

**AGENDA**  
**EAST GOSHEN TOWNSHIP**  
**CONSERVANCY BOARD MEETING**

1580 Paoli Pike, 2<sup>nd</sup> Floor  
June 14, 2023 - 7:00 PM

1. CALL TO ORDER / PLEDGE OF ALLEGIANCE / MOMENT OF SILENCE
2. APPROVAL OF MINUTES
  - a. **5/10/2023**
3. CHAIRMAN'S REPORT
4. Tree City USA
  - a. **Any Maintenance Tasks**
5. Educational Workshops
  - a. **New idea for the Fall**
6. OLD BUSINESS:
  - a. **Supplee Valley Preserve Planting**
  - b. **Street Tree Ordinance Discussion**
  - c. **Beaver Dams Discussion**
7. NEW BUSINESS:
  - a. **Summer schedule**
8. SUBDIVISION / LAND DEVELOPMENT REVIEW
  - a. **1010 Hershey Mill Road/Millstone Meadows**
9. VARIANCES/CONDITIONAL USES – None
10. LIAISON REPORTS
11. CORRESPONDENCE
12. DATES OF IMPORTANCE

<i><b>Date</b></i>	<i><b>Meeting</b></i>	<i><b>Time</b></i>
June 15	Futurist Committee - CANCELED	7:00pm
June 19	Township Office Closed-Juneteenth	
June 20	Board of Supervisors	7:00pm
June 24	Community Day	5:00pm
June 26	ESAC	6:30pm
June 27	Planning Commission	7:00pm
July 4	Township Office Closed – 4 <sup>th</sup> of July	
July 6	Park & Rec Commission	7:00pm
July 10	Municipal Authority	7:00pm
July 12	Conservancy Board	7:00pm
July 13	Pipeline Task Force	5:30pm
July 18	Pension Committee	10:00am
July 18	Board of Supervisors	7:00pm
July 20	Futurist Committee	7:00pm
July 24	ESAC	6:30pm
July 25	Planning Commission	7:00pm

**AGENDA**  
**EAST GOSHEN TOWNSHIP**  
**CONSERVANCY BOARD MEETING**  
1580 Paoli Pike, 2<sup>nd</sup> Floor  
June 14, 2023 - 7:00 PM

- 13. BOARD MEMBER CONCERNS
- 14. PUBLIC COMMENT
- 15. ADJOURNMENT

# Memorandum

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**East Goshen Township**  
**1580 Paoli Pike**  
**West Chester, PA 19380**  
Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [dbrady@eastgoshen.org](mailto:dbrady@eastgoshen.org)

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Date: May 19, 2023  
To: Sandra Snyder (Chair)  
From: Duane J. Brady Sr., Township Zoning Officer  
Re: 1010 Hershey Mill Road/Millstone Meadows SD  
Preliminary/Final SD Plan.

Dear Conservancy Board,

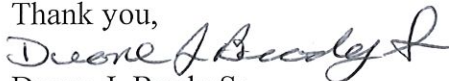
The Township staff has received an SD application for 1010 Hershey Mill Road, Millstone Meadows (Miller Property). The proposal is to create a subdivision tract for 14 single-family homes using the Open Space Development Option (Zoning Ordinance section 240-36). A Conditional Use was granted by the Board of Supervisors on March 8, 2023, for a 15 Lot subdivision under the single-family open space development option with 19 conditions. The application has been reviewed for completeness and was accepted by Township Staff on May 16, 2023.

**Things to note:**

- The property is approximately 16 acres.
- The property is in the R-2 Low Density Residential District.
- The property contains two (2) Class II historic resources that are currently detailed in the East Goshen Township Historic Resource Inventory (Existing house and barn).
- The property has a stream which is a tributary of Ridley Creek and is classified as a High-Quality Stream and has wetlands.

Please complete your review and provide comments by July 25, 2023.

Thank you,



Duane J. Brady Sr.  
East Goshen Township  
Zoning Officer





EAST GOSHEN TOWNSHIP  
CHESTER COUNTY, PA

SUBDIVISION AND / OR LAND DEVELOPMENT APPLICATION

Date Filed: 5-16-23

Application for (Circle one):

☐ Subdivision ☐ Land Development ☒ Subdivision & Land Development

A. Application is hereby made by the undersigned for approval of a Subdivision and or Land Development Plan, more particularly described below.

1. Applicant's name: Grove Meadow Developers, LLC.

Address: 1171 Lancaster Avenue, Suite 201, Berwyn, PA 19312 Phone: 610-725-0812

Fax: \_\_\_\_\_ Email: tr@moserhomes.com

2. Name and address of present owner (if other than 1. above)

Name: Mark & Christine Miller

Address: 210 N. Aberdeen Avenue, Wayne, PA 19087 Phone: \_\_\_\_\_

Fax: \_\_\_\_\_ Email: \_\_\_\_\_

3. Location of plan: Hershey Mill Road at intersection of Tanglewood drive

4. Proposed name of plan: Millstone Meadows Subdivisions

5. County Tax Parcel No.: 53-1-19 Zoning District: R-2

6. Area of proposed plan (ac.): 16.128 Number of lots: 14 Single Family

7. Area of open space (ac.): 9.25

8. Type of structures to be constructed: Single Family Dwellings

9. What provisions are to be made for water supply and sanitary sewer? Public

10. Linear feet of road to be constructed: 1,500 ft

11. Name of Engineer: Michael Hartman, dH Enterprises

Phone Number: 484-663-3487 Fax: \_\_\_\_\_

Email address: mhartman@dh-enterprises.net

EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA  
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

12. Name of Land Planner: Nave Newell  
Phone Number: 610-265-8523 Fax: \_\_\_\_\_  
Email address: plepard@navenewell.net

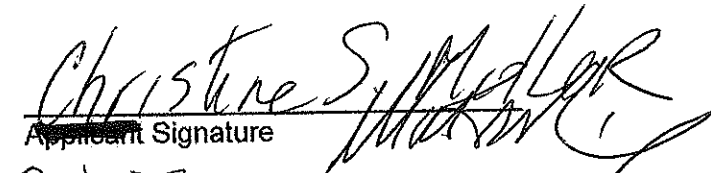
- B. I/We agree to reimburse the Township of East Goshen for such fees and expenses the Township may incur for the services of an Engineer(s) in investigations, tests, and review in relation to the Subdivision Plan.
- C. I/We agree to post financial security for the improvements depicted on the Subdivision and land Development Plan pursuant to the Subdivision and Land Development Ordinance.
- D. I/We agree to reimburse the Township of East Goshen for all inspection fees at the actual cost to Township.

**NOTICE**

The Township requires an Occupancy Permit before any building can be occupied; no Occupancy Permit will be issued until final inspection and approved by the Zoning Officer and Building Inspector.

  
\_\_\_\_\_  
Applicant Signature

APPLICANT

  
\_\_\_\_\_  
Owner Signature

OWNER

**Administrative Use**

Fees received from applicant \$ \_\_\_\_\_ basic fee, plus \$ \_\_\_\_\_ per lot

For \_\_\_\_\_ lots = \$ \_\_\_\_\_.

Application and plan received by: \_\_\_\_\_ Date: \_\_\_\_\_  
(Signature)

Application accepted as complete on: \_\_\_\_\_  
(Date)

LAMB | MCERLANE PC  
ATTORNEYS AT LAW

William R. Christman III  
Voice 610-430-8000  
Fax 610-692-6210  
bchristman@lambmcerlane.com

March 8, 2023

EMAIL AND FIRST CLASS MAIL

Grove Meadow Developers, LLC  
1171 Lancaster Avenue, Suite 201  
Berwyn, PA 19312  
Email: tr@moserhomes.com

Re: Conditional Use Application of Grove Meadow Developers, LLC

Dear Mr. Moser:

Enclosed please find the Decision and Order of the Board of Supervisors of East Goshen Township approved at its public meeting of last evening.

Please kindly signify your acceptance of the conditions of approval within fifteen (15) days of the date of this letter.

Very truly yours,

LAMB MCERLANE PC

By:   
William R. Christman III

Enclosure

cc: Derek Davis, Township Manager (*via email only*)  
Duane Brady, Zoning Officer (*via email only*)  
Alyson Zarro, Esq. (*via email only*)  
Natie McManus  
Alison Oshop  
Lillian Fedor  
Ron McGill

The evidentiary record was closed at the conclusion of the hearing on January 17, 2023. By email dated February 17, 2023, from the Applicant's counsel, the Applicant granted the Township an extension of time to render its decision on the Application through March 7, 2023, pursuant to Section 913.2(b)(2) of the Pennsylvania Municipalities Planning Code (the "Pa MPC").

From the testimony and exhibits presented at the hearing, the Board makes the following:

#### **FINDINGS OF FACT**

1. All facts set forth in the introductory paragraphs above are incorporated herein by reference and are deemed to be factual findings of the Board.
2. Applicant is a Pennsylvania limited liability company.
3. The Property, consisting of approximately 16 acres within the R-2 Low Density Residential District, is owned by Mark Miller and Christine Miller.
4. By Agreement of Sale dated March 15, 2022, the Applicant is the equitable owner of the Property. See Exhibit A-3.
5. The Property contains two (2) Class II historic resources that are currently detailed in the East Goshen Township Historic Resource Inventory (a house and a barn), as well as a stream (a tributary to Ridley Creek, which is classified as a High Quality Stream) and wetlands.
6. The first conditional use hearing, which was held on January 17, 2023, was advertised in the *Daily Local News* on October 13, 2022, and November 7, 2022. See Exhibit B-5.
7. All required notices of the hearing were made.

14. The Applicant has indicated its willingness to provide a sanitary sewer and pedestrian access easement from the proposed cul-de-sac to adjoining Township property between Lots 6 and 7.

15. Each lot will be served by public sewer and water. Both the East Goshen Municipal Authority (sanitary sewer) and Aqua Pennsylvania, Inc. (water) have indicated that service is available for the proposed development. See Exhibit A-7.

16. Certain improvements will be required to sanitary sewer equipment in order to accommodate the proposed development, which the Applicant has agreed to pay.

17. Approximately fifty-eight percent (58%) of the Property will be qualifying open space, which will be preserved in a conservation easement with a homeowners' association responsible for maintenance.

18. The "central green" within the proposed cul-de-sac is intended to be used for passive and active recreation.

19. The Applicant has proposed certain landscaping around the perimeter of the site and street trees along the proposed road, although the specifics of the proposed landscaping will be reviewed during the subdivision/land development process.

20. The homeowners' association documentation will include a specific section regulating street trees and landscaping, which will be maintained by the homeowners' association.

21. Each single-family dwelling would be separated by at least 30 feet and would provide a minimum of three (3) off-street parking spaces.



- B-3 Email dated September 13, 2022, from Applicant's counsel granting an extension of all deadlines relating to the time in which the Board must hold its first hearing on the Application
- B-4 Form of Public Notice
- B-5 Proof of Publication of Public Notice
- B-6 Pennoni Review Letter dated September 21, 2022
- B-7 Revised Sketch Plan dated October 5, 2022
- B-8 Applicant's Response Letter to Pennoni Review dated October 5, 2022
- B-9 Historic Resource Impact Study dated October 2022
- B-10 Pennoni Revised Review Letter dated October 27, 2022
- B-11 Pipeline Awareness Study dated November 11, 2022
- B-12 Zoning Officer's Memorandum dated November 7, 2022
- B-13 Updated Pipeline Awareness Study dated January 10, 2023

30. The following hearing exhibits were introduced by the Applicant and admitted by the Board at the January 17, 2023 hearing:

- A-1 Conditional Use Application
- A-2 East Goshen Township Zoning Ordinance
- A-3 Redacted Agreement of Sale for 1010 Hershey Mill Road
- A-4 Open Space Development Layout Sketch Plan dated October 5, 2022
- A-5 Historic Resource Impact Study dated October, 2022
- A-6 C.V. of Michael Hartman, P.E.
- A-7 Will Serve Letter dated July 13, 2022
- A-8 Pipeline Awareness Study dated January 10, 2023

31. If this conditional use is granted for the proposed development, the Board, in order to protect the surrounding neighborhood and insure that the health, safety and welfare of the community and the Township are protected, will impose certain conditions on Applicant's home occupation.

applicable conditions and criteria imposed by the Ordinance and reasonable conditions of approval imposed by the Board. A conditional use is not a use which the Board has the unfettered discretion to approve or deny. Rather, the Board is governed by the objective criteria and standards enunciated in the Ordinance when determining whether to grant an application.

If the Applicant can prove that they comply with the terms of the Ordinance authorizing a conditional use, the Board must grant the conditional use unless substantial evidence indicates that the use will result in substantial injury to the public interest. Susquehanna Twp. Board of Commissioners v. Hardee's Food Systems, Inc., 430 A.2d. 367 (Pa. Cmwlth. 1981); Appeal of Estate of Achey, 484 A.2d. 874 (Pa. Cmwlth. 1984), aff'd 501 A.2d. 249 (Pa. 1985); Joseph v. North Whitehall Township, 16 A.3d. 1209 (Pa. Cmwlth. 2011).

The fact that a use is permitted by conditional use evidences a legislative determination that such use would not have an adverse impact on public interests in normal circumstances. Joseph v. North Whitehall Township, 16 A.2d 1209 (Pa. Cmwlth. 2011).

In a conditional use hearing, an applicant has the burden of establishing that its proposed use complies with the specific and objective criteria of the zoning ordinance. Id. Once the applicant has met its burden, the conditional use must be granted unless a protestant presents "sufficient evidence to establish that there is a high degree of probability that the use will cause a substantial threat to the community." In re Cutler Group, Inc., 880 A.2d 39 (Pa. Cmwlth. 2005). To justify the denial of a conditional use,

Here, the East Goshen Township Board of Supervisors has made the decision to grant the Application for conditional use relief, subject to the conditions specified within the Order below.

The additional conditions described in the Order below are imposed and attached pursuant to the authority of the MPC § 603(c) and Section 240-31.B(11) of the Ordinance and are subject to the following general principles. Unless a different mechanism is expressly required, compliance with these conditions shall ordinarily be established in the context of subsequent applications for building and use and occupancy permits and approvals. All conditions shall be complied with to the satisfaction of the Township. Any aspect of the said application or any revision thereto materially inconsistent with these conditions will require re-application to and re-hearing by the Board prior to such approval. Any violation of the conditions during or following construction will be treated as a violation of the Zoning Ordinance, subject to the enforcement mechanisms specifically detailed in MPC §§ 511 and 616-617, 53 P.S. §§ 10511 and 10616-10617.

Most fundamentally, this Decision and Order grants only conditional use approval in accordance with the express terms for the development as described in the Application and by the testimony and exhibits. Nothing contained in this Decision and Order shall be construed to abrogate or limit the obligation of the Applicant to comply with the applicable requirements of all of the Township's ordinances. Except as expressly augmented and clarified by these conditions, the use shall be in accordance with all of the otherwise applicable standards, specifications, and regulations of the Township and of all other agencies with jurisdiction over the Property, the development, or any aspect thereof. Any proposed development or use of the Property which would deviate from any

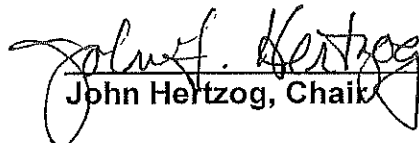
## ORDER

AND NOW, this 7<sup>th</sup> day of March, 2023, the Board of Supervisors of East Goshen Township hereby **ORDERS** the following:

1. The Application for a single-family open space development is hereby **GRANTED**, subject to the conditions hereinafter enumerated.
2. Pursuant to Section 240-38.6 of the Historic Preservation Ordinance, a modification from Section 210-23.B(2)(b)[2][c], permitting only one flag lot, is **GRANTED** to allow two (2) flag lots for the historic resources on the Property.
3. The Applicant shall comply with all outstanding comments contained in the Pennoni review letter dated October 27, 2022 (Exhibit B-10), to the satisfaction of the Township Engineer, as amended by this Order.
4. During the subdivision/land development process, the Applicant shall adequately address stormwater management, to the satisfaction of the Township Engineer, including but not limited to stormwater conveyances through the site from adjacent stormwater management facilities and any necessary stormwater easements.
5. The Applicant shall provide to the Township a sanitary sewer and pedestrian access easement approximately located between Lots 6 and 7, to the satisfaction of the Township. The pedestrian access easement shall be demarcated by post-and-rail fencing, stones, mulch, grass pavers, or the like. The pedestrian access easement shall be maintained by the homeowners' association and will be adequately addressed in the association's Declaration of Covenants, Conditions and Restrictions (the "Declaration") to the satisfaction of the Township. Notice of the easement shall also be provided to any prospective buyers of Lots 6 and 7 prior to execution of an agreement of sale. The Applicant shall complete the demarcation of the pedestrian access prior to the issuance of building permits for lots immediately adjacent to the easement area.
6. The "central green" located within the cul-de-sac shall be graded and maintained to allow for active recreation.
7. The Applicant shall preserve as much of the existing perimeter vegetation as possible. Any vegetation replaced pursuant to the Ordinance and/or the Township's Subdivision and Land

13. Any future residential reuse of the historic barn shall require further approvals from the Township, pursuant to the Historic Preservation provisions of the Ordinance (Sections 240-38.1 through 240-38.11). During its ownership of the historic barn, the Applicant shall ensure that it is well maintained and does not fall into disrepair.
14. Prior to final plan approval, a Phase I Environmental Site Assessment for the Property shall be provided to the Township.
15. The use of the Property shall be in substantial conformity with the Applicant's application and the testimony and exhibits presented at the hearing on the application as determined by the Township, as amended by this Order.
16. The Applicant's conditional use shall be subject to compliance with all terms and provisions of the Ordinance and all other Township Ordinances and Regulations.
17. The attached Findings of Fact, Conclusions of Law, and Discussion are incorporated into this Order.
18. The Applicant shall execute and provide to the Township a recordable, notarized copy of a memorandum containing a metes and bounds description of the Property in question and stipulating the terms and conditions of this approval and shall consent to the recording by the Township in the office of the Recorder of Deeds of Chester County no later than the recording of the approved final plan. All recording costs shall be reimbursed by the Applicant within 30 days of receipt of an invoice from the Township.
19. The Applicant shall express to the Board in writing, delivered to the Township Office within 15 days of the Applicant's receipt of this Decision, its full and complete consent to the conditions specified herein above or the Application for conditional use approval is denied; the Board expressly finding and concluding that the Application, in the absence of compliance with the said conditions, is inconsistent with the standards, criteria, purposes and policies codified in Section 240-31 of the Ordinance.

**BOARD OF SUPERVISORS  
EAST GOSHEN TOWNSHIP**

  
John Hertzog, Chair



Millstone SD Flood Plain Area 5-4-23

COUNTY OF CHESTER  
PENNSYLVANIA



Find Address Information

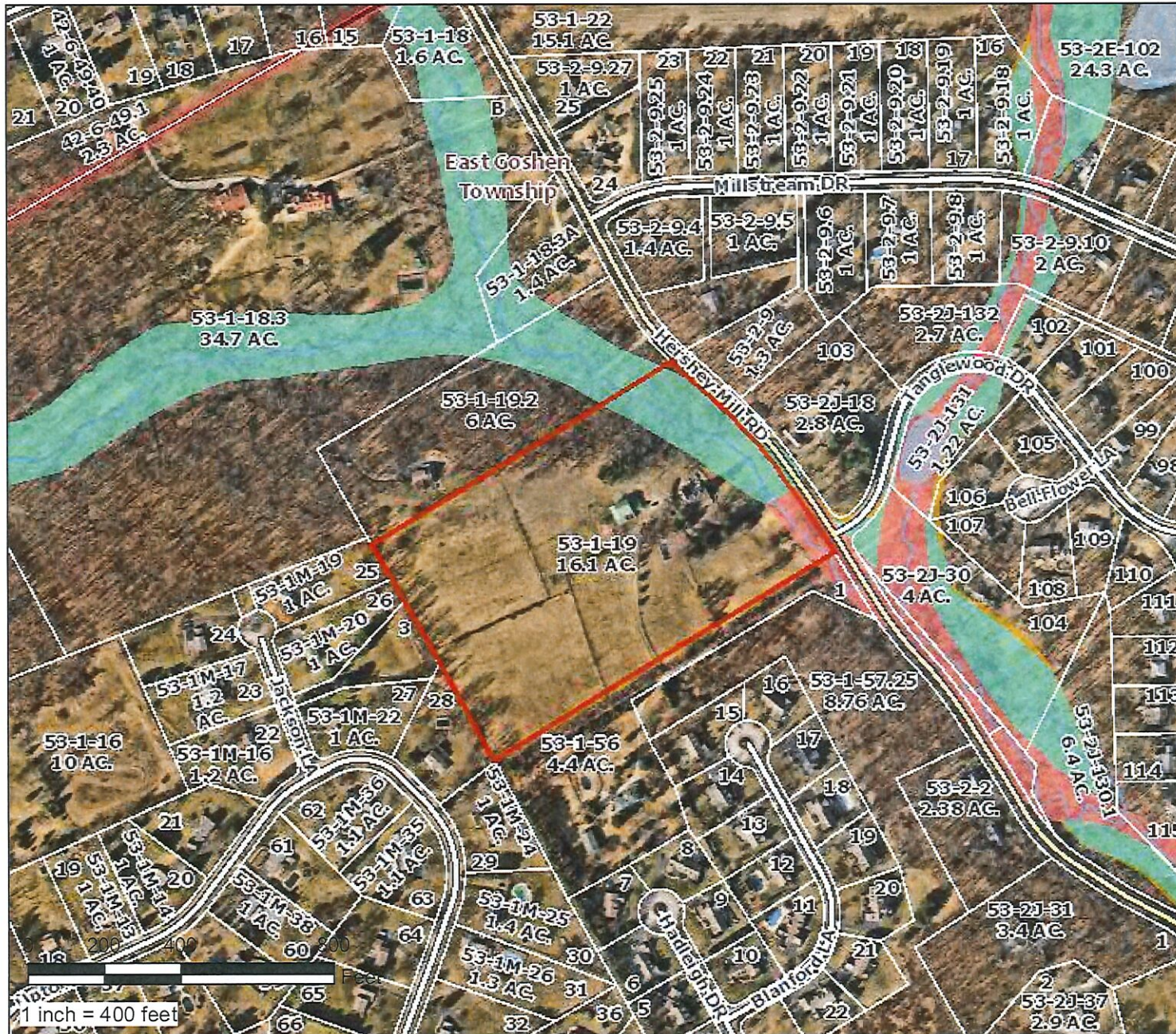
PARID: 5301 00190000  
 UPT: 53-1-19  
 Owner1: MILLER MARK S &  
 Owner2: CHRISTINE S  
 Mail Address 1: 210 N ABERDEEN  
 AVE  
 Mail Address 2: WAYNE PA  
 Mail Address 3:  
 ZIP Code: 19087  
 Deed Book: 3587  
 Deed Page: 895  
 Deed Recorded Date: 07/01/1993  
 Legal Desc 1: WS OF HERSHEY MILL  
 RD  
 Legal Desc 2: 16.1 AC FARM  
 Acres: 16.1  
 LUC: F-10  
 Lot Assessment: 100410  
 Property Assessment: 215400  
 Total Assessment: 315810  
 Assessment Date: 12/16/2022 7:49:49  
 AM  
 Property Address: 1010 HERSHEY MILL  
 RD  
 Municipality: EAST GOSHEN  
 School District: West Chester Area

Map Created:  
Thursday, May 4, 2023

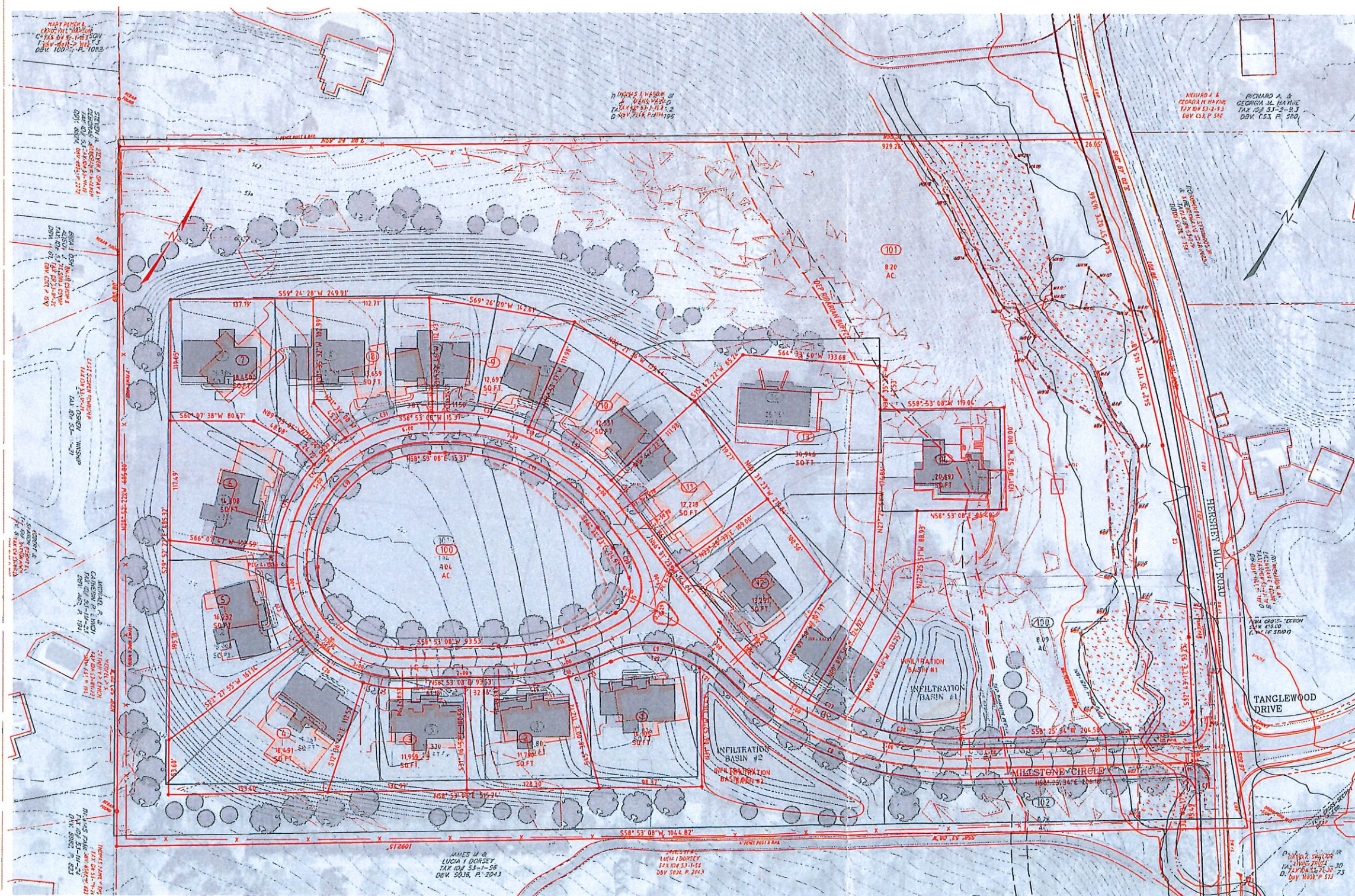
County of Chester



**Limitations of Liability and Use:**  
 County of Chester, Pennsylvania makes no claims to the completeness, accuracy, or content of any data contained herein, and makes no representation of any kind, including, but not limited to, the warranties of merchantability or fitness for a particular use, nor are any such warranties to be implied or inferred with respect to the information or data furnished herein. For information on data sources visit the GIS Services page listed at [www.chesco.org/gis](http://www.chesco.org/gis).







PROPERTY LINE CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	CH	BEARING	PTS
C1	116'	715.05'	000°05'08"	N44°53'04"E	11.153	
C2	103.43'	1000.00'	005°52'01"	S31°39'17"E	108.19	
C3	910.12'	1150.00'	000°00'00"	S02°57'00"W	104.57	
C4	39.64'	20.00'	088°07'46"	S10°02'49"E	11.153	
C5	103.43'	1200.00'	041°10'05"	S01°04'37"E	156.80	
C6	109.12'	80.00'	071°05'25"	S01°33'07"E	102.83	
C7	103.55'	80.00'	053°15'44"	N44°53'17"E	106.64	
C8	PROVE	100.00'	000°00'00"	S10°04'52"E	108.19	
C9	SIPE	100.00'	000°00'00"	S01°53'08"W	112.19	
C10	209.62'	1200.00'	005°12'29"	N44°50'59"W	108.19	
C11	209.63'	100.00'	055°03'03"	S85°27'00"W	150.80	
C12	39.31'	20.00'	018°27'03"	S10°14'16"E	10.80	
C13	110.84'	230.00'	028°55'11"	S43°56'07"E	108.88	
C14	125.66'	80.00'	096°00'00"	N16°36'52"E	103.54	
C15	112.39'	100.00'	000°00'00"	N01°39'18"E	105.54	
C16	100.00'	80.00'	054°03'29"	N08°10'05"E	105.54	
C17	100.00'	100.00'	010°18'05"	S51°59'05"E	102.83	
C18	20.56'	89.66'	008°16'16"	N01°01'05"E	10.80	
C19	89.66'	89.66'	051°20'01"	N02°51'25"E	10.80	
C20	44.63'	270.00'	009°29'38"	S09°14'42"E	11.153	
C21	184.2'	100.00'	014°31'08"	N01°31'07"E	108.19	
C22	38.75'	100.00'	018°30'30"	N03°10'18"E	10.80	
C23	73.47'	90.00'	035°06'34"	S05°04'12"E	72.50	
C24	76.28'	90.00'	034°25'13"	S02°11'18"E	10.80	
C25	105.35'	700.00'	005°47'57"	S20°42'54"E	10.80	
C26	94.53'	150.00'	006°10'25"	S01°28'12"E	92.81	
C27	100.00'	100.00'	000°00'00"	S01°28'12"E	11.153	
C28	100.00'	100.00'	000°00'00"	S01°28'12"E	11.153	
C29	100.00'	100.00'	000°00'00"	S01°28'12"E	11.153	
C30	100.00'	100.00'	000°00'00"	S01°28'12"E	11.153	
C31	100.00'	100.00'	000°00'00"	S01°28'12"E	11.153	
C32	100.00'	100.00'	000°00'00"	S01°28'12"E	11.153	
C33	100.00'	100.00'	000°00'00"	S01°28'12"E	11.153	
C34	100.00'	100.00'	000°00'00"	S01°28'12"E	11.153	
C35	100.00'	100.00'	000°00'00"	S01°28'12"E	11.153	
C36	100.00'	100.00'	000°00'00"	S01°28'12"E	11.153	
C37	100.00'	100.00'	000°00'00"	S01°28'12"E	11.153	
C38	100.00'	100.00'	000°00'00"	S01°28'12"E	11.153	

APPLICANT & FAVORABLE RECORD OWNER  
GROVE MEADOW DEVELOPERS LLC  
1711 LANCASTER AVE. SUITE 201  
BETHANY PA 19312

RECORD OWNER:  
S. HALLER & CHRISTINE S. HALLER  
210 N. ABERDEEN AVENUE  
WAYNE, PA 19087

SOURCE OF TITLE:  
PDR 53-1-19

SETP:  
SINGLE FAMILY OPEN SPACE DEVELOPMENT

TOTAL UNITS:  
TOTAL AREA:

PROPOSED DENSITY:  
WATER SERVICE:  
SEWER SERVICE:

ZONING DATA TABULATION  
LOW DENSITY RESIDENTIAL DISTRICT  
LOT AREA  
LOT WIDTH  
FRONT YARD  
SIDE YARD  
REAR YARD  
BUILDING HEIGHT  
MAX. BLDG. COVERAGE  
MAX. IMP. COVERAGE

OPEN SPACE DEVELOPMENT OPTION  
REQUIRED OPEN SPACE (55% OF TRACT) 8.70 ACRES

PERIMETER OPEN SPACE (PARCEL 100)	8.09 ACRES
CENTRAL GREEN SPACE (PARCEL 101)	1.04 ACRES
QUALIFYING OPEN SPACE	9.13 ACRES (50 %)
LESS THAN 50' IN WIDTH (PARCEL 107)	0.28 ACRES
TOTAL PROVIDED OPEN SPACE	9.41 ACRES

**GENERAL NOTES**

1. THE PROPOSED OPEN SPACE MAY NOT BE SEPARATELY FURTHER DEVELOPED OR SUBDIVIDED.
2. THE OPEN SPACE AREA DESIGNATED AS PARCEL 100 AND OPEN SPACE.
3. THE OPEN SPACE AREA DESIGNATED AS PARCEL 101 SHALL BE OPEN SPACE AND AVAILABLE FOR THE COMMUNITY USE.
4. THE OPEN SPACE AREAS SHALL BE PROTECTED BY A COVENANT.
5. FOR THE OPEN SPACE AREA SHALL BE A HOMEOWNER ASSOCIATION.
6. THE HOMEOWNER'S ASSOCIATIONS SHALL MANAGE THE OPEN SPACE AREA.
7. THE PLANTINGS SHOWN ON THIS PLAN ARE TO SHOW GENERAL GUIDELINES. FORMAL PLANTING PLANS SHALL BE PROVIDED FOR DEVELOPMENT PLANS.
8. STORAGE SHEDS ARE NOT A PERMITTED ACCESSORY USE.

LEGEND

- EXISTING LIGHT STANDARD
- EXISTING CURB
- PROPOSED CURB
- SOIL LINE
- RIPARIAN BUFFER
- WETLAND DELINEATION
- EXISTING WETLAND
- EXISTING STREET SIGN
- EXISTING FLOOD DAMAGE LA
- WITH SLANTED TEXT
- EXISTING DECADENT TREE
- EXISTING EXPOSED ROOTS
- EXISTING EDGE OF WETLAND
- PROPOSED CONCRETE SIGN
- PROPOSED IRON PINTYPE
- PROPOSED CURB CLAS
- PROPOSED HANDICAPED BA

# OPEN SPACE DEVELOPMENT LAYOUT PLAN

**"MILLSTONE MEADOWS"**  
MOSBY CUSTERS TO NATIONAL PAPER  
CORPORATION, EAST GUSTEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA  
AGREEMENTARY/FINAL PLAN

SUBDIVISION PLAN

M.D.HARTMAN	
M.D.HARTMAN	M.D.HARTMAN
1" = 50'	M.D.HARTMAN
1 of 2	1" = 50'
22-001 S-D-1.0	2 OF 17

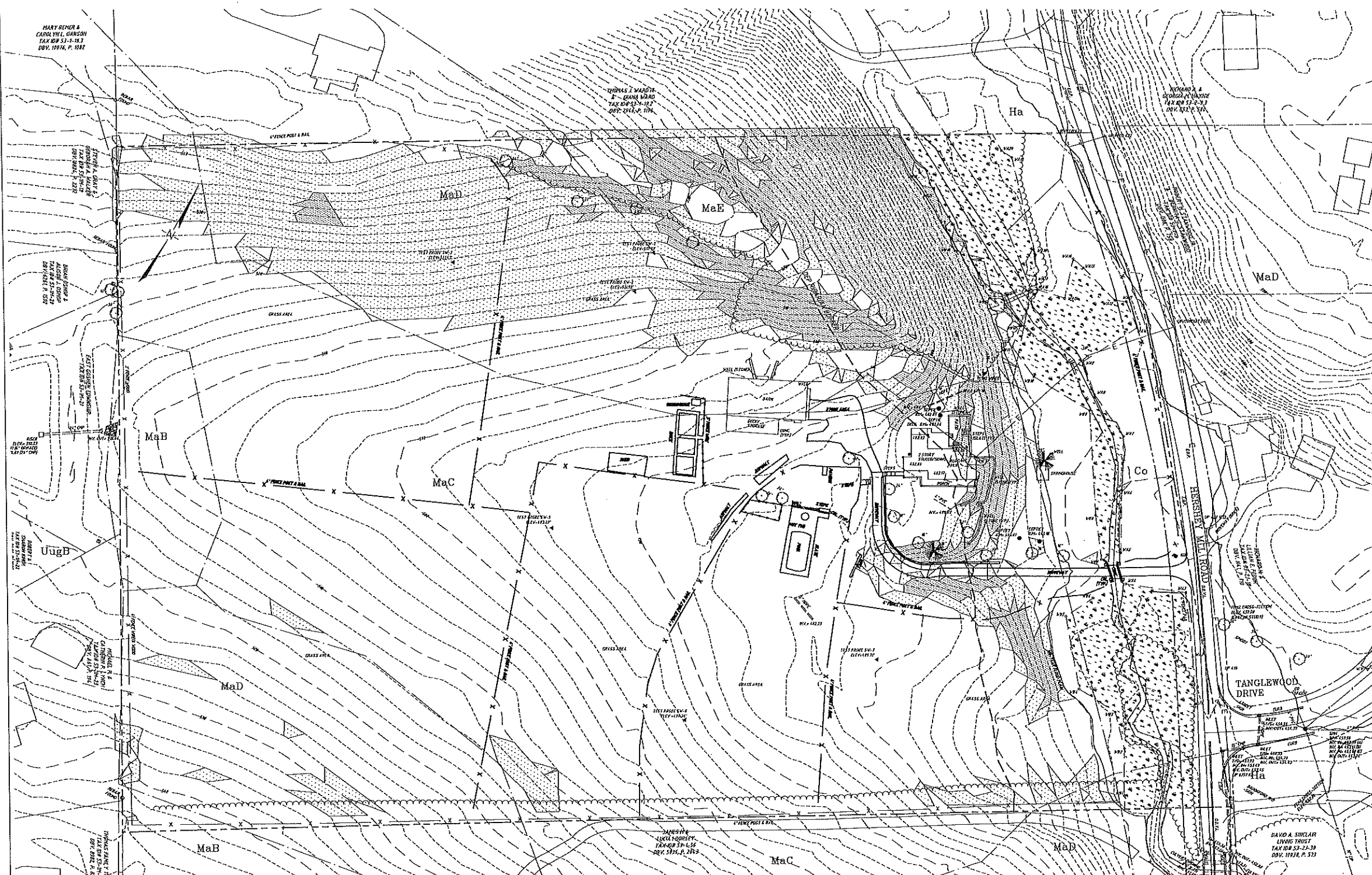
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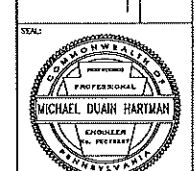
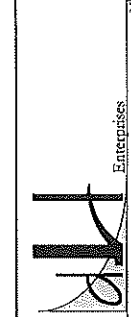




- DEMOLITION NOTES**
1. CONTRACTOR TO DEMOLISH ALL ITEMS NECESSARY TO CONSTRUCT PROPOSED BUILDING AND SITE FEATURES WHICH ON NOT INDICATED IN THE CONSTRUCTION DOCUMENTS. ADDITIONAL AND PROPER PROTECTION SHALL BE PROVIDED TO EXISTING FEATURES NOT BEING REMOVED.
2. EXCAVATIONS THAT ARE LEFT OPEN DURING THE DEMOLITION PROCESS SHALL BE COVERED OR FENCED OFF. THE AREA SHALL BE ADEQUATELY MARKED TO ENSURE SAFETY AND PUBLIC SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL APPLICABLE UTILITIES WHICH ITEMS ARE BEING REMOVED IN A SAFE AND CODE CONFORMING MANNER.
3. UNDESIRABLE MATERIALS AND RUBBISH SHALL BE IMMEDIATELY REMOVED FROM THE SITE. MATERIALS TO BE RECYCLED WILL BE STOCKPILED IN A SAFE AND SECURE LOCATION. MATERIAL THAT REQUIRES PROTECTION FROM THE WEATHER SHALL BE STORED IN A SECURE DRY LOCATION.
4. DAMAGE CAUSED TO EXISTING FEATURES DURING THE DEMOLITION PROCESS SHALL BE REPAIRED AND RESTORED TO PREDEMOLITION CONDITIONS. IF DAMAGE CANNOT BE REPAIRED ADEQUATELY THAN THE DAMAGED ITEM SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
5. FEATURES SHOWN IN BOLD INDICATE ITEMS THAT MUST AT A MINIMUM BE RECYCLED. ALSO SEE NOTE 1.
- EXISTING NATURAL FEATURES:**
1. TOPOGRAPHY AND COVERS:
- THE EXISTING TOPOGRAPHY AND CONTIGUOUS HAVE BEEN SHOWN ON PLANS.
2. SITE BENCHMARK AND DATUMS:
- BENCHMARK: EXISTING SANITARY SEWER MANHOLE IN TANGLEWOOD DRIVE  
TOP OF MANHOLE=159.19  
DATUM IS BASED ON NAVD DATUM OF 1988
3. STEEP SLOPES:
- THE STEEP SLOPES HAVE BEEN DELINEATED ON THE PLANS FOR 15%-25% AND GREATER THAN 25% SLOPES.
4. WATERCOURSES, POND, AND FLOOD HAZARD DISTRICT:
- THERE IS AN EXISTING PERMANENT STREAM CHANNEL ON-SITE. THE PROPOSED LAYOUT HAS LIMITED DISTURBANCE TO A REMOTE RECESS OF THE STREAM CHANNEL TOWARDS THE SOUTH-EASTERN CORNER OF THE SITE. THERE IS AN EXISTING STREAM CROSSING THAT SHALL BE REMOVED AS PART OF THE DEVELOPMENT. THE SITE IS LOCATED WITHIN THE FLOOD HAZARD DISTRICT "A".
- SOIL DATA:**
- Co = ODOROUS Silt LOAM  
Ma = HATBORO Silt LOAM  
Gsb = GRAVELLY Silt LOAM, 3 TO 10 PERCENT SLOPES  
Hsb = HATBORO LOAM, 3 TO 10 PERCENT SLOPES  
Mc = HATBORO LOAM, 10 TO 15 PERCENT SLOPES  
Hc = HATBORO LOAM, 15 TO 15 PERCENT SLOPES  
HcL = HATBORO LOAM, 25 TO 35 PERCENT SLOPES  
Ubf = URBAN LOAM - UNOBTAINED SOILS AND COMPLEX, 8 TO 8 PERCENT SLOPES
- GEOLOGIC FORMATION:**
- "GLAHEM MASSACHUSETT" FORMATION-QUARTZ, ALBITE, MUSCOVITE, AND OSMONITE
- SOIL PERCOLATION TESTS:**
- SOIL TEST AND PROBE LOCATIONS ARE SHOWN ON THE PLANS.
- WETLANDS:**
- THE WETLAND INFORMATION SHOWN HEREON IS BASED ON A WETLAND DELINEATION PERFORMED BY ENVIRONMENTAL, INC. IN JUNE 2022
- EXISTING VEGETATION:**
- THE SITE VEGETATION IS PREDOMINATELY MEADOWS/PASTURE COW, WITH AREAS OF MAINTAINED LAWN AND WOODED AREAS. THE WOODLANDS AND INDIVIDUAL TREES ARE SHOWN ON THE PLANS.
- EXISTING STRUCTURES AND OTHER IMPROVEMENTS:**
- THE EXISTING IMPROVEMENTS ARE SHOWN ON THE PLANS
- 11. HISTORIC RESOURCES**
- THE EXISTING DWELLING AND BARN ARE CONSIDERED HISTORIC RESOURCES AND WILL NOT BE ALTERED AS PART OF THIS PLAN. PER THE CONDITIONAL USE DECISION, ANY FUTURE RESTORATION REUSE OF THE HISTORIC BARN SHALL REQUIRE FURTHER APPROVALS FROM THE TOWNSHIP. PURSUANT TO THE HISTORIC PRESERVATION PROVISIONS OF THE ORDINANCE LOCATIONS 20A-21.1 THROUGH 20A-21.10-30.11, DURING ITS OWNERSHIP OF THE HISTORIC BARN, THE APPLICANT SHALL ENSURE THAT IT WILL MAINTAINED AND DOES NOT FALL INTO DISREPAIR.
- 12. EXISTING PATHS AND TRAILS**
- THERE ARE NO EVIDENCE OF PATHS OR TRAILS ON SITE.
- 13. EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES**
- THERE ARE NO EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES ON SITE.
- 14. ANY OTHER SIGNIFICANT EXISTING NATURAL OR MAN-MADE FEATURES**
- THERE ARE NO OTHER SIGNIFICANT EXISTING NATURAL OR MAN-MADE FEATURES ON SITE.
- 15. DELINEATION OF THOSE PORTIONS OF THE LOT VISIBLE FROM ADJACENT PUBLIC ROADS**
- ONE OF THE SURROUNDING DEVELOPMENTS HAS A WETLAND AND EXISTING VEGETATION. THE VISIBILITY OF THE PROPERTY FROM HERSEY HILL ROAD AND TANGLEWOOD DRIVE IS VERY LIMITED.

Revision	Date	Description	Rev By
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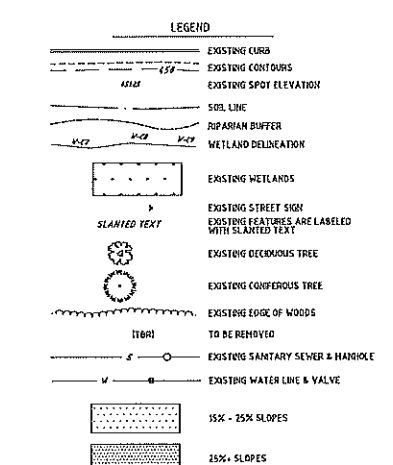
2815 PENN AVENUE  
WEST LAWN, PA  
610-927-4242

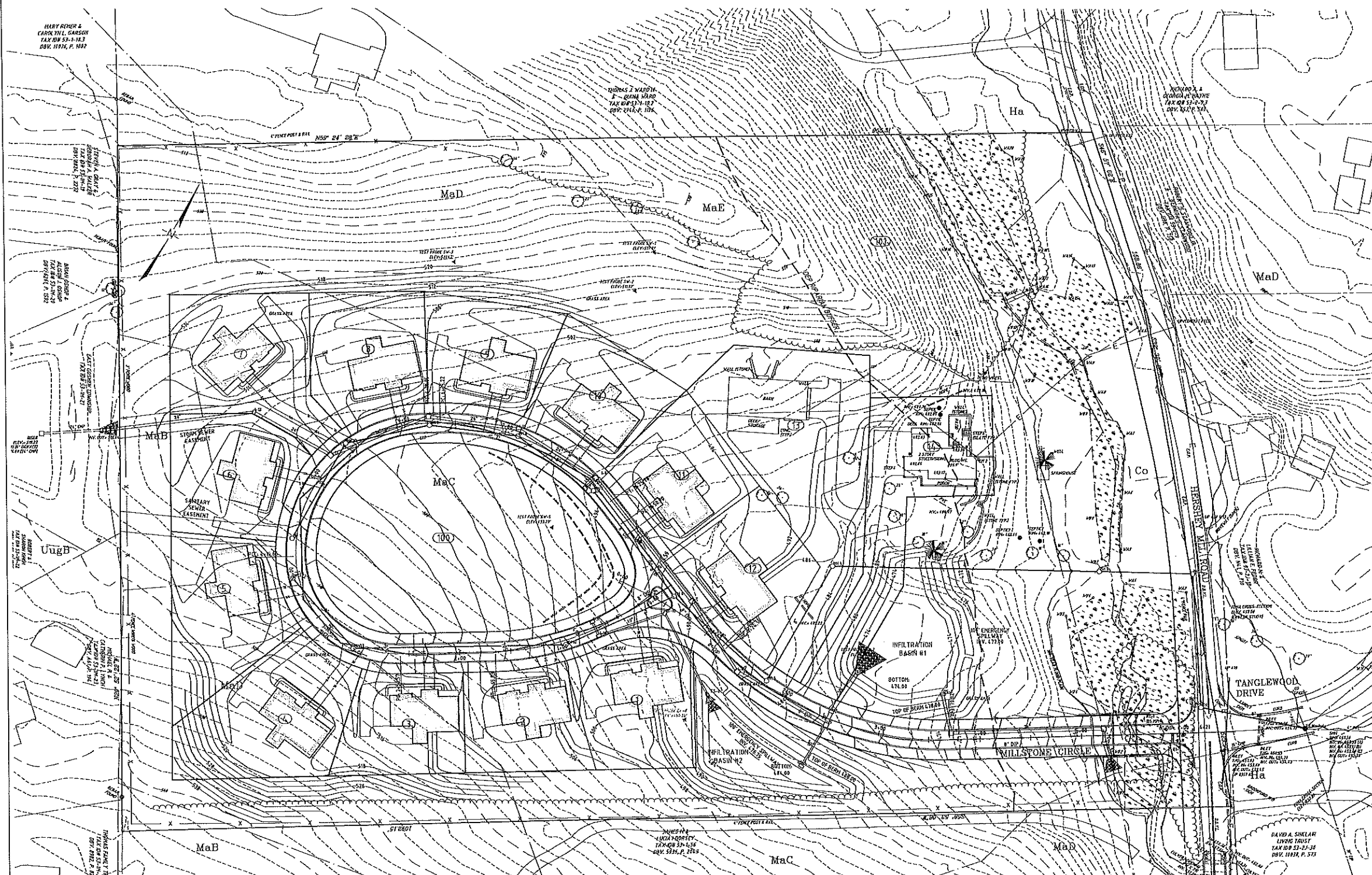


"MILLSTONE MEADOWS"  
PRELIMINARY/FINAL PLAN  
EXISTING CONDITIONS AND DEMOLITION PLAN

CLIENT: GROVE MEADOW DEVELOPERS LLC  
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA  
DATE: APRIL 20, 2023

PERSONNEL	M.D.HARTMAN
PERSONNEL	M.D.HARTMAN
SCALE	1" = 50'
DATE	3 OF 17
FILE NO.	22-001-F-D-3.0





- GENERAL CONSTRUCTION NOTES:
1. AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557) IN THE BUILDING, PAVED AND SIDEWALK AREAS, AND 90% IN OTHER AREAS.
  2. UNDERGROUND FACILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND PLANS OF OTHERS AND THEREFORE THEIR ELEVATIONS AND LOCATION MUST BE CONSIDERED AS APPROXIMATE ONLY. THE VERIFICATION OF EACH FACILITY SHOWN OR NOT SHOWN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  3. CONTRACTOR TO VERIFY LOCATION AND FLOW OF EXISTING UTILITIES PRIOR TO INSTALLATION OF PLUMBING. ALL SERVICES TO BE CONNECTED IN ACCORDANCE WITH LOCAL CODES AND/OR UTILITY COMPANIES REQUIREMENTS.
  4. PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH PENNDOT SPECIFICATIONS PUBLICATION 409, LATEST EDITION.
  5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT NO WORK IS DONE WITHOUT THE PROPER INSPECTIONS BY LOCAL AUTHORITY OR GOVERNING AGENCY.
  6. CONTRACTOR TO NOTIFY ENGINEER AS SOON AS POSSIBLE IF CONDITIONS ON GROUND DIFFER FROM THOSE SHOWN ON THE PLANS.
  7. ALL AREAS OTHER THAN PAVED AREAS SHALL HAVE A MINIMUM DEPTH OF SIX INCHES (6") OF TOPSOIL PRIOR TO SEEDING. THE SURFACE SHALL BE SCARIFIED AND CLEARED OF ALL TRASH, DEBRIS, ROOTS AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTINGS, FERTILIZING OR MAINTENANCE OPERATIONS.
  8. SEEDING AND MAINTENANCE SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408.
  9. ALL SPOT ELEVATIONS SHOWN AT THE CORNERS ARE THE BOTTOM OF CURB, UNLESS OTHERWISE NOTED.
- CONSTRUCTION INSPECTION SCHEDULE:
- INSPECTIONS SHALL BE REQUIRED AS FOLLOWS:
1. AT THE COMPLETION OF PRELIMINARY SITE PREPARATION.
  2. AT THE COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACEMENT OF TOPSOIL.
  3. DURING THE CONSTRUCTION OF PERMANENT STORMWATER FACILITIES, OR AS ORDERED NECESSARY BY THE MUNICIPAL ENGINEER.
  4. UPON COMPLETION OF PERMANENT STORMWATER FACILITIES.
  5. UPON COMPLETION OF FINAL GRADING AND PERMANENT VEGETATIVE CONTROLS.

- LEGEND
- EXISTING CURB
  - PROPOSED CURB
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - SOIL LINE
  - EXISTING STREET SIGN
  - EXISTING FEATURES ARE LABELED WITH SLANTED TEXT TO BE REMOVED
  - EXISTING DECEDUOUS TREE
  - PROPOSED SANITARY SEWER & MAINLINE
  - PROPOSED STORM SEWER & CATCH BASIN
  - EXISTING WATER LINE & VALVE
  - PROPOSED WATER LINE & VALVE
  - PROPOSED FIRE HYDRANT
  - PROPOSED GROUND PUMP
  - PROPOSED WATER LATERAL
  - PROPOSED CURB TAPER



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WEST LAWN, PA  
610-927-4042

"MILLSTONE MEADOWS"  
PRELIMINARY/FINAL PLAN  
GRADING & UTILITY PLAN

CLIENT: GROVE MEADOW DEVELOPERS LLC  
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA  
DATE: APRIL 20, 2023

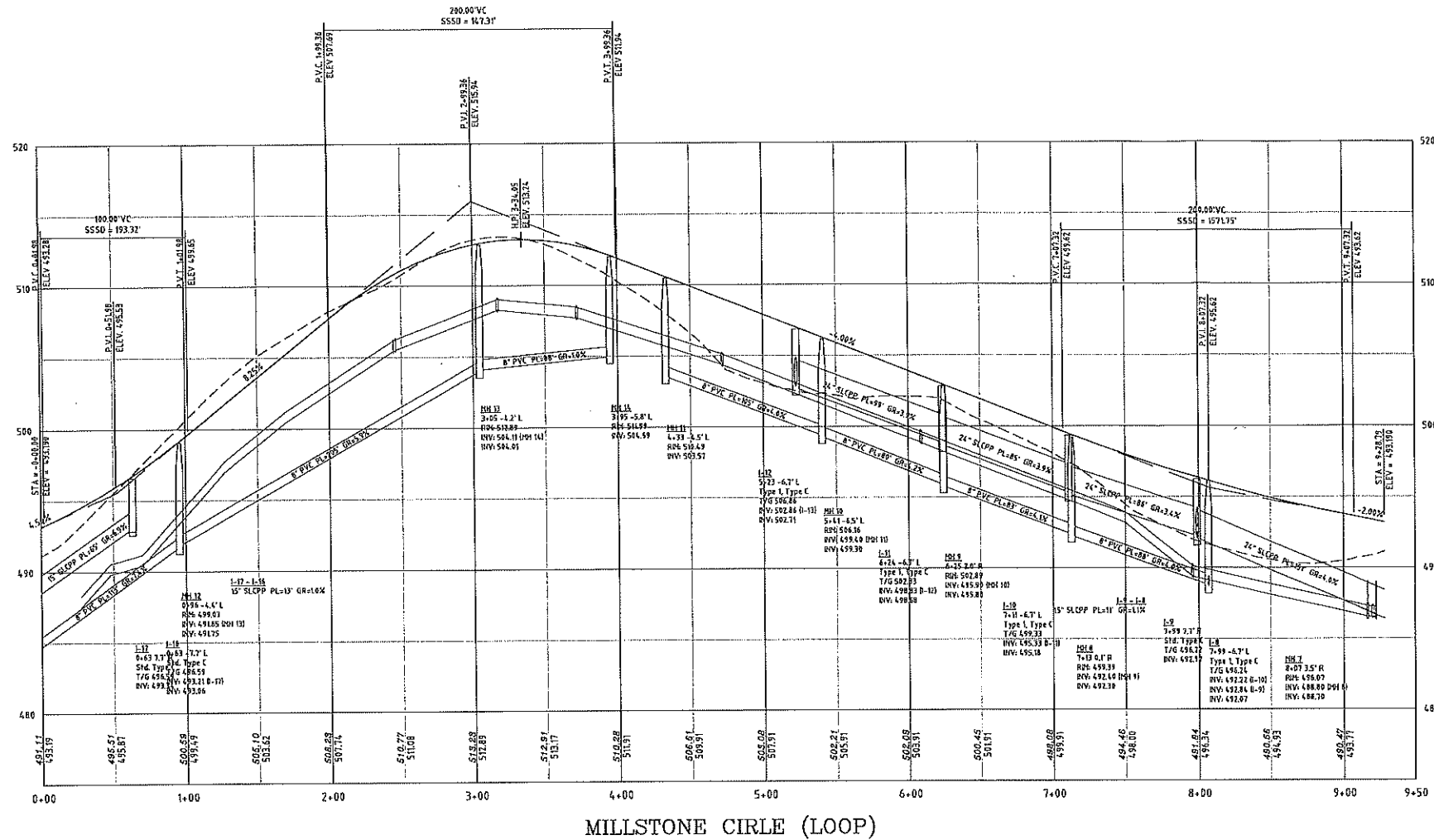
DESIGN BY  
M.D.HARTMAN

CHECKED BY  
M.D.HARTMAN

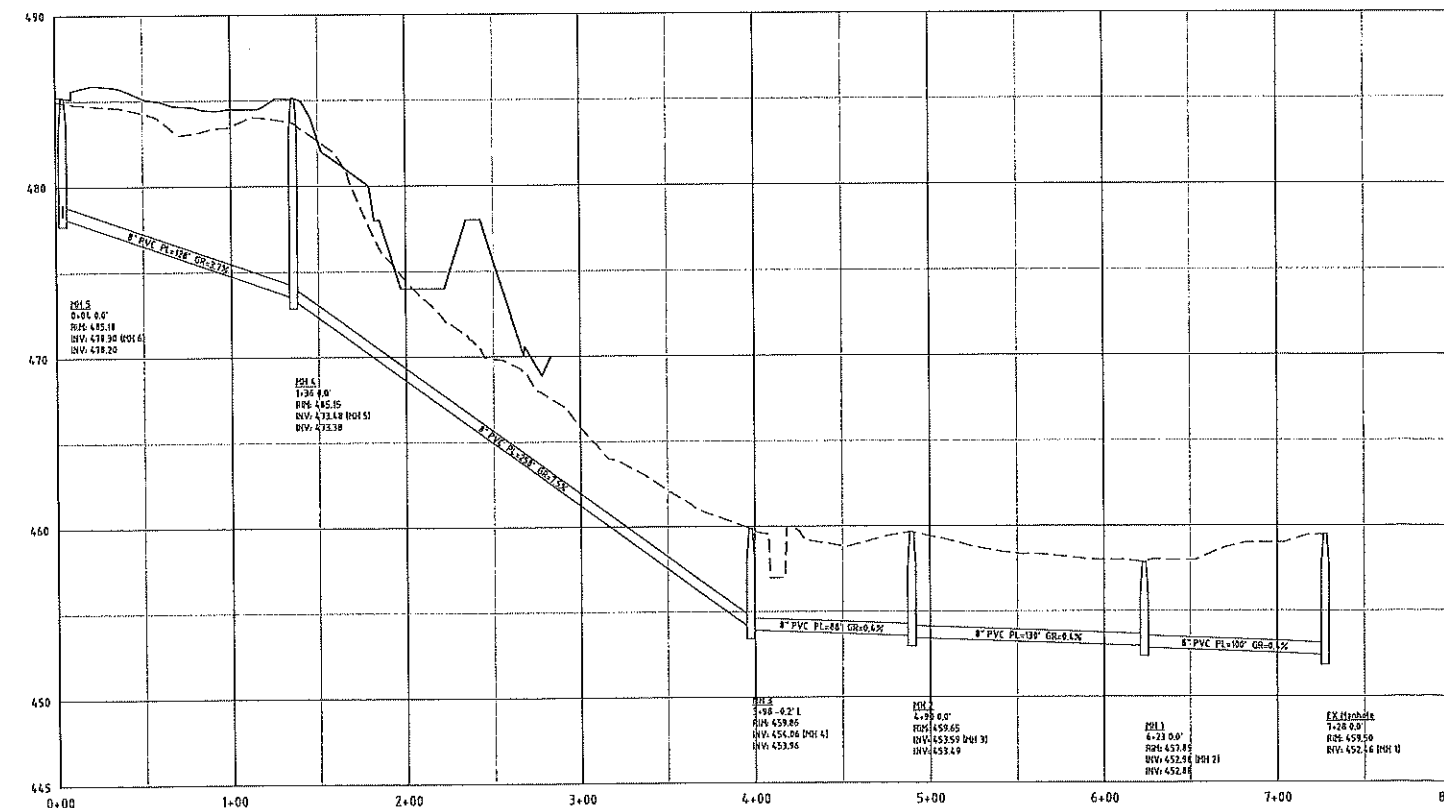
SCALE  
1" = 50'

SHEET  
4 OF 17

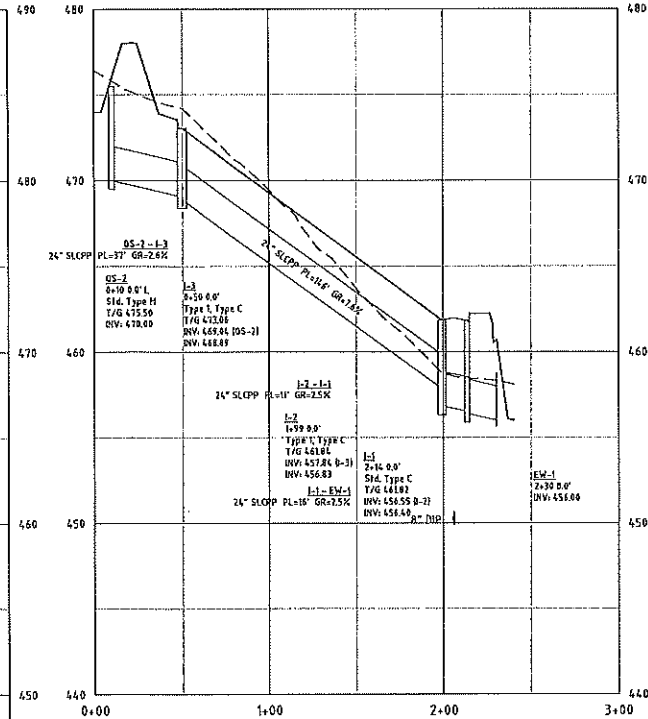
PROJECT NO.  
22-001-F-D-4.0



MILLSTONE CIRLE (LOOP)



OFFSITE SANITARY SEWER

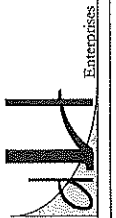


OS-2 - EW-1

STORM AND SANITARY SEWER NOTES:

1. STORM SEWERS AND SANITARY SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND AUTHORITY DETAILS AND SPECIFICATIONS.
2. GRATE ELEVATIONS FOR INLETS ALONG CURB ARE COMPUTED TO THE CENTER OF THE INLET AT THE GUTTERLINE.
3. GRATE ELEVATIONS FOR INLETS IN NON-CURBED AREAS ARE COMPUTED TO THE CENTER OF THE INLET IN BOTH DIRECTIONS.
4. SANITARY SEWER AND STORM SEWER MANHOLE RM ELEVATIONS ARE COMPUTED TO CENTER OF THE LID.
5. PROTECTION OF PIPES - THE CONTRACTOR MUST PROVIDE AND MAINTAIN A MINIMUM OF 18" OF COVER OVER ALL STORM SEWER AND SANITARY SEWER PIPES DURING CONSTRUCTION STAGES UNTIL THE BINDER PAVING COURSE IS PLACED.
6. DEPTH OF STORM SEWERS - ALL STORM SEWER PIPE MUST BE PLACED AT A SUFFICIENT DEPTH TO ALLOW FOR THE FULL DEPTH OF PAVING, INCLUDING THE BASE COURSE, TO BE PLACED ABOVE THE TOP OF PIPE.

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"MILLSTONE MEADOWS"  
PRELIMINARY/FINAL PLAN  
PROFILES

CLIENT: GROVE MEADOW DEVELOPERS LLC  
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA  
DATE: APRIL 20, 2023

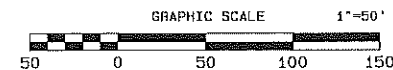
DESIGNED BY: M.D. HARTMAN

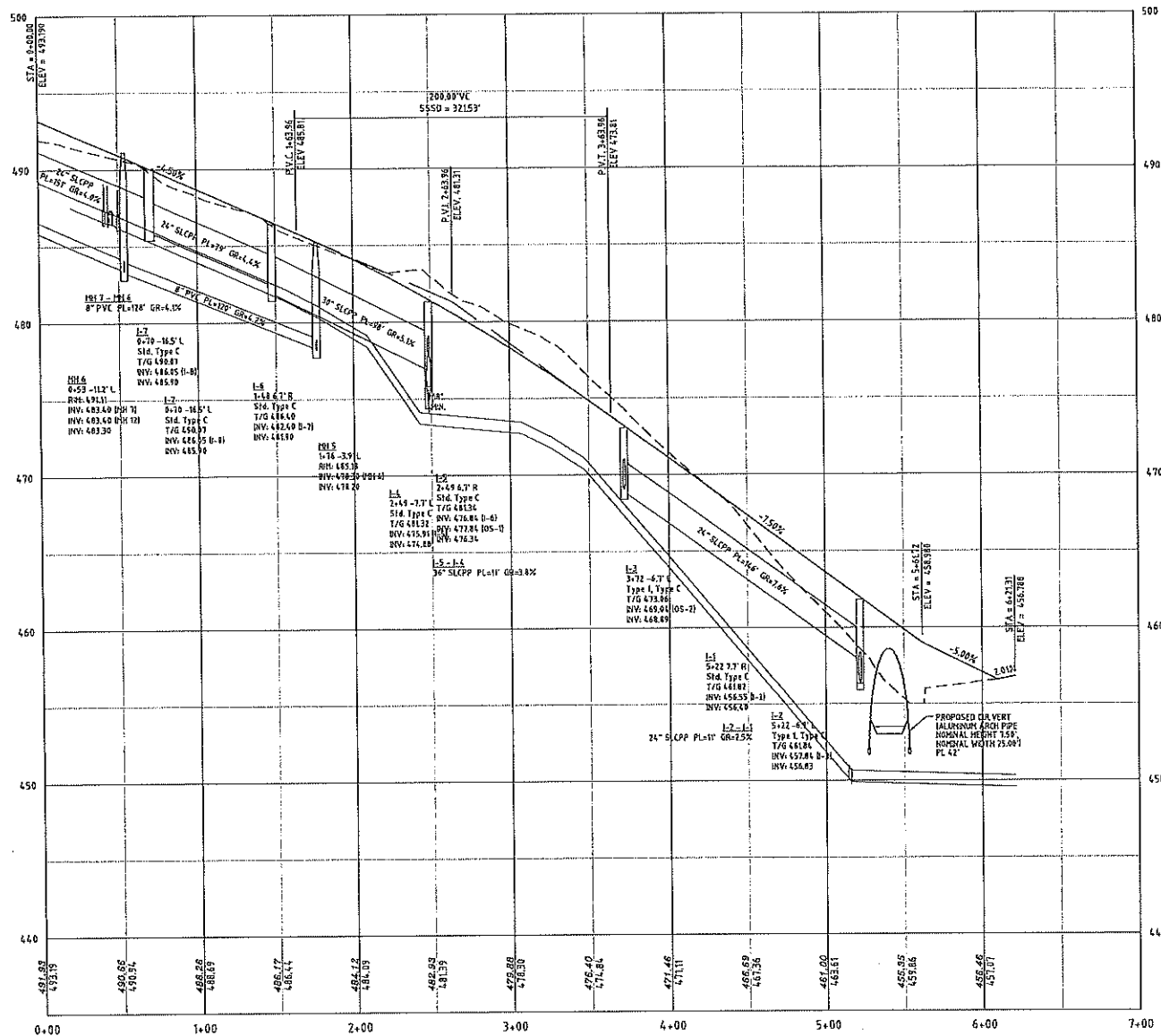
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SCALE: 1" = 50'

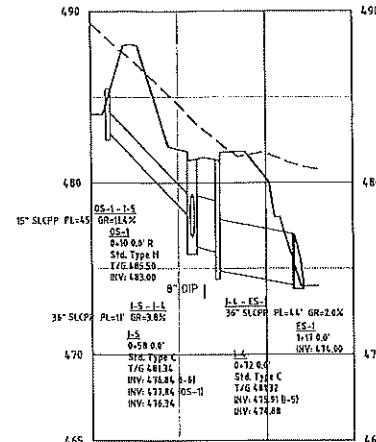
SHEET: 6 OF 17

PROJECT: 22-001-F-D-6.1

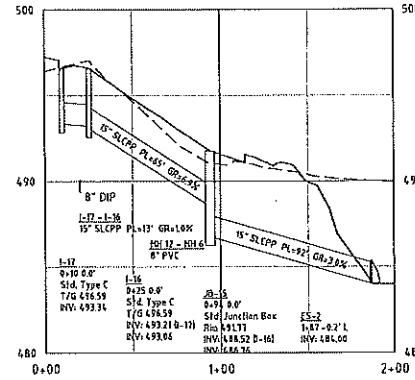




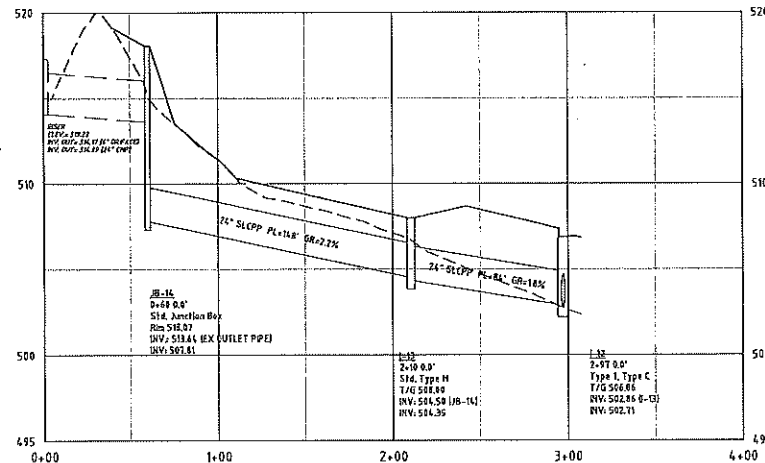
MILLSTONE CIRLCE (MAIN DRIVE)



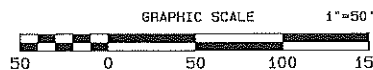
OS-1 - ES-1



I-17 - ES-2



JB-14 - I-12



2815 PENN AVENUE WEST LAWN, PA 610-927-4242		MICHAEL DUAN HARTMAN PROFESSIONAL ENGINEER PENNSYLVANIA		"MILLSTONE MEADOWS" PRELIMINARY/FINAL PLAN PROFILES		CLIENT: GROVE MEADOW DEVELOPERS LLC LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA DATE: APRIL 20, 2023	
M.D.HARTMAN		M.D.HARTMAN		1" = 50'		7 OF 17	
22-001-F-D-6.2							



RECALL NOTES



PENNSYLVANIA ACT 287, AS AMENDED BY ACT 121 REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

ACT 287 UNDERGROUND UTILITY PROTECTION ACT, AS AMENDED BY ACT 121

ACT 287 UNDERGROUND UTILITY PROTECTION ACT, AS AMENDED BY ACT 121 OF 1986, ACT 18 OF 1991, ACT 181 OF 1995, ACT 199 OF 1996, ACT 181 OF 1996, ACT 121 OF 1998

PA ONE CALL SYSTEM INFORMATION: PENNSYLVANIA ACT 287, AS AMENDED, REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND FIVE (5) WORKING DAYS NOTICE IN DESIGN STAGE. PA ONE CALL PHONE NUMBER: 1-800-241-1070

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY HAVE NEWELL, INC. DATE: 04/19/22

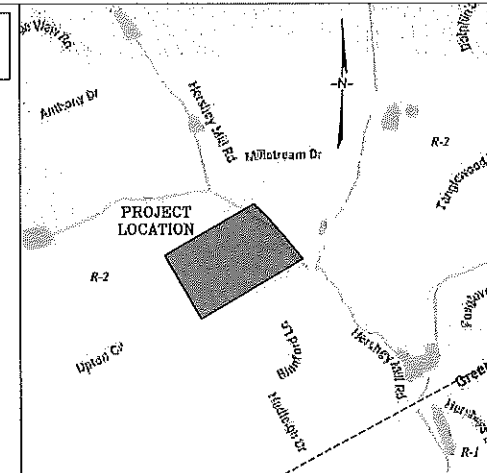
ONE CALL SYSTEM SERIAL NUMBER: 2422310177

UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE OBTAINED FROM VISIBLE LOCATION, ACT 287 OF 1976, AS AMENDED, UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION.

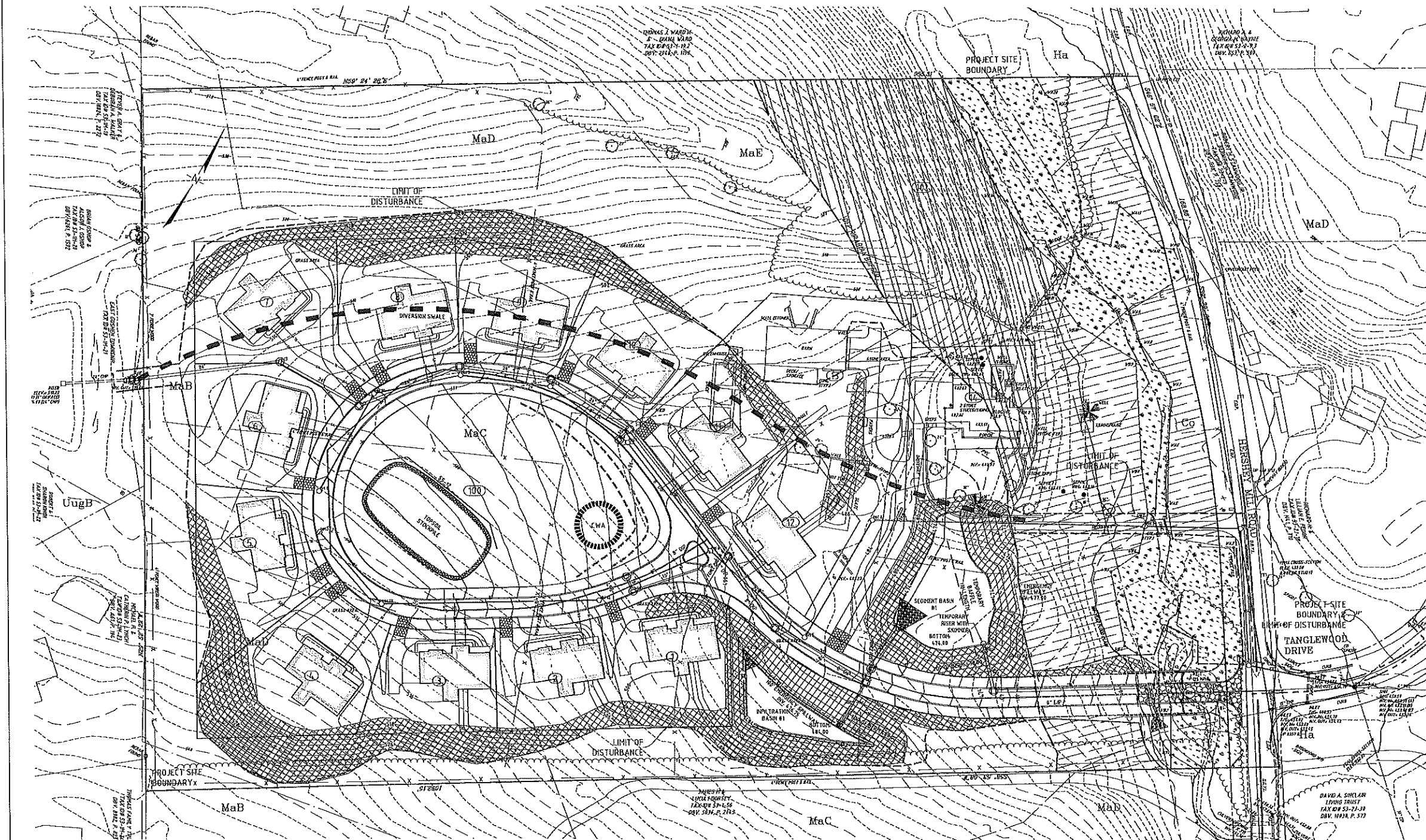
LIST OF RESPONDERS:  
AQUA PENNSYLVANIA INC  
EAST GOSHEN TOWNSHIP  
TEXAS EASTERN TRANSMISSION LP  
CONCAST CABLE COMMUNICATIONS INC  
PECO ENERGY  
VERIZON PENNSYLVANIA LLC

PROJECT SITE BOUNDARY AREA = 16.00 ACRES  
LIMIT OF DISTURBANCE AREA = 8.83 ACRES

U.S. FISH AND WILDLIFE SERVICE AVOIDANCE MEASURE:  
DO NOT CONDUCT THIS PROJECT/ACTIVITY WITHIN 50 FEET OF ANY STREAMS, RIVERS, CREEKS, OR TRIBUTARIES. THIS INCLUDES BOTH PERENNIAL AND INTERMITTENT WATERWAYS.

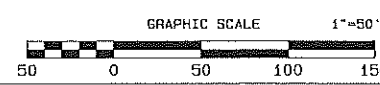


VICINITY MAP  
SCALE: 1"=800'



- EXISTING CURB
- PROPOSED CURB
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- SOIL LINE
- EXISTING STREET SIGN
- EXISTING FEATURES ARE LABELED WITH SLANTED TEXT TO BE REMOVED
- EXISTING DECIDUOUS TREE
- PROPOSED SANITARY SEWER & MANHOLE
- PROPOSED STORM SEWER & CATCH BASIN
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED GROUND PUMP
- PROPOSED WATER LATERAL
- PROPOSED CURB TAPER

- E&S PC LEGEND
- BLEET FILTER PROTECTION
- FLITRECK SILT SOCK
- FLITRECK SILT SOCK (INDIVIDUAL LOT CONTROL)
- ROCK CONSTRUCTION ENTRANCE
- MOUNTABLE STONE FILTER BERM
- ROCK CONSTRUCTION ENTRANCE (INDIVIDUAL LOT CONTROL)
- TOPSOIL STOCKPILE WITH 12" EXISTING CONCRETE EXPOSED (INDIVIDUAL LOT CONTROL)
- CONCRETE MASH AREA
- EROSION CONTROL BLANKET (NAG 575 for approved equal)
- LIMIT OF DISTURBANCE
- PROJECT SITE BOUNDARY
- PROJECT SITE BOUNDARY
- PROJECT SITE BOUNDARY
- ORANGE CONSTRUCTION SAFETY FENCING
- REPAIR BUFFER - 15'



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WEST LAFAY, PA  
610-927-4242

Enterprises

SEAL

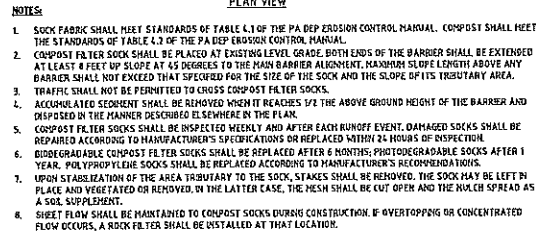
MICHAEL DUAN HARTMAN  
PROFESSIONAL  
ENGINEER  
IN PENNSYLVANIA

"MILLSTONE MEADOWS"  
PRELIMINARY/FINAL PLAN  
EROSION AND SEDIMENT CONTROL PLAN

CLIENT: GROVE MEADOW DEVELOPERS LLC  
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA  
DATE: APRIL 20, 2023

DESIGN BY: M.D.HARTMAN  
CHECKED BY: M.D.HARTMAN  
SCALE: 1" = 50'  
SHEET: 8 OF 17  
PROJECT NO: 22-001-F-0-7.1





The diagram illustrates the well vegetation removal system in two views:

- PLAN VIEW:** Shows the top-down layout. A central cylindrical **FILTER BAG** is connected to a **PUMP**. A **DISCHARGE HOSE** leads from the pump, passing through a **CLAMP**, to a **WELL**. A **VEGETATED AREA** is shown adjacent to the well. A **DISCHARGE HOSE** and **CLAMP** are also shown on the right side of the pump. A **HEAVY DUTY LIFTING STRAPS (RECOMMENDED)** are used to secure the filter bag. A **WELL** is shown on the left, with a **24" DIAMETER CLOSURE FLTLER SOCK** at its base. A **WELL** is also shown on the right, with a **24" DIAMETER CLOSURE FLTLER SOCK** at its base. A **WELL** is shown on the left, with a **24" DIAMETER CLOSURE FLTLER SOCK** at its base.
- ELEVATION VIEW:** Shows the side profile. A **WELL** is shown on the left, with a **24" DIAMETER CLOSURE FLTLER SOCK** at its base. A **WELL** is shown on the right, with a **24" DIAMETER CLOSURE FLTLER SOCK** at its base. A **WELL** is shown on the left, with a **24" DIAMETER CLOSURE FLTLER SOCK** at its base.

NOTES  
1) LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	INDUSTRY STANDARD
Avg. Mide Width Strength	ASTM D-4964	60 lb/in
Grab Tensile	ASTM D-4952	335 lb
Puncture	ASTM D-4813	150 lb
Hullen Burst	ASTM D-3769	350 psi
UV Resistance	ASTM D-4396	704
Avg. % Retention	ASTM D-4263	80 STRE

[illegible]

CHANNEL CROSS-SECTION

CHANNEL NO.	SECTION	BOTTOM WIDTH (FT)	DEPTH (FT)	Z1 (FT)	Z2 (FT)	PERMANENT LOUNG	TEMPORARY LOUNG
DIVERSION	1	4.0	1.5	3.0	3.0	VEGETATED	NAG 1125

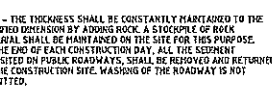
\* SEE MANUFACTURER'S USING INSTALLATION DETAIL FOR STABLE PATTERNS, AND VEGETATION STABILIZATION SPECIFICATIONS FOR SOIL AMENDMENTS, SEED MIXTURES AND MIXING INFORMATION.

NOTES:

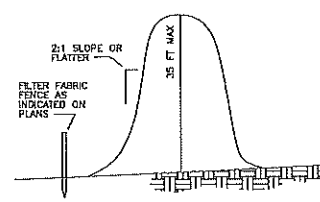
1. MINIMUM STRAP SPACING SHALL BE ALTERED IF NECESSARY TO ALLOW STRAPS TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
2. IF ROCK OR GRAVEL LAYERS ARE ENCOUNTERED DURING SNAKE EXCAVATION, UNDERSTOCK ROCK OR GRAVEL TO 2' BELOW PLACEMENT OF STRAP COVER SHALL BE REMOVED BY SHOT AND OR TOPSOIL.
3. ALL CHANNELS MUST BE KEPT FREE OF OBSTRUCTIONS SUCH AS GRASS, FLOWN PLANT LEAVES AND WOODY DEBRIS, ACCUMULATED DEBRIS, AND CONSTRUCTION MATERIALS/SPASTIES. CHANNELS SHOULD BE KEPT OPENED AND FREE OF ALL WEEDS, BRUSH OR WOODY DEBRIS. CHANNELS SHOULD BE KEPT OPENED AND FREE OF ALL WEEDS, BRUSH OR WOODY DEBRIS.
4. CHANNELS SHALL BE REPAIRED AND STABILIZED PER THE CHANNEL CROSS-SECTION DETAIL.
5. VEGETATED CHANNELS SHALL BE CONSTRUCTED FREE OF ROCKS, TREE ROOTS, STUMP OR OTHER PROJECTIONS THAT WILL IMPED MINKAL CHANNELS.
6. CHANNELS SHALL BE ALLOWED TO GROW LONG TO SOIL CONTACT. THE CHANNEL SHALL BE INITIALLY OPEN TO ALLOW FOR THE PLACEMENT OF TOPSOIL.

MATERIAL TYPE	3 PSI HDPE	5 PSI HDPE	5 PSI HDPE	MULTI-FILAMENT POLYPROPYLENE	HEAVY DUTY MULTIFILAMENT POLYPROPYLENE					
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE					
SOCK THICKNESS	12" 18"	12" 18"	12" 18"	12" 18"	12" 18"					
TEARS	24" 36"	24" 36"	24" 36"	24" 36"	24" 36"					
PUSH OPENING HERE	3/8"	1/2"	1/2"	1/2"	1/2"					
STRENGTH	26 PSI	26 PSI	26 PSI	4 PSI	202 PSI					
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM D-695) MINIMUM FUNCTIONAL LONGEVITY	23% AT 1000 HRS. 6 MONTHS	23% AT 1000 HRS. 9 MONTHS	23% AT 1000 HRS. 6 MONTHS	100% AT 1000 HRS. 1 YEAR	100% AT 1000 HRS. 2 YEARS					
TWO-PLY SYSTEMS										
DRAIN CONTAINMENT RETING	50% MAXIMUM WATER CONTINUOUSLY WOUND									
	FUSION-WELDED JUNCTIONS									
GUTTER FILTRATION PURLIN	3/8" X 3/4" MAX. ANGLE SIZE									
	COMPOSITE POLYPROPYLENE FABRIC									
50% MAX. WATER AND 100% WIND MECHANICALLY FUSED W/ NEEDLE PUNCH WITH CAPTIVE FOAM										
SOCK FABRICS COMPOSED OF BURLIN THAT USED ON PROJECTS LASTING 6 MONTHS OR LESS										

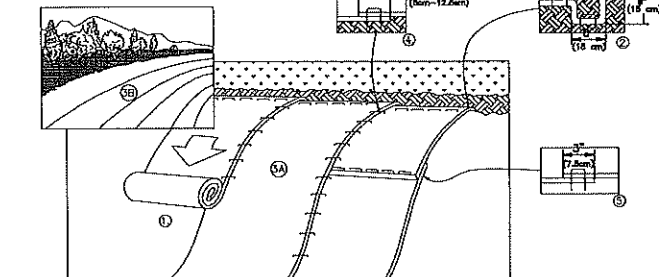
COMPOST STANDARDS	
ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
PH	5.5 - 7.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	90% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 OZS (140 GMS) MAX/100 GMS



ROCK CONSTRUCTION ENTRANCE  
NOT TO SCALE



### TEMPORARY STOCKPILE DETAIL

[illegible]

NOTES

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. LAY OUT AT THE TOP OF THE CHANNEL, BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. LAY OUT EACH END OF THE CHANNEL IN THE SAME MANNER, BUT AT THE BOTTOM OF CHANNEL.
4. PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH A 6" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE BLANKETS.
5. ON SIDE SLOPES, THE TOP OF THE CHANNEL SLOPES MUST BE ANCHORED IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. BLANKETS ON SIDE SLOPES MUST BE OVERLAPPED 4" OVER THE CENTER BLANKET AND STAPLED (2" FOR EACH SIDE).
7. IN HIGH FLOOD CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A 4" DEEP X 6" WIDE TRENCH AT THE TOP OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL.

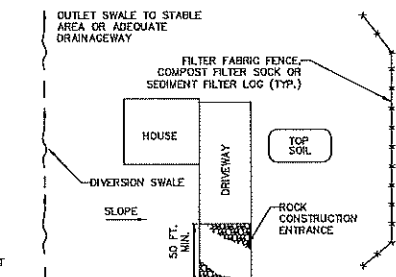
NOTES

- 1) INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
- 2) 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
- 3) A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.

Diagram illustrating the application of a filter fabric fence, compost filter sock, or sediment filter log (TYP.). The diagram shows a cross-section of a driveway and a rock construction entrance. A filter fabric fence is installed along the edge of the driveway, separating it from the rock construction entrance. The fence is labeled "HOUSE" and "DRIVEWAY". The rock construction entrance is labeled "ROCK CONSTRUCTION ENTRANCE". The filter fabric fence is shown as a vertical barrier. The top of the fence is labeled "TOP SOIL". The bottom of the fence is labeled "SEDIMENT FILTER LOG (TYP.)". The diagram also shows a "SCOPE" line and a "TOP SOIL" label.

**NOTES:**  
THE AREA DOWNSLOPE OF THE FILTER FENCE/COMPOST SOCK BARRIER/SEDIMENT FILTER LOG MAY NOT BE UNDER DEVELOPMENT OR OTHERWISE DISTURBED.

TYPICAL ON-LOT BMPs FOR LOT BELOW ROADWAY



**NOTES:**

PLAN VIEW

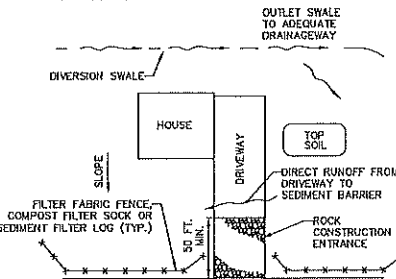
THE AREA DOWNSTREAM OF THE FILTER FENCE/POST SOIL BARRIER/SEDIMENT FILTER LOT MAY NOT BE UNDER DEVELOPMENT OR OTHERWISE OCCUPIED.

THE SLOPE DIVERSION CHANNEL SHOULD BE INSTALLED WHEREVER RUNOFF FROM AREAS ABOVE THE LOT AND NOT BE DIVERSIFIED AWAY FROM THE LOT. THE CHANNEL SHOULD BE PROPERLY SIZED AND PROTECTED BY A SHOULDER PROTECTIVE LINING. THE DESIGNER AND/OR CONTRACTOR MUST EXERCISE CAUTION TO PROTECT ALL DOWNSTREAM PROPERTY OWNERS WHEN SELECTING A DRAINAGE POINT FOR THIS CHANNEL.

IF AREAS WHERE SLOPE IS AT AN OBLIQUE ANGLE TO THE ROADWAY, EROSION SHALL BE MONITORED ACCORDINGLY.

DIVERSION CHANNEL MAY OUTLET TO ROADSIDE DITCH OR STORM SEWER SYSTEM, BUT NOT INTO STREET OR ROADWAY.

TYPICAL ON-LOT BMPs FOR LOT  
ALONG ASCENDING OR DESCENDING ROADWAY

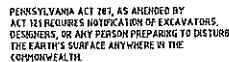


**NOTES:**

THE UPSLOPE DIVERSION CHANNEL SHOULD BE INSTALLED WHEREVER THE LOT EXTENDS MORE THAN 150 FEET ABOVE THE ROADWAY OR WHERE RUNOFF FURN AREAS ABOVE THE LOT OTHERWISE DIVERTED AWAY FROM THE LOT. THE CHANNEL SHOULD BE PROPERLY SIZED AND PROVIDED WITH A SUITABLE PROTECTIVE LINING. THE DESIGNER AND/OR CONTRACTOR SHOULD EXERCISE CAUTION TO PROTECT ALL DOWNSTREAM PROPERTY OWNERS WHEN SELECTING A DISCHARGE POINT FOR THIS CHANNEL.

TYPICAL ON-LOT BMPs FOR LOT ABOVE ROADWAY





ACT 287 UNDERGROUND UTILITY PROTECTION ACT, AS AMENDED BY:  
ACT 112 OF 1986, ACT 38 OF 1991, ACT 187 OF 1994,  
ACT 199 OF 1994, ACT 181 OF 1994, ACT 121 OF 1998

PA ONE CALL SYSTEM INFORMATION:  
PENNSYLVANIA ACT 287, AS AMENDED, REQUIRES THREE (3) WORKING DAYS NOTICE  
FOR CONSTRUCTION PHASE AND FIVE (5) WORKING DAYS NOTICE IN DESIGN STAGE.  
PA ONE CALL PHONE NUMBER: 1-800-242-1776

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY HAVE NEWELL, INC.  
DATE: 11/07/22  
ONE CALL SYSTEM SERIAL NUMBER: 28723113472

UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, ACT 287 OF 1974, AS AMENDED, UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION.

LIST OF RESPONDERS:	COMCAST CABLE COMMUNICATIONS INC
AQUA PENNSYLVANIA INC	PECO ENERGY
EAST GOSHEN TOWNSHIP	VERIZON PENNSYLVANIA LLC
TEXAS EASTERN TRANSMISSION LP	

**OWNER AND APPLICANT**  
TROUTBECK FARM DEVELOPERS LLC  
1111 LANCASTER AVE. SUITE 201  
BERWYN PA 19312

### RECEIVING WATERCOURSE

THE RECEIVING WATERCOURSE FROM THE PROJECT AREA IS A TRIBUTARY TO REDLEY CREEK. THE WATERCOURSE IS LOCATED ON THE PROJECT TRACT BUT OUTSIDE OF THE LIMIT OF DISTURBANCE. THE WATERCOURSE HAS A CHAPTER 93 CLASSIFICATION OF HQ-CWF, HIGH QUALITY - COLD WATER FISHES. THE RECEIVING STREAM IS LISTED AS HAVING A 303D IMPAIRMENT DUE TO URBAN RUNOFF.

## PROGRAM INVENTORY MEASUREMENT FOR PENNSYLVANIA CODE SECTION 102-16.1(C)(3)

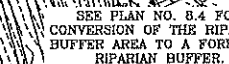
RIPARIAN BUFFERS MUST BE MEASURED HORIZONTALLY AND PERPENDICULARLY TO THE BANK WITH NO MORE THAN A 10% VARIATION BELOW THE MINIMUM WIDTH FROM THE NORMAL POOL ELEVATION FOR LAKE, POND OR RESERVOIR AND FROM TOP OF STREAMBANK.

**PROPOSED TREE PLANTINGS:**

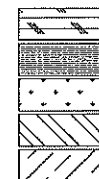
THE PROPOSED TREE PLANTINGS AND REFORESTATION AREAS AS SHOWN ON THE LANDSCAPING PLAN ARE TO BE CONSIDERED PART OF THE STORM WATER MANAGEMENT SYSTEM FOR THE PROPOSED DEVELOPMENT AND ARE NOT TO BE REMOVED WITHOUT PRIOR APPROVAL FROM EAST GOSHEN TOWNSHIP, CHESTER COUNTY CONSERVATION DISTRICT AND DEP.

### SQL5 LEGEND

Ce - COBORUS SILT LOAM  
 Ha - HATBORO SILT LOAM  
 Gsb - GLENELG SILT LOAM, 3 TO 8 PERCENT SLOPES  
 Hsb - HANOR LOAM, 3 TO 8 PERCENT SLOPES  
 Hfc - HANOR LOAM, 8 TO 15 PERCENT SLOPES  
 Hfd - HANOR LOAM, 15 TO 25 PERCENT SLOPES  
 Hfg - HANOR LOAM, 25 TO 35 PERCENT SLOPES  
 Ugd - URBAN LAND - UDORMENTS SCHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES



PESM HATCH LEGEND



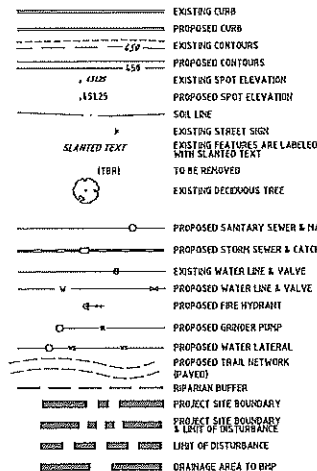
REFORESTATION/LANDSCAPE RESTORATION

AMENDED SOILS

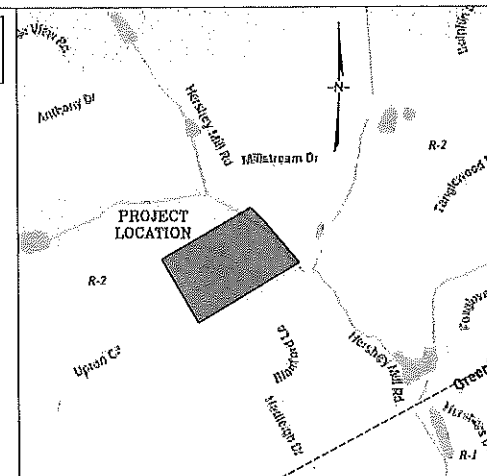
RIPARIAN BUFFER

FORESTED RIPARIAN BUFFER  
CONVERSION AREA

**LEGEND**



GRAPHIC SCALE 1"=50'



VICINITY MAP  
SCALE: 1"=800'

2815 PENN AVENUE  
WEST LAWN, PA  
610-927-4242

SEAL:

COMMONWEALTH OF  
PENNSYLVANIA  
PROFESSIONAL ENGINEER  
MICHAEL DUANE HARTMAN  
ENGINEER  
No. PES31832

"MILLSTONE MEADOWS"  
PRELIMINARY/FINAL PLAN  
POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN

2001.25

M. D. HARTMAN

 $1'' \approx 50'$ 

12 OF 17

22-001-7-D



EQUITABLE OWNER AND APPLICANT  
GROVE MEADOW DEVELOPERS LLC  
1331 LANCASTER AVE. SUITE 201  
BERWYN PA 19312

GENERAL NOTES

1. THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER BMP'S. ADDITIONAL SOIL TESTING MAY BE REQUIRED PRIOR TO THE INSTALLATION OF INFILTRATION BMP'S TO ENSURE PROPER LOCATION AND FUNCTION. A LICENSED PROFESSIONAL KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF STORMWATER BMP'S, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT.
2. IF UNFAVORABLE CONDITIONS HAVE BEEN DISCOVERED DURING THE INSTALLATION OF THE SEEPAGE/INFILTRATION SYSTEMS RE. GROUNDWATER AND/OR BEDROCK, ETC., THE OWNER/ENGINEER SHOULD BE NOTIFIED AND THE PROPOSED INFILTRATION SYSTEM SHOULD BE RELOCATED TO A MORE SUITABLE LOCATION ON THE PROPERTY.
3. THE ANTICIPATED WASTES ARE GENERAL CONSTRUCTION WASTES. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 P.A. CODE 70A.1 ET SEQ., 71A.1 ET SEQ., AND 20A.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
4. THE PROPOSED TREE PLANTINGS ARE TO BE CONSIDERED PERMANENT BMP'S AND ARE NOT TO BE REMOVED WITHOUT PRIOR CONSENT BY THE TOWNSHIP, CHESTER COUNTY CONSERVATION DISTRICT AND THE DEPARTMENT.
5. THE EXISTING FLOW PATTERNS TO DISCHARGE POINT'S 2 THROUGH 4 ARE TO BE MAINTAINED AND NOT ALTERED BETWEEN THE LIMIT OF DISTURBANCE AND THE PROJECT SITE BOUNDARY. ANY EROSION CAUSED BY DISCHARGES FROM BMP'S WITHIN THE SITE WILL BE REPAIRED AND STABILIZED.
6. IN THE EVENT OF FAILURE OF THE PROPOSED BMP'S, THE PERMITTEE SHALL CONSULT A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE CAUSE OF THE FAILURE AND REMEDIATIVE MEASURES. FAILURE OF THE BMP'S IS DEFINED AS FOLLOWS:  
BMP 6.1.2: INFILTRATION BASIN - DRAINAGE OF COLLECTED WATER TAKES LONGER THAN 72 HOURS AFTER A STORM EVENT  
BMP 6.1.3: SUBSURFACE INFILTRATION BED - DRAINAGE OF COLLECTED WATER TAKES LONGER THAN 72 HOURS AFTER A STORM EVENT
7. TO ENSURE THAT THE EXISTING FLOW PATTERNS ARE NOT ALTERED AND MAINTAINED, THE OUTLETS FROM THE PROPOSED BMP'S HAVE BEEN LOCATED A MINIMUM OF 15' FROM THE PROJECT SITE BOUNDARY.

OPERATIONS AND MAINTENANCE RESPONSIBILITIES

THE OWNER WILL BE RESPONSIBLE FOR THE BMP'S AS SHOWN ON THESE PLANS. THE OWNER SHALL INSPECT AND MONITOR THEM PERIODICALLY AND DURING SIGNIFICANT RUNOFF EVENTS TO ENSURE THEY ARE SUCCESSFULLY CARRYING OUT THEIR INTENDED FUNCTION. THE OWNER SHALL NOT DUMP DIRTY WATER, OIL OR ANY OTHER LIQUIDS OR SOLIDS INTO THE STORM WATER CONVEYANCE SYSTEM, DETENTION POND OR ANY OTHER BMP'S. VEHICLES SHALL NOT BE DRIVEN ACROSS BMP'S. THE OWNER SHALL BE RESPONSIBLE FOR THE SHORT TERM AND LONG TERM OPERATION AND MAINTENANCE MEASURES FOR THE POST CONSTRUCTION STORM WATER MANAGEMENT FACILITIES.

BMP 6.1.3: INFILTRATION BASIN DOWNSIDE OWNER'S ASSOCIATION

- CATCH BASINS AND INLETS (UPGRADIENT OF INFILTRATION BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR AND AFTER RUNOFF EVENTS.
  - THE VEGETATION ALONG THE SURFACE OF THE INFILTRATION BASIN SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEALED AS SOON AS POSSIBLE.
  - VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON AN INFILTRATION BASIN, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY HOMES.
  - INSPECT THE BASIN AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS. MOSQUITO'S SHOULD NOT BE A PROBLEM IF THE WATER DRAINS DOWN WITHIN 72 HOURS. MOSQUITOES REQUIRE A CONSIDERABLY LONG BREEDING PERIOD WITH RELATIVELY STATIC WATER LEVELS. SHOULD RUNOFF REMAIN IN THE BASIN FOR LONGER THAN 72 HOURS, THE OWNER SHALL CONTACT A REGISTERED PROFESSIONAL TO DETERMINE REMEDIATIVE MEASURES.
  - ALSO INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN THE BASIN.
  - MOW ONLY AS APPROPRIATE FOR VEGETATIVE COVER SPECIES.
  - REMOVE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED, RESTORE ORIGINAL CROSS SECTION AND VEGETATION RATE. PROPERLY DISPOSE OF SEDIMENT.
- BMP 5.6.1: PROTECT SENSITIVE/SPECIAL VALUE FEATURES
- SHALL INCLUDE NATURAL AREAS BY FLOODPLAINS, MAPPED WETLANDS, MAPPED WOODLANDS, AND NATURAL SLOPES OVER 30% AND 35%.
  - MAY INCLUDE OTHER AREAS OF SIGNIFICANT NATURAL RESOURCES THAT THE APPLICANT DEMONSTRATES ARE OF SPECIAL NATURAL VALUE.
  - SHALL NOT BE DISTURBED DURING PROJECT CONSTRUCTION OR, CLEARED OR GRADED EXCEPT FOR TEMPORARY IMPACTS ASSOCIATED WITH INITIATION AND RECONSTRUCTION EFFORTS. UTILITY DISTURBANCE IS DISCOURAGED AND SHOULD BE KEPT TO A MINIMUM.
  - SHALL BE PROTECTED BY HAVING THE LIMITS OF DISTURBANCE CLEARLY SHOWN ON ALL CONSTRUCTION DRAWINGS AND DELINEATED IN THE FIELD.
  - SHALL BE LOCATED WITHIN AN ACCEPTABLE LAND PRESERVATION/PROTECTION AGREEMENT OR OTHER ENFORCEABLE INSTRUMENT, SUCH AS A DEED RESTRICTION, THAT ENSURES PERPETUAL PROTECTION OF THE PROPOSED AREAS. THE PRESERVATION AGREEMENT SHALL CLEARLY SPECIFY HOW THE NATURAL AREA SHALL BE MANAGED AND BOUNDARIES WILL BE MARKED WITH PERMANENT SURVEY MARKERS.
  - MANAGED TURF IS NOT CONSIDERED AN ACCEPTABLE FORM OF VEGETATION MANAGEMENT.
  - SHALL BE LOCATED ON THE DEVELOPMENT PROJECT.

PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS

1. UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSM BMP'S ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.
2. THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMP'S UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMP'S.
3. FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDS OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE FOR PCSM BMP'S AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEES, AND PROVIDE PROOF OF FILING WITH THE NOTICE OF TERMINATION UNDER § 102.10(b)(1) RELATING TO PERMIT TERMINATION.
4. THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSM BMP'S OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE DEPARTMENT.
5. A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP'S LOCATED ON THE PROPERTY.

POST-CONSTRUCTION STORMWATER MANAGEMENT BMP INSPECTION AND MAINTENANCE NOTES

1. NO STRUCTURES THAT ARE NOT COMPONENTS OF AN APPROVED BMP SHALL BE PERMITTED WITHIN OR ON TOP OF AN AREA DESIGNATED FOR STORMWATER INFILTRATION.
2. INFILTRATION BEDS SHALL BE INSPECTED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA ON THE FOLLOWING BASIS:
  - ANNUALLY FOR THE FIRST FIVE (5) YEARS.
  - ONCE EVERY THREE (3) YEARS THEREAFTER.

INDIVIDUAL BMP CONSTRUCTION SEQUENCE AND CRITICAL STAGES OF IMPLEMENTATION

DURING CONSTRUCTION AND IMPLEMENTATION OF THE PROPOSED PERMANENT BMP'S, THE FOLLOWING STAGES OF CONSTRUCTION SHALL BE IMPLEMENTED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL OR DESIGNATED INDIVIDUAL:

BMP 6.1.2: INFILTRATION BASIN

INFILTRATION BASIN #1:  
UPON STABILIZATION OF ALL UP-SLOPE DISTURBED AREAS, INITIATE CONVERSION OF THE SEDIMENT BASIN TO THE PERMANENT INFILTRATION BASIN.

1. FLUSH ACCUMULATED SEDIMENT FROM THE CONTRIBUTING STORM SEWER SYSTEM.
2. DEWATER SEDIMENT BASIN.
3. REMOVE BATTERS, CLEANOUT STAKES, DEMATERING FACILITIES AND SEDIMENT RISER.
4. INSTALL PERMANENT OUTLET PLATE.
5. REMOVE ALL SEDIMENT FROM THE BASIN.
6. REPLACE BOTTOM 12" OF SOIL WITH BANK GARDEN SOIL, MIX AND IMMEDIATELY REPLANT PERMANENT VEGETATIVE COVER. LINE BASIN BOTTOM AND SIDES WITH EROSION CONTROL BLANKET.

INFILTRATION BASIN #2:

1. INITIATE INSTALLATION OF THE DISCHARGE PIPE OS-2 TO ES-8, INCLUDING ANTI-SEEP COLLARS AND OUTFALL RIP-RAP APPROX. INSTALL PERMANENT OUTLET STRUCTURE.
2. INSTALL PERMANENT OUTLET PLATE AND TRASH BACK.
3. IMMEDIATELY REPLANT PERMANENT VEGETATIVE COVER, LINE BASIN BOTTOM AND SIDES WITH EROSION CONTROL BLANKET.

INFILTRATION FACILITY NOTES

1. AREAS TO BE USED FOR STORMWATER INFILTRATION (HEREAFTER, "SUBJECT AREAS") SHALL BE DELINEATED WITH ORANGE SAFETY FENCE PRIOR TO START OF CONSTRUCTION.
2. COMPACTION OF THE SUBJECT AREAS IS PROHIBITED. EQUIPMENT AND OTHER TRAFFIC SHALL BE PROHIBITED FROM TRAVELING OVER THE SUBJECT AREAS, EXCEPT AS PROVIDED FOR HEREIN. ONLY HAND-HELD EQUIPMENT SHALL BE USED WITHIN SUBJECT AREAS. OTHER EQUIPMENT MAY BE USED AROUND THE PERIMETER - BUT OUTSIDE OF - SUBJECT AREAS FOR PURPOSES OF EXCAVATION AND TO SUPPLY SOILS AND AGGREGATE.
3. THE BOTTOM OF INFILTRATION BEDS SHALL BE SCARIFIED IMMEDIATELY PRIOR TO THE PLACEMENT OF THE GEOTEXTILE FABRIC OR THE LOWEST AGGREGATE SEPARATION LAYER, WHICHEVER IS IN CONTACT WITH THE SOIL SUBGRADE, AT THE BOTTOM OF THE BED.
4. ONLY UNIFORMLY GRADED, CLEAN AGGREGATE, FREE OF PINES, SLATE, SHALE, CLAY, SILT, AND VEGETATIVE MATERIAL, SHALL BE USED. THE AGGREGATE SHALL HAVE A MINIMUM 40:1 RATIO OF LEAN AND A MAXIMUM LOSS OF NO MORE THAN 0.5%. THESE VALUES APPLY TO BOTH THE AGGREGATE WITHIN THE BED AND ANY AGGREGATE USED AS A SEPARATION LAYER. THE SUPPLIER OF THE AGGREGATE SHALL PROVIDE CERTIFICATION OF THE VOID RATIO OF THE AGGREGATE DELIVERED TO THE SITE. THE DESIGN ENGINEER SHALL VERIFY THAT THE VOID RATIO MEETS OR EXCEEDS THE REQUIREMENTS OF THE DESIGN AND SUBMIT SUCH VERIFICATION TO THE TOWNSHIP.
5. WHEREVER DRAINAGE FILTER FABRIC IS SPECIFIED, IT SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, INCLUDING PIPE PENETRATIONS, AND SHALL OVERLAP A MINIMUM OF FIFTEEN (15) INCHES.
6. SUBJECT AREAS SHALL BE PROTECTED DURING CONSTRUCTION. SEDIMENT SHALL NOT BE ALLOWED TO BE WASHED BACK INTO SUBJECT AREAS WHEN THE BOTTOM OF THE FACILITY IS OPEN OR WHEN THE AGGREGATE IS IN PLACE AND EXPOSED. DURING SITE CONSTRUCTION, ALL INFILTRATION FACILITY COMPONENTS SHALL BE PROTECTED FROM SEEDIMENTATION USING STORM DILET PROTECTION IN CONFORMANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) CHAPTER 102 REGULATIONS, AS AMENDED, AND THE EROSION AND SEDIMENTATION POLLUTION CONTROL MANUAL, AS AMENDED. INLET PROTECTION SHALL REMAIN UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FULL STABILIZATION.
7. IF SEDIMENT DOES ENTER INTO A SUBJECT AREA, THE CONTRACTOR SHALL CLEAN OUT THE SEDIMENT TO THE TOWNSHIP'S SATISFACTION. THIS MAY REQUIRE THE RECONSTRUCTION OF PORTIONS OF OR THE ENTIRETY OF THE SYSTEM.
8. A MINIMUM TWO (2)-FOOT SEPARATION SHALL BE PROVIDED BETWEEN THE SEASONAL HIGH GROUNDWATER TABLE OR BEDROCK (WHICHEVER IS HIGHER) AND THE BOTTOM OF THE INFILTRATION FACILITY. IF GROUNDWATER AND/OR BEDROCK ARE ENCOUNTERED WITHIN AND/OR ABOVE THIS 2-FOOT ZONE DURING CONSTRUCTION, THE DEVELOPER, THE DESIGN ENGINEER, THE TOWNSHIP, AND THE TOWNSHIP ENGINEER SHALL BE NOTIFIED BY WRITING WITHIN TWENTY-FOUR (24) HOURS OF SUCH DISCOVERY. UPON REVIEW OF THE ACTUAL SITE CONDITIONS THE DESIGN ENGINEER SHALL SUBMIT REBIDRAL RECOMMENDATIONS.

PCSM REPORTING AND RECORDKEEPING

THE PCSM PLAN, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

FINAL CERTIFICATION

THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:

"I (NAME) DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 P.S.C.A. § 4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES."

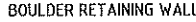
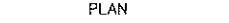
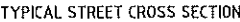
THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.

THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP'S.

SOILS LEGEND

- Bs - BARE SILT LOAM
- Gsb - GLENN SILT LOAM, 3 TO 8 PERCENT SLOPES
- Gdc - GLENN SILT LOAM, 15 TO 25 PERCENT SLOPES
- Hdc - HANOR LOAM, 8 TO 15 PERCENT SLOPES
- Hde - HANOR LOAM, 25 TO 35 PERCENT SLOPES
- Usg - URBAN LAND-ADORNMENTS, SCHIST AND GNEISS COMPLEX, 8 TO 8 PERCENT SLOPES

2815 PENN. AVENUE WEST LAWN, PA 610-937-4242		Enterprises		SEAL MICHAEL DUANE HARTMAN PROFESSIONAL ENGINEER NOVEMBER 15, 2018 PENNSYLVANIA		"MILLSTONE MEADOWS" PRELIMINARY/FINAL PLAN PCSM DETAILS CLIENT: GROVE MEADOW DEVELOPERS LLC LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA DATE: APRIL 20, 2023	
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