEES REQUESTING A RENEWAL OF COVERAGE UNDER INDIVIDUAL PERMIT MUST SUBMIT TO THE BERKS COUNTY CONSERVATION DISTRICT AN ADMINISTRATIVELY COMPLETE AND
- 4. PERMITTEES AND CO-PERMITTEES ARE RESPONSIBLE FOR ENSURING THAT A LICENSED PROFESSIONAL HAVE OVERSIGHT RESPONSIBILITIES FOR THE PROPER INSTALLATION OF BMPS IDENTIFIED IN THE PCSM PLAN PRIOR TO THE SUBMISSION OF A NOTICE OF TERMINATION. THE LICENSED PROFESSIONAL SHALL CERTIFY THAT THE BMPS IDENTIFIED IN THE PLAN HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLAN. 5. NOTICE OF TERMINATION. UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE

ACCEPTABLE NOI, AT LEAST 180 DAYS PRIOR TO THE EXPIRATION DATE OF THE COVERAGE.

- ACTIVITY UNDER § 102.22(A)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMP'S IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH §§ 102.4 AND 102.8 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSM REQUIREMENTS), THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT.
- THE NOTICE OF TERMINATION MUST INCLUDE (1) THE FACILITY NAME, ADDRESS AND LOCATION. (2) THE OPERATOR NAME AND ADDRESS
- (4)THE REASON FOR PERMIT TERMINATION
- (5) IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP'S IN ACCORDANCE WITH § 102.8(M) AND PROOF OF COMPLIANCE WITH § 102.8(M)(2).
- PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL

PERFORM A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION.

- STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER. 2 UPON COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, THE OPERATOR SHALL STABILIZE IMMEDIATELY THE DISTURBED AREAS TO PROTECT FROM ACCELERATED FROSION. DURING NON-GERMINATING PERIODS MULCH MUST BE APPLIED. AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY SEEDING SPECIFICATIONS. DISTURBED AREAS, WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE REDISTURBED WITHIN 1 YEAR, MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.
- 3. SOIL STOCKPILES MUST BE STABILIZED IMMEDIATELY 4. HAY OR STRAW MULCH MUST BE APPLIED AT RATES OF AT LEAST 3.0 TONS PER ACRE. 5. UNTIL THE SITE HAS ACHIEVED FINAL STABILIZATION THE OWNER AND/OR CONTRACTOR SHALL PROPERLY IMPLEMENT OPERATE AND MAINTAIN ALL THE BEST MANAGEMENT PRACTICES MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROL AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING.

REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.

- 6. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES GREATER THAN 3:1. 8. UNTIL THE SITE IS STABILIZED. ALL EROSION AND SEDIMENTATION BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG

WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

- ALL PREVENTIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.
- WHERE BMPS ARE FOUND TO FAIL TO ALLEVIATE EROSION OR SEDIMENT POLLUTION, THE PERMITTEE OR CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION:
- a. THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS b. ALL STEPS TAKEN TO, REDUCE, ELIMINATE AND PREVENT THE RECURRENCE OF THE NON-COMPLIANCE.
- c. THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPS MUST BE

- GENERAL SEEDING AND SURFACE STABILIZATION CRITERIA DISTURBED AREAS ON WHICH ACTIVITIES HAVE BEEN COMPLETED OR WILL BE CEASED FOR MORE THAN 4 DAYS, OR ANY STAGE THEREOF, SHALL BE IMMEDIATELY STABILIZED WITH THE
- APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION. 2. DURING NON-GERMINATION PERIODS. MULCH MUST BE APPLIED AT THE RATE SPECIFIED UNDER "STABILIZATION DURING NON-GERMINATION PERIODS
- 3. DISTURBED AREAS WHICH ARE NOT FINISHED GRADE AND WILL BE REDISTRIBUTED WITHIN 1 YEAR MAY BE SEEDED AND MULCHED WITH A QUICK GROWING TEMPORARY SEED MIXTURE AND MULCH AS SPECIFIED UNDER "TEMPORARY VEGETATIVE SURFACE STABILIZATION."
- 4 DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE SEEDED WITH A PERMANENT SEED MIXTURE AND MULCHED AS SPECIFIED UNDER "PERMANENT VEGETATIVE SURFACE STABILIZATION."
- 5. DIVERSION CHANNELS, TERRACES, INTERCEPTOR CHANNELS, CHANNELS OF CONVEYANCE, SEDIMENT BASINS. SEDIMENT TRAPS AND STOCKPILES MUST BE SEEDED AND MULCHED IMMEDIATELY AS SPECIFIED UNDER "PERMANENT VEGETATIVE SURFACE STABILIZATION." 6. AREAS WHICH ARE TO BE TOP-SOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5
- INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING, I.E. YARDS.

STABILIZATION DURING NON-GERMINATION PERIODS

DURING NON-GERMINATION PERIODS. MULCH MUST BE APPLIED TO DISTURBED AREAS AT A RATE OF 3 TONS/ACRE. THE NON-GERMINATION PERIOD SHALL BE DETERMINED BASED ON CURRENT WEATHER CONDITIONS: IT IS GENERALLY THE PERIOD FROM OCTOBER 15 TO MARCH 15. AREAS MULCHED DURING NON-GERMINATION PERIODS MUST BE LIMED, FERTILIZED, SEEDED AND MULCHED

- TEMPORARY VEGETATIVE SURFACE STABILIZATION THE FOLLOWING ACTIVITIES SHALL BE UNDERTAKEN TO ACHIEVE TEMPORARY STABILIZATION OF ALL EXPOSED AND DISTURBED SOIL AREAS AS REQUIRED OR DIRECTED. . TILLING – UPON SUSPENSION OF GRADING ACTIVITIES IN DISTURBED AREAS, SURFACE SOIL SHALL BE TILLED AND LOOSED. TILLING MAY BE OMITTED IF SOIL IS SUFFICIENTLY LOOSE TO
- PERMIT SEEDING ACTIVITIES. 2. LIME APPLICATION - GROUND LIMESTONE SHALL BE APPLIED TO THE LOOSENED SOIL AT A UNIFORM RATE OF 46 POUNDS PER 1000 SQUARE FEET. THIS RATE IS IN POUNDS OF AGRICULTURAL GRADE LIMESTONE PER 1000 SQUARE FEET. (1 TON/ACRE × 1 AC./43,560 SQ. FT. = 46 LBS./1000 SQ. FT.)
- 3. FERTILIZER APPLICATION 5-5-5 FERTILIZER SHALL BE APPLIED TO THE LOOSED SOIL AT A UNIFORM RATE OF 5 POUNDS PER 1000 SQUARE FEET 4. TEMPORARY SEEDING - THE FOLLOWING SEED MIXTURE SHALL BE APPLIED TO THE PREPARED SOIL SURFACE BY BROADCAST SPREADERS OR HYDRAULIC APPLICATION ACCORDING TO THE
- FOLLOWING RATE: ANNUAL RYE GRASS PURE SEED GERMINATION PERCENTAGE PURE LIVE SEED PERCENTAGE 81%
- 4 LBS PLS PER 1000 SQUARE FEET. SEEDING RATE AFTER MECHANICAL SEEDING, SEED SHALL BE COVERED BY MEANS OF LIGHT RAKING TO A DEPTH
- OF ONE-QUARTER INCH OF SOIL. 5. HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF 3 TONS/ACRE. HAY MULCH SHOULD BE ANCHORED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING
- WINDBLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE HAY INTO THE SOIL. THIS METHOD IS LIMITED TO SLOPES NO STEPPER THAN 3:1. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR (NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.)
- AGENTS TOXIC TO PLANT OR ANIMAL LIFE, UNIFORMLY APPLIED AT A RATE OF 31 GALLONS PER 100 SQUARE YARDS MAY BE USED TO TACK MULCH. • SYNTHETIC BINDERS (CHEMICAL BINDERS) MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH, PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO
- SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES. • LIGHTWEIGHT PLASTIC, FIBER OR PAPER NETS MAY BE STAPLED OVER MULCH ACCORDING TO OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL THE MANUFACTURER'S RECOMMENDATIONS.

PERMANENT VEGETATIVE SURFACE STABILIZATION

- THE FOLLOWING ACTIVITIES SHALL BE UNDERTAKEN TO ACHIEVE TEMPORARY STABILIZATION OF ALL EXPOSED AND DISTURBED SOIL AREAS AS REQUIRED OR DIRECTED. TILLING - UPON COMPLETION OF GRADING ACTIVITIES IN DISTURBED AREAS, SURFACE SOIL
- SHALL BE TILLED AND LOOSED. TILLING MAY BE OMITTED IF SOIL IS SUFFICIENTLY LOOSE TO PERMIT SEEDING ACTIVITIES. 2. LIME APPLICATION - GROUND LIMESTONE SHALL BE APPLIED TO THE LOOSENED SOIL AT A
- UNIFORM RATE OF 184 POUNDS PER 1000 SQUARE FEET. THIS RATE IS IN POUNDS OF AGRICULTURAL GRADE LIMESTONE PER 1000 SQUARE FEET. 3. BASE FERTILIZER APPLICATION – FERTILIZER SHALL BE APPLIED TO THE SOIL AT THE RATE ESTABLISHED BY SOIL TESTING. AS REQUIRED TO ACCOMMODATE PROPER GROWTH OF THE SEED
- POUNDS PER 1,000 SQUARE FEET 4. MIXING - GROUND LIMESTONE AND FERTILIZER SHALL BE MIXED WITH THE SOIL TO A DEPTH OF FOUR INCHES THROUGH USE OF SUITABLE EQUIPMENT. 5. SEEDING - SEED MIXTURE SHALL BE APPLIED TO THE PREPARED SOIL SURFACE BY BROADCAST SPREADERS OR HYDRAULIC APPLICATION ACCORDING TO THE FOLLOWING RATES:

MIXTURE. AS A MINIMUM, 10-20-20 FERTILIZER SHALL BE APPLIED AT A UNIFORM RATE TO 25

WITHIN INFILTRATION BASIN #1 BOTTOM:

- RETENTION BASIN FLOOR MIX: ERNMX-126. APPLY PER MANUFACTURER'S SPECIFICATIONS WITHIN RAIN GARDENS:
 - RAIN GARDEN MIX: ERNMX-180. APPLY PER MANUFACTURER'S SPECIFICATIONS

ALL OTHER DISTURBED AREAS:

- KENTUCKY 31 TALL FESCUE PURE SEED GERMINATION PERCENTAGE PURE LIVE SEED PERCENTAGE SEEDING RATE 2 LBS PLS PER 1000 SQUARE FEET. CREEPING REDTOP FESCUE 50% PURE SEED GERMINATION PERCENTAGE
- PURE LIVE SEED PERCENTAGE 4 LBS PLS PER 1000 SQUARE FEET. SEEDING RATE REDTOP PURE SEED 80%
- GERMINATION PERCENTAGE PURE LIVE SEED PERCENTAGE SEEDING RATE 1 LBS PLS PER 1000 SQUARE FEET.
- AFTER SEEDING, SEED SHALL BE COVERED BY MEANS OF LIGHT RAKING TO A DEPTH OF ONE-QUARTER INCH OF SOIL 6. HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF 3 TONS/ACRE
- HAY MULCH SHOULD BE ANCHORED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE HAY INTO THE SOIL THIS METHOD IS LIMITED TO SLOPES NO STEPPER THAN 3:1. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR (NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.)
- ASPHALT, EITHER EMULSIFIED OR CUT-BACK, CONTAINING NO SOLVENTS OR OTHER DILUTING AGENTS TOXIC TO PLANT OR ANIMAL LIFE. UNIFORMLY APPLIED AT A RATE OF 31 GALLONS PER 100 SQUARE YARDS MAY BE USED TO TACK MULCH. • SYNTHETIC BINDERS (CHEMICAL BINDERS) MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH, PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO
- SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES. • LIGHTWEIGHT PLASTIC, FIBER OR PAPER NETS MAY BE STAPLED OVER MULCH ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- CRITICAL VEGETATIVE AREA (CVA) SURFACE STABILIZATION (ALL SLOPES GREATER THAN 3:1) AFTER EMBANKMENT SLOPES HAVE BEEN COMPACTED AND CUT SLOPES FINISH GRADED, AREA SHALL BE TOP DRESSED WITH A MINIMUM 4" OF TOPSOIL. SEED MIXTURE SHALL BE APPLIED TO THE PREPARED SOIL SURFACE BY HYDRAULIC APPLICATION ACCORDING TO THE FOLLOWING SUGGESTED RATES OF APPLICATION: PERENNIAL RYEGRASS
- PURE SEED GERMINATION PERCENTAGE 85% PURE LIVE SEED PERCENTAGE 1 LBS PLS PER 1000 SQUARE FEET. SEEDING RATE CROWN VETCH PURE SEED
- GERMINATION PERCENTAGE 65% PURE LIVE SEED PERCENTAGE 64% SEEDING RATE 0.5 LBS PLS PER 1000 SQUARE FEET. SPREADING FESCUE PURE SEED

CONTROL BLANKET SC-150 USING STAPLE PATTERN C.

GERMINATION PERCENTAGE 80% PURE LIVE SEED PERCENTAGE 1 LBS PLS PER 1000 SQUARE FEET. SEEDING RATE AFTER SEEDING APPLICATION HAS BEEN COMPLETED, INSTALL NORTH AMERICAN GREEN EROSION

- Ha HATBORO SILT LOAM

 - GqB GLENELG SILT LOAM, 3 TO 8 PERCENT SLOPES
 - MaB MANOR LOAM, 3 TO 8 PERCENT SLOPES
 - MaC MANOR LOAM, 8 TO 15 PERCENT SLOPES
- MaD MANOR LOAM, 15 TO 25 PERCENT SLOPES MaE - MANOR LOAM, 25 TO 35 PERCENT SLOPES UugB - URBAN LAND - UDORTHENTS SCHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES

- TBACKS CAVE CAUTION SHOULD BE TAKEN TO LIMIT THE AMOUNT OF TRENCH THAT IS OPEN AT ANY GIVEN TIME. SHORING SHOULD BE USED AS RECOMMENDED BY THE RESPECTIVE
- GOVERNMENTAL SAFETY AGENCIES. DEPTH TO SATURATED/ SEASONAL HIGH WATER TABLE - IF GROUNDWATER IS ENCOUNTERED. DURING CONSTRUCTION, THE AREA WILL BE DE-WATERED BY PUMPING THE GROUNDWATER
- INTO A PUMPED WATER FILTER BAG SILT CONTROL SYSTEM. LOW STRENGTH / LANDSLIDE PRONE - IF SOILS ARE NOT SUITABLE FOR THE SPECIFIC ONSITE APPLICATION. AS DETERMINED BY INSPECTION BY THE CONTRACTOR. THEN SUITABLE SOIL
- SHALL BE DERIVED FROM SUITABLE ONSITE MATERIAL OR IMPORTED.
- PIPING THE DETENTION BASIN BERM SHALL BE PROVIDED WITH A CLAY CORE AND COMPACTED TO 98% MODIFIED PROCTOR. ADDITIONALLY, AN EXTRA ANTI-SEEP COLLAR SHALL BE PROVIDED ALONG THE OUTLET PIPE
- SHRINK-SWELL/FROST ACTION IF WINTER GRADING IS UNAVOIDABLE, EXCAVATION SHALL TAKE PLACE WHEN THE TEMPERATURE IS ABOVE FREEZING AND THE SOIL IS DRY. POOR SOURCE OF TOPSOIL (SLOPE) - TRENCH AREAS SHALL BE IMMEDIATELY STABILIZED AND
- COVERED WITH AN EROSION CONTROL BLANKE POOR SOURCE OF TOPSOIL (TOO ACID) – A REPRESENTATIVE SOIL TEST SHALL BE PERFORMED TO

DETERMINE THE NECESSARY AMOUNT OF LIME TO BE USED.

THE CONTRACTOR (RESPONSIBLE PARTY).

AVAILABLE ON-LINE AT WWW.PACODE.COM.

CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH

CLEAN FILL IS DEFINED AS: UNCONTAMINATED. NON-WATER SOLUBLE. NON-DECOMPOSABLE. INERT SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.).

CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL AREAS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL." ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL

ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE • ASPHALT, EITHER EMULSIFIED OR CUT-BACK, CONTAINING NO SOLVENTS OR OTHER DILUTING TO DETERMINE IT THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL.

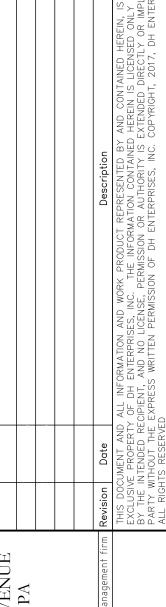
ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF CLEAN FILL. FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE

OTES FOR PROJECTS DISCHARGING TO SPECIAL PROTECTION WATERSHEDS

R/OR EXCEPTIONAL VALUE WETLANDS THIS PROJECT IS IN A SPECIALLY PROTECTED HIGH OLIALITY OR EXCEPTIONAL VALUE

WATERSHED; EXTREME CARE SHOULD BE EXERCISED IN ALL DISTURBANCE ACTIVITIES TO

PREVENT DEGRADATION TO THE WATERS OF THE COMMONWEALTH BECAUSE THIS PROJECT IS IN A SPECIALLY PROTECTED HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHED UPON COMPLETION OR TEMPORARY CESSATION OF FARTH DISTURBANCE ACTIVITIES, THE PROJECT SITE MUST BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.





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M.D.HARTMAN

N.T.S. 9 OF 17

M.D.HARTMAN

22-001-F-D-7.2

1. SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL 2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED

AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY

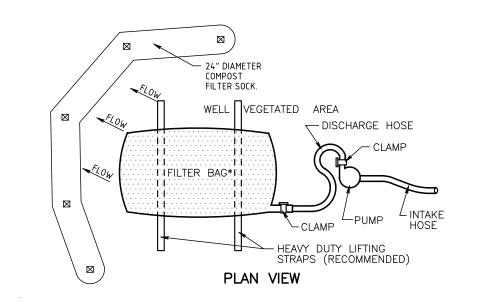
BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

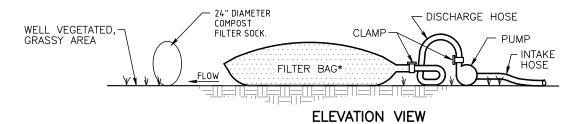
3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS. 4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. 5. COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE

REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. 6. BIODEGRADABLE COMPOST EILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS: PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. 7. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS

8. SHEET FLOW SHALL BE MAINTAINED TO COMPOST SOCKS DURING CONSTRUCTION. IF OVERTOPPING OR CONCENTRATED FLOW OCCURS, A ROCK FILTER SHALL BE INSTALLED AT THAT LOCATION.

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK





INUIES

1) LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN
WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING
PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN
GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

I/A I IV	ILLI IIIL I OLLOWING S	TANDANDS.	
	PROPERTY	TEST METHOD	MINIMUM STANDARD
	AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 lb/in
	GRAB TENSILE	ASTM D-4632	205 lb
	PUNCTURE	ASTM D-4833	110 lb
	MULLEN BURST	ASTM D-3786	350 psi
	UV RESISTANCE	ASTM D-4355	70%
	AOS % RETAINED	ASTM D-4751	80 SIEVE

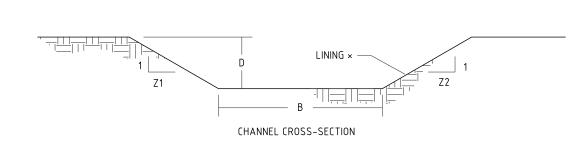
2) A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME HALF FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE LEEPL ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

3) BAGS SHALL BE LOCATED IN WELL—VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON—ERODIBLE AND NON—POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

4) NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

5) THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE. 6) THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED. 7) FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

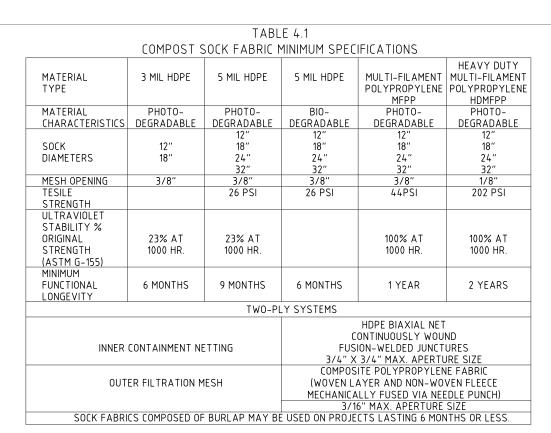
PUMPED WATER FILTER BAG



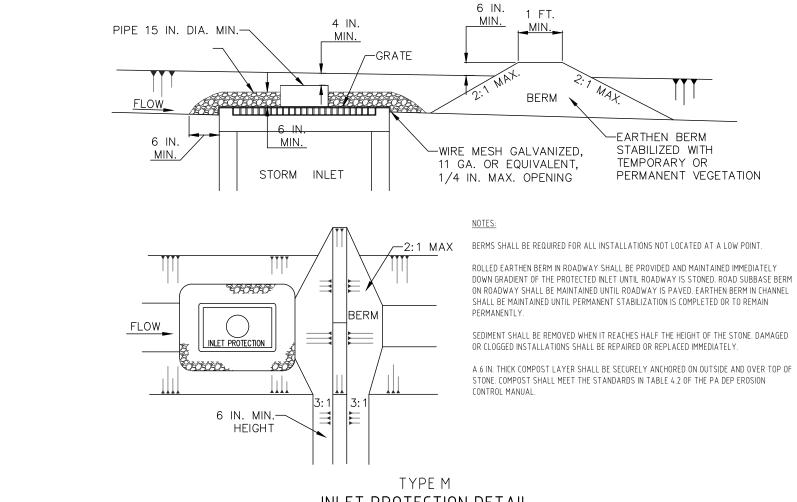
CHANNEL NO.	SECTION	BOTTOM WIDTH B (FT)	DEPTH D (FT)	Z1 (FT)	Z2 (FT)	PERMANENT LINING	TEMPORARY LINING
DIVERSION	1	4.0	1.45	3.0	3.0	VEGETATED	NAG C125

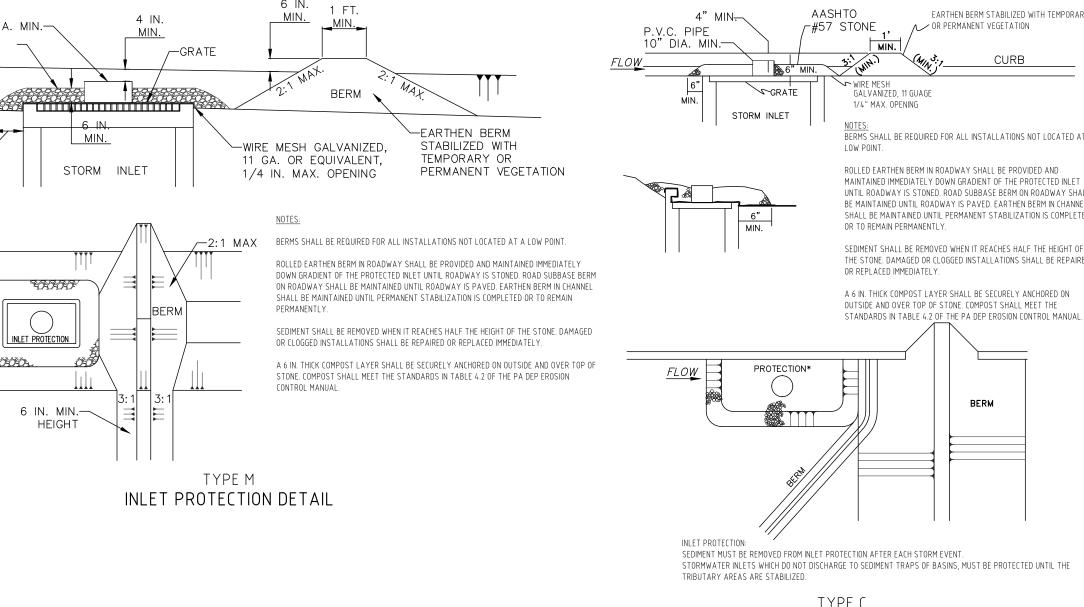
× SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, AND VEGETATION STABILIZATION SPECIFICATIONS FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION.

- 1. HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG 4. PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH A 6" OVERLAP. USE A DOUBLE ROW OF' THE CHANNEL SURFACE.
- 2. IF ROCK OR GRAVEL LENSES ARE ENCOUNTERED DURING SWALE EXCAVATION, UNDERCUT ROCK OR GRAVEL TO 8" BELOW FINISHED 5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN 6" DEEP X 6" WIDE GRADE. COVER ROCK WITH 4" OF SOIL AND 4" OF TOPSOIL. 3. ALL CHANNELS MUST BE KEPT FREE OF OBSTRUCTIONS SUCH AS FILL GROUND, FALLEN LEAVES AND WOODY DEBRIS ACCUMULATED SEDIMENT, AND CONSTRUCTION MATERIALS/WASTES. CHANNELS SHOULD BE KEPT MOWED AND/OR FREE OF ALL
- WEEDY, BRUSHY OR WOODY GROWTH. ANY UNDERGROUND UTILITIES RUNNING ACROSS / THROUGH THE CHANNEL(S) SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL(S) REPAIRED AND STABILIZED PER THE CHANNEL CROSS-SECTION DETAIL. 4. VEGETATED CHANNELS SHALL BE CONSTRUCTED FREE OF ROCKS, TREE ROOTS, STUMPS OR OTHER PROJECTIONS THAT WILL IMPEDE NORMAL CHANNEL FLOW AND/OR PREVENT GOOD LINING TO SOIL CONTACT. THE CHANNEL SHALL BE INITIALLY OVER
- EXCAVATED TO ALLOW FOR THE PLACEMENT OF TOPSOIL. TYPICAL VEGETATED SWALES

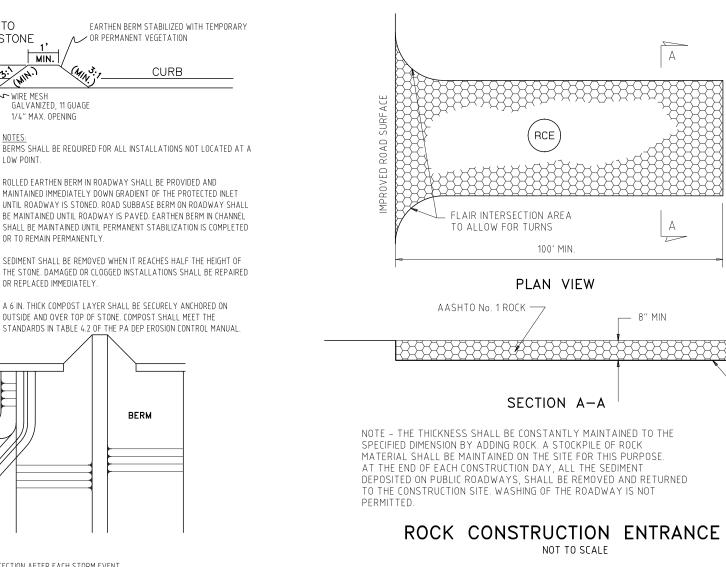


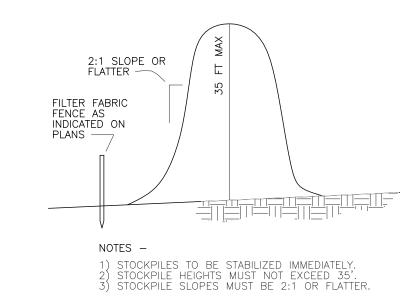
TABL	E 4.2
COMPOST S	TANDARDS
ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
PH	5.5 - 7.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 DS/M (MMHOS/CM) MAXIMUM





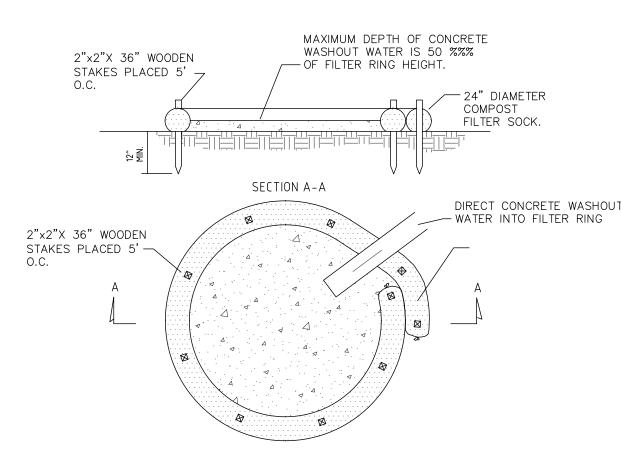
INLET PROTECTION DETAIL





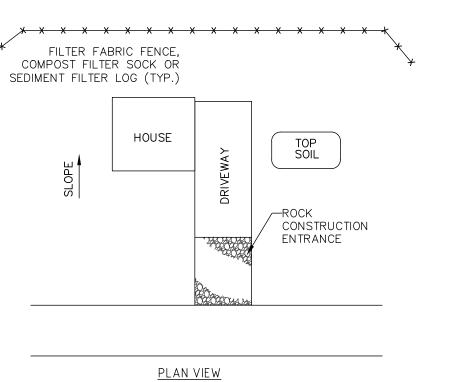
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TEMPORARY STOCKPILE DETAIL



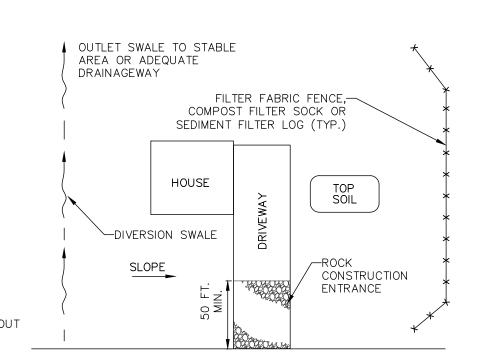
PLAN VIEW 1) INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE. 2) 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT 3) A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.

COMPOST SOCK CONCRETE WASHOUT DETAIL



NOTES: THE AREA DOWNSLOPE OF THE FILTER FENCE/COMPOST SOCK BARRIER/SEDIMENT FILTER LOG MAY NOT BE UNDER DEVELOPMENT OR OTHERWISE DISTURBED.

TYPICAL ON-LOT BMPs FOR LOT BELOW ROADWAY



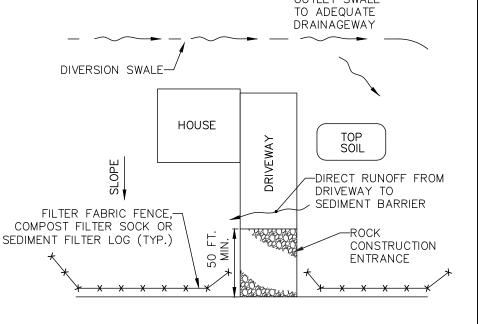
<u>PLAN VIEW</u> NOTES: THE AREA DOWNSLOPE OF THE FILTER FENCE/COMPOST SOCK BARRIER/SEDIMENT FILTER LOG

MAY NOT BE UNDER DEVELOPMENT OR OTHERWISE DISTURBED. THE UPSLOPE DIVERSION CHANNEL SHOULD BE INSTALLED WHEREVER RUNOFF FROM AREAS ABOVE THE LOT ARE NOT OTHERWISE DIVERTED AWAY FROM THE LOT. THE CHANNEL SHOULD BE PROPERLY SIZED AND PROVIDED WITH A SUITABLE PROTECTIVE LINING. THE DESIGNER AND/OR CONTRACTOR MUST EXERCISE CAUTION TO PROTECT ALL DOWNSTREAM PROPERTY OWNERS WHEN SELECTING A DISCHARGE POINT FOR THIS CHANNEL.

IN AREAS WHERE SLOPE IS AT AN OBLIQUE ANGLE TO THE ROADWAY, BMPS SHALL BE ADJUSTED ACCORDINGLY.

DIVERSION CHANNEL MAY OUTLET TO ROADSIDE DITCH OR STORM SEWER SYSTEM, BUT NOT ONTO STREET OR ROADWAY.

TYPICAL ON-LOT BMPs FOR LOT ALONG ASCENDING OR DESCENDING ROADWAY OUTLET SWALE



NOTES: THE UPSLOPE DIVERSION CHANNEL SHOULD BE INSTALLED WHEREVER THE LOT EXTENDS MOR THAN 150 FEET ABOVE THE ROADWAY OR WHERE RUNOFF FORM AREAS ABOVE THE LOT IS NO OTHERWISE DIVERTED AWAY FROM THE LOT. THE CHANNEL SHOULD BE PROPERLY SIZED AND PROVIDED WITH A SUITABLE PROTECTIVE LINING. THE DESIGNER AND/OR CONTRACTOR MUST

EXERCISE CAUTION TO PROTECT ALL DOWNSTREAM PROPERTY OWNERS WHEN SELECTING A

<u>PLAN VIEW</u>

TYPICAL ON-LOT BMPs FOR LOT ABOVE ROADWAY

DISCHARGE POINT FOR THIS CHANNEL

MO MEA FIN TO NA CONSTRUCTION

PROFESSIONAL

MICHAEL DUAIN HARTMAN

No. PE059897

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M.D.HARTMAN

M.D.HARTMAN N.T.S.

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22-001-F-D-7.3

USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING

2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF

BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY

12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND

ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN

IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED

THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO

ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED

CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP.

SLOPE PROTECTION INSTALLATION DETAIL

STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH. NOTE: XIN LOOSE SOIL CONDITIONS, THE

FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF

CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.

STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET

DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.

SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.

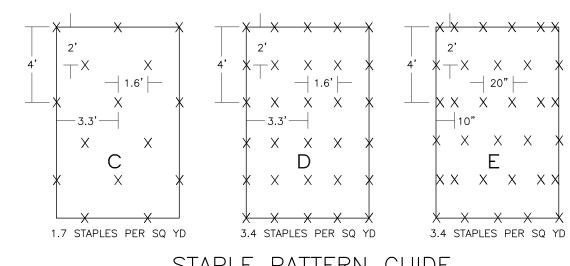
PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. 2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING 3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW ON BOTTOM OF CHANNEL.

STAGGERED STAPLES 4" APART TO SECURE BLANKETS. TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. 6. BLANKETS ON SIDE SLOPES MUST BE OVERLAPPED 4" OVER THE CENTER BLANKET AND STAPLED (2" FOR

C350 MATTING). 7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A

SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN. 8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL

ECB CHANNEL INSTALLATION



STAPLE PATTERN GUIDE



PENNSYLVANIA ACT 287, AS AMENDED BY ACT 121 REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

ACT 287 UNDERGROUND UTILITY PROTECTION ACT, AS AMENDED BY ACT 121 ACT 287 UNDERGROUND UTILITY PROTECTION ACT, AS AMENDED BY: ACT 172 OF 1986, ACT 38 OF 1991, ACT 187 OF 1996,

ACT 199 OF 1704, ACT 181 OF 1706, ACT 121 OF 1708

PA ONE CALL SYSTEM INFORMATION: PENNSYLVANIA ACT 287, AS AMENDED, REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND FIVE (5) WORKING DAYS NOTICE IN DESIGN STAGE. PA ONE CALL PHONE NUMBER: 1-800-242-1776

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY NAVE NEWELL, INC. DATE: 11/07/22 ONE CALL SYSTEM SERIAL NUMBER: 20223113472

UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, ACT 287 OF 1974, AS AMENDED, UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION.

LIST OF RESPONDERS: AQUA PENNSYLVANIA INC

COMCAST CABLE COMMUNICATIONS INC EAST GOSHEN TOWNSHIP PECO ENERGY TEXAS EASTERN TRANSMISSION LP VERIZON PENNSYLVANIA LLC

OWNER AND APPLICANT TROUTBECK FARM DEVELOPERS LLC

1171 LANCASTER AVE. SUITE 201

BERWYN PA 19312 RECEIVING WATERCOURSE

THE RECEIVING WATERCOURSE FROM THE PROJECT AREA IS A TRIBUTRAY TO RIDLEY CREEK. THE WATERCOURSE IS LOCATED ON THE PROJECT TRACT BUT OUTSIDE OF THE LIMIT OF DISTURBANCE. THE WATERCOURSE HAS A CHAPTER 93 CLASSIFICATION OF HQ-CWF, HIGH QUALITY - COLD WATER FISHES. THE

RECEIVING STREAM IS LISTED AS HAVING A 303.D IMPAIRMENT DUE TO URBAN RUNOFF. RIPARIAN BUFFER MEASUREMENT PER PENNSYLVANIA CODE SECTION 102.14(C)(3):

RIPARIAN BUFFERS MUST BE MEASURED HORIZONTALLY AND PERPENDICULARLY TO THE BANK WITH NO MORE THAN A 10% VARIATION BELOW THE MINIMUM WIDTH FROM THE NORMAL POOL ELEVATION FOR LAKE, POND OR RESERVOIR AND FROM TOP OF STREAMBANK.

PROPOSED TREE PLANTINGS:

THE PROPOSED TREE PLANTINGS AND REFORESTATION AREAS AS SHOWN ON THE LANDSCAPING PLAN ARE TO BE CONSIDERED PART OF THE STORM WATER MANAGEMENT SYSTEM FOR THE PROPOSED DEVELOPMENT AND ARE NOT TO BE REMOVED WITHOUT PRIOR APPROVAL FROM EAST GOSHEN TOWNSHIP, CHESTER COUNTY CONSERVATION DISTRICT AND DEP.

SOILS LEGEND Co - CODORUS SILT LOAM

Ha – HATBORO SILT LOAM

GgB - GLENELG SILT LOAM, 3 TO 8 PERCENT SLOPES MaB – MANOR LOAM, 3 TO 8 PERCENT SLOPES

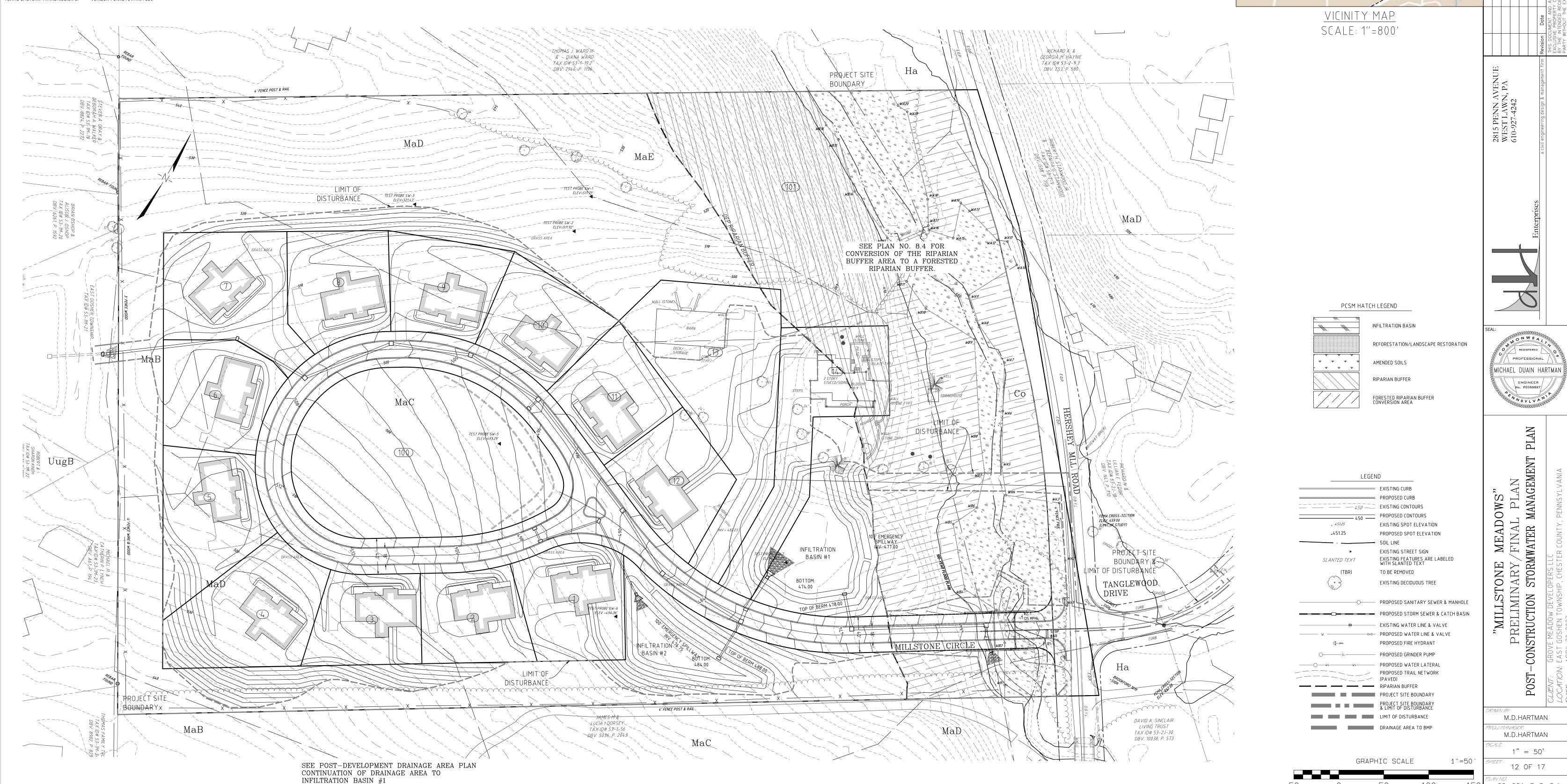
MaC – MANOR LOAM, 8 TO 15 PERCENT SLOPES MaD – MANOR LOAM, 15 TO 25 PERCENT SLOPES

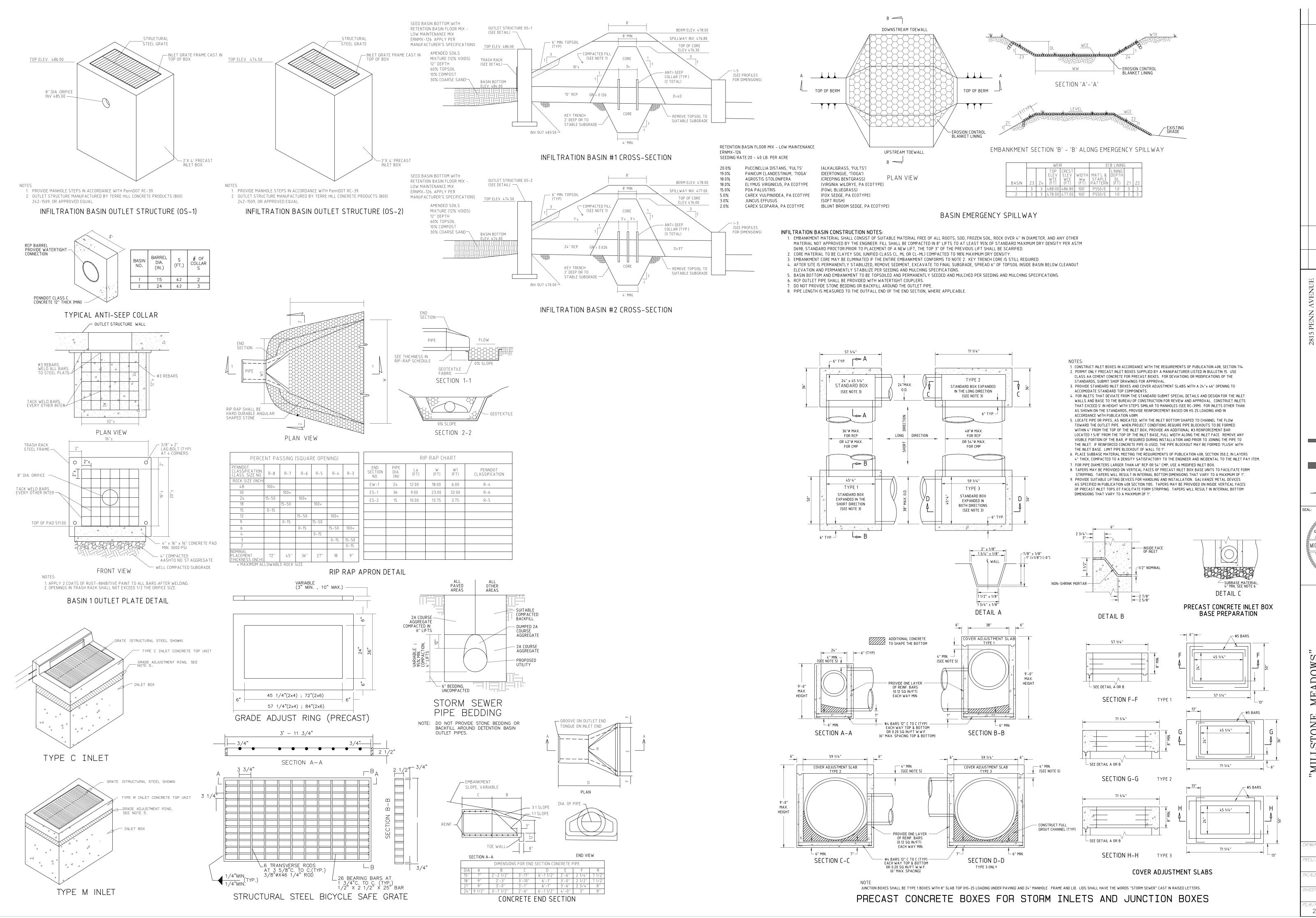
MaE – MANOR LOAM, 25 TO 35 PERCENT SLOPES

UugB - URBAN LAND - UDORTHENTS SCHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES

PROJECT SITE BOUNDARY AREA = 16.00 ACRES LIMIT OF DISTURBANCE AREA = 8.83 ACRES Millstream Dr PROJECT LOCATION

22-001-F-D-8.1





MICHAEL DUAIN HARTMAN

MEADOWS' FINAL PL "MILLSTONE PRELIMINARY

M.D.HARTMAN M.D.HARTMAN

1" = 50'

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22-001-F-D-8.2

EQUITABLE OWNER AND APPLICANT

GROVE MEADOW DEVELOPERS LLC 1171 LANCASTER AVE. SUITE 201 BERWYN PA 19312

1. THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER BMPS. ADDITIONAL SOIL TESTING MAY BE REQUIRED PRIOR TO THE INSTALLATION OF INFILTRATION BMPS TO ENSURE PROPER LOCATION AND FUNCTION. A LICENSED PROFESSIONAL

KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF STORMWATER BMPS, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT. 2. IF UNFAVORABLE CONDITIONS HAVE BEEN ENCOUNTERED DURING THE INSTALLATION OF THE SEEPAGE/INFILTRATION SYSTEMS (I.E. GROUNDWATER AND/OR BEDROCK, ETC.), THE OWNER/ENGINEER TO THE PERMANENT INFILTRATION BASIN.

- SHOULD BE NOTIFIED AND THE PROPOSED INFILTRATION SYSTEM SHOULD BE RELOCATED TO A MORE 1. FLUSH ACCUMULATED SEDIMENT FROM THE CONTRIBUTING STORM SEWER SYSTEM. 3. THE ANTICIPATED WASTES ARE GENERAL CONSTRUCTION WASTES. THE OPERATOR SHALL REMOVE
- FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR
- DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE. 4. THE PROPOSED TREE PLANTINGS ARE TO BE CONSIDERED PERMANENT BMPS AND ARE NOT TO BE
- REMOVED WITHOUT PRIOR CONSENT BY THE TOWNSHIP, CHESTER COUNTY CONSERVATION DISTRICT AND THE DEPARTMENT.
- 5. THE EXISTING FLOW PATTERNS TO DISCHARGE POINT'S 2 THROUGH 4 ARE TO BE MAINTAINED AND NOT ALTERED BETWEEN THE LIMIT OF DISTURBANCE AND THE PROJECT SITE BOUNDARY. ANY
- EROSION CAUSED BY DISCHARGES FROM BMPS WITHIN THE SITE WILL BE REPAIRED AND STABILIZED. 6. IN THE EVENT OF FAILURE OF THE PROPOSED BMP'S, THE PERMITTEE SHALL CONSULT A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE CAUSE OF THE FAILURE AND REMEDIATIVE MEASURES. FAILURE OF THE BMP'S IS DEFINED AS FOLLOWS
- BMP 6.4.2: INFILTRATION BASIN DRAINAGE OF COLLECTED WATER TAKES LONGER THAN 72 HOURS AFTER A STORM EVENT
- BMP 6.4.3: SUBSURFACE INFILTRATION BED DRAINAGE OF COLLECTED WATER TAKES LONGER THAN 72 HOURS AFTER A STORM EVENT '. TO ENSURE THAT THE EXISTING FLOW PATTERNS ARE NOT ALTERED AND MAINTAINED, THE OUTLETS FROM THE PROPOSED BMP'S HAVE BEEN LOCATED A MINIMUM OF 150' FROM THE PROJECT SITE

OPERATIONS AND MAINTENANCE RESPONSIBILITIES

THE OWNER WILL BE RESPONSIBLE FOR THE BMP'S AS SHOWN ON THESE PLANS. THE OWNER SHALL INSPECT AND MONITOR THEM PERIODICALLY AND DURING SIGNIFICANT RUNOFF EVENTS TO ENSURE THEY ARE SUCCESSFULLY CARRYING OUT THEIR INTENDED FUNCTION. THE OWNER SHALL NOT DUMP DIRTY WATER, OIL OR ANY OTHER LIQUIDS OR SOLIDS INTO THE STORM WATER CONVEYANCE SYSTEM, DETENTION PONDS OR ANY OTHER BMPS. VEHICLES SHALL NOT BE DRIVEN ACROSS BMPS. THE OWNER SHALL BE RESPONSIBLE FOR THE SHORT TERM AND LONG TERM OPERATION AND MAINTENANCE MEASURES FOR THE POST CONSTRUCTION STORM WATER MANAGEMENT FACILITIES.

BMP 6.4.2: INFILTRATION BASIN (HOMEOWNER'S ASSOCIATION)

- CATCH BASINS AND INLETS (UPGRADIENT OF INFILTRATION BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR AND AFTER RUNOFF EVENTS. THE VEGETATION ALONG THE SURFACE OF THE INFILTRATION BASIN SHOULD BE MAINTAINED IN GOOD
- CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE. VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON AN INFILTRATION BASIN, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
- INSPECT THE BASIN AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS. MOSQUITO'S SHOULD NOT BE A PROBLEM IF THE WATER DRAINS IN 72 HOURS. MOSQUITOES REQUIRE A CONSIDERABLY LONG BREEDING PERIOD WITH RELATIVELY STATIC WATER LEVELS. SHOULD RUNOFF REMAIN IN THE BASIN FOR LONGER THAN 72 HOURS, THE OWNER SHALL CONTACT A REGISTERED PROFESSIONAL TO DETERMINE REMEDIATIVE MEASURES.
- ALSO INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN
- MOW ONLY AS APPROPRIATE FOR VEGETATIVE COVER SPECIES. REMOVE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED. RESTORE ORIGINAL CROSS SECTION AND

BMP 5.4.1 PROTECT SENSITIVE/SPECIAL VALUE FEATURES

INFILTRATION RATE. PROPERLY DISPOSE OF SEDIMENT.

- SHALL INCLUDE NATURAL AREAS OF FLOODPLAINS, MAPPED WETLANDS, MAPPED WOODLANDS, AND NATURAL SLOPES OVER 15% AND 25%.
- MAY INCLUDE OTHER AREAS OF SIGNIFICANT NATURAL RESOURCES THAT THE APPLICANT DEMONSTRATES ARE OF SPECIAL NATURAL VALUE.
- SHALL NOT BE DISTURBED DURING PROJECT CONSTRUCTION (I.E., CLEARED OR GRADED) EXCEPT FOR TEMPORARY IMPACTS ASSOCIATED WITH MITIGATION AND REFORESTATION EFFORTS. UTILITY
- DISTURBANCE IS DISCOURAGED AND SHOULD BE KEPT TO A MINIMUM.
- SHALL BE PROTECTED BY HAVING THE LIMITS OF DISTURBANCE CLEARLY SHOWN ON ALL CONSTRUCTION DRAWINGS AND DELINEATED IN THE FIELD.
- SHALL BE LOCATED WITHIN AN ACCEPTABLE LAND PRESERVATION/PROTECTION AGREEMENT OR OTHER ENFORCEABLE INSTRUMENT, SUCH AS A DEED RESTRICTION, THAT ENSURES PERPETUAL PROTECTION OF THE PROPOSED AREAS. THE PRESERVATION AGREEMENT SHALL CLEARLY SPECIFY HOW THE NATURAL AREA SHALL BE MANAGED AND BOUNDARIES WILL BE MARKED WITH PERMANENT SURVEY MARKERS.
- MANAGED TURF IS NOT CONSIDERED AN ACCEPTABLE FORM OF VEGETATION MANAGEMENT. SHALL BE LOCATED ON THE DEVELOPMENT PROJECT.

PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS

1. UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSM BMPS ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT

- 2. THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS.
- 3 FOR ANY PROPERTY CONTAINING A PCSM RMP. THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE FOR PCSM RMPS AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEES, AND PROVIDE PROOF OF FILING WITH THE NOTICE OF TERMINATION UNDER §

102.7(B)(5) (RELATING TO PERMIT TERMINATION 4. THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSM BMPS OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE

AND PROVIDE NOTICE THEREOF TO THE DEPARTMENT. 5. A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION

POST-CONSTRUCTION STORMWATER MANAGEMENT BMP INSPECTION AND MAINTENANCE NOTES

AND MAINTENANCE OF THE PCSM BMPS LOCATED ON THE PROPERTY.

1. NO STRUCTURES THAT ARE NOT COMPONENTS OF AN APPROVED BMP SHALL BE PERMITTED WITHIN

- OR ON TOP OF AN AREA DESIGNATED FOR STORMWATER INFILTRATION. 2. INFILTRATION BEDS SHALL BE INSPECTED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN
- THE COMMONWEALTH OF PENNSYLVANIA ON THE FOLLOWING BASIS: - ANNUALLY FOR THE FIRST FIVE (5) YEARS.
- ONCE EVERY THREE (3) YEARS THEREAFTER.

INDIVIDUAL BMP CONSTRUCTION SEQUENCE AND CRITICAL STAGES OF

DURING CONSTRUCTION AND IMPLEMENTATION OF THE PROPOSED PERMANENT BMP'S, THE FOLLOWING STAGES OF CONSTRUCTION SHALL BE IMPLEMENTED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL OR DESIGNATED INDIVIDUAL:

BMP 6.4.2: INFILTRATION BASIN

INFILTRATION BASIN #1:

UPON STABILIZATION OF ALL UPSLOPE DISTURBED AREAS, INITIATE CONVERSION OF THE SEDIMENT BASIN

- 2. DEWATER SEDIMENT BASIN.
- 3. REMOVE BAFFLES, CLEANOUT STAKES, DEWATERING FACILITIES AND SEDIMENT RISER.
- INSTALL PERMANENT OUTLET PLATE. 5. REMOVE ALL SEDIMENT FROM THE BASIN.
- 6. REPLACE BOTTOM 12" OF SOIL WITH RAIN GARDEN SOIL MIX AND IMMEDIATELY IMPLEMENT PERMANENT VEGETATIVE COVER. LINE BASIN BOTTOM AND SIDES WITH EROSION CONTROL BLANKET.

INFILTRATION BASIN #2:

- 1. INITIATE INSTALLATION OF THE DISCHARGE PIPE OS-2 TO ES-8, INCLUDING ANTI-SEEP COLLARS AND OUTFALL RIP-RAP APRON. INSTALL PERMANENT OUTLET STRUCTURE. 2. INSTALL PERMANENT OUTLET PLATE AND TRASH RACK.
- 3. IMMEDIATELY IMPLEMENT PERMANENT VEGETATIVE COVER. LINE BASIN BOTTOM AND SIDES WITH EROSION CONTROL BLANKET.

- 1. AREAS TO BE USED FOR STORMWATER INFILTRATION (HEREAFTER, "SUBJECT AREAS") SHALL BE DELINEATED WITH ORANGE SAFETY FENCE PRIOR TO START OF CONSTRUCTION.
- 2. COMPACTION OF THE SUBJECT AREAS IS PROHIBITED. EQUIPMENT AND OTHER TRAFFIC SHALL BE PROHIBITED FROM TRAVELING OVER THE SUBJECT AREAS, EXCEPT AS PROVIDED FOR HEREIN. ONLY HAND-HELD EQUIPMENT SHALL BE USED WITHIN SUBJECT AREAS. OTHER EQUIPMENT MAY BE USED AROUND THE PERIMETER - BUT OUTSIDE OF- SUBJECT AREAS FOR PURPOSES OF EXCAVATION AND TO SUPPLY SOILS AND AGGREGATE.
- THE BOTTOM OF INFILTRATION BEDS SHALL BE SCARIFIED IMMEDIATELY PRIOR TO THE PLACEMENT OF THE GEOTEXTILE FABRIC OR THE LOWEST AGGREGATE SEPARATION LAYER, WHICHEVER IS IN CONTACT WITH THE SOIL SUBGRADE, AT THE BOTTOM OF THE BED.
- 4. ONLY UNIFORMLY GRADED, CLEAN AGGREGATE, FREE OF FINES, SLATE, SHALE, CLAY, SILT, AND VEGETATIVE MATERIAL SHALL BE USED. THE AGGREGATE SHALL HAVE A MINIMUM VOID RATIO OF 40% AND A WASH LOSS OF NO MORE THAN 0.5%. THESE VALUES APPLY TO BOTH THE AGGREGATE WITHIN THE BED AND ANY AGGREGATE USED AS A SEPARATION LAYER. THE SUPPLIER OF THE AGGREGATE SHALL PROVIDE CERTIFICATION OF THE VOID RATIO OF THE AGGREGATE DELIVERED TO THE SITE. THE DESIGN ENGINEER SHALL VERIFY THAT THE VOID RATIO MEETS OR EXCEEDS THE REQUIREMENTS OF THE DESIGN AND SUBMIT SUCH VERIFICATION TO THE TOWNSHIP.
- 5. WHEREVER DRAINAGE FILTER FABRIC IS SPECIFIED, IT SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, INCLUDING PIPE PENETRATIONS, AND SHALL OVERLAP A MINIMUM OF
- 6. SUBJECT AREAS SHALL BE PROTECTED DURING CONSTRUCTION. SEDIMENT SHALL NOT BE ALLOWED TO BE WASHED BACK INTO SUBJECT AREAS WHEN THE BOTTOM OF THE FACILITY IS OPEN OR WHEN THE AGGREGATE IS IN PLACE AND EXPOSED. DURING SITE CONSTRUCTION, ALL INFILTRATION FACILITY COMPONENTS SHALL BE PROTECTED FROM SEDIMENTATION USING STORM INLET PROTECTION IN CONFORMANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) CHAPTER 102 REGULATIONS, AS AMENDED, AND THE EROSION AND SEDIMENTATION POLLUTION CONTROL MANUAL, AS AMENDED. INLET PROTECTION SHALL REMAIN UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FULL STABILIZATION.
- 7. IF SEDIMENT DOES ENTER INTO A SUBJECT AREA, THE CONTRACTOR SHALL CLEAN OUT THE SEDIMENT TO THE TOWNSHIP'S SATISFACTION. THIS MAY REQUIRE THE RECONSTRUCTION OF PORTIONS OF OR THE ENTIRETY OF THE SYSTEM.
- 8. A MINIMUM TWO (2)-FOOT SEPARATION SHALL BE PROVIDED BETWEEN THE SEASONAL HIGH GROUNDWATER TABLE OR BEDROCK (WHICHEVER IS HIGHER) AND THE BOTTOM OF THE INFILTRATION FACILITY. IF GROUNDWATER AND/OR BEDROCK ARE ENCOUNTERED WITHIN AND/OR ABOVE THIS 2-FOOT ZONE DURING CONSTRUCTION. THE DEVELOPER. THE DESIGN ENGINEER. THE TOWNSHIP. AND THE TOWNSHIP ENGINEER SHALL BE NOTIFIED IN WRITING WITHIN TWENTY-FOUR (24) HOURS OF SUCH DISCOVERY. UPON REVIEW OF THE ACTUAL SITE CONDITIONS THE DESIGN ENGINEER SHALL SUBMIT

PCSM REPORTING AND RECORDKEEPING

THE PCSM PLAN, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:

"I (NAME) DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 PA.C.S.A. § 4904 TO THE BEST OF MY KNOWLEDGE. INFORMATION AND BELIEF. THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES."

- (1) THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED
- (2)THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS A PART OF THE

LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS.

APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE

Ba – BAILE SILT LOAM

MaE –

GgB - GLENELG SILT LOAM, 3 TO 8 PERCENT SLOPES

GLENELG SILT LOAM, 15 TO 25 PERCENT SLOPES MANOR LOAM, 8 TO 15 PERCENT SLOPES

MANOR LOAM, 25 TO 35 PERCENT SLOPES

UugB - URBAN LAND-UDORTHENTS, SCHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES

MICHAEL DUAIN HARTMAN

EADOWS' INAL PLA STONI IINARY CSM

M.D.HARTMAN

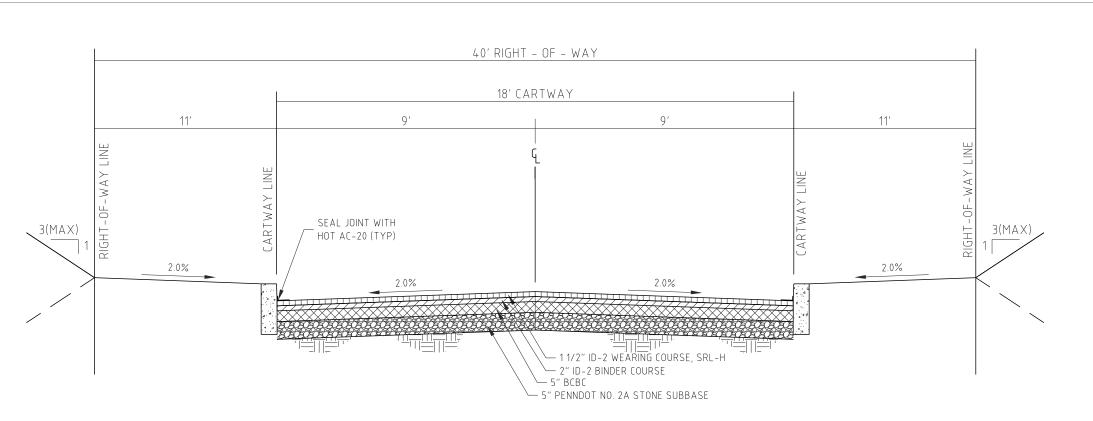
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1" = 50'

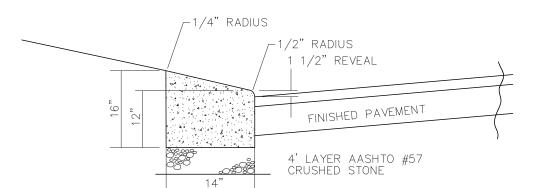
M.D.HARTMAN

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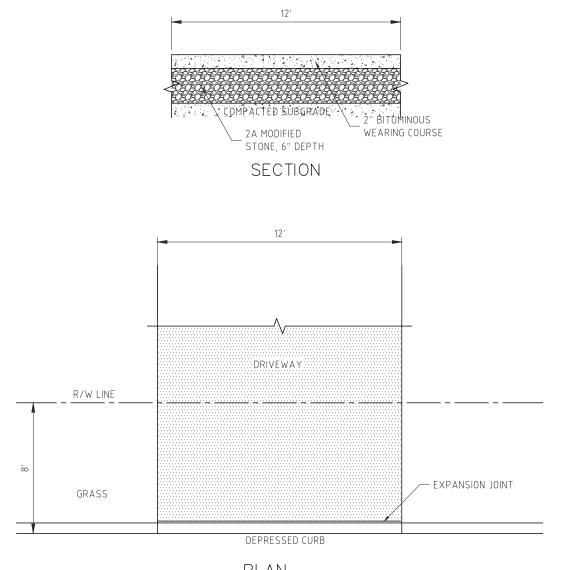
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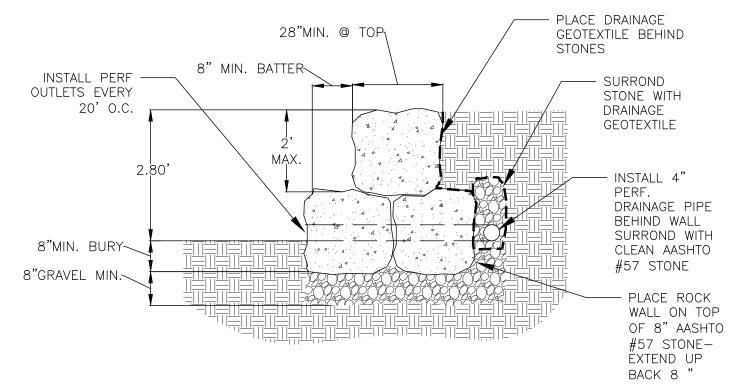
TYPICAL STREET CROSS SECTION



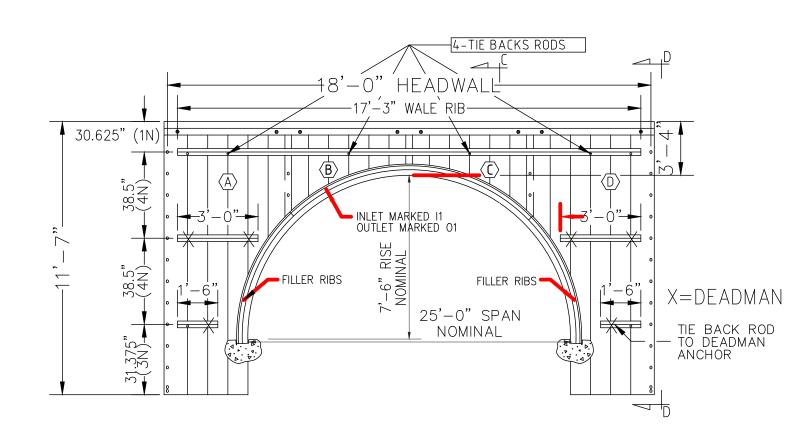
STANDARD SLANT CURB DETAIL



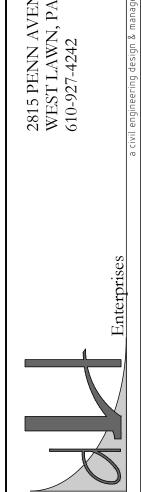
PLAN DRIVEWAY PAVEMENT DETAIL

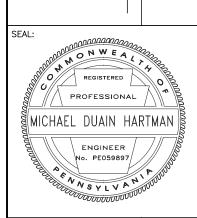


BOULDER RETAINING WALL



PROPOSED CULVERT (ARCH PIPE) HEADWALL ELEVATION VIEW



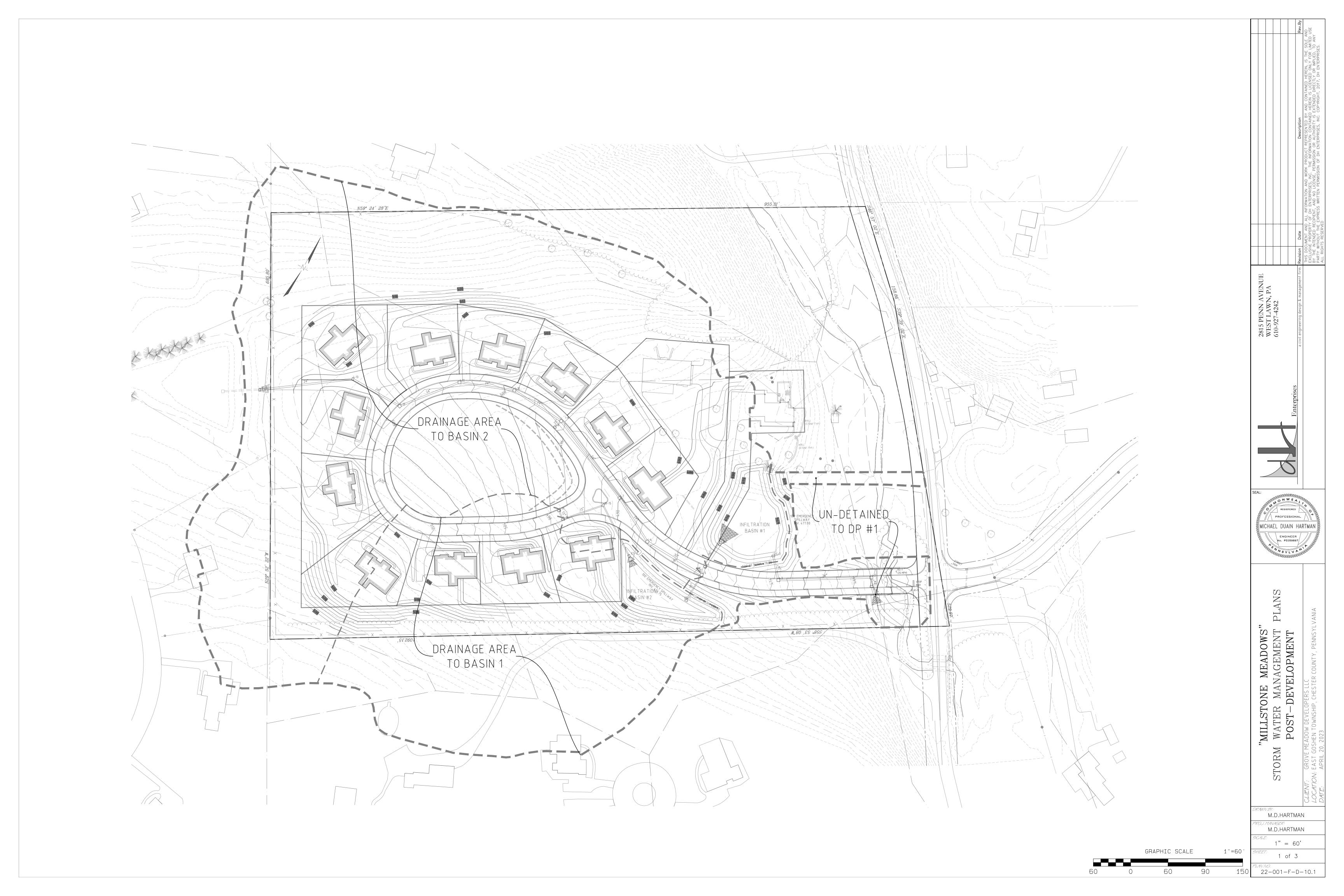


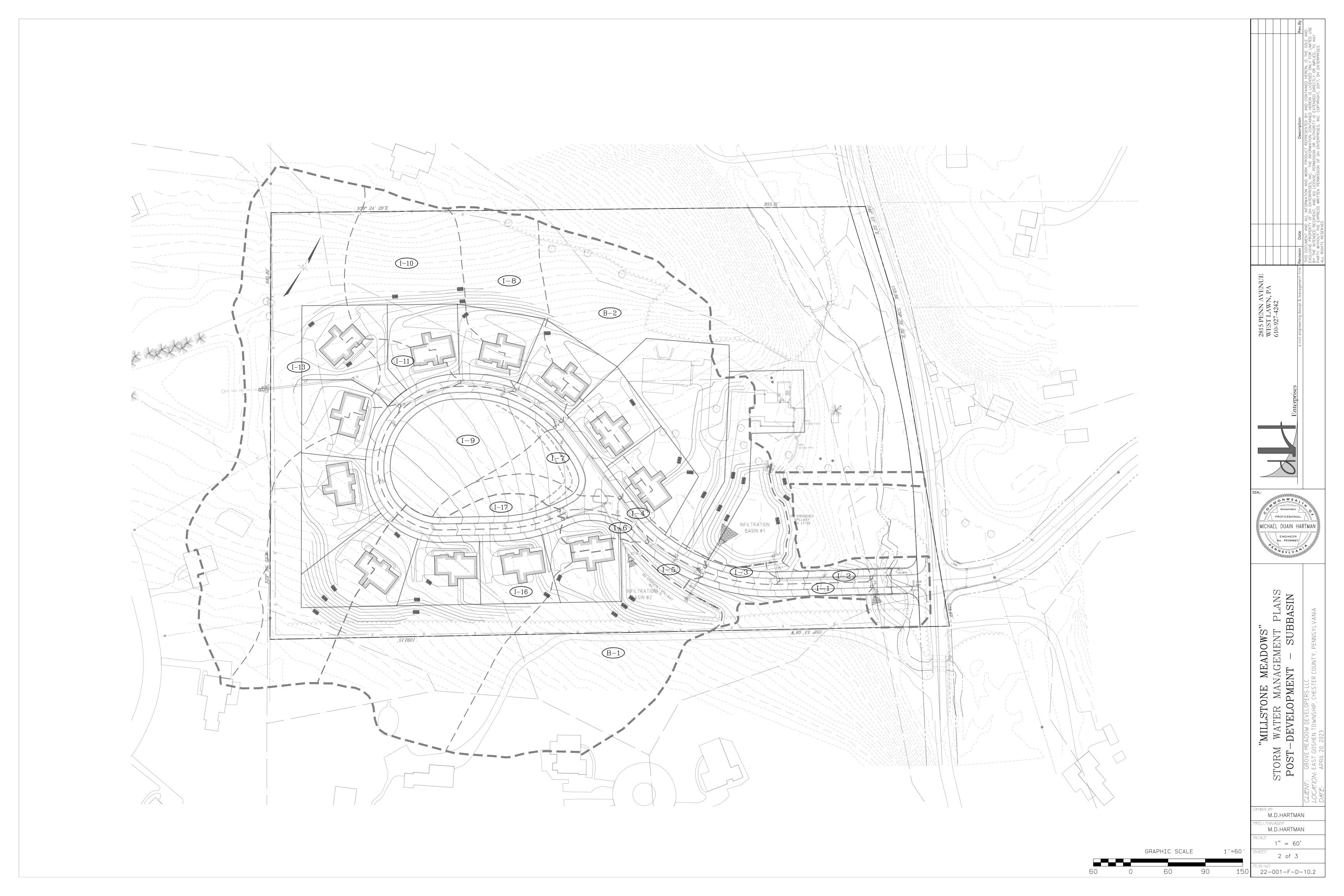
"MILLSTONE MEADOWS"
PRELIMINARY/FINAL PLAN
CONSTRUCTION DETAIL & NOTES

M.D.HARTMAN M.D.HARTMAN

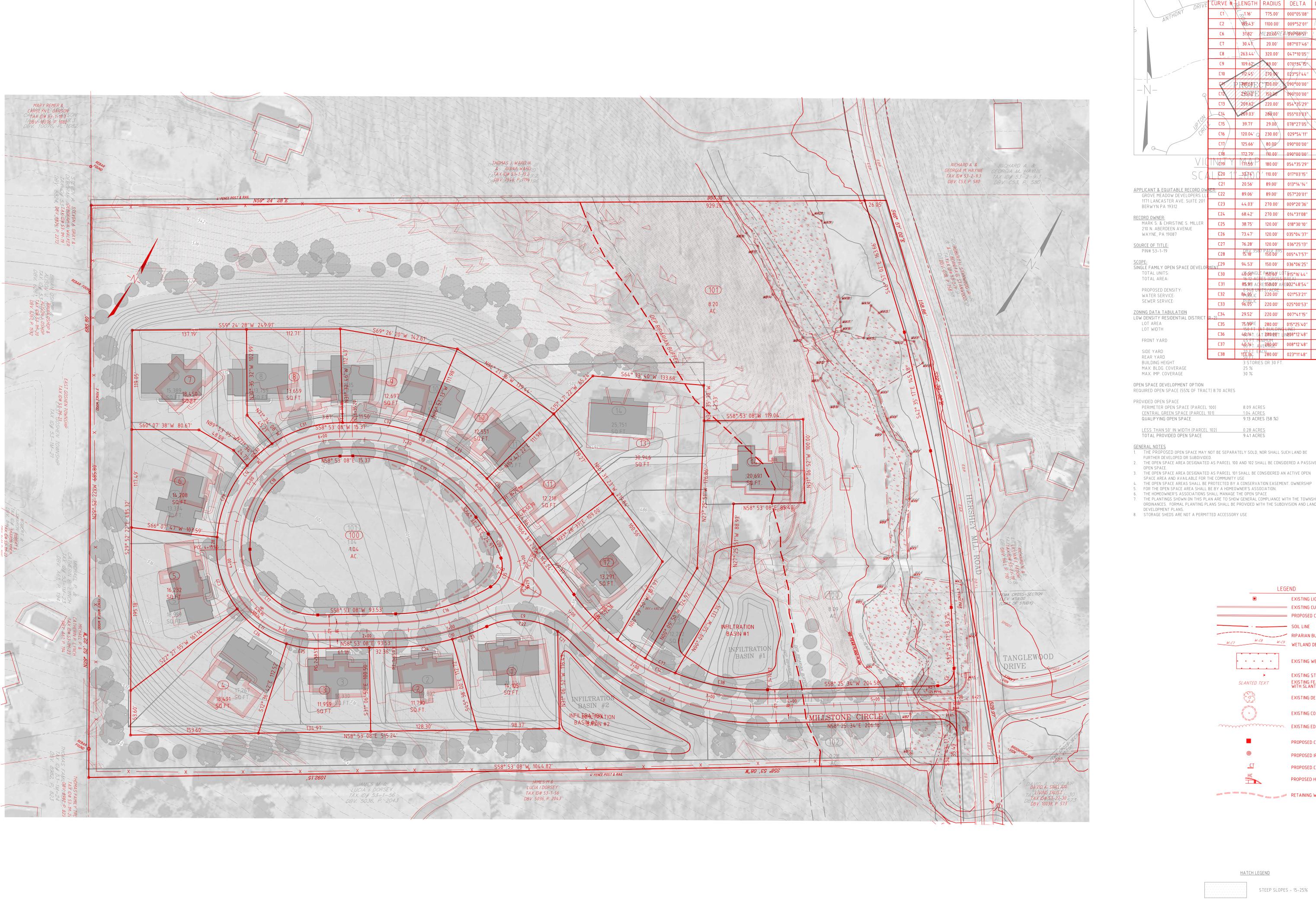
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	TERSEL STATES	ROPER	TY LIN	IE CUR\	/E	TABLE	
DDIVI	CURVE #	LENGTH	RADIUS	DELTA	СН	I. BEARING & [DIS
DAIV.	C1	√ _∞ 1.16′	775.00′	000°05′08"	,	N46°53′40″W 1.1	16′
APPLICANT & EQUITABLE RECORD OW GROVE MEADOW DEVELOPERS LLI 1171 LANCASTER AVE. SUITE 201 BERWYN PA 19312 RECORD OWNER: MARK S. & CHRISTINE S. MILLER 210 N. ABERDEEN AVENUE WAYNE, PA 19087 SOURCE OF TITLE: PIN# 53-1-19 SCOPE: SINGLE FAMILY OPEN SPACE DEVELOPE TOTAL UNITS: TOTAL AREA: PROPOSED DENSITY: WATER SERVICE: SEWER SERVICE: SEWER SERVICE: SEWER SERVICE: DOING DATA TABULATION LOT AREA LOT WIDTH FRONT YARD SIDE YARD BUILDING HEIGHT MAX. BLDG. COVERAGE MAX. IMP. COVERAGE MAX. IMP. COVERAGE OPEN SPACE DEVELOPMENT OPTION REQUIRED OPEN SPACE (55% OF TRACE)	C2	189.43'	1100.00′	009°52′01″		S37°39′17″E 189.	20'
	C6	\ \ \	M/L 20 50.07 <i>RE</i> ,	4/1992/1881/551"	1	S12°51′09″W 28.5	57'
	C7	30.41	20.00′	087°07'46" /		S78°02'09"E 27.5	57'
	C8	263.44'	320.00′	047°10′05″/		N82°00′37″E 256.	.06
	<u> </u>	109.62	89.00'	070°34'15"		N70°18′32″E 102.	82'
	C10	112.45'	270.00'	023°51'44"		N46°57′16″E 111.6	+
APPLICANT & EQUITABLE RECORD OV GROVE MEADOW DEVELOPERS LE 1171 LANCASTER AVE. SUITE 201 BERWYN PA 19312 RECORD OWNER: MARK S. & CHRISTINE S. MILLER 210 N. ABERDEEN AVENUE WAYNE, PA 19087 SOURCE OF TITLE: PIN# 53-1-19 SCOPE: SINGLE FAMILY OPEN SPACE DEVELO TOTAL UNITS: TOTAL AREA: PROPOSED DENSITY: WATER SERVICE: SEWER SERVICE: SEWER SERVICE: CONING DATA TABULATION OW DENSITY RESIDENTIAL DISTRICT LOT AREA LOT WIDTH FRONT YARD SIDE YARD REAR YARD BUILDING HEIGHT MAX. BLDG. COVERAGE MAX. IMP. COVERAGE MAX. IMP. COVERAGE PERIMETER OPEN SPACE (PARCEL PERIMETER OPEN SPACE (PARCEL	CH	PR8851E(7720.00	090,00,00,		S76°06′52″E 169.	+
APPLICANT & EQUITABLE RECORD OF GROVE MEADOW DEVELOPERS LE 1171 LANCASTER AVE. SUITE 2018 BERWYN PA 19312 RECORD OWNER: MARK S. & CHRISTINE S. MILLER 210 N. ABERDEEN AVENUE WAYNE, PA 19087 SOURCE OF TITLE: PIN# 53-1-19 SCOPE: SINGLE FAMILY OPEN SPACE DEVELOR TOTAL UNITS: TOTAL AREA: PROPOSED DENSITY: WATER SERVICE: SEWER SERVICE: SEWER SERVICE: SEWER SERVICE: ZONING DATA TABULATION LOW DENSITY RESIDENTIAL DISTRICT LOT WIDTH FRONT YARD SIDE YARD REAR YARD BUILDING HEIGHT MAX. BLDG. COVERAGE MAX. IMP. COVERAGE OPEN SPACE DEVELOPMENT OPTION REQUIRED OPEN SPACE (PARCE CENTRAL GREEN SPACE (PARCE CENTRAL GREEN SPACE (PARCE CENTRAL GREEN SPACE (PARCE CENTRAL GREEN SPACE (PARCE)	C12	23516P'E	150 00"	090°00'00"	├	S13°53′08″W 212.	+
	C13	209,62'	220.00'	054 35'29"	-	\$86°10′53″W 201.	+
	C14	269.03'	280.00'	055°03'03"\	_	85°57′06″W 258	+
,010	C15	39.71′	29.00′	078°27′05″		\$10°14'35"E 36.6	+
APPLICANT & EQUITABLE RECORD ON GROVE MEADOW DEVELOPERS LI 1171 LANCASTER AVE. SUITE 201 BERWYN PA 19312 RECORD OWNER: MARK S. & CHRISTINE S. MILLER 210 N. ABERDEEN AVENUE WAYNE, PA 19087 SOURCE OF TITLE: PIN# 53-1-19 SCOPE: SINGLE FAMILY OPEN SPACE DEVELO TOTAL UNITS: TOTAL AREA: PROPOSED DENSITY: WATER SERVICE: SEWER SERVICE: SEWER SERVICE: SEWER SERVICE: OUNING DATA TABULATION LOW DENSITY RESIDENTIAL DISTRICT LOT AREA LOT WIDTH FRONT YARD SIDE YARD REAR YARD BUILDING HEIGHT MAX. BLDG. COVERAGE MAX. IMP. COVERAGE OPEN SPACE DEVELOPMENT OPTION REQUIRED OPEN SPACE PERIMETER OPEN SPACE (PARCEI CENTRAL GREEN	C16	120.04'	230.00'	029°54'11"		\$43°56′02″W 118.	+
	C17/	125.66'	80.00'	090°00′00″		N76°06′52″W 113.	+
	C 18	172.79'	110.00'	090°00'00"		N13°53′08″E 155.	+
	110 <u>19</u>	171,50,	180.00'	054°35′29″		N86°10′53″E 165.0	+
	L C20 1'		110.00	017°03′15″		S57°59'45"E 32.6	+
	C21	<u>′ _327</u> () () 20.56'	89.00'	013°14′14″		S81°01′28″E 20.5	+
APPLICANT & EQUITABLE RECORD OV	√NER:	89.06'	89.00'			N63°41'25"E 85.3	16'
APPLICANT & EQUITABLE RECORD ON GROVE MEADOW DEVELOPERS LI 1171 LANCASTER AVE. SUITE 201 BERWYN PA 19312 RECORD OWNER: MARK S. & CHRISTINE S. MILLER 210 N. ABERDEEN AVENUE WAYNE, PA 19087 SOURCE OF TITLE: PIN# 53-1-19 SCOPE: SINGLE FAMILY OPEN SPACE DEVELO TOTAL UNITS: TOTAL AREA: PROPOSED DENSITY: WATER SERVICE: SEWER SERVICE: SEWER SERVICE: ZONING DATA TABULATION LOW DENSITY RESIDENTIAL DISTRICT LOT AREA LOT WIDTH FRONT YARD SIDE YARD BUILDING HEIGHT MAX. BLDG. COVERAGE MAX. IMP. COVERAGE MAX. IMP. COVERAGE OPEN SPACE DEVELOPMENT OPTION REQUIRED OPEN SPACE (55% OF TRA PROVIDED OPEN SPACE (PARCEL CENTRAL GREEN SPACE (PARCEL CENTRAL GREEN SPACE (PARCEL	C23	44.03'	270.00	057°20′01″ 009°20′36″			+
						N39°41′42″E 43.9	+
APPLICANT & EQUITABLE RECORD ON GROVE MEADOW DEVELOPERS LI 1171 LANCASTER AVE. SUITE 201 BERWYN PA 19312 RECORD OWNER: MARK S. & CHRISTINE S. MILLER 210 N. ABERDEEN AVENUE WAYNE, PA 19087 SOURCE OF TITLE: PIN# 53-1-19 SCOPE: SINGLE FAMILY OPEN SPACE DEVELO TOTAL UNITS: TOTAL AREA: PROPOSED DENSITY: WATER SERVICE: SEWER SERVICE: SEWER SERVICE: SEWER SERVICE: ZONING DATA TABULATION LOW DENSITY RESIDENTIAL DISTRICT LOT AREA LOT WIDTH FRONT YARD SIDE YARD REAR YARD BUILDING HEIGHT MAX. BLDG. COVERAGE MAX. IMP. COVERAGE MAX. IMP. COVERAGE OPEN SPACE DEVELOPMENT OPTION REQUIRED OPEN SPACE (55% OF TRA	C24	68.42'	270.00′	014°31′08″		N51°37′34″E 68.2	\perp
	C25	38.75′	120.00'	018°30′10″		N68°08′13″E 38.5	+
	C26	73.47'	120.00′	035°04′37″		S85°04′24″E 72.3	
APPLICANT & EQUITABLE RECORD OF SET OF STATE OF	C27	76.28' DBV 358 15.18'	120.00' 7 PAGE 895 150.00'	036°25′13″		S49°19′28″E 75.0	
	C28			005°47′57″		S28¶12′54″E 15.1	_
ANTHONY ANT	1	94.53'	150.00'	036°06′25″		S07°18'42"E 92.9	
	C30	16.12 ACI	RES (GROSS	,		S18°25′52″W 39.8	
	C31		ITS/ACRE	EØ32°48′54″		\$42°28'41"W 84.	
	C32	8 <u>4</u> .055 <u>′</u> 10	220.00′	021°53′21″	,	69°49′48″W 8 8.	
	C33	96.05'	220.00′	025°00′53″		186° [3 '0 [" W 95].	
GROVE MEADOW DEVELOPERS LLU 1171 LANCASTER AVE. SUITE 201 BERWYN PA 19312 ECORD OWNER: MARK S. & CHRISTINE S. MILLER 210 N. ABERDEEN AVENUE WAYNE, PA 19087 DURCE OF TITLE: PIN# 53-1-19 COPE: NGLE FAMILY OPEN SPACE DEVELOP TOTAL UNITS: TOTAL AREA: PROPOSED DENSITY: WATER SERVICE: SEWER SERVICE: DINING DATA TABULATION DW DENSITY RESIDENTIAL DISTRICT LOT AREA	R-2) C34	29.52'	220.00′	007°41′15″		N70°27'00 W 29.5	50'
	C35	75.39RE 150 FT. (280.00' AT BUILDING	015°25'40" LINE)		N74°14'13"W 75.1	17′
FRONT YARD	C36	45 FT M	INIMUM	INŒ08°12′48″		N86°03′26"W 40.	10′
	C37	4 ₆ 001€1 _{. A}	∨ ∈28 0 <u>5</u> 00′	008°12′48″	!	\$85°43′46″W 40.	.10
REAR YARD	C38		ACH 280.00'	023°11′48″	,	570°01′28″W 112.5	59'
APPLICANT & EQUITABLE RECORD OW GROVE MEADOW DEVELOPERS LL 1171 LANCASTER AVE. SUITE 201 BERWYN PA 19312 RECORD OWNER: MARK S. & CHRISTINE S. MILLER 210 N. ABERDEEN AVENUE WAYNE, PA 19087 SOURCE OF TITLE: PIN# 53-1-19 SCOPE: SINGLE FAMILY OPEN SPACE DEVELOR TOTAL UNITS: TOTAL AREA: PROPOSED DENSITY: WATER SERVICE: SEWER SERVICE: SEWER SERVICE: ZONING DATA TABULATION LOW DENSITY RESIDENTIAL DISTRICT LOT AREA LOT WIDTH FRONT YARD SIDE YARD REAR YARD BUILDING HEIGHT MAX. BLDG. COVERAGE MAX. IMP. COVERAGE OPEN SPACE DEVELOPMENT OPTION REQUIRED OPEN SPACE PERIMETER OPEN SPACE (PARCEL CENTRAL GREEN SPACE (PARCEL		25 % 30 %	ES OR 30 FT.				
APPLICANT & EQUITABLE RECORD OV GROVE MEADOW DEVELOPERS LE 1171 LANCASTER AVE. SUITE 201 BERWYN PA 19312 RECORD OWNER: MARK S. & CHRISTINE S. MILLER 210 N. ABERDEEN AVENUE WAYNE, PA 19087 SOURCE OF TITLE: PIN# 53-1-19 SCOPE: SINGLE FAMILY OPEN SPACE DEVELO TOTAL UNITS: TOTAL AREA: PROPOSED DENSITY: WATER SERVICE: SEWER SERVICE: SEWER SERVICE: ZONING DATA TABULATION LOW DENSITY RESIDENTIAL DISTRICT LOT AREA LOT WIDTH FRONT YARD SIDE YARD REAR YARD BUILDING HEIGHT MAX. BLDG. COVERAGE MAX. IMP. COVERAGE OPEN SPACE DEVELOPMENT OPTION REQUIRED OPEN SPACE (55% OF TRA PROVIDED OPEN SPACE (55% OF TRA PROVIDED OPEN SPACE (PARCEL CENTRAL GREEN SPACE	CT) 8.70 ACRES	;					
PLICANT & EQUITABLE RECORD OW GROVE MEADOW DEVELOPERS LL 1171 LANCASTER AVE. SUITE 201 BERWYN PA 19312 CORD OWNER: MARK S. & CHRISTINE S. MILLER 210 N. ABERDEEN AVENUE WAYNE, PA 19087 JRCE OF TITLE: PIN# 53-1-19 DPE: GLE FAMILY OPEN SPACE DEVELOR TOTAL UNITS: TOTAL AREA: PROPOSED DENSITY: WATER SERVICE: SEWER SERVICE: SEWER SERVICE: NING DATA TABULATION W DENSITY RESIDENTIAL DISTRICT LOT AREA LOT WIDTH FRONT YARD SIDE YARD BUILDING HEIGHT MAX. BLDG. COVERAGE MAX. IMP. COVERAGE EN SPACE DEVELOPMENT OPTION QUIRED OPEN SPACE PERIMETER OPEN SPACE (PARCEL QUALIFYING OPEN SPACE LESS THAN 50' IN WIDTH (PARCEL	_ 100)	8.09 ACR	RES				
CENTRAL GREEN SPACE (PARCEL		1.04 ACR					1

GENERAL NOTES

1. THE PROPOSED OPEN SPACE MAY NOT BE SEPARATELY SOLD, NOR SHALL SUCH LAND BE FURTHER DEVELOPED OR SUBDIVIDED.

3. THE OPEN SPACE AREA DESIGNATED AS PARCEL 101 SHALL BE CONSIDERED AN ACTIVE OPEN SPACE AREA AND AVAILABLE FOR THE COMMUNITY USE

THE OPEN SPACE AREAS SHALL BE PROTECTED BY A CONSERVATION EASEMENT. OWNERSHIP
 FOR THE OPEN SPACE AREA SHALL BE BY A HOMEOWNER'S ASSOCIATION.

6. THE HOMEOWNER'S ASSOCIATIONS SHALL MANAGE THE OPEN SPACE
7. THE PLANTINGS SHOWN ON THIS PLAN ARE TO SHOW GENERAL COMPLIANCE WITH THE TOWNSHIP ORDINANCES. FORMAL PLANTING PLANS SHALL BE PROVIDED WITH THE SUBDIVISION AND LAND

8. STORAGE SHEDS ARE NOT A PERMITTED ACCESSORY USE

LEGEND EXISTING LIGHT STANDARD EXISTING CUR SOIL LINE RIPARIAN BUFFER * * * *

. . . .

SLANTED TEXT

EXISTING STRE EXISTING DECIDUOUS TREE EXISTING CONIFEROUS TREE

m. EXISTING EDGE OF WOODS PROPOSED CONCRETE MONUMENT

PROPOSED IRON PIN (TYP.)

M.D.HART M.D.HART

HATCH LEGEND STEEP SLOPES - 15-25% GRAFFAICPESCALE