# AGENDA EAST GOSHEN TOWNSHIP

# CONSERVANCY BOARD MEETING

1580 Paoli Pike, 2<sup>nd</sup> Floor June 14, 2023 - 7:00 PM

- 1. CALL TO ORDER / PLEDGE OF ALLEGIANCE / MOMENT OF SILENCE
- 2. APPROVAL OF MINUTES
  - a. 5/10/2023
- 3. CHAIRMAN'S REPORT
- 4. Tree City USA

5.

- a. Any Maintenance Tasks
- Educational Workshops
  - a. New idea for the Fall
- 6. OLD BUSINESS:
  - a. Supplee Valley Preserve Planting
  - b. Street Tree Ordinance Discussion
  - c. Beaver Dams Discussion
- 7. NEW BUSINESS:
  - a. Summer schedule
- 8. SUBDIVISION / LAND DEVELOPMENT REVIEW

## a. 1010 Hershey Mill Road/Millstone Meadows

- 9. VARIANCES/CONDITIONAL USES None
- 10. LIAISON REPORTS
- 11. CORRESPONDENCE
- 12. DATES OF IMPORTANCE

Date	Meeting	Time
June 15	Futurist Committee - CANCELED	7:00pm
June 19	Township Office Closed-Juneteenth	
June 20	Board of Supervisors	7:00pm
June 24	Community Day	5:00pm
June 26	ESAC	6:30pm
June 27	Planning Commission	7:00pm
July 4	Township Office Closed – 4 <sup>th</sup> of July	
July 6	Park & Rec Commission	7:00pm
July 10	Municipal Authority	7:00pm
July 12	Conservancy Board	7:00pm
July 13	Pipeline Task Force	5:30pm
July 18	Pension Committee	10:00am
July 18	Board of Supervisors	7:00pm
July 20	Futurist Committee	7:00pm
July 24	ESAC	6:30pm
July 25	Planning Commission	7:00pm

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# AGENDA EAST GOSHEN TOWNSHIP CONSERVANCY BOARD MEETING

1580 Paoli Pike, 2<sup>nd</sup> Floor June 14, 2023 - 7:00 PM

- 13. BOARD MEMBER CONCERNS
- 14. PUBLIC COMMENT
- 15. ADJOURNMENT

# Memorandum

East Goshen Township 1580 Paoli Pike West Chester, PA 19380 Voice: 610-692-7171 Fax: 610-692-8950 E-mail: dbrady@eastgoshen.org

Date: May 19, 2023
To: Sandra Snyder (Chair)
From: Duane J. Brady Sr., Township Zoning Officer
Re: 1010 Hershey Mill Road/Millstone Meadows SD Preliminary/Final SD Plan.

Dear Conservancy Board,

The Township staff has received an SD application for 1010 Hershey Mill Road, Millstone Meadows (Miller Property). The proposal is to create a subdivision tract for 14 single-family homes using the Open Space Development Option (Zoning Ordinance section 240-36). A Conditional Use was granted by the Board of Supervisors on March 8, 2023, for a 15 Lot subdivision under the single-family open space development option with 19 conditions. The application has been reviewed for completeness and was accepted by Township Staff on May 16, 2023.

## Things to note:

- $\triangleright$  The property is approximately 16 acres.
- > The property is in the R-2 Low Density Residential District.
- The property contains two (2) Class II historic resources that are currently detailed in the East Goshen Township Historic Resource Inventory (Existing house and barn).
- The property has a stream which is a tributary of Ridley Creek and is classified as a High-Quality Stream and has wetlands.

Please complete your review and provide comments by July 25, 2023.

Thank you, Deere A Decoleg &

Duane J. Brady Sr. East Goshen Township Zoning Officer





Α.

Date Filed: 5-16-23

# EAST GOSHEN TOWNSHIP CHESTER COUNTY, PA

# SUBDIVISION AND / OR LAND DEVELOPMENT APPLICATION

Application for (Circle one):
OSubdivision OLand Development OSubdivision & Land Development
Application is hereby made by the undersigned for approval of a Subdivision and or Land Development Plan, more particularly described below. 1. Applicant's name: Grove Meadow Developers, LLC.
1. Applicant's name: Grove Meadow Developers, LLC. Address: 1171 Lancaster Avenue, Suite 201, Berwyn, PA 19312 Phone: 610-725-0812
Fax: Email: tr@moserhomes.com
2. Name and address of present owner (if other than 1. above) Name: Mark & Christine Miller
Address: 210 N. Aberdeen Avenue, Wayne, PA 19087 Phone:
Fax: Email:
3. Location of plan: <u>Hershey Mill Road at intersection of Tanglewood drive</u>
4. Proposed name of plan:
5. County Tax Parcel No.: 53-1-19 Zoning District: R-2
6. Area of proposed plan (ac.): 16.128 · Number of lots: 14 Single Family
7. Area of open space (ac.): 9.25
8. Type of structures to be constructed: Single Family Dwellings
9. What provisions are to be made for water supply and sanitary sewer? Public
10. Linear feet of road to be constructed: 1,500 ft
11. Name, of Engineer: Michael Hartman, dH Enterprises
Phone Number: 484-663-3487 Fax:
Email address: mhartman@dh-enterprises.net

- 2

# EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

12. Name of Land Planner: Nave Newell	
Phone Number: 610-265-8523 Fax:	
Email address: plepard@navenewell.net	

- B. I/We agree to reimburse the Township of East Goshen for such fees and expenses the Township may incur for the services of an Engineer(s) in investigations, tests, and review in relation to the Subdivision Plan.
- C. I/We agree to post financial security for the improvements depicted on the Subdivision and or land Development Plan pursuant to the Subdivision and Land Development Ordinance.
- D. I/We agree to reimburse the Township of East Goshen for all inspection fees at the actual cost to Township.

# NOTICE

The Township requires an Occupancy Permit before any building can be occupied; no Occupancy Permit will be issued until final inspection and approved by the Zoning Officer and Building Inspector.

Giner Signature

ABPLICANT

Signature

# Administrative Use

Fees received from applicant \$	basic fee, plus \$per lot
For lots = \$	
Application and plan received by:(Signature)	Date:
Application accepted as complete on:(Da	e)

LAMBIMCERLANEPC

ATTORNEYS AT LAW

William R. Christman III Voice 610-430-8000 Fax 610-692-6210 bchristman@lambmcerlane.com

March 8, 2023

# EMAIL AND FIRST CLASS MAIL

Grove Meadow Developers, LLC 1171 Lancaster Avenue, Suite 201 Berwyn, PA 19312 Email: tr@moserhomes.com

Re: Conditional Use Application of Grove Meadow Developers, LLC

Dear Mr. Moser:

Enclosed please find the Decision and Order of the Board of Supervisors of East Goshen Township approved at its public meeting of last evening.

Please kindly signify your acceptance of the conditions of approval within fifteen (15) days of the date of this letter.

Very truly yours,

LAMB MCERLANE PC

By:

William R. Christman III

Enclosure

cc: Derek Davis, Township Manager (via email only) Duane Brady, Zoning Officer (via email only) Alyson Zarro, Esq. (via email only) Natlie McManus Alison Oshop Lillian Fedor Ron McGill

 24 E. Market Street
 PO Box 565
 West Chester, PA 19381
 Phone: 610.430.8000
 Fax: 610.692.0877

 One South Broad Street
 Suite 1500
 Philadelphia, PA 19107
 Phone: 215.609.3170
 Fax: 610.692.0877

 3405 West Chester Pike
 Newtown Square, PA 19073
 Phone: 610.353.0740
 Fax: 610.353.0745

The evidentiary record was closed at the conclusion of the hearing on January 17, 2023. By email dated February 17, 2023, from the Applicant's counsel, the Applicant granted the Township an extension of time to render its decision on the Application through March 7, 2023, pursuant to Section 913.2(b)(2) of the Pennsylvania Municipalities Planning Code (the "Pa MPC").

From the testimony and exhibits presented at the hearing, the Board makes the following:

# FINDINGS OF FACT

1. All facts set forth in the introductory paragraphs above are incorporated herein by reference and are deemed to be factual findings of the Board.

2. Applicant is a Pennsylvania limited liability company.

3. The Property, consisting of approximately 16 acres within the R-2 Low Density Residential District, is owned by Mark Miller and Christine Miller.

4. By Agreement of Sale dated March 15, 2022, the Applicant is the equitable owner of the Property. See Exhibit A-3.

5. The Property contains two (2) Class II historic resources that are currently detailed in the East Goshen Township Historic Resource Inventory (a house and a barn), as well as a stream (a tributary to Ridley Creek, which is classified as a High Quality Stream) and wetlands.

6. The first conditional use hearing, which was held on January 17, 2023, was advertised in the *Daily Local News* on October 13, 2022, and November 7, 2022. *See* Exhibit B-5.

7. All required notices of the hearing were made.

14. The Applicant has indicated its willingness to provide a sanitary sewer and pedestrian access easement from the proposed cul-de-sac to adjoining Township property between Lots 6 and 7.

15. Each lot will be served by public sewer and water. Both the East Goshen Municipal Authority (sanitary sewer) and Aqua Pennsylvania, Inc. (water) have indicated that service is available for the proposed development. *See* Exhibit A-7.

16. Certain improvements will be required to sanitary sewer equipment in order to accommodate the proposed development, which the Applicant has agreed to pay.

17. Approximately fifty-eight percent (58%) of the Property will be qualifying open space, which will be preserved in a conservation easement with a homeowners' association responsible for maintenance.

18. The "central green" within the proposed cul-de-sac is intended to be used for passive and active recreation.

19. The Applicant has proposed certain landscaping around the perimeter of the site and street trees along the proposed road, although the specifics of the proposed landscaping will be reviewed during the subdivision/land development process.

20. The homeowners' association documentation will include a specific section regulating street trees and landscaping, which will be maintained by the homeowners' association.

21. Each single-family dwelling would be separated by at least 30 feet and would provide a minimum of three (3) off-street parking spaces.

- B-3 Email dated September 13, 2022, from Applicant's counsel granting an extension of all deadlines relating to the time in which the Board must hold its first hearing on the Application
- B-4 Form of Public Notice
- B-5 Proof of Publication of Public Notice
- B-6 Pennoni Review Letter dated September 21, 2022
- B-7 Revised Sketch Plan dated October 5, 2022
- B-8 Applicant's Response Letter to Pennoni Review dated October 5, 2022
- B-9 Historic Resource Impact Study dated October 2022
- B-10 Pennoni Revised Review Letter dated October 27, 2022
- B-11 Pipeline Awareness Study dated November 11, 2022
- B-12 Zoning Officer's Memorandum dated November 7, 2022
- B-13 Updated Pipeline Awareness Study dated January 10, 2023
- 30. The following hearing exhibits were introduced by the Applicant and

admitted by the Board at the January 17, 2023 hearing:

- A-1 Conditional Use Application
- A-2 East Goshen Township Zoning Ordinance
- A-3 Redacted Agreement of Sale for 1010 Hershey Mill Road
- A-4 Open Space Development Layout Sketch Plan dated October 5, 2022
- A-5 Historic Resource Impact Study dated October, 2022
- A-6 C.V. of Michael Hartman, P.E.
- A-7 Will Serve Letter dated July 13, 2022
- A-8 Pipeline Awareness Study dated January 10, 2023

31. If this conditional use is granted for the proposed development, the Board, in order to protect the surrounding neighborhood and insure that the health, safety and welfare of the community and the Township are protected, will impose certain conditions on Applicant's home occupation. applicable conditions and criteria imposed by the Ordinance and reasonable conditions of approval imposed by the Board. A conditional use is not a use which the Board has the unfettered discretion to approve or deny. Rather, the Board is governed by the objective criteria and standards enunciated in the Ordinance when determining whether to grant an application.

If the Applicant can prove that they comply with the terms of the Ordinance authorizing a conditional use, the Board must grant the conditional use unless substantial evidence indicates that the use will result in substantial injury to the public interest. <u>Susquehanna Twp. Board of Commissioners v. Hardee's Food Systems, Inc.</u>, 430 A.2d. 367 (Pa. Cmwlth. 1981); <u>Appeal of Estate of Achey</u>, 484 A.2d. 874 (Pa. Cmwlth. 1984), aff'd 501 A.2d. 249 (Pa. 1985); <u>Joseph v. North Whitehall Township</u>, 16 A.3d. 1209 (Pa. Cmwlth. 2011).

The fact that a use is permitted by conditional use evidences a legislative determination that such use would not have an adverse impact on public interests in normal circumstances. <u>Joseph v. North Whitehall Township</u>, 16 A.2d 1209 (Pa. Cmwlth. 2011).

In a conditional use hearing, an applicant has the burden of establishing that its proposed use complies with the specific and objective criteria of the zoning ordinance. Id. Once the applicant has met its burden, the conditional use must be granted unless a protestant presents "sufficient evidence to establish that there is a high degree of probability that the use will cause a substantial threat to the community." In re Cutler Group, Inc., 880 A.2d 39 (Pa. Cmwlth. 2005). To justify the denial of a conditional use,

Here, the East Goshen Township Board of Supervisors has made the decision to grant the Application for conditional use relief, subject to the conditions specified within the Order below.

The additional conditions described in the Order below are imposed and attached pursuant to the authority of the MPC § 603(c) and Section 240-31.B(11) of the Ordinance and are subject to the following general principles. Unless a different mechanism is expressly required, compliance with these conditions shall ordinarily be established in the context of subsequent applications for building and use and occupancy permits and approvals. All conditions shall be complied with to the satisfaction of the Township. Any aspect of the said application or any revision thereto materially inconsistent with these conditions will require re-application to and re-hearing by the Board prior to such approval. Any violation of the conditions during or following construction will be treated as a violation of the Zoning Ordinance, subject to the enforcement mechanisms specifically detailed in MPC §§ 511 and 616-617, 53 P.S. §§ 10511 and 10616-10617.

Most fundamentally, this Decision and Order grants only conditional use approval in accordance with the express terms for the development as described in the Application and by the testimony and exhibits. Nothing contained in this Decision and Order shall be construed to abrogate or limit the obligation of the Applicant to comply with the applicable requirements of all of the Township's ordinances. Except as expressly augmented and clarified by these conditions, the use shall be in accordance with all of the otherwise applicable standards, specifications, and regulations of the Township and of all other agencies with jurisdiction over the Property, the development, or any aspect thereof. Any proposed development or use of the Property which would deviate from any

## ORDER

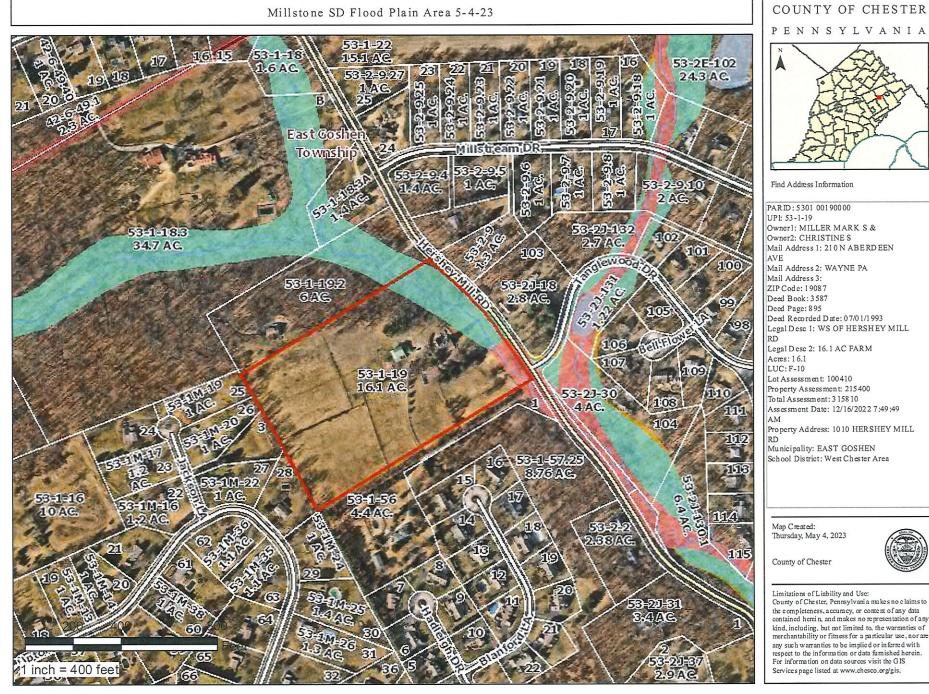
AND NOW, this 7th day of March, 2023, the Board of Supervisors of East Goshen

Township hereby **ORDERS** the following:

- 1. The Application for a single-family open space development is hereby **GRANTED**, subject to the conditions hereinafter enumerated.
- 2. Pursuant to Section 240-38.6 of the Historic Preservation Ordinance, a modification from Section 210-23.B(2)(b)[2][c], permitting only one flag lot, is **GRANTED** to allow two (2) flag lots for the historic resources on the Property.
- 3. The Applicant shall comply with all outstanding comments contained in the Pennoni review letter dated October 27, 2022 (Exhibit B-10), to the satisfaction of the Township Engineer, as amended by this Order.
- 4. During the subdivision/land development process, the Applicant shall adequately address stormwater management, to the satisfaction of the Township Engineer, including but not limited to stormwater conveyances through the site from adjacent stormwater management facilities and any necessary stormwater easements.
- 5. The Applicant shall provide to the Township a sanitary sewer and pedestrian access easement approximately located between Lots 6 and 7, to the satisfaction of the Township. The pedestrian access easement shall be demarcated by post-and-rail fencing, stones, mulch, grass pavers, or the like. The pedestrian access easement shall be maintained by the homeowners' association and will be adequately addressed in the association's Declaration of Covenants, Conditions and Restrictions (the "Declaration") to the satisfaction of the Township. Notice of the easement shall also be provided to any prospective buyers of Lots 6 and 7 prior to execution of an agreement of sale. The Applicant shall complete the demarcation of the pedestrian access prior to the issuance of building permits for lots immediately adjacent to the easement area.
- 6. The "central green" located within the cul-de-sac shall be graded and maintained to allow for active recreation.
- 7. The Applicant shall preserve as much of the existing perimeter vegetation as possible. Any vegetation replaced pursuant to the Ordinance and/or the Township's Subdivision and Land

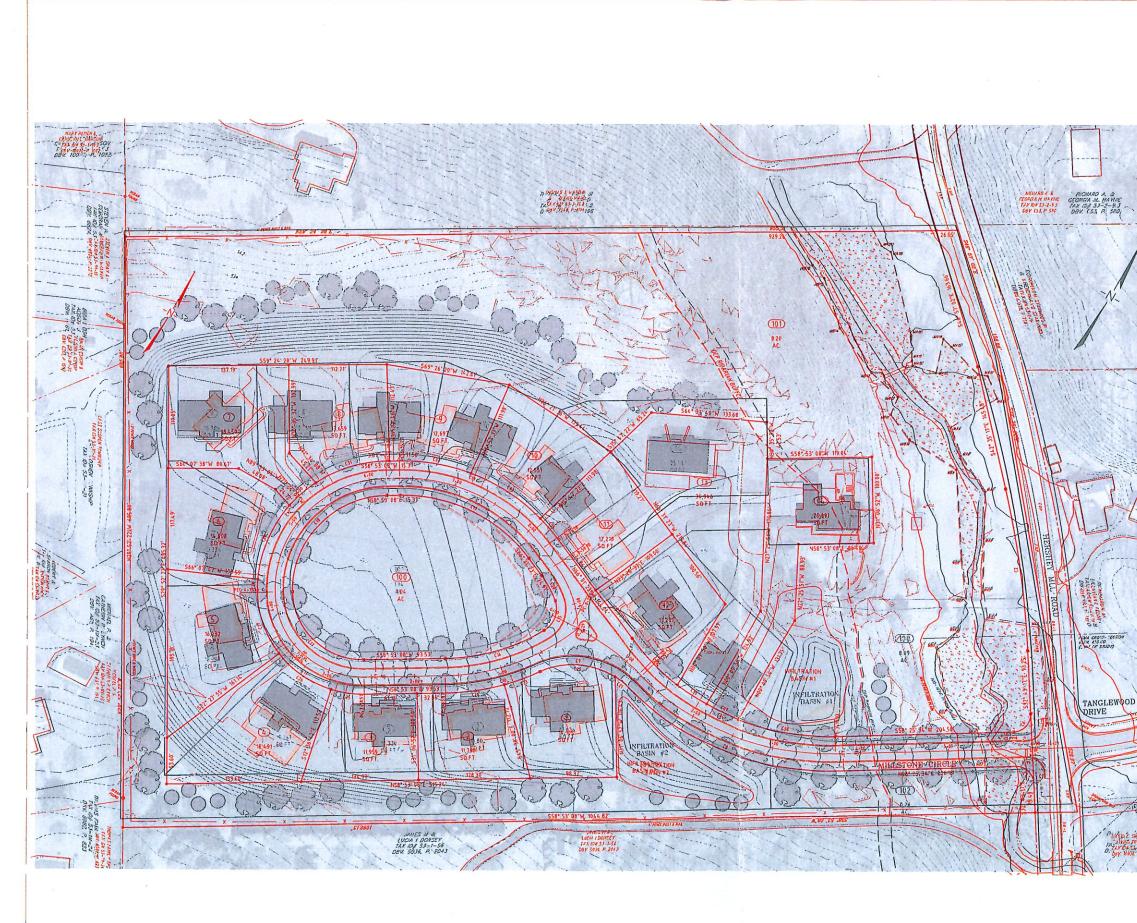
- 13. Any future residential reuse of the historic barn shall require further approvals from the Township, pursuant to the Historic Preservation provisions of the Ordinance (Sections 240-38.1 through 240-38.11). During its ownership of the historic barn, the Applicant shall ensure that it is well maintained and does not fall into disrepair.
- 14. Prior to final plan approval, a Phase I Environmental Site Assessment for the Property shall be provided to the Township.
- 15. The use of the Property shall be in substantial conformity with the Applicant's application and the testimony and exhibits presented at the hearing on the application as determined by the Township, as amended by this Order.
- 16. The Applicant's conditional use shall be subject to compliance with all terms and provisions of the Ordinance and all other Township Ordinances and Regulations.
- 17. The attached Findings of Fact, Conclusions of Law, and Discussion are incorporated into this Order.
- 18. The Applicant shall execute and provide to the Township a recordable, notarized copy of a memorandum containing a metes and bounds description of the Property in question and stipulating the terms and conditions of this approval and shall consent to the recording by the Township in the office of the Recorder of Deeds of Chester County no later than the recording of the approved final plan. All recording costs shall be reimbursed by the Applicant within 30 days of receipt of an invoice from the Township.
- 19. The Applicant shall express to the Board in writing, delivered to the Township Office within 15 days of the Applicant's receipt of this Decision, its full and complete consent to the conditions specified herein above or the Application for conditional use approval is denied; the Board expressly finding and concluding that the Application, in the absence of compliance with the said conditions, is inconsistent with the standards, criteria, purposes and policies codified in Section 240-31 of the Ordinance.

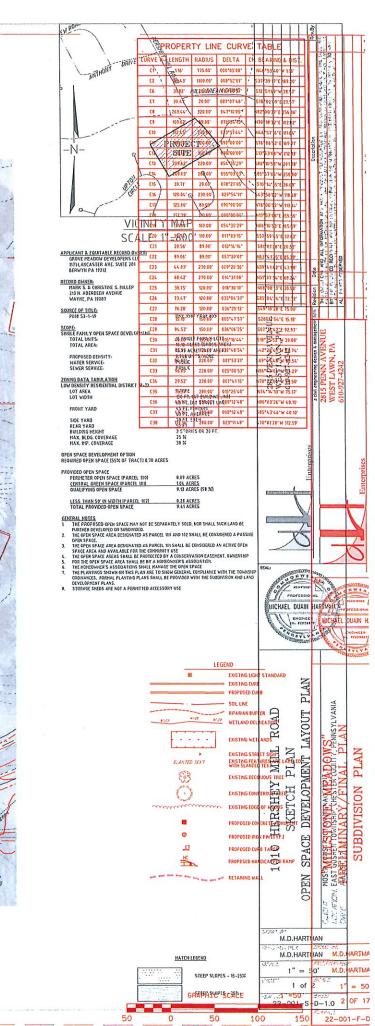
**BOARD OF SUPERVISORS** EAST GOSHEN TOWNSHIP bhn Heltzog. Chai





Limitations of Liability and Use: County of Chester, Pennsylvania makes no claims to the completeness, accuracy, or content of any data contained herein, and makes no representation of any kind, including, but not limited to, the warranties of merchantability or fitness for a particular use, nor are any such warranties to be implied or inferred with respect to the information or data furnished herein. For information on data sources visit the GIS Services page listed at www.chesco.org/gis.







PENNSYLVANIA ACT 787, AS AHENOED BY ACT 121 REQUIRES NOTIFICATION OF EXCA DESIGNERS, OR ANY PERSON PREPARING T THE EARTH'S SURFACE ANYWHERE BY THE ΑΥΑΤΟЯ5, ΣΤΑ ΙΝΣΤΌΡΙ

# ACT 287 UNDERGROUND UTILITY PROTECTION ACT,

PA ONE CALL SYSTEM DIFORMATION. PENNYU, VANA ACT 241, AS ANENDED, REDURES THREE 13) WORKING DAYS NOTICE FOR CORSTRUCTION PHASE AND FLYE (5) WORKING DAYS NOTICE HI DESIGN STAGE. PC AN CE CALL PHONE NUTURE 1-480-2142-175

ONE CALL SYSTEM SERAL KO. NOTRICATION BY NAVE NEWELL, INC. DATE: 11/07/22 ONE CALL SYSTEM SERIAL NUMBER: 70/23/13/72

UNDERGROUND UTLETTY LOCATIONS ARE APPROXIMATE AND WERE DETERINGO FROM VISIBLE LOCATION, ACT 287 OF 1974, AS AMENDED, UTALITY RESPONSES AND/OR BEST AVAR ABLE PLAN INFORMATION.

UST OF RESPONDERS AQUA PENNSYLVAMA INC EAST GOSHEN TOWNSHEP TEXAS FASTERN TRANSMIS CONCAST CABLE CONSIGNCATIONS INC PECO ENERGY VERIZON PENNSYLVANIA ELC

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   PLAN BITTLES, "FRAML SUBDIVISION PLANT. TITLE PLAN" PREPARED BY S.M.K. LTD. DATED XRE'S, MAY AND RECORDED IN TEXT QUESTIC ROUTY CORFUNDESS AF JUAN DATE INFORMATION FOR THE PLANE TO THE PLANT.

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STREETS. ALL SOUT DOS TANCE ODSTRUCTIONS ONLLUDDRE BUT NOT LUDGED TO EMBANDRICHTS AND VEGETATION SMALL BE REMOVED BY THE APPLICANT TO PROVIDE A NARRING OF 300 FEET OF SOUT ODSTANCE TO BOTH THE LEFT AND ROUTE FOR A DAVIAE KINING RADA A AUTO FORST LAKE, THE DRIVAE NARB DE CONSIDENT DO BE POSITIONED TO PROVIDE THE AVENT MATERIAL DEST MARINAE THROUBENT MAVEL LAKE AT AN EVE KRIGHT OF THARE FEET-SIX NURES 19 - 47 ABOVET THE PARCHET MARKEL LOCATOR ET MER D'ITE EXITIO FORMES MALL DE BERFETE-SIX NURES 10 - 47 ABOVET THE PARCHET MARKEL LOCATOR ET THE CONSECT THE LOCASET THROUGH SHALL DE MERTE FEET-SIX NURES 10 - 47 ABOVET THE PARCHET MARKEL LOCATOR ET THE CONSECT LOCASET THROUGH SHALL DE MERTE FEET-SIX NURES 10 - 47 ABOVET THE PARCHET MARKEL LOCATOR ET THE CONSECT LOCASET THROUGH SHALL DE MERTE FEET-SIX NURES 10 - 47 ABOVET THE PARCE LOCATOR ET THE CHERTIG OF THE CLOSEST THROUGH SHALL DE MERTE FEET-SIX NURES 10 - 47 ABOVET THE PARCE LOCATOR ET THE CHERTIG OF THE CLOSEST THROUGH SHALL DE MERTE FEET-SIX NURES 10 - 47 ABOVET THE PARCE LOCATOR ET THE CHERTIG OF THE CLOSEST THROUGH SHALL DE MERTE FEET-SIX NURES 10 - 47 ABOVET THE PARCE LOCATOR THE CHERTIG OF THE CLOSEST THROUGH SHALL DE MERTE FEET-SIX NURES 10 - 47 ABOVET THE PARCE LOCATOR THE CHERTIG OF THE CLOSEST THROUGH THE PARCHET SHALL SHALL D'A AND ASSONDERS.

- THE APPLACED AND THE APPLANTS SUPPLY AND PUBLIC SEVER. PUBLIC WALES WALES PROVIDED BY A DUA PENISYLYANA.
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- THE SANTARY SYNR SMALL BE REVIALLD AN LAST WILL MARKING OF VERTICUES. UTTILES. I THE ANALYAY SEVER NAME AND LATERALS SHALL BE BREND A MORPHY OF VERTICUES. I THE ANALYAY SEVER NAME AND LATERALS SHALL BE BREND A MORPHY OF VERTICUES. I THE ANALYAY SEVER NAME AND LATERAL SIZE AND AND ANY ANY OF VERTICUES. I THE ANALYAY SEVER NAME AND LATERAL SIZE AND ANY OF ANY OF AN ANY OF ANY OF ANY OF ANY OF ANY OF ANY STORM FACILIES FROM SOLD ANAL BE PRIMARY AND ANY OF ANY SECOND FACILIES FROM SOLD ANY OF ANY SECOND FACILIES FROM SOLD ANY OF SECOND FACILIES FROM SOLD AND DETAILS OF ANY ANY ACCOUNT.
- THER WE SHARE. STORM MATER MATES INE STORM MATER MATES MEDITAL MESSION MATER MATES MESSION MATER MATES MESSION AND MATER MATES MESSION AND MATER MATERIAL AND ADDRESS AND ADDRESS MESSION AND MATERIAL EXPLANATIONS ARE PART OF THE OVERALL SITE STORM MATER MANAGEMENT SYSTEM A DATA FAR AND ADDRESS MESSION AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS ADDRESS AND ADDRESS AND ADDRESS ADDRESS ADDRESS AD

- CONDITIONAL USE APPROVAL BY EAST GOSHEN TOWNSHIP
- CONDITIONAL USE APPERATION OF GROVE NEADOW DEVELOPERS, LLC DATED MARCH 3, 2023
- E<u>RCISENTAND REDERCENTIONS</u> New Pool, Inst for an ophane, 2022, the roard of suppovises of fast gosient townsep yearby groeks the following 1. The Applications for a Single Fancy of oppace development is indepy granted, subject to the gonotomic subject Environmend.

- BECISION AND ODDER CONDITIONS
   MED MAD, THE STID AND OF BARGY, 2023, THE BOARD OF SUPERVISIONS OF PAST GOSIENT TOWINSOP HEREBY GROEAS THE POLLOWING
   THE APPLICATION FOR A SUPER-FARMY OWNERS SAFE DEVELOPMENT IS INTERBY GRANTID, SUPERCY TO THE CONDITION'S INTERPARTIER
   THE APPLICATION FOR A SUPER-FARMY OWNERS AND EXPLOYMENT IS INTERBY GRANTID, SUPERCY TO THE CONDITION'S INTERPARTIER
   PORTATION ONLY ONE FARME OF THE INSTORME DESCRIVATION GONORICE A LODGER AND THE ONSTITUCY 302-302 BUBINELIZI, THE APPLICATION ONLY ONE FARME THE ALL OLD TAMING THE TAXION THAT IT ALL OLD TAMING CONTRING TOWING AND REVEW LETTER TAXION THAT IN ALL OLD TAMING CONTRING TOWING AND REVEW LETTER TAXION ADDRESS TO THE AND ADDRESS TOWING THE TOWING THE TOWING THE TOWING ONLY TOWE TAXION TO THE TOWING THE TO

- I. PROBE TO FINLE PLAN REPROVAL, A PHASE I ENVIRONMENTAL STE ASSESSIONT FOR THE PROPERTY SHALL BE PROVIDED TO THE TOWNERS<sup>1</sup>.
  IS: THE USE OF THE PROPERTY SHALL BE IN SUBSEMITIAL CONSIGNETY MITH THE APPLICATION APPLICATION AND THE TESTIRONY AND EXHIBITS PREVENTION AT THE INFORMMENT HAR APPLICATION AS DETUDENCED BY THE TOWNERS<sup>1</sup> OF ADDITION AND EXHIBITS PREVENTION AT THE INFORMMENT HAR APPLICATION AS DETUDENCED BY THE TOWNERS<sup>1</sup> OF ADDITION AND EXHIBITS PREVENTION AT THE INFORMATION OF HER APPLICATION AND EXHIBITS OF THE ADDITION INFORMATION AND ADDITION AND ADDITION AND ADDITION AND EXHIBITS AND ADDITION IN THE ATTACHNER ORDINANCES AND REQUELTION AND EXHIBITS AND EXHIBITS OF THE ADDITION IN THE ATTACHNER ORDINANCES AND REQUELTION AND EXHIBITION ARE INCOMPOSITION FOR THE ADDITION IN THE ATTACHNER ORDINANCES AND REQUELTION AND EXHIBITS A RECORDARE ON TO THIS GOODER.
  II. THE ATTACHNER DENNING SECTOR TO THE RECORDER A RECORDARE ON TO AND EXHIBIT AND A HETES AND DRANGE DESCONTORY OF THE REPORT AND ADDITIONAL TO ADDITIONAL THE ADDITIONAL OF THE ADDITION AND SHALL CONSENT TO THE RECORDER OF THE TOWNERS A RECORDARE OF THE ADDITION SO THE APPROVA-AND SHALL CONSENT TO THE RECORDER OF THE TOWNERS A RECORDARE OF THE ADDITION TO THE TOWNERS OF THE ADDITION TO THE TOWNERS SECTOR TO THE ADDITION THE ADDITION AND A ADDITIONAL TO THE ADDITIONAL OF THE ADDITION TO ADDITION THE RECORDER OF THE ADDITION AND A ADDITIONAL TO ADDITIONAL SECTION TO ADDITIONAL SECTION

WATER SERVICE:	\$UBLIC
SEWER SERVICE:	PUBLIC
DATURS	
BENCHMARKI EXISTING SANITARY SEWER HANN	ILE IN TANGLEWOOD DRIVE
TOP OF MANHOLE=459.50	
DATUR IS BASED ON NAVO DATUR OF 198	1
AREAS TO BE DEDICATED	
HERSHEY HELL ROAD	0.399 ACRES
PROPOSED ROAD (HELLSTOKE CIRCLE)	LLOD ACRES
ZOWING DATA TABULATION	
LOW DENSITY RESIDENTIAL DISTRICT (R-2)	
LOT AREA	I ACRE
LOT WOTH	ISO FT. (AT BUR DONG LINE)
	60 FT. (AT STREET LDS)
FRONT YARD	45 FT. H20HUH
	60 FT. AVERAGE
SIDE YARD	20 FT. EACH
REAR YARD	50 FT.
BUILDING NEIGHT	3 STORIES OR 30 FT.
NAX. BLDG. COVERAGE	25 %
NAX, MP. COVERAGE	34 %
OPEN SPACE DEVELOPHENT OPTION	
REGURED OPEN SPACE ISSX OF TRACT	8.651 ACRES
PROVIDED OPEN SPACE	
PERIMETER OPEN SPACE IPARCEL 1991	0.265 ACRES
CENTRAL GREEN SPACE (PARCEL 101)	1.045 ACRES
GUALIFYING OPEN SPACE	9,250 ACRES (58,8 %)
ZONING NOTES	
1 THE PROPOSED OPEN SPACE MAY NOT BE SEE	PARATELY SOLD, NOR SHALL SUCK L

DBV 3587 PAGE 895

103 041

14 SINGLE FAHLY LOTS 16.128 ACRES (GROSS AREA) 15.129 ACRES (NET AREA) LIZI UBATS/ACRE

APPLICANT & EBUTABLE RECORD OWNER: GROVE MEADOW DEVELOPERS LLC 1171 LANCASTER AVE. SUITE 201 BERWYN PA 19318

SCOPEI SNIGLE FARELY OPEN SPACE DEVELOPMENT

RECORD GWNER HARK S. L CHAISTINE S. HALER 210 N. ABERDEEN AVENUE WAYNE, PA 19437

SOURCE OF TITLE FORD \$3-1-19

TOTAL UNITS TOTAL AREA:

GSB HaB HaC HaD HaE Uuoli

PROPOSED DENSITY

· •	THE PROPOSED OPEN SPACE PLAT NOT DE SEPARATEET SOLD, HUR ST
2	THE OPEN SPACE AREA DESIGNATED AS PARCEL IN AND INT SHALL DE
3.	THE OPEN SPACE AREA DESIGNATED AS PARCEL IN SHALL BE CONSIDE
١.	THE OPEN SPACE AREAS SHALL BE PROTECTED BY A CONSERVATION E.
	HONEOWNER'S ASSOCIATION.
5.	THE PLANTINGS SHOWN ON THOS PLAN ARE TO SHOW GENERAL COMPLU
	DOGVIDED LISTY THE CHRISTIAN AND LAND DEVELOPMENT PLANS.

- PROVIDED WITH THE SUBDIVISION AND LAND DEVELOPMEN STORAGE SHEDS ARE NOT A PERMITTED ACCESSORY USE 2,002
- DLS = CODORUS SALT LOAH = HATBORD SBLT LOAH =- M MEREIG SBLT LOAH, 3 TO B PERCENT SLOPES -- M MEREIG SBLT LOAH, 3 TO B PERCENT SLOPES

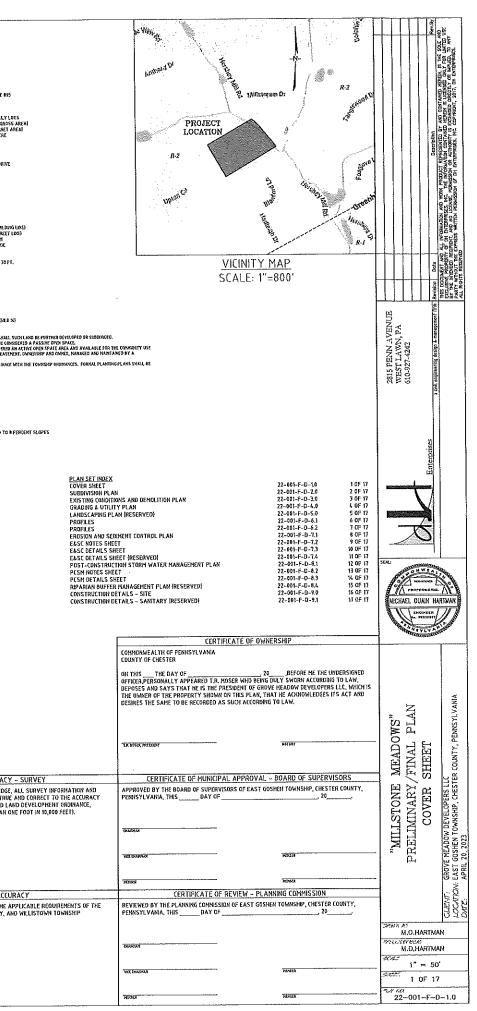
3 TO & PERCENT SLOPES		
B TO 15 PERCENT SLOPES		
IS TO 25 PERCENT SLOPES		
25 TO 35 PERCENT SLOPES		
- UDORTHENTS SCHIST AND	CNEISS COMPLEX, & TO	<b>BPERCENT SLOPES</b>
	3 TO & PERCENT SLOPES B TO IS PERCENT SLOPES IS TO 25 PERCENT SLOPES 25 TO 35 PERCENT SLOPES	B TO 25 PERCENT 5LOPES 15 TG 25 PERCENT 5LOPES

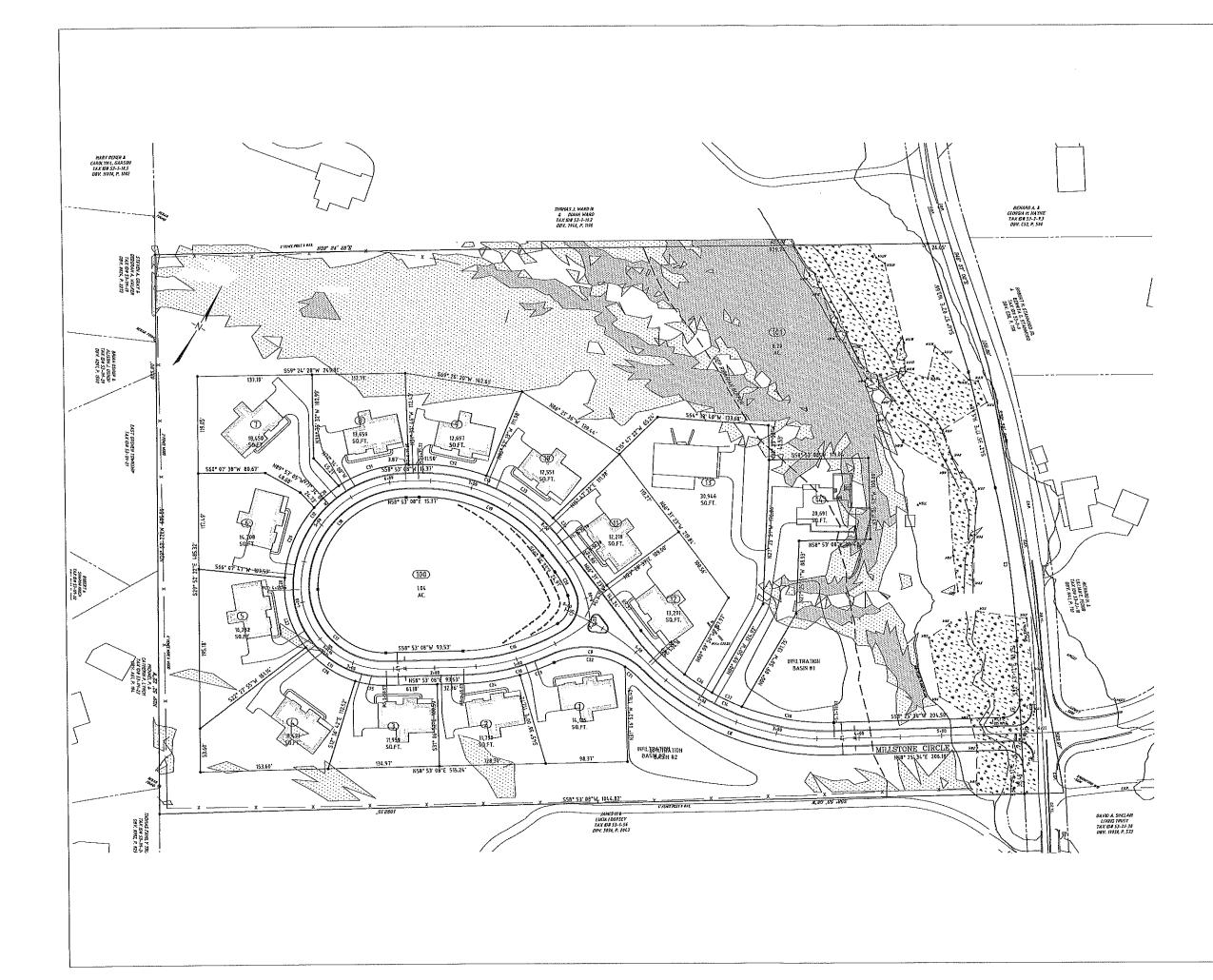
IND LAND PRELIMINARY

FOR "MILLSTONE MEADOWS"

	CHESTER COUNTY RECORDER OF DEEDS	CERTIFICATE OF ACCURACY – SURVEY
	RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LHESTER COUNTY AT WEST CHESTER, PENNSYL VANIA, IN PLAN BOOK PAGE, ON THE DAY OF	I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, ALL SURVEY INFOR COMPUTATIONS SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO T REQURED BY WILLISTOWN TO WISHING YABOUTSION AND LAID DEVELOPMENT O (BOUNDARY LINES CLOSE WITH AN ERROR OF LESS THAN ONE FOOT IN 10,000 FI
		10227177,7515,102 Sp-1115-4
		CERTIFICATE OF ACCURACY
TOWNSHIP ENGINEER	CHESTER COUNTY PLANNING COMMISSION	
REVIEWED BY THE EAST GOSKEN TOWNSHIP TOWNSHIP ENGINEER, THIS DAY OF	REVIEWED BY THE CHESTER COUNTY PLANNING CONVISSION THIS DAY OF	THESE PLANS ARE PREPARED IN ACCORDANCE WITH THE APPLICABLE REQUIRE COMMONWEALTH OF PENNSYLVANIA, CHESTER COUNTY, AND WILLISTOWN TOW
		HORIEL BUGHENING W. L. C. I. S. FRITTIT
TRATER RELEASED RELEASED	SECRETARY	B436

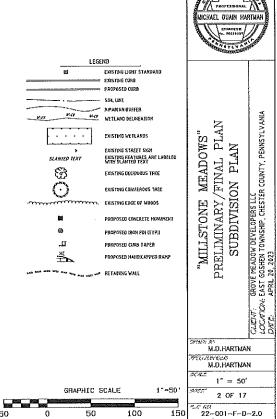
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EVELOPMENT PLANS
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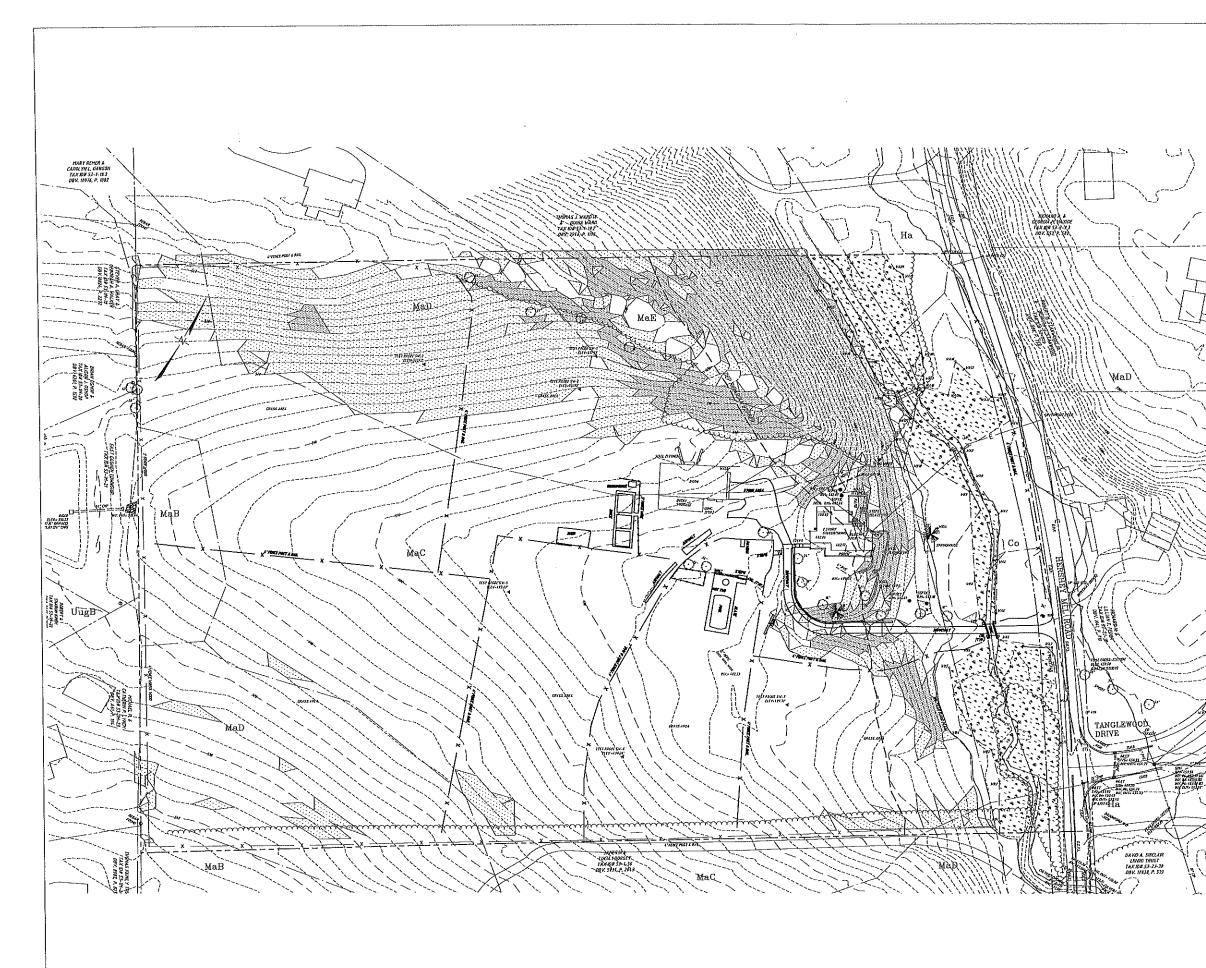


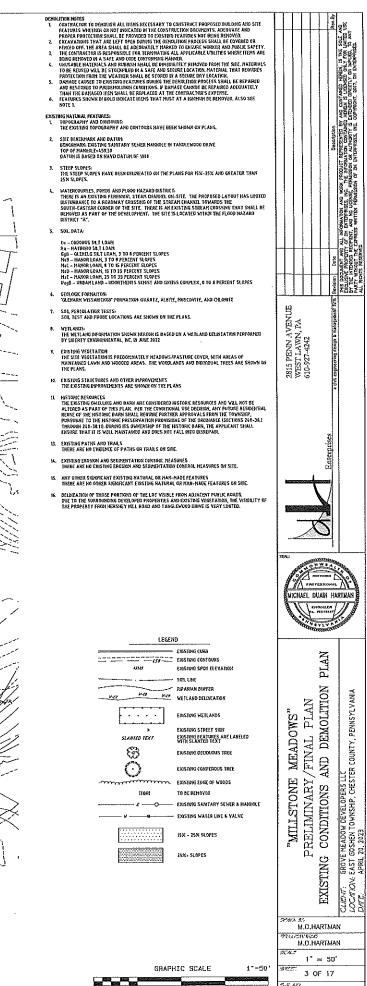


+			+			E CURV			
		i i			CH. BEARING & DIST.	DELTA	RADIUS	LENGTH	CURVE #
					H46"53"40"W 1.16"	699-05-06-	775.00'	1,16,	C)
ļ					531*39'17'E 189.20'	009"52'91"	1100.00.	129.63'	(2
					\$12*\$109"W 24.57*	031-01-51-	20.00	31.65,	(6
					\$74'02'09'E 27.57	087*03'46"	20,00*	30,41	n
					N82*00'37*E 256.06*	01110105"	320.00	263.44*	(8
					NTO" 14'32'E 102.82'	070"3U"IS"	89,00	197.62	(7
	İ.	11			R46*51*16*E 111.64*	023-5144	270,00'	112.35'	C10
					ST6 06 52 °C 169.71	090-00'00"	150,00"	181,50*	CI
					\$13*53*48*W 212.13*	550.66,00.	159,00'	235.62'	(12
				11	\$16"10'53'W 20178'	ØS4*35*29*	220.00	209,62*	(13
					\$65*57'06"W 259.60"	ō55 '03'03'	280.00	269.03	C14
					510"14'35"E 34.68"	078-27:05*	29.00"	39.71	(15
				1	\$43'56'02'W 118.6B'	029*54*11*	530,0D.	120.94"	(16
				11	H76'46'52"¥ 113,14*	030-05.80-	80.00'	125.66"	C17
				11	N13'53'46'E 155.56'	910,49,99.	(10.09*	172.79	C18
	ļ			11	NE6*10'53'E 155.09'	054'35'29'	180.00'	17159	(19
				11	557*59'45"E 32.62'	011'03'15"	110,00*	32.74'	(20
				11	581'01'28'E 20.52'	013-14-14-	89.00"	20,56'	(21
1	l			11	N63*4125*E 85.39*	057'20'01'	E9,00"	59,95'	(22
				11	H39'41'42'E 43.98'	¢09*20'36*	170.00'	44.03"	(3)
1		-	T	11	851'37'34'E 68.24'	016-31-05	270,00"	69.42	Q4
			1	11	H68"05"13"E 38.59"	0(6'30'10'	129.00"	36.75'	(25
		+	+	11-	\$95' N4'24'E 72.32'	035101.371	120,00"	73.67'	(26
				11	549'11'28'2 75.00'	036"25'13"	120,00"	76.28'	01
1	1	L	1	11	\$28'17'54'E 15.18'	405-67'57'	150,00"	15.18*	(28
		1	[r]	11	\$07*15'42'E 92.97	036'16'25"	150.00"	36.53	(25
		5	-5	1	511'25'52'W 39,48'	015*16*44*	150.00"	40.00	(30
		M	é	11	S12'28'LI'W 81.74'	032'44'54"	150.00"	85.91	01
	~	ź	17	11	S69'49'48'W 8354'	021*53*21*	220.00"	E4,05"	(32
5	24	; Þ.	Z	11	N85"43'04"W 55.29"	025"00'53"	220.00	96.05'	
Ę	1-1	i P	- jä		K10*22'00'H 19.50'	007141151	220.00"	21.52	65
Ľ,	10-927-4242	VEST LAWN, PA	815 PENN AVENUE	11	874*16'D'W 75.07	015*25'44*	200.00	15.39	05
5	610	i≶	381	11	NE5"03'26"W 40.10"	003-12'48	280.00	\$9,15"	64
				11		408-12-48-	280.00	40.14"	01 01
				11		023*11'54*	280.00	113.36	38

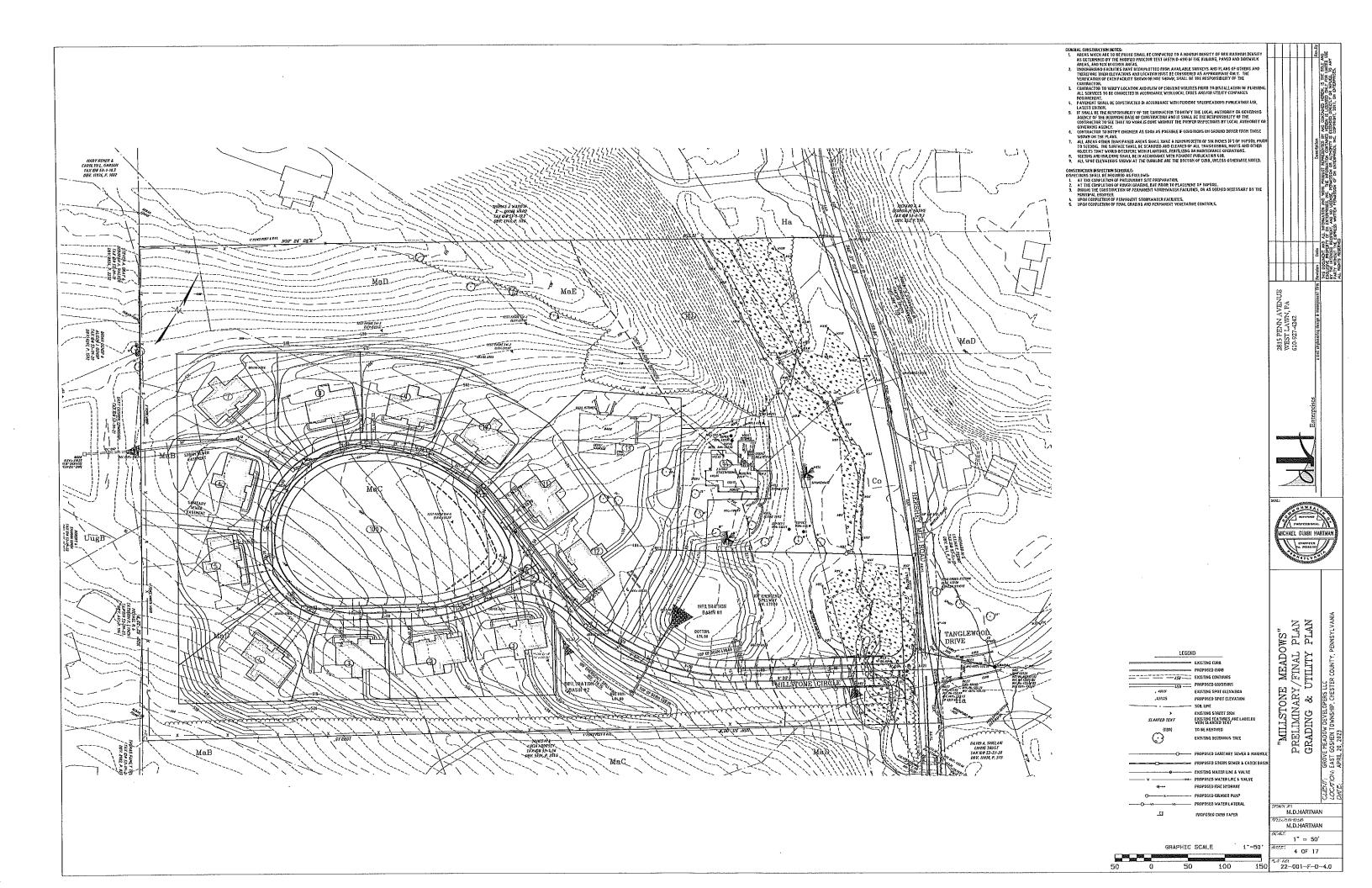
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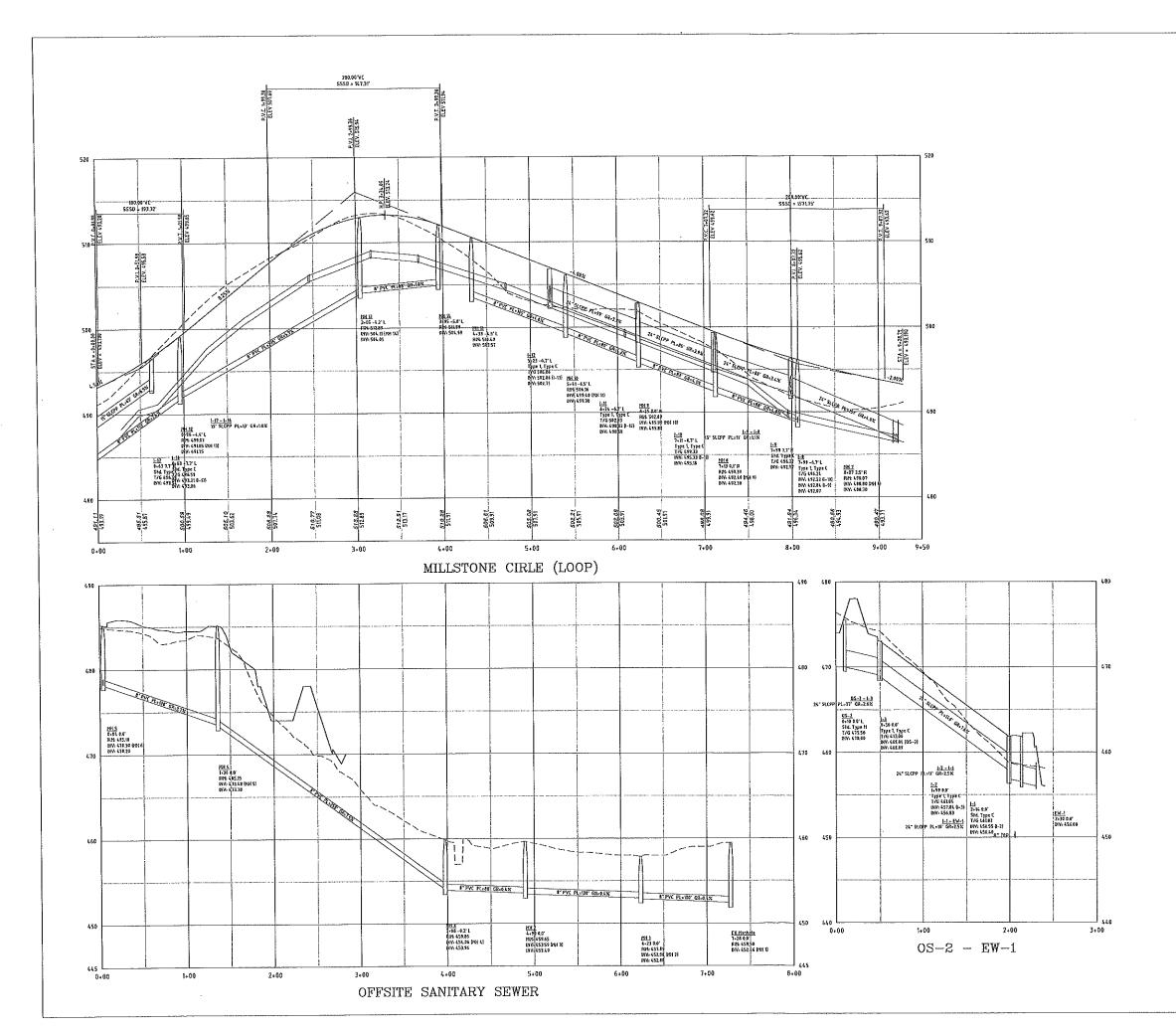






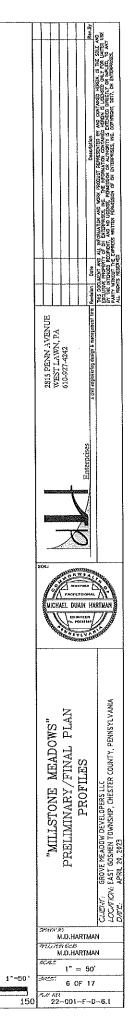
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### STORN AND SANITARY SEWER NOTES:

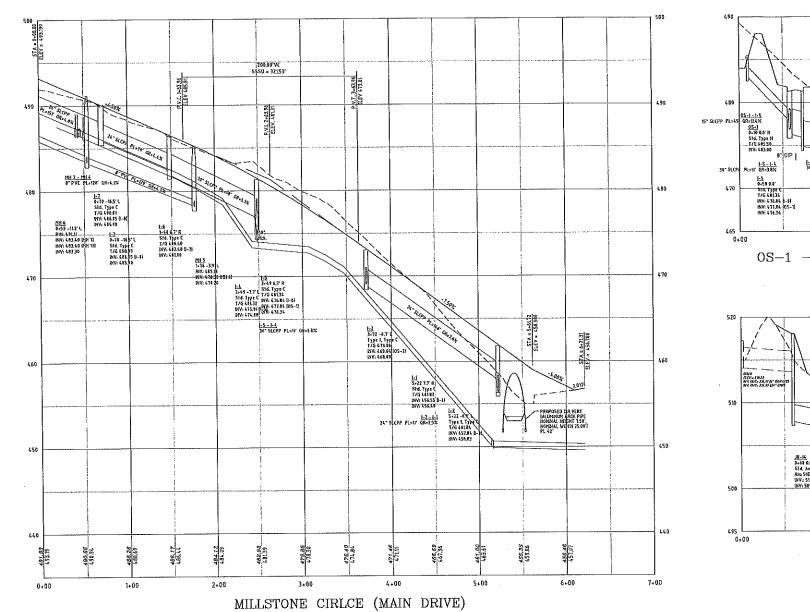
- STURM AND SAMILARY SEWER SUBJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND AUTHORITY DETAILS AND SPECIFICATIONS.
   GRATE ELEVATIONS FOR INLETS ALONG CURB ARE COMPUTED TO THE CENTER OF THE INLET AT THE GUTTERLINE
   GRATE ELEVATIONS FOR INLETS IN NON-CURBED AREAS ARE LOMPUTED TO THE CENTER OF THE NUELT IN BOTH DREMISIONS.
   SAMITARY SEWER AND STORN SEVER MANHOLE RIM ELEVATIONS ARE COMPUTED TO CENTER OF THE LUIL STORM SEVER MANHOLE RIM ELEVATIONS ARE COMPUTED TO CENTER OF THE LUIL STORM SEVER MANHOLE RIM ELEVATIONS ARE COMPUTED TO CENTER OF THE LUIL STORM SEVER AND SANITARY SEVER PHPE BOURNO CONSTRUCTION STAGES UNTIL THE BINDER PAVING COURSE IS PLATED.
   DEPTH OF STORM SEVERS ALL STORM SEVER PIPE MUST BE PLACED AT A SUFFICIENT DEPTH OF ALLOW FOR IN ELEVATION FOR SEVER PIPE MUST BE PLACED AT A SUFFICIENT OF THE THE AUDIT OF THE PLUL DEPTH OF FAVING, INCLUDING THE BASE COURSE, TO BE PLACED ADOVE THE TOP OF PIPE.

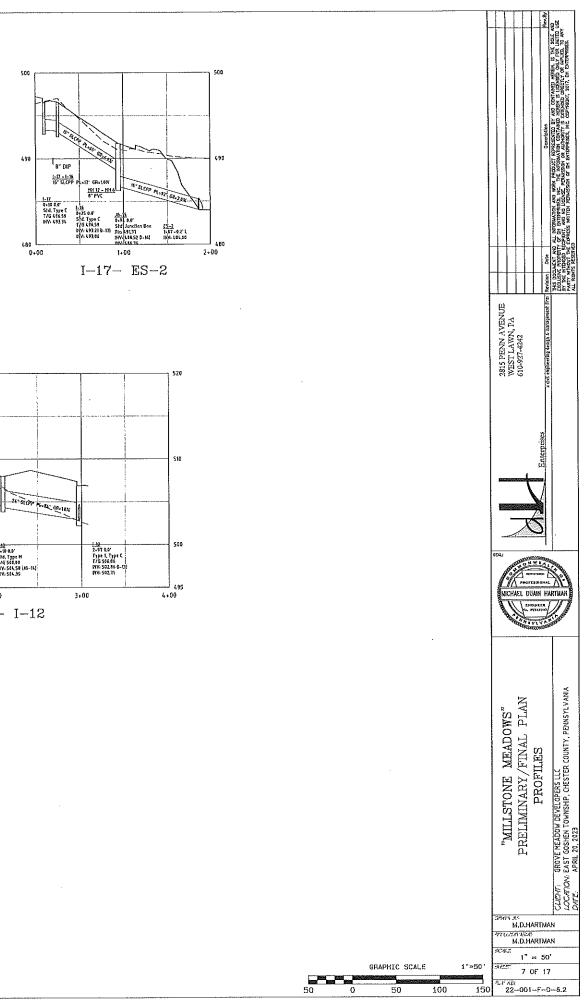


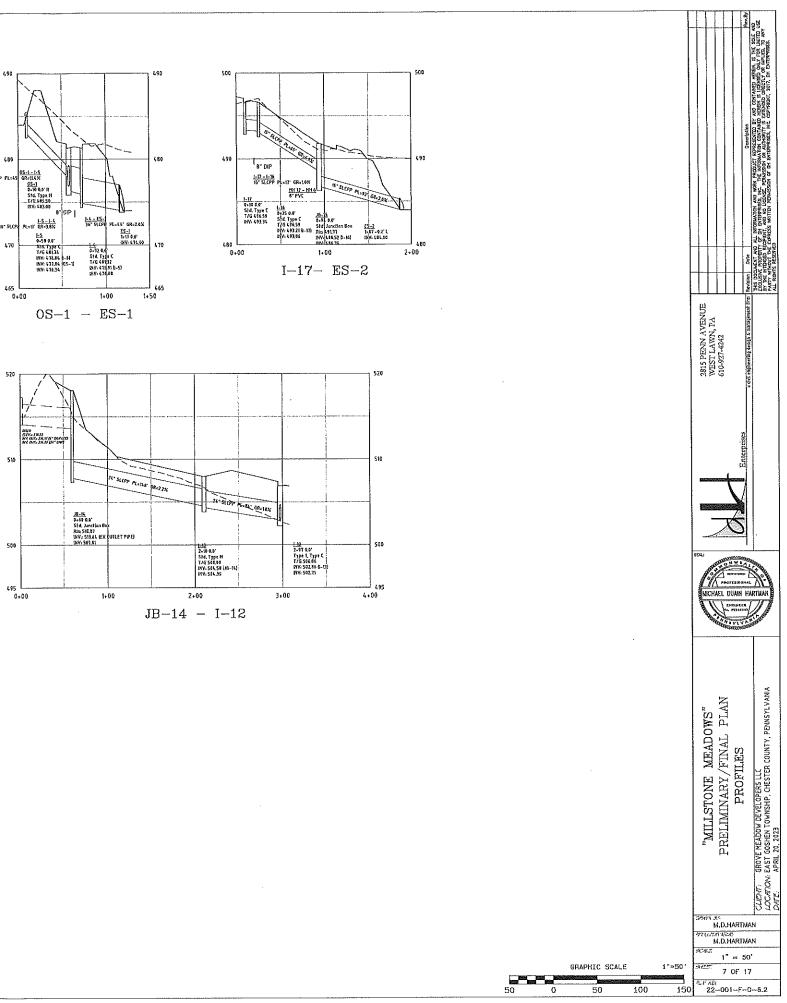
GRAPHIC SCALE

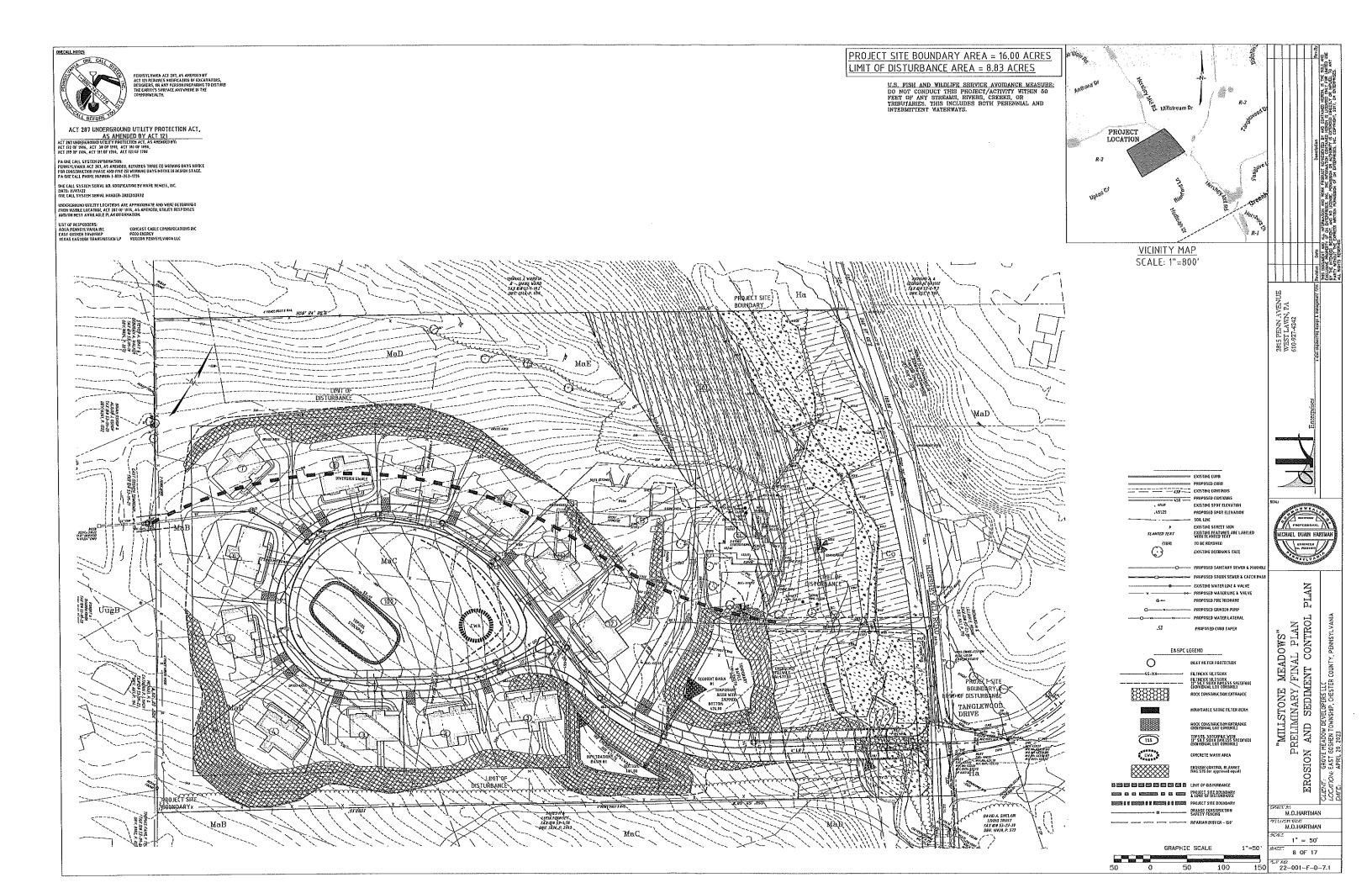
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## CONSTRUCTION SEQUENCE

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ALL BET SILE SOL AROUND RICK SPG, ANDIAN RUNNAN RAKLA. MAN STEE DEVIDENT 1. BISTALL ROCK CRAST BULKING RETRANKE GAS SHOWN ON THE PLAN. 2. BISTALL ROCK CRAST BULKING RETRANKE GAS SHOWN ON THE FLAN. 5. BISTALL ROCK CRAST BULKING RETRANKE GAS SHOWN ON THE SILE SCHOOL OF DISTURBANCE ACTIVITIES WITH SURVEY STAKES, POSTS I A GPC. BISTALL STOK CAN DO GANGE CONSTBULTION SHAFT T FENCING IN THE CARONIS AS BULKING DISTALLATION OF CUVERTS SHALL BE A ALCROAMSE WITH APPROVED ROLATIONA SOLUTION, DISTALLATION OF CUVERTS SHALL BE A ALCROAMSE WITH APPROVED ROLATIONA SOLUTION OF THE APPROVED ON THE SILE SCHOOL OF THE APPROVED ROLATIONA SOLUTION STALLATION OF CUVERTS SHALL BE A ALCROAMSE WITH APPROVED ROLATIONARY DISTALLATION OF CUVERTS SHALL BE A ALCROAMSE WITH APPROVED ROLATIONARY DISTALLATION OF CONSTRUCTION STOLENCE PROVED ON THE PROVIDENT DIAVANCE. 5. BISTALL DYFRANCE HANGE PLANS.

IN STAND OTTENDED SHALL FERDINGTILLS FRANKLERGE MEN MENNE STATUTES STATUTES FLANKET. NETLINE BOTALLATIKN OF THE SEDNETH DASIN IN NITH OSCHARGE PRO 56-710 EM-L DRUCHDER, ALT ERFO FOLLASS DAR UTFAL ERF DAR AMOU HISTALL TENDERAMY RISER. HAPPERS, LEANNOT STARLES, DEVALUERING FACLINES AND PERMANENT OWNER STATUTE ELFORGARY TRANSI ARCO. GRADE AREA DEIZED FEITH AS SHOWN FOR THE SEDJENT BASIN THE EAS CONTROL PLAN AND ORIGINATE Y NERHEN PERMANENT VEGET ATIVE SUBJECT STABLEZARIEN OF ALL DISTURBED

ACCLUERATED SUP ALE ERADIDIN AND SUBSUPACE UNION ACCUMUNT 
CONSTRUCTION SEQUENCE - NEAVODALLOT L INSTALL TEPPORARY PACE CONSTRUCTION ENTRANCE AND SR. I SOXX AS SHOWN ON THE PLAN DRAWNG AND STADARDO DETALS / APPILABLE 2. LOST THE DISTUMBANCE TO MY. THE AREA REQUIRED FOR LOT IMPROVEMENTS. 3. TERP TO FOST AND FOROME TO RESIGNATE UR AREA ADMEDIATELY SEED AND STRAM MUCCH

XNSTRUCTION SEQUENCE – DEFSITE UTLITES 1. DNIATE DISTALLATION OF UTLITT LINE. DHEDIATELY DIPLENENT TEMPORARY VEGETATIVE STABLELATION THE LENETH OF TEXED SHOULD BE LEVERTD TO THE AMOUNT THAT CAN BE 1. COMPENSE AND DIPLETIED IN A DAY. 1. COMPENSE AND ORDIFLET THE PERMIANENT VEGETATIVE STABLIZATION OF ALL DISTURBED

COMPARE, AND COMPLET THE FERMANENT VECENTATIVE STABLIZATION OF ALL DATURBED AREAS INCH AREA TFAIL, GRAD. URDR STABLIZATION OF ALL DISTURBED AREAS, REMOYE ALL OTHER ESS FACUILIES AND REASTRES, RELOXADOS EST SJOX, AND TO EDRAS, TC. AN AREA SIALL E CONSORDED TO HAVE ADDREVED FAILA STABLIZATION INFERI TI HAS A NORMUM TOX DEFORM FERMANAL VECENTATIVE COVER OR OTHER PERMANENT ION VECETATIVE COVER MIL A DUBLIST DATORIENTO FAILES ALCERED SUBJECTS DEMANDES IN AND SUBSURFACE CHARACTERISTICS SUFFICIENT OF SUB-SILONG AND OTHER REVORTED TO RESIST

UTILITY LINE TRENCH EXCAVATION NOTES: CLEMENT ADVANCED CLEARING AND CONDUMN OPERATIONS TO A DISTANCE BOUNT OF THE THE THE LEARING TO PERE INSTALLATION INTACT AND ECREMETED IN ISOS GOT.
2. WORK CREMS AND ELEMENTINT FOR TRENSMEND, PLACHENT OF PER, PLUG CONSTITUCTION AND BACOFELIDED OF PER ENTALLATION OF PLANTANCE.
3. UNIT AND ALL A

VILL BE GRADED TO PANAL CONTORIS AND INSEGNATELY STABLER.
 GENERAL NOTES
 CONTRUCTION/STALLA LINK OF PROPISION DEVELOAMELY STABLER.
 CONTRUCTIONAL BERGING STRUBBANCE SHALL DE LURECLA DIT TO TABLER.
 CONTRUCTIONAL BERGING STRUBBANCE SHALL DE LURECTO TO TABLE VERDES CONTRUS.
 LIE STABLER DO DIRATIKON OF DE TABLE STRUBLER DARGE DARGE DE DIRAGENCIA DE DIRAGENCE OF DE DIRAGENCE DIRAG

MALEMANA, FORMATERIA MALEMANA, SEEPS OR SPRINGS ENCOURTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED VE THOD. ALL EXCAVATION FOR UTILITY LIVE INSTALLATION SHALL BE LINITED TO THE ANOIGHT THAT

LE A VETT VE THIS LEWISHT AND SELECTED TIONE VOLUME, REPORT AND PLAYS BUSIS EF POSTED AT THE CONSTANT ON STATE. 13 DEFORE DISPOSING OF SOL, OR RECEIVER DORROW FOR THE STIT, THE OPERATOR HUST ASSUE THATE FEATS SOL AND DORROW TAKEA HASA HE SE VOLUMENT TO AND MAXTER AND COURTY CONSERVATION DISTAICT, AND WACH IS BEDRE DOTLEMENTED AND MAXTERATO ACCORDENT OF DEP CHAPTER BY REFORM THOSE, ALL REFULLING OR ROBAL OF MATERIALS SHALL DE LAS ON ACCORDANCE WITH DEP CHAPTER 102 REGULATIONS.

A NOTICE VE DECEMBER OF THE DESTINATION OF THE DECEMBER OF THE DECEMBER OF THE DECEMBER OF THE DESTINATION OF THE ADDRESS AND LOCATION. LITTLE DEPENDENT MOMENTA AND ADDRESS. LITTLE DEPENDENT MOMENTA LITTLE DEPENDENT MOMENTA LITTLE DESTINATION OF THE PERSONS WHO HAVE ADDRED TO AND WELL BE RESPONSIBLE FOR LOW-DEPENDENT AND HAVE HAVE TO THE PERSONS WHO HAVE ADDRED TO AND WELL BE RESPONSIBLE FOR LOW-DEPENDENT AND HAVE HAVE ADDRED TO AND WELL BE RESPONSIBLE FOR LOW-DEPENDENT AND HAVE HAVE ADDRED TO AND WELL BE RESPONSIBLE FOR LOW-DEPENDENT AND HAVE HAVE ADDRED TO AND WELL BE RESPONSIBLE FOR LOW-DEPENDENT AND HAVE HAVE ADDRED.

PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FRAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION.

PRIOR TO A ACCEPTING THE NOT. THE OF APARTNEIT AND/OR CONSERVATION BISTICT STAFF MALL PRIMERA A FRAIL DISPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION. **MAINTENANCE NOTE:** 1 STOCKNEE NORMER TO STORE AND APPROVE OR DENY THE NOTICE OF TERMINATION. 1 STOCKNEE NORMER TO STORE AND APPROVE OR DENY THE NOTICE OF TERMINATION. 1 STOCKNEE NORMER THE STORE AND A STOCKNEE AND APPROVE OF THE NOTICE OF TERMINATION. 1 STOCKNEE NORMER THE STORE AND A STOCKNEE AND APPROVE OF THE NOTICE OF THE STOCKNEE AND 1 STOCKNEE NORMER THE STORE AND A STOCKNEE AND APPROVE OF THE STOCKNEE AND A STOCKN

I YEAR INST DE STABLIEDE DA ACCOMPANCE UNIT HE PERIMENENT INSECUTIONS STABLICATION SPECERATIONS. MAI CH MITHINUEL CONTROL NE TING DE ENGISION CONTROL BLAIRETS HIGST DE LINSTALLED CH ALL SUCTS GENETATIONA SI UNITE. THE STE DE STABLIEDE ALL LUGBE INSECTIONS AND STABLIEST DE MANTANED DATES THE STE DE STABLIEDE ALL LUGBE INSECTIONS OF ALL ENGIST AND STABLIEST MITTE. THE STE DE STABLIEDE ALL LUGBE INSECTIONS OF ALL ENGIST AND STABLIEST MITTE. THE STE DE STABLIEDE ALL LUGBE INSECTIONS OF ALL ENGIST AND STABLIEST MITTE DE SAFET DE MAINTE PUNT AND DI AL MEERY ARTIS, ALL LUFTE BORFITORS MALL DE DOCUMENTED HA MINISTRETING OR DET FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, THE AND HAVE ON THE PERSON CONDUCTION THE RESSECTION. THE INSERVENTIONS WAL BE KEPT ON SITE AT ALL THESE AND HADE AVAILABLE TO THE DISTRICT HORN REQUEST.

ALL PREVENTIVE AND REHECIAL MANTENANCE WORK, INCLUCING CLEAN BUT, REPAR, REPLACHENT, REFORZIONE, RESECTIONE, DENALCHING AND REDETTING, MUST BE PERFORMED DIVERNATELY, IF REDISION AND SEDIENTIATION BHY S' FAL, TO PERFORM AS EXPECTED, REPLACEMENT EXITS ON MORF RATIONS OF THISSE BISTALLED MAL BE NELOCID.

WHERE BARS ARE FOUND TO FAR, TO ALLEVIATE EAGSION OR SECURENT POLLUTION, THE

2. THE LOCATION AND SEVERITY OF THE BAP'S FALLIE AND ANY POLLUTION EVENTS. NON-COMPLIANCE, C. THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ATTIVITY WELL BETURN TO COMPLIANCE.

AFTER FUAL SITE STABRIZATION HAS BEEN ACHEVED, TEMPORADY EROSION AND SEDDENT BHIS HUST BE REMOVED, AREAS DISTURBED DURING REMOVAL OF THE BHDS HUST BE STABLIZE MENTATION

SEEDING AND SURFACE STABILIZATION GENERAL SEEDING AND SURFACE STABLIZATION (RITERIA

INTERNA SELEMENT AND INVERTIGE STATES TAKE DETURBAN DISTURBED ARAS SON WICHCA TATUTISTIS HAVE DETUR TOKOPLETED OR MALL BE LEASED FOR HORE THAN I ADAYS, OR ANY STAGE THREFOR, SHALL BE DIFEDRATELY STABLIZG WITH THE APPROPRIATE FOR POWERATY OR PERSONARY STABLIZATION. DURING NOR-CREMENTATION FEBODOS, MALL HAVE BE APPLED ANT THE RATE SPECIFIED UNDER TSTABLIZATION DURING NOR-CREMENTATION FEBODOS. DURING KOW- GERERATION FERRIOS, MULIE MUST DE APPLED AT THE PAILE SPECIFIED UNDER TABLIZZADU DURING KOM- GERERATION PERIODS. UNDER AND ALTERATION PERIODS. UNDER AND ALTERATION PERIODS. UNDER AN SPECIFIC DURING TENDER DURING TENDERALE NOT DE MITHET UNDER AN SPECIFIC DURING TENDERALE NOT DURING TENDERALE STABLIZZATION. UNDER AN SPECIFIC DURING TENDERALE NOT DURING TENDERALE STABLIZZATION. UNDER AN SPECIFIC DURING TENDERALE NOT DURING TENDERALE STABLIZZATION. UNDER AN SPECIFIC DURING TENDERALE NOT DURING TENDERALE STABLIZZATION. UNDER AN SPECIFIC DURING TENDERALE NOT DURING TENDERALE STABLIZZATION. UNDER AN SPECIFICADE, TERMATEN VIGETATIVE SURVICE SA AT TRANSPORT SECOND UNDER TENHANDERT VIGETATIVE SURVICES SUBJECTS STABLIZZATION. UNDER STABLIZZATI TARIA STABLIZZATIVE SURVICES SUBJECTS STABLIZZATION SURVICES SUBJECTS STABLIZZATION SURVICES SUBJECTS STABLIZZATIVE SURVICES SUBJECTS STABLIZZATIVE SURVICES SUBJECTS STABLIZZATIVE SURVICES SURVICES SUBJECTS STABLIZZATI SURVICES SURVICES SUBJECTS STABLIZZATIVE SURVICES SURVICES SUBJECTS STABLIZZATI SURVICES SUBJECTS SURVICES SURV

STABLIZATION DURING NON-GENERATION PERSON During Non-generations, that of the second state of the second states of a factor during non-generative theory of the second state of the second state of the second correlation during constraints, it is defined and the persons factor of the second state of the second state nucleum during non-generation persons hust be limited. Fertilization is affect neutring during non-generation persons hust be limited. Fertilization, second show how ched neutring during non-generative persons hust be limited.

THEP-DOARY VECETATE CHERALE STABLIGHTEN THE POLYMER ACTIVITY STRUCT HAR DOADSTAND TO A DOR VE THE OWNERANY STABLIGATION OF THE POLYMER ACTIVITY STRUCT HAR DOADSTAND TO A DOR VE THEO. THE DOADSTATISTIC STRUCT HAR DOADSTAND TO A DOR VECTOR THE DOADSTATISTIC AND ADDRESS OF THE DOADSTAND TO A DOR VECTOR TO SHALL BE TRUED AND LOSSED. THEN ANY 66 DOW THEO IF SOL IS SUPPRENTLY LOSSE TO PREVENT SECOND OF DOADSTATISTICS.

PERNIT SEEDING ACTIVITIES. UHE APPLICATION - GROUND LIVESTONE SIALL BE APPLED TO THE LODSENED SOL AT A UNFORM RATE OF 64 POUNDS PER 1000 SOUARE FEET. THIS RATE IS 11 POUNDS OF AGBOUL TURAL GRADE LIVESTONE PER 1000 SOUARE FEET. 11 TON/ACTE = 1 AC/43,580 SO. FT.

A & L & S. 1960 S. FTJ FRITLERER APPLICATION - 5-5-5 FERTLIZER SHALL BE APPLIED TO THE LOOSED SOL AT A UNYTORM RATE OF 5 POWNED FER 100 SURAR FEET.

MINICER AVYLKAIKUL ->->-S FEHIRIZER SHALL BE APPLIED TO THE LOOSED SOIL AT A AFORM ANTE OF SPOUNDS PER NOG STUARE FEET. HORDRAY SEGNON - THE FOLLOWING SEED NUTURE SHALL BE APPLIED TO THE PREPARED IN SUFFACE BY BROADCAST SPREADERS OR HYDRAULC APPLICATION ACCORDING TO THE

FOLGIVARIE RATE ARMVAL RY CRASS FURE SEED 53X GERMANTAN FRICENTAGE 55X FURE LUZ SEED PERSENTAGE 55X SECONG BATE SECONG BATE FOR GUILTER SECONG SEED SHALL BE COVERED BY MEANS OF LIGHT BAKING TO A DEPTH OF OG-CUMARTER SECONG 550.

5. HAY OR STRAM WAICH SHALL BE APPLED AT A RATE OF J TONSVACE. • HAY MICH SHOULD BE ANTHRED FUNDATELY AFTER APPLIATION TO PREVENT BEING • MORDIGUNA. A TAACTOR-DARAM PETLEMENT HAY BE USED TO TRAVE' THE HAY INTO THE SOL, THIS METHOD IS LUMITED TO SLOPE'S IN STRPLET THAN AL. THE MACHAGY'S MOND DE OPERATED ON THE CONTROL NOTICE DEPRING OF MAY GO STRAVE APPLICATION.

OFERATED ON THE CONTIGUE NOTE: CREPPING OF HAY BE STRAW BY REACED OVER IT WITH TRACEDE UNDERVISE NOTE CREPPING OF CULT-BACK, CONTAINED AND SAULTINES OF OTHER DALITINES ASEMALT, LINER EMALSTRED ON CULT-BACK, CURTAINED AND SAULTINES OF OTHER DALITINES ARENTS TOXIC TO PLANTER DALINALIES, UNDERVISE NATIONAL POLICE DALITARIS PRE INS SOLARE Y ARDIS NATI VELLE, UNDERVISE NATIONAL POLICE DALITARIS SOLAREY TARDE NATIONAL ANALY LES, UNDERVISE NATIONAL POLICIES TO HARMAFACTURER TO ANCHOR HALVE, CAN DONAL SAULTINES ASEMATICAL RESISTICATION FRANCE, AND AND ANY CLEAR TO ANCHORED BY TACE SHATTERIC REGISTICATION FRANCE, AND AND ANY CLEAR TO ACCOUNT OF HARMAFACTURER TO ANCHORE HALVE, RAN DALI ANALY SAUCES. LEART MORIT PLANE, TELEB DE MORINE REST HALVE DE VER MALCH ACCORDING TO THE MANUAL ANCHORED SECONDALISMENT.

PERMANENT VICETATIVE SUPFACE STABLIZATEM The following activities shall be underland to acceve ton-drawn stabilization of the colowing activities shall be underland under the stabilization of the stabilization of the stabilization of distribution of distribution theory of the stabilization of the stabilization of the stabilization shall be tilled and dosed. Theory of the stabilization of distribution activity logisted predictive activities.

SHALL BE TILED AND LODGED. TALING HAY BE OWITED IS SUIT SUMPLEMENT CODE TO PROMET SECOND ALTIVITIES. 2. UPL APPLICATION - GROUND STRING SHALL BE APPLIED TO THE GOOD SUIT AT A MARCH LYNG, HOMEL UPSTITUES SHALL BE APPLIED TO THE SOL AT A MARCH LYNG, HOMEL UPSTITUES HAND SOLVEN FUELT. THE MATE IS IN FORMOS DE ADDRUCT HYNG, HOMEL UPSTITUES HAND SOLVEN FUELT. THE MATE IS IN FORMOS DE MARCH LYNG, HOMEL UPSTITUES HAND SOLVEN FUELT. THE MATE IS IN FORMOS DE ADDRUCT HYNG, HOMEL UPSTITUES HAND SOLVEN FUELT HAT A HOME SOL AT A HOMEL AS A NUSSION, 10-20-30 FERTILIZER SHALL BE APPLIED TO THE SOL TO A THE SALE NUTURE. AS A NUSSION, 10-20-30 FERTILIZER SHALL BE APPLIED AT A UNFORM HATE TO 35 POWNES PERI LOSS JOUAR FERTI. 4. HOMEL - GROUND UPSTITUES HALL BE APPLIED TO THE SOL TO A DIPHI OF FORM RIVEST HOMEL MALL REAL APPLIED TO THE FARE MARED WITH THE SOL TO A DIPHI OF FORM RIVEST HUMELAND, APPLIED TO THE FARE MARED WITH THE SOL TO A DIPHI OF STRALDEDS OF HUMELAND, HALL BE APPLIED TO THE FARE MARED SALE ARE WRAD FERTIL FOR ADDICAST STRALDEDS OF HUMELAND, APPLIED TO THE FARE MARED SALE AFFER HER THE SALE OF A DIPHI OF STRALDEDS OF HUMELAND, APPLIED MALE BE APPLIED TO THE FARE MARED SALE AFFER HER THE SALE TO A STRALDEDS OF HUMELAND, APPLIED MALE APPLIED TO THE FARE MARED SALE AFFER THE SALE AFFER THE AFFER THE AFFER HALL BE HUMED WITH THE SOL TO A DIPHI OF STRALDEDS OF HUMELAND, APPLICATION ACCOUNDED TO THE FARE MARED SALE AFFER THE SALE AFFER THE AFF

WITHER INFR, TRATION BASIN HI BOTTON: RETENTION BASIN FLOOR HIX: ERNHX-126, APPLY PER HANNFACTURER'S SPECIFICATION

WITHEN RAEN GARDENS: NAM GARDEN MIX: ERNHX-100, APPLY PER NAMIFACTURER'S SPECIFICATIONS

ALL OTHER DISTURBED AREAS	
KENTUCKY 31 TALL FESCUE	47%
PURE SEED	95%
GERMANATION PERCENTAGE	89X
PURE LIVE SEED PERCENTAGE	76%
SEEDING RATE	2 LOS PLS PER 1000 SOUARE FEET.
CREEPING REDTOP FESCUE	50×.
PURE SEED	55%
GERMONATION PERCENTAGE	80%
PURE LIVE SEED PERCENTAGE	76%
SEEDING RATE	4 LOS PLS PER 1000 SQUARE FEET.
REDTOP	3.*
PURE SEED	92%
GERMINATION PERCENTAGE	10%
PURE LIVE SEED PERCENTAGE	74%
SEEDING RATE	1 LBS PLS PER 1000 SDUARE FEET.

SEEDER RATE LISP FLEVEN GOR SOURCE FET. ANTO SEEDEN, STOR SHALL BE COVERED BY HEARS OF LIGHT RAENS TO A DEPTH OF ONE-QUARTER NOT EF SOUL ANTO OS TESMA WIRKES IMALL BE ALTERED A TA RATE OF 3 TONSTACCE. • HAY YORKIN STORUD EE ANDORED SEEDINELY AFTER APPLICATIONS TO PREVENT OBING NATORIS TONSTANDE ANTORNO DE SEGNISTICY AFTER APPLICATIONS TO PREVENT OBING NATORIS TONSTANDE DE ANDORED SEGNISTICY AFTER APPLICATIONS TO PREVENT OBING NATORIS TONSTANDE DE ANDORED SEGNISTICY AFTER APPLICATIONS TO PREVENT OBING SOUTANE OS IN TARTORO-DARM REPLENTIN MAY BE OSED TO 'SIGN' DE NATING THI SOUTANE OS INTERTIONO IS JUNITED TO SLOPES AND SEGNISTIC TO STIAND PE ROMONS VIETIT TI 'NIT ADVINULT, TITTER FORSZINGED ON CUT-BANK, CONTAINING NO SEGNISTICTI TO ALTERNALL, TITTER FORSZINGED ON CUT-BANK, CONTAINING NO SEGNISTICTI TO ADVINULT, TITTER FORSZINGED ON CUT-BANK, CONTAINING NO SEGNISTICTI TO STIMITER IN BORDS (LIGHCAL) BANKERST HAY SE USED AS RECONCERIADOR BY THE HANDRACTUREN TO ANTONO KILO MANNER PARA SUCHAS SUFFICIENT DOINT INTO ARCHINICADE (DA NATURY PLANT AND ANDRA SUFFICIT TO THE HANDRACTURENT TO ANTONO KILO PARAINY PLANT AND ANDRA SUFFICIT TO THE HANDRACTURER TO ANTONO KILO PARAINY PLANT AND ANDRA SUFFICIT TO THE HANDRACTURERS RECONCENDED ANDRALLY PLANT AND ADVING SUFFICIT DATA HE MANDFACTURERS RECONCENDED ANDRALLY PLANT AND ADVING SUFFICIT DATA HE MANDFACTURERS RECONCENDED AND ADVING SUFFICIENTS DATA SUFFICIENT DO HE MANDFACTURERS RECONCENDED AND ADVING SUFFICIENTS DATA SUFFICIENT DO HE MANDFACTURERS RECONCENDED AND ADVING SUFFICIENTS DATA SUFFICIENT DO HE MANDFACTURERS RECONCENDED AND ADVING SUFFICIENTS DATA SUFFICIENT DO HE MANDFACTURERS RECONCENDED AND ADVING SUFFICIENTS DATA SUFFICIENT DO HE MANDFACTURERS RECONCENDED AND ADVING SUFFICIENTS DATA SUFFICIENT DO HE MANDFACTURERS RECONCENDED AND ADVING SUFFICIENTS DATA SUFFICIENTS DATA SUFFICIENTS DATA SUFFICIENTS DATA SUFFICIENTS DATAS



<u>SOILS LEGEND</u> Ge - CODONUS SEI LOAN H= - MATBOOR SU LOAN GgB - QUERLE SU LOAN HB- HANGE LOAN, 3 TO & PERCENT SLOPES HAC - HANGE LOAN, 3 TO & PERCENT SLOPES HAC - HANGE LOAN, 3 TO & PERCENT SLOPES HAC - HANGE LOAN, 3 TO & STORE SLOPES HAC - HANGE LOAN, 3 TO & STORE SLOPES HAC - HANGE LOAN, 3 TO & STORE SLOPES HAC - HANGE LOAD - LOORTHEIT SLOPES

<u>SOILS RESOLUTIONS</u> (UTBACKS CAVE - CAUTION SHOULD BE TAKEN TO LIVET THE AMOUNT OF TARENCH THAY IS OPEN AT ANY GIVEN THE, SHORING SHOULD BE USED AS RECOMMENDED BY THE RESPECTIVE

CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE IF THE STIE WILL INTO TO AVFORT ON EXPORT MATERIAL FROM THE STIE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIEENCE AND DETERVISIATION OF QUEAN FILL WILL REST WITH THE CONTRACTION DESPONSIBLE PARTY I.

CEAN FELLS OFFERIO A.S. UNCOLLARISATED, JOH-WATER SOLUBLE, NON-DECORPOSABLE, SERT SOLD MATERIAL. THE TERH INCLUDES SOL, ROCK, STORE, DREODE NATERIAL, USED ASPHAT, AND BRCCS, BECCR GEORER IE FROM CONSTRUCTION AND DIMENSION ALTERNISES THAT IS SEP DATE F ADM INTER WATER AND DR RECORFERSION AS SUCH. THE TERM DOES NOT POLICIDE HATERIALS PLAN UNDER WATER AND DR RECORFERSION AS SUCH. THE TERM DOES NOT POLICIDE HATERIALS PLAN UNDER WATER AND DR RECORFERSION TO MILLION ASPHALT MATERIALS PLAN UNDER WATER AND DR RECORFERSION TO MILLION ASPHALT OR ASPHALT THAT INAS EVEN MORESSION FOR VIEWS.

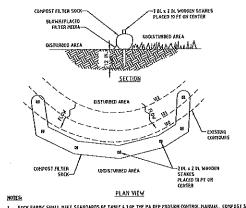
THAT HAS BEEN PROCESSED FOR RE-USEL CLEAR FILL THAT HAS BEEN AFFECTED BY A SPAL OR PRE-LASE OF A REGULATED SUBSTANCE FILL AREAS AFFECTED D'A STOLL OR RELASE OF A REGULATED SUBSTANCE STLL CLEAR FILL PROVIDED DET ETENTISTE VERLAST THAT THAT PRELIMATEREL CLEAR FILL PROVIDED DET ETENTISTIC PRE-LASE THAT THAT PRELIMATEREL CLEAR FILL PROVIDED THE TENTISTIC PRELIMATION OF THE STOLL PROVIDENT OF FILL." NOT THATLES FILL AND PL-B'ORDOND THE DEPARTMENTS POLLY THANGEMENT OF FILL." NOT PERSOR PLACKO CLEAR FILL THAT HAS BEEN AFFECTED BY A SPALL OR RELEASE DE A REGULATED SUBSTANCE MOST OF THE ORDER TO CLEAR THE CAREFOLL OF BY A SPALL OR RELEASE OF A REGULATED WIST TAKE THAT ON DE VIEW FILL OF CLEAR THAT ARE THE CAREFOLL AS CLEAN FILL. TOPICT PART MISST DE LASKO CLEAR FILL THAT HAS BEEN AFFECTED BY A SPALL OR RELEASE DE A REGULATED WIST TAKE THAT ON DE VIEW FILL OWER AFFORT THE RLATERIAL AND THE RESULTS OF THE AMALYTICAL TESTING TO QUALIFY THE KATEFOLL AS CLEAN FILL. FORM FF- 001 NGUI E BLATANCE DE VIEW FILL OWER AFFORT THE LLATERIAL AND FILE TOPIC TO BY A SPALL OR RECETO BY A SPAL OR RELEASE OF A REGULATED SWESTANCE DUT OWER AFFORT THE LLATERIAL AND THE CLEAN FILL. TESTING.

ENVIRONMENTAL DUE DANGENCE: THE APPLICANT HUST PERFORM ENVIRONMENTAL DUE DANGENC TO DETERMANE IT THE FALL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FALL

TO DITERMENT IT THE FILL HATERNARS A SASSOARTED WITH THE FRONCET GUALFY AS GLEAN FALL ENVIRONMENTAL QUE DULGENE IS DEPORTED AS INVESTIGATIVE TECHNOLOGIES, INCLUDING, BUT NOT EURITED TO, UNSULA PROPERTY TURGET (DISS, ELECTRONC DATA BASE SEARCHES, REVEN OF MULTICE) TO, UNSULA PROPERTY TURGET (DISS, ELECTRONC) DATA BASE SEARCHES, REVEN OF MULTICED TO, UNSULA PROPERTY TURGET (DISS, ELECTRONC) DATA BASE SEARCHES, REVEN OF MULTICED TO, UNSULATION SCREEMS, ANNA YTIKAL TESTING, ENVIRONMENTAL ASSESSMENTS OR MORTS. ANNA/TIKAL TESTING KOTA FROMARD BART OF DUE DURGHTE UNCLASS TANGENT REVENTION AND/OR REVEN OF THE PAST LAND USE OF THE FROMENTICE UNCLASS TANGEN REVENTION AND/OR REVENO OF THE PAST LAND USE OF THE FROMENT THAN ASSESSMENTS. THE THE TO TESTING FIT OUNLESS AS OL PARCE AND REVENTION AND TAKE TO THE FILL MAT HAVE BEEN AFFECTEO BY A SPEL OR RELEASE OF A REGRANT DISORTANCE. THE FILL MAT HAVE BEEN AFFECTEO BY A SPEL OR RELEASE OF A REGRANT DISORTANCE. THE THE ACCORDANCE MITH APPERDERS AS OF THE DEPARTMENTS FOLSET "MULTICED FOR THEMPT ACCORDANCE MITH APPERDERS AS OF THE DEPARTMENTS FOLSET "MULTICED FOR THEMPT ACCORDANCE MITH APPERDERS AS OF THE DEPARTMENTS FOLSET "MULTICED FOR THEMPT ACCORDANCE MITH APPERDERS AS OF THE DEPARTMENTS FOLSET "MULTICED FOR THEMPT ACCORDANCE MITH APPERDERS AS OF THE DEPARTMENTS FOLSET "MULTICED FOR THEMPT ACCORDANCE MITH APPERDERS AS OF THE DEPARTMENTS FOLSET "MULTICED FOR THEMPT AND AND THE ENVIRONMENT AND THE DEPARTMENTS FOLSET "MULTICED FOR THEMPT AND AND THE APPERDENT AS OF THE DEPARTMENTS FOLSET "MULTICED FOR THEMPT AND AND THE APPERDENT AS OF THE DEPARTMENTS FOLSET "MULTICED FOR THEMPT AND AND THE APPERDENT AS A THE DEPARTMENTS FOLSET "MULTICED FOR THEMPT AND AND THE APPERDENT AS A CORDANCE WITH THE DEPARTMENT FOLSET THE DEPARTMENT AND AND THE ANALONDE AND AND ACCORDANCE WITH THE DEPARTMENT AND ADDRESS AND CERTIFIC ANALTA AND THE ANALONDER, WENCHAYR IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LIKE AT WAW PACODELOON.

NOTES FOR PROJECTS DISCHARGING TO SPECIAL PROTECTION WATERSHEDS #/OR EXCEPTIONAL VALUE WETLANDS 1. THIS PROJECT IS IN A SPECIAL PROTECTIO NERI GUALITY OR EXCEPTIONAL VALUE WATERSHED, EXTRENE CARE SHOLD BE EXTRACISED IN ALL DISTUBBANCE ACTIVITIES TO PREVENT OCEADADION TO THE WATERS OF THE CONTONNAL VALUE WATERSHED, UNF CONCENTION IN A SPECIALLY PARTICLES HORI GUALITY OR EXCEPTIONAL VALUE WATERSHED, UNF CONCENTION RE TEXPORARY (USASTADIO FE CHARDING TURBANCE ACTIVITIES, THE PROJECT SHE A SPECIALLY PARTICLES HORI GUALITY OR EXCEPTIONAL VALUE WATERSHED, UNF CONCENTION RE TEXPORARY (USASTADIO FE CHARDING TURBANCE ACTIVITIES, THE PROJECT SHE A SPECIALLY AND ACTIVES TO THE APPROPRIATE ILIPPORARY OF REPRESENT SHARD ACTIVITIES TO THE PROJECT SHE ARE ADDRESSION OF A DEPOSATION OF A DEPO

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ER 2815 PENN AVENUE WEST LAWN, PA 610-927-4242 Enterprises
MICHAEL DUAN HARTMAN
"MILLSTONE MEADOWS" PRELIMINARY/FINAL PLAN CONSTRUCTION DETAIL & NOTES – E&SC CLEMA GROVE MEADOW DEVELOPERS LLC LOCATION: EAST GRENEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA DATE: APRIL 20, 2023
2003 20 M.D.HARTMAN 2210/21/22/0 M.D.HARTMAN
 N.T.S. 9 OF 17 7-F Att 22-001-F-D-7.2



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   CONPOST FA TER SOUT SHALL FE FLAXED AFT DASTS NUME LEVEL GARDE DOTH EDG SO THE GARREE SHALL, BE EXTINUED
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   BAARDA SHALL NOT E FERMINE TO CONSCI SCONSOFT FLATE SOUTH SOUTH SOUTH SOUTH AND AND ANNONEN.
   ACCUMULANT OF STEP SHALL BE CANOVED OF THE SIZE OF THE SOCK AND THE SLOPE OF ITS TREATMAN ANAL.
   CONPOST FAILER SOUTH STALL BE CANOVED OF THE SIZE OF THE SOCK AND THE ADOR SOUTH HEIGHT OF THE BAARRER AND
   MISSIDED IN TE MANKER DESCHOED SILSMIEHER THE TAR THE ADOVE SOUTH HEIGHT OF THE BAARRER AND
   MISSIDEN THE MANKER DESCHOED SILSMIEHER ATT THE TAR.
   CONPOST FAILTE SOURS SHALL BE RIFYLICE WEEKLY AND AFTER ADAR RUMOFF EVENT, DATAGED SOCKS SHALL BE
   REPARD ON CONFORT AND ATTER ADAR BERNOMED SILSMIEHER ADO MENT A THE ADAR BE PRIVATED ATTER
   MONTAGE SOURD HEIGHT OF THE SARRE ADD
   MONTAGE ADARDE CONFORT THE SARRE SHALL BE CONTAGE AFTER ADARDER SOCKS AFTER
   MED GARAARE CONFORT THAT ATTER SOCKS SHALL BE REPARATIONES ON REPART.
   MONTAGE ATOMOST RE HANNATTURERS S REPORTED ATTER
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   MONTAGE STANDER ADA DE SAGE ADARDE THE ADARDE ADARDE THE ADARDER ADA DE MANCE ADARDE ADA ADARDE A

- SHEET FLOW SHALL BE MAINTAMED TO CONPOST SOCKS DURAIG CONSTRUCTION. IF OVERTOPPANG OR CONCENTRATED FLOW DICCURS, A ROCK FLITER SHALL BE VISTALLED AT THAT LOCATION.

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

24" DRAINETH COMPOST 51 TER SOCH

HEAVY DUTY LIFTING

C INTAK

AREA, AND DISCHARGE ONTO STABLE, CEOTEXTLE, UNDERLAYMENT AND

THER STORE TO INCREASE S GREATER THAN 5% FOR SLOPES NON-POLLUTING MATERIAL MAY BE

PLAN VIEW

FLEVATION VIEW

NOTES WOLLING FILTER BACS SHALL BE MADE FROM NON-KYCKEN GEOFENTLE MAFERAL SEWH I Dan I and Shernant, dobber Stitched J. The Senan. Fary Shall be cavable of Trapping Particles Langer Than I so michans, inch vollide filter bags Shall be made from woven generates that meet The following Standards:

ANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL BE PROVOED. FRITER BAGS SIVALL BE REPLACED WHEN THEY BECOME HALF I, SPARE BAGS SIVAL BE KEPT AVARABLE FOR REPLACEDWIN OF THOSE THAT REE FILD), BAGS SIVAL BE PLACED ON STRAPS TO FACILITATE RENOVAL WELL NOTING DEFINE DEFINING ATALANDED.

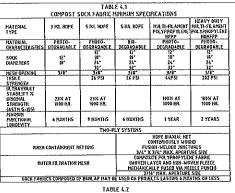
POSE Umpag rate shall be no greater than 750 GPN or 1/2 the haxing spectred subjectived, which dyer is less, pump briakes shall be flowing and screeded. Bass shall be respected daily, f any problem is detucted, pumping shall headily and not resume unit. The problem is corrected, pumping shall

PUMPED WATER FILTER BAG

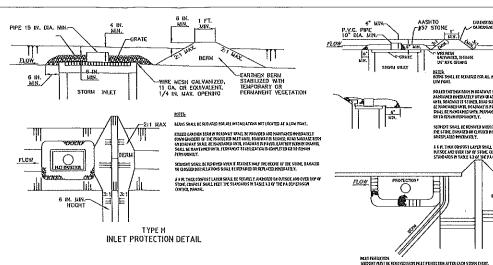
REDUCE SLOPE STEEPARTSS. BRARERE IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERA IMAL BE INSTALLED BELOW BASS LOCATED IN HO OR EV WATERSTAD SENIOS SURFACE WATER OR WHERE ORASSY KARE IS NOT AWAUGHE SE SHALL BE INSERED INTO THE BASS IN THE MANNER SPECIFED SCURECY CLAMPED. A PIECE OF POR SPEC IS RECOMMENDED FOR

WELL VEGETATE GRASSY AREA

-सनम्पत्तस्तुन



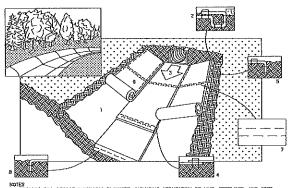




(30 cm) 2"-3" A COLO ഹ

NOTES
1 PRAYER SOL, BEFORE INSTALLING BLANCETS, INCLUDING ARY INTERSARY APPLICATION OF LINC, FERTURITER, AND STED, NOTE YMENI USING
CILL-D-SELD DIATO SEED PERFANIO ANTA, CEL-D-SELD PUST DE INSTALLID WITH PAPER SOL DOAK.
2 BEGR AT THE TOP OF THE SLOPE OF ANDREWS THE REAL CEL-D-SELD PUST DE INSTALLID WITH PAPER SOL DOAK.
3 BEGR AT THE TOP OF THE SLOPE OF ANDREWS THE REAL CELL-D-SELD PUST DE INSTALLID WITH PAPER SOL DOAK.
4 DE STALLING AND THE SLOPE OF ANDREWS THE REAL CELL-D-SELD PUST DE INSTALLID WITH PAPER SOL DOAK.
5 DE STALLING THE SLOPE OF ANDREWS THE REAL REAL DOACH. THE SLOPE OF ANDREWS THE TOP OF THE SLOPE OF ANDREWS THE TOP OF THE SLOPE OF ANDREWS THE SLOPE OF ANDREWS THE TOP OF THE SLOPE OF ANDREWS THE SLO

SLOPE PROTECTION INSTALLATION DETAIL





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\* SEE MANNFACTURER'S LIXING INSTALLATION DETAIL FOR STAPLE PATTERNS, AND VEGETATION STABLIZATION SPECIFICATIONS FOR SOIL ANENOMENTS, SEED MIXTURES AND MIXTONG INFORMATION. NTAL STAPLE SPACES SHOULD BE ALTERED & RECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL PORITS ALONG

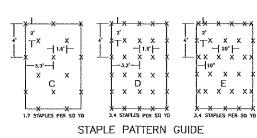
- E (HANGE UMEACL ROOG OR GRAVEL LISTES ARE ENCOUNTERED DURING SMALE EXCAVATION, UNDERCUT ROCK OR. GRAVEL TO 5" BELOW FRUHED ADD., COVER ROCK WITH K" OF SXI, AND 4" OF 100 SOL L CHANGES, HOST EN ERFET REE GOR STORTIONS SUGH AS FALL GROUND, PALLEH LEAVES AND WOODY DEBRIS, CHANGES TOS STERIZATI, AND CONSTRUCTION NATIONAL STANDARD STARLE RACES OF THOUGH AND AND AT PEED EF ALL END AND STERIZATI, AND CONSTRUCTION NATIONAL STANDARD AND STARLED PER THE CHANGEL STARLED FREE OF ALL END AND STERIZATI, AND CONSTRUCTION NATIONAL STARLED AND STARLED PER THE CHANGEL STARLED FREE HEIDAILET BACKFRLED AND THE CHANGELIS REPARTS AND STARLED PER THE CHANGEL STARLED FREI GEALTED CHANGEL STARLE E CASTINGTIBOR TO STARLED FREE THE CHANGEL STARLED FREI FOR THE OTHER AND ADD/OR PREVENT GROU LERGES TO SOL CHARACE, THE CHANGEL SHALL BE CHANTED TO ALLINGER, FISAN ADD/OR PREVENT GROU LERGE TO SOL CHARACE, THE CHANGEL SHALL BE CHANTED TO ALLINGE RET FREE CONSTRUCTION FOR STARLED FREE THE CHANGEL SHALL BE CHANTED TO ALLINGT FREE AND THE CHANGEL TO FOR THE SOL CHARACE. THE CHANGEL SHALL BE CHANTED TO ALLINGTE, FISAN ADD/OR PREVENT GROU LERGE TO SOL CHARACE, THE CHANGEL SHALL BE CHANTED TO ALLINGTE FREE AND THE SOL FOR TO SOL CHARACE. THE CHANGEL SHALL BE CHANTED TO ALLINGTE FREE FREE FOR THE GORD DERGE TO SOL CHARACE. THE CHANGE SHALL BE FISANT ADD/OR THE FLACENCE FOR THE SOL CHARACE. THE CHANGEL SHALL BE FISANT ADD/OR THE FLACENCE FOR THE SOL CHARACE. THE CHANGE SHALL BE FISANT ADD/OR THE FLACENCE FOR THE SOL CHARACE. THE CHANGE SHALL BE FISANT ADD/OR THE FLACENCE FOR THE SOL CHARACE FOR THE SOL CHARACE. THE CHANGEL SHALL BE FISANT ADD/OR THE FLACENCE FOR THE SOL CHARACE. THE CHANGEL SHALL BE FISANT ADD/OR THE FLACENCE FOR THE SOL CHARACE FOR THE SOL CHARACE. THE CHANGEL SHALL FOR THE FLACENCE FOR THE FLAC

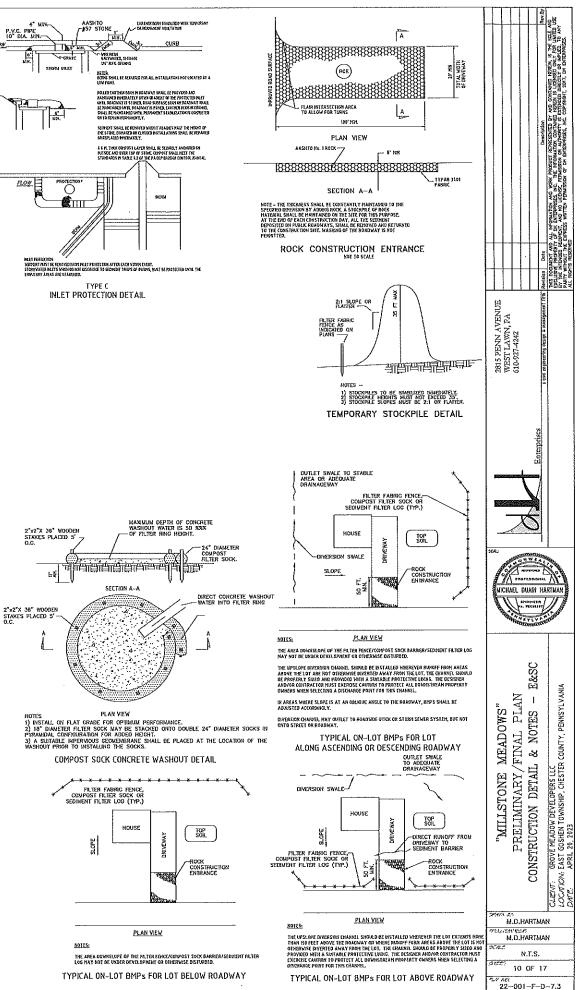
TYPICAL VEGETATED SWALES

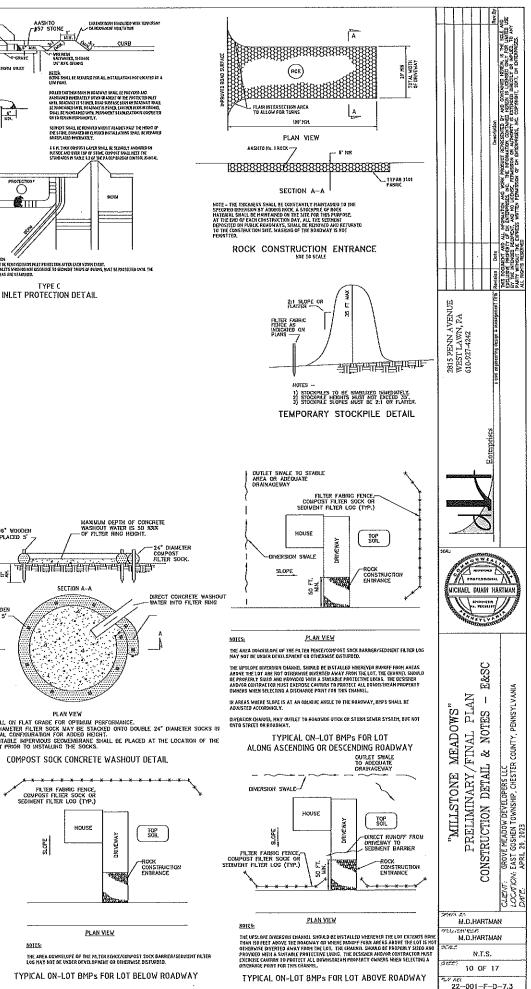
тΧ NOTES 1. PREPARE SOL BEFORE HISTALING BLARKETS, UICLUDING APPLICATION OF LINE, FERTILIZER, AND SEED. 2. BEEDN AT THE TOP JOF THE CHANNEL BY ANCHORING THE BLAKKET WA & "DEEP X & "WOE TRENCH. BACKYELL AND COMPACT THE TERMENT AFTER STOPLING. 3. ROLL CHIERE BLAKKET WI DIRECTION OF WATER FLOW ON BOTTON OF CHANNEL 4. FLACE BLAKKETS END OURS HOUSE STOLLY WITH A & "DEFALA". USE A DOUBLE ROW OF STACCARD STAPLES OF ADAM'T TO SECONS BUTSTOPS HIST DE ANCHORED IN O" BEED X &" WORE THERNON. MAXORIL AND CONVERT THE TERMENT AFTER STAPLEN. 8. BLAKKETS AN SUPES HUST BE OVERLAPPED 4" OVER THE CENTER BLAKKET AND STAPLED (2" FOR C330 MATTRICI. -11.6° |-· 3.3'--х С

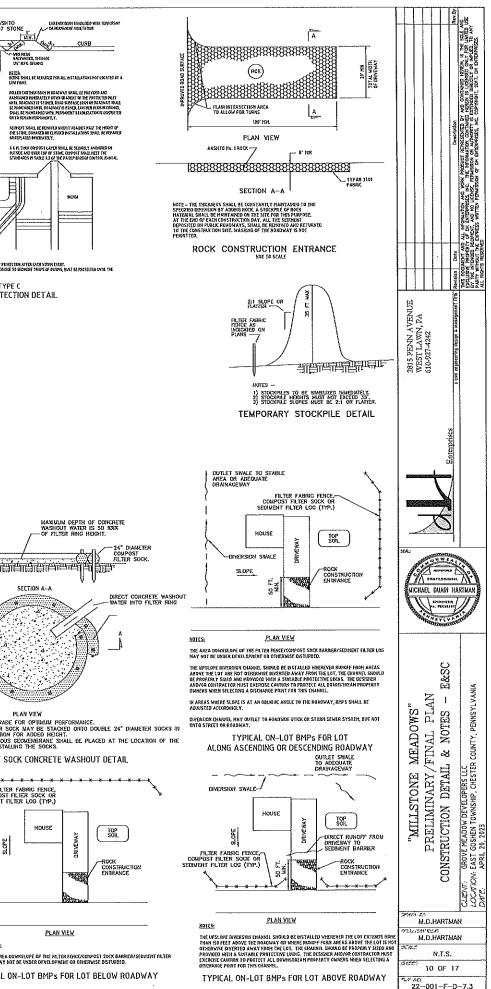
C 330 MATRIK). . NI KGR HAVING CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 F00T INTERNALS, USE A ROW OF STAPLES 4" APART OVER ENTIRE WOTH OF THE CHANNEL PLACE A SECOND ROW 4 BLOW THE FIRST ROW IN A STAGEDED PATERN. 8. THE TERNANAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WOET TREACH. BACKFILL AND COMPACT THE TRENCH ATTRES STAFTING

ECB CHANNEL INSTALLATION

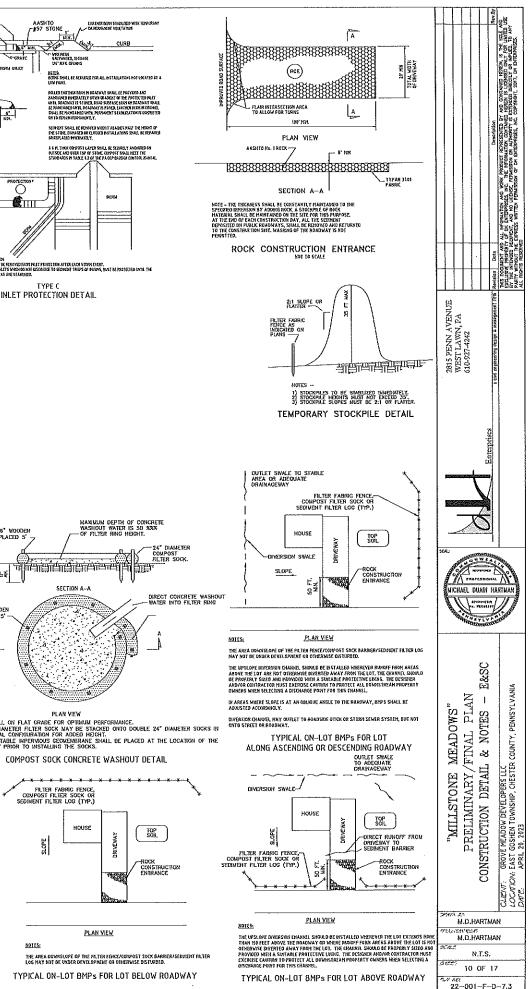


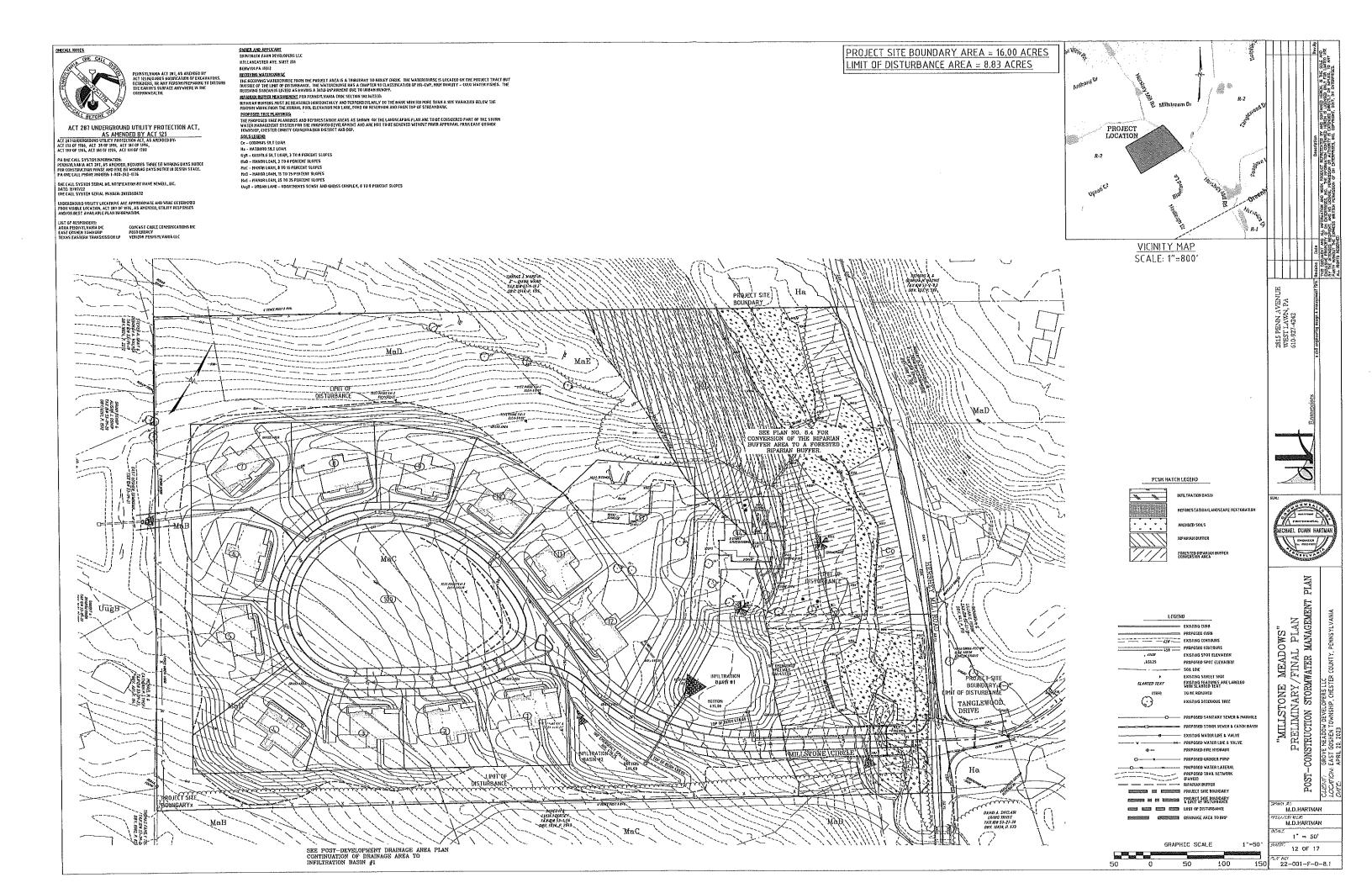


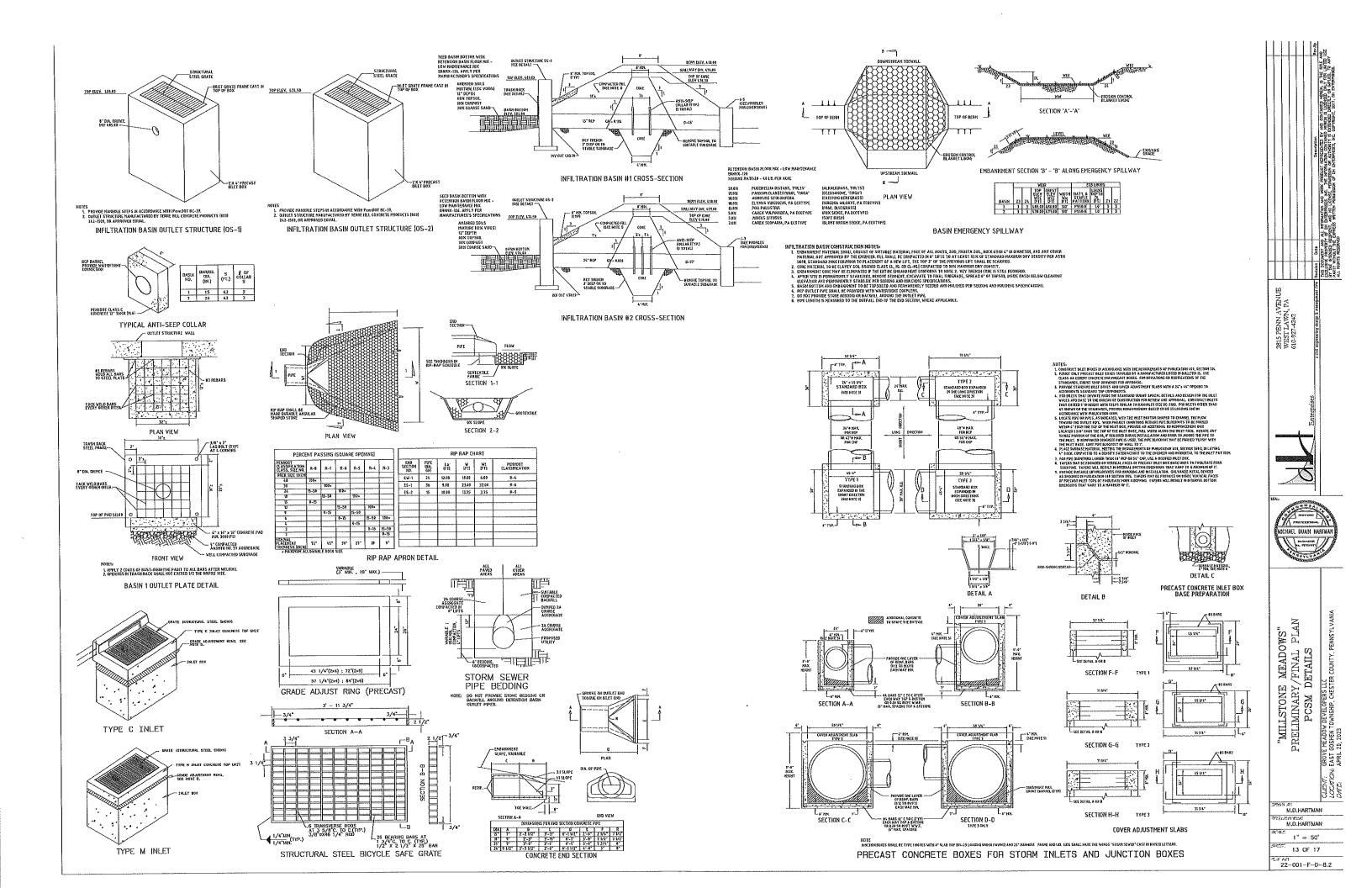












# EQUITABLE OWNER AND APPLICANT GROVE NEADOW DEVELOPERS LLC 1131 LANCASTER AVE. SUITE 201 BERWYR PA 19312

1171 LAKKASTER AVE SVITE 241 REVYK PA 1973 **SERIE AAL NOTES 1. IHE PERKITES** SHALL SONVEE ENGRESHING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORWARK BARSS, ADDIDAAL SOL, TESTING HAY DE REQUERE PROFI TO THE ENSTALLATION OF ENGLISHARE BARSS, ADDIDAAL SOL, TESTING HAY DE REQUERE PROFI TO THE ENSTALLATION OF ENGLISHARE BARSS, ADDIDAAL SOL, TESTING HAY DE REQUERE DE RESTINGAL NON-KIGGELISH ITE GISSUES PROFEI COATION AND FURCTOR. A LICENSED PROFESSIONAL NON-KIGGELISH ITE GISSUES PROFEI COATION AND FURCTOR. A LICENSED PROFESSIONAL NON-KIGGELISH ITE GISSUES PROFEI COATION AND FURCTOR. A LICENSED PROFESSIONAL NON-KIGGELISH ITE GISSUES AND CONSTRUCTION OF STORMAR HE BARS, FIELTBARD VIE DE SAM PROFILE SAML CONDUCT THE OVERSOM. 9. PURA VONDEL CONTINUE AND FURCTORE OVERSOM. 9. PURA VONDEL CONTINUE AND FUE PROFESSIO DERI TRATION SYSTEM SHOULD BE RELOCATED TO A NORE SUMAD DE ENDTEDA AND THE PROFENSIO DERI TRATION SYSTEM SHOULD BE RELOCATED TO A NORE 9. STATABLE CONTON ON THE PROFENSIO DERI TRATION SYSTEM SHOULD BE RELOCATED TO A NORE 9. STATABLE CONTON ON THE PROFENSIO DERI TRATION MASTES. THE OFFENDOSIES CONDUCT 10. THE ANTICIDATO MASTES ARE GONERAL CONSTRUCTION MASTES. THE OFFENDOSIES TO A STE 10. THE ANTICIDATO MASTES AND SHOULD AND MASTES. THE OFFENDOSIEST 10. THE CONTONIC TO REPORT ON STATE IN MASTES. THE OFFENDOSIEST 10. THE CONTONIC TO REPORT ON STATE IN THE STATE AND MASTES. THE OFFENDOSIEST 10. THE CONTONIC TRATIC MORENTER Y THE TOWNSHEP, DESTING AND TO BE 10. THE PROFENDER THE LANTIDES ARE TO BE CONTORING PERHAMENT RIFF SAML AND ARE NOT TO BE 10. THE PROFENDER THE LANTIDES ARE TO DE CONTORIES PERHAMENT RIFF SAML AND ARE NOT TO BE 10. THE PROFENDER TO DESTING ARE TO TO DESTING FOR THE AND ARE NOT TO BE 10. THE PROFENDER TO DESTING ARE TO DESTING THE THE LANTIC TO STATEMATING DESTINGT 10. THE PROFENDER TO DESTING ARE TO TO DESTING THE THE LANTIC TO STATEMATING DESTINGT. 10. PROFENDER TO DESTING ARE TO DESCINATE TO THE TRATICE DE CONTORES PERMAMENT 10. THE PROFENDER AND THE CONTOR THE TRA

OPERATIONS AND MAINTENANCE RESPONSIBILITIES THE OWER MAL BE RESPONSIBLE FOR THE HAY'S AS SHOWN ON THESE PLANS. THE OWNER SHALL SECLET AND HAVE THE PREPROTUCILY AND ORDER SEGRELANT RUNCHE EVENTS TO INSURE THEY are suffered and the second second the source and the source and the source and water, or, as any torke aloues or source but the store water events see system. Deleving provide the deps. Yengles shall had be downer and so by the owner shall be responsed for the store water events by the owner shall be responsed for the store water events and answere heads for the post construction store water handerent factifies.

RNP 5.4.1 PROTECT SENSITIVE/SPECIAL VALUE FEATURES

STALL INCOME VARIABLE AS SECURE VALUE FEALINES
 STALL INCOME ANTIGAL AREAS OF THOOPLAINS, MAPPED VETLANDS, MAPPED WOODLANDS, AND INTIGAL SLOPES OVER JANK AND 35X.
 HAY NECLEGE OFFER AREAS OF SEVERIARY INATURAL RESOURCES THAT THE APPLICANT OPENNISTRATES ARE OF SPECIAL NATURAL VALUE.

DEMONSTRATES ARE OF SPECIAL NATURAL, VALUE. SHALL NOT BE DISTURBED DURING PROJECT CONSTRUCTION RE., CLEARED DR GRADEDI EXCEPT FOR TEMPORARY WAARTS ASSOCIATED WITH HITIGATION AND REPORESTATION EFFORTS. UTILITY DISTURBANCE IS DISCOURAGED AND SHOULD BE KEPT TO A KERVIN.

SHALL BE PROTECTED BY HAVING THE LUNTS OF DISTURBANCE CLEARLY SHOWN DN ALL CONSTRUCTION DRAWINGS AND DELIVER TED IN THE FELD.

CONSTRUCTOR DRAMMERS AND PLEVERATE ON THE FELD. A state of the construction of the state and the prevent and intermeter of the state of the state of the construction of the state of the HARAGED TURF IS NOT CONSIDERED AN ACCEPTABLE FORM OF VEGETATION MANAGEMENT.

SHALL OF LOCATED ON THE DEVELOPMENT PROJECT.

### PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS

VIET, THE FEMALES AND CONTINUES AND LINEAR LINEAR ENGINEENTER 13 VIET, THE FEMALES ALL CONTINUES AND LINEAR SECTION VIETNA REPORTANT OF AND LEC OP TERENATION, THE FERALTIES OF CO-PERATTRE MILL REMARE RESPONSED E FOR CONTINUES AND TERENATION AND CONTINUES MILLIONES (CONTINUES OF CONTINUES OF FEMALES AND CONTINUES MILLIONES (CONTINUES OF CONTINUES OF FILE PROVIDED AND CONTINUES MILLIONES OF CONTINUES OF CONTINUES OF THE PROVIDED AND CONTINUES AND LISTED AND LISTED AND LISTED AND THE PROVIDED AND CONTINUES AND LISTED AND LISTED AND LISTED AND THE PROVIDED AND CONTINUES AND LISTED AND LISTED AND LISTED AND THE PROVIDED AND CONTINUES AND LISTED A

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UZ.780K3H RELATING TO F20APT TERIORATION I. THE PESSOR RESORGEDE E FOR FEDERATION ALL ONG-TERH OPERATION AND HANTELIANCE HAY ENTER INTE AN AGREGATION THAT MACTINE READON INCLUDED CONSTANT, HORPORT DEGAUGATION, INVERTIALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER F20ASOR, TO TRANSFER INTE RESPONSED FOR THAT MACTINE OF ON TO F20APTIC HARDON OR OTHER F20ASOR, TO TRANSFER INTE RESPONSED AND CONSTANT, AUTHORITY, PRIVATE CORPORATION OR OTHER F20ASOR, TO TRANSFER AND F20APONE INTEL THEREOR TO THE OUP ANTHINGT. A PRIVITE OR CONSTANT, ALL TO TAMASFER LONG-TERM OPERATION AND HARTENANCE OF THE PESS HAP OR OTHERMS FAS. TO COMPLETE OR OPERATION AND HARTENANCE OF THE PESS HAP OR OTHERMS FAS. STO COMPLETE OR ODE ALL ONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP OR OTHERMS FAS. STO COMPLETE OR ODE ALL ONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP OR OTHERMS FAS. STO COMPLETE OR ODE ALL ONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP OR OTHERMS FAS. STO COMPLETE OR ODE ALL ONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP OR OTHERMS FAS. STO COMPLETE OR ODE ALL ONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP OR OTHERMS FAS. STO COMPLETE OR ODE ALL ONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP OR OTHERMS HAP ON THE ALL ONGOVERED FOR LONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP ON OTHERMS HAP OF ALL AND OWNER FOR LONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP ON OTHERMS HAP OF ALL AND OWNER FOR LONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP ON OTHERMS HAP OF ALL AND OWNER FOR LONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP ON OTHERMS HAP OF ALL AND OWNER FOR LONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP ON OTHERMS HAP OF ALL AND OWNER FOR LONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP ON OTHERMS HAP OF ALL AND OWNER FOR LONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP ON OTHERMS HAP OF ALL AND OWNER FOR LONG-TERM OPERATION AND MANTENANCE OF THE PESS HAP OF ALL AND OWNER FOR LONG-TERM OPERATION

- POST-CONSTRUCTION STORNWATER MANAGEMENT BMP INSPECTION AND MAINTENANCE NOTES 1. NO STRUCTURES THAL ARE NOT COMPONENTS OF AN APPROVED ONP SHALL BE PERMITED WITHEN O AN ITOP FOR A MERA DESIGNATED FOR STORNWATER BEALIRATION
- NOR TRATION BEDS SHALL BE DISPECTED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED DI THE COMMONWEALTH OF PENNSYL VANIA ON THE FOLLOWING BASIS:

ANNUALLY FOR THE FRIST FIVE (5) YEARS. ONCE EVERY THREE 13) YEARS THEREAFTER.

# INDIVIDUAL BNP CONSTRUCTION SEQUENCE AND CRITICAL STAGES OF

DURING CONSTRUCTION AND INPLEMENTATION OF THE PROPOSED PERHAMENT BHP'S, THE FOLLOWING STAGES OF CONSTRUCTION SHALL BE UNFLIGHTED UNDER THE SUPERVISION OF A LICENSED PROFESSIONLA OF DESIGNATED INOVED/AL

BHP 6.6.2: INFILTRATION BASIN

## REFLICATION BASIN BI

UDULINGTUD DAAM NY UPON STABULZATION OF ALL UPSLOPE DISTURBED AREAS, BITLATE CONVERSION OF THE SEOPLENT BASIN TO THE PERMANENT INFRITATION BASIN. 1. FLUSH ACCINULATED SEDDIENT FROM THE CONTRIBUTING STORM SEMER SYSTEM. 7. DEWATER SEDTIENT BASSL I, DEWATER SEDITETT DASSE. 1. RENOVE BAFFLES, CLEANOUT STAKES, DEWATERING FACILITIES AND SEDIMENT RISER.

RISTALL PERMANENT OUTLET PLATE. REMOVE ALL SEDMENT FROM THE BASIN.

6. REPLACE BUTTON 12" OF SOL WITH RAN GARDEN SON, HIX AND RUNEDRATELY REPLEMENT PERMANENT VEGETATIVE COVER. LINE BASIN BOTTON AND SIDES WITH EADSIDH CONTROL BLANKET.

### WERTERTOR RASH B2-

), ROTIATE DISTALLATION OF THE DISCHARGE PIPE OS-2 TO ES-8, INCLUDENG ANTI-SEEP COLLARS AND OUTFALL RP-RAP APRON, DISTALL PERMAKENT OUTLET STRUCTURE.

OUTFAL REFERENCES OF REAL AST ACLE PARTHERED FOR THE STOCK OF A 2. INSTALL PERMARKET OUTFALT PLATE AND FASH RACK. 3. INVEDMENTLY SHE SHOPT PERHANNEN VEGETATIVE COVER, LIKE BASH BOTTOH AND SIDES MITH ENOSMY CONTROL BLANKET.

### INFILTRATION FACILITY NOTES

IN M. INA INVITABLE TOUES 1. AREAS TO BE USED FOR STORMWATER PULTRA TICH BURGAFTER, "SUDJECT AREAS'S SHALL BE DELENE TO MITO RANGE SAFE TY PERKE PROB TO START OF CONSTRUCTION, 2. OUPACTION OF THE SUBJECT AREAS IS PROBBITED. LOUPINITY AND DIMER TRAFFE SHALL BE PROMINED FOR USED TAVILUE OF STRIPT IN SUBJECT AREAS, CHEFA FROMOD FOR HEREN ONLY HANG-HED FOUNDED THAVELS OF USED OF THIS SUBJECT AREAS, CHEFA FROM PURDOSES OF EXCAVATION AND TO SUPPLY SUST, AND AGGREGATL. DIF DATING NO BURG TAVILUE OF STRIPT OF THE SUBJECT AREAS FOR PURDOSES OF EXCAVATION AND TO SUPPLY SUST, AND AGGREGATL.

ACCOUNT THE PERSON THAT SHALL OF USE A STATEMENT OF THE STATE OF THE ACCOUNT OF THE THE OFFICE AND ACCOUNTS A

REUMARTICENS OF THE DESIGN AND SUBJET SUCH VERIFICATION TO THE TOWNSHIP. S. WHEREVER DRAWINGE FRETER FABRIC IS SPECIFIED. IT SHALL BE PLACED IN ACCORDANCE WITH THE HAMAWATTERNES ORIECTIONS, INCLUDING PIPE PERETRATIONS, AND SHALL OVERLAP A KINGHUM OF ENGITEEN (IN) NCHES.

INVESTIGATION OF A CONTRACT OF A STATEMENT OF THE CONTRACT, AND SINCE "THE ACTION OF CONTRACT WARKS SHALL BE FOR INCECTED SUBJECT CONTRACTION OF THE FACULTY IS DEPID THE VASING BACK WHAT SHIP INCET A MEAN SHOWN THE BOTTOM OF THE FACULTY IS DEPID BAY WERE THE AGGESCRIFT IS HER.LAG. SHE PARTECE DATEMENT CONTRACT THE CONTRACT AND THE CONTRACT AND A STATEMENT OF A STATEMENT OF CONTRACT AND A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF CONTRACT AND A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF CONTRACT AND A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF CONTRACT AND A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF CONTRACT AND A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF CONTRACT AND A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF CONTRACT AND A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF CONTRACT AND A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF CONTRACT AND A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF CONTRACT AND A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF CONTRACT AND A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF CONTRACT AND A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF A STATEMENT CONTRACT AND A STATEMENT OF A STATEMENT OF A STATEMENT OF A STATEMENT OF A STATEMENT AND A STATEMENT OF A

PCSM REPORTING AND RECORDREEPING

THE PICK PLAN, INSPECTION REPORTS AND HONTORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

FINAL CERTIFICATION.

THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWNIGS" WITH A FINAL CRITERIATION STATEMENT FROM A LICENSED PROFESSIONAL, MICH READS AS FOLLOWS:

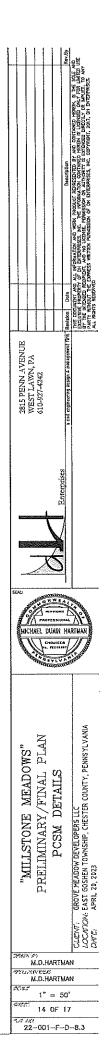
"TNAMED DD HERENY CERTERY PURGUANT TO THE PENALTES OF 16 PACS. A. 4 VIAL TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELLE, THAT THE ACCOMPANYING BECORD DRAWNIGS ACCURATILY REPLICE THE AS-URIT CONDITIONS, ME FIRE AND CONFICT, MON ARE IN CONFORMED WITH CAMPTER BY OF THE RAVE AND REQUARINGS OF THE DEPARTMENT OF ENDREWNENTLE PORTECTION AND THAT THE PROPECT SITE MAS CONSTRUCTED IN ACCORDANCE. WITH THE APPROVED FISH PLAN, ALL APPROVED FLAN GAUGUES AND ACCUTE DOWS AND MATTINE APPROVED FISH PLAN, ALL APPROVED FLAN GAUGUES AND ACCUTE DOWS AND MATTINE APPROVED FISH PLAN, ALL 10 THE PERMITTEE SHALL RELAKE A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PESH PLAN

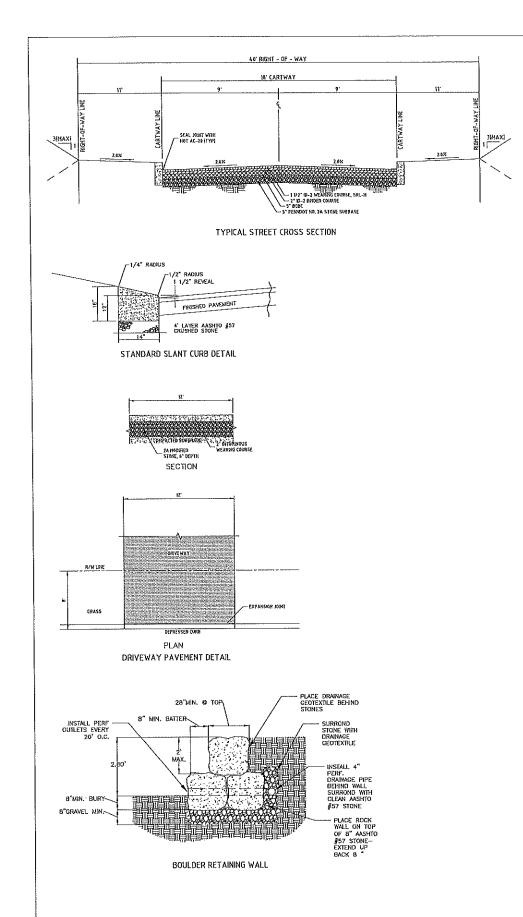
POSTRIAN LINTE PERMITIE SHALL PROVE A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN TO THE PERSON EDITITIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TEAM OPERATION AND ANATELIANCE OF THE PCSM BHYS.

SOILS LEGEND Ba GgB

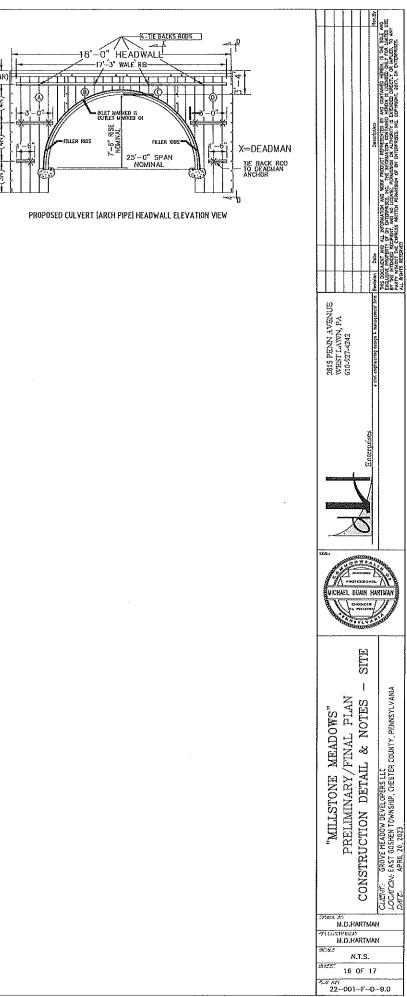
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- BAILE SELT LOAM GLENELG SELT LOAM, 3 TO 8 PERCENT SLOPES
- GLENELG SILT LOAN, 3 10 B PERCENT SLOPES GLENELG SILT LOAN, IS TO 25 PERCENT SLOPES HANOR LOAN, 8 TO 35 PERCENT SLOPES HANOR LOAN, 25 TO 35 PERCENT SLOPES
- URBAN LAND-UDORTHERTS, SCIRST AND GREISS COMPLEX, & TO B PERCENT SLOPES





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