

**EAST GOSHEN TOWNSHIP
PLANNING COMMISSION
Meeting Agenda
Tuesday, June 25, 2024
7:00 PM**

- A. Call to Order / Pledge of Allegiance and Moment of Silence
- B. Chairman will ask if anyone is going to record the meeting.
- C. Review of Tracking Log / Determine need for Workshop Meeting
- D. Public Comment on Non-Agenda Items
- E. Approval of Minutes
 - 1. May 28, 2024**
- F. Acknowledge Receipt of New Applications (Initial Submission)
- G. Subdivision and Land Development Applications
 - 1. 1365/1373 Enterprise Drive/CTDI Land Development (Presentation).**
- H. Conditional Uses and Variances
- I. Zoning Hearing Board Variances
- J. Ordinance Amendments
- K. Old Business
 - 1. The Malvern Institute – Update – (No Action Required)**
 - 2. Planning Commission Bylaw Review.**
- L. New Business
- M. Liaison Reports
- N. Correspondence
- O. Announcements
- P. Next Meeting – **July 23, 2024, at 7pm.**

Bold Items indicate new information to review or discuss.

DRAFT
EAST GOSHEN TOWNSHIP
PLANNING COMMISSION MEETING
May 28, 2024

The East Goshen Township Planning Commission held their regular monthly meeting on Tuesday, May 28, 2024 at 7:00 pm in the Township Building.

Members present are highlighted:

- Chair – Ernest Harkness**
- Vice Chair – John Stipe**
- Dan Daley**
- Michael Koza
- Michael Pagnanelli**
- Fred Pioggia**
- Dan Truitt**

Also present was:

- Duane Brady, Zoning Officer
- Kelly A. Krause, Asst. Zoning Officer**
- John Hertzog , BOS Liaison**
- Nathan Cline, Township Engineer**

COMMON ACRONYMS:

- | | |
|--|---|
| <i>BOS – Board of Supervisors</i> | <i>CPTF – Comprehensive Plan Task Force</i> |
| <i>BC – Brandywine Conservancy</i> | <i>CVS – Community Visioning Session</i> |
| <i>CB – Conservancy Board</i> | <i>SWM – Storm Water Management</i> |
| <i>CCPC – Chester Co Planning Commission</i> | <i>ZHB – Zoning Hearing Board</i> |

FORMAL MEETING – 7 p.m.

1. Ernest called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and asked for a moment of silence to remember our first responders, police, military, and all who protect us.
2. Ernest asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
3. The tracking log was checked and no need for a workshop meeting.
4. The minutes of the March 26, 2024 meeting were approved as amended.

CHAIRMAN’S REPORT – None

SUBDIVISION AND LAND DEVELOPMENT APPLICATIONS

1. 301 Reservoir Road/ Timbermill – Subdivision – Michael Cowen represented the applicant. They are requesting to divide the property into 5 1-acre single family lots, including 2 existing lots with buildings that will be renovated. They will have public sewer and water. They received the review letter from Pennoni and will comply. Nate mentioned that he and Duane reviewed this second submission with some revisions. Distance from the pipeline is okay. Dan D. was at the site and noticed a bump in the road. He asked about sight distance. Nate explained that the driveway is in a flat area so he doesn’t think this will be a problem. SWM was discussed. Michael C. commented that there will be an HOA which will be responsible for the SWM. The HOA can be operated by the residents or a 3rd party management company. Fred mentioned the width of the road. Michael C. commented that they will be doing a roll curb. Parking was discussed. Dan T. made a motion to recommend to the BOS approval of the preliminary plan with all resolved items before the final plan approval is recommended. John seconded

1 the motion. The motion passed unanimously. This will go to the BOS for preliminary approval. They will
2 be back to the PC in late summer for final approval.

3
4 **CONDITIONAL USES AND VARIANCES**

5 1. 1306 West Chester Pike – Automotive Repair Business. Approved by BOS. Closed.

6
7 **ZONING HEARING BOARD VARIANCES**

8 1. 1214 Upton Circle – Approved by ZHB. Closed

9
10 2. 1143 N. Chester Road – Fence Variance. Jim Schroeder, property owner was present. Jim has been a
11 resident for 25 years. Originally, they put evergreens along their property as a noise barrier. However, as
12 the trees grew, they lost branches, so they were removed and a new fence was installed. The road traffic
13 has increased significantly. His request is for a 6-foot high fence instead of 4 foot. The fence has been
14 installed and is in the proper distance from the property line. Fred feels 6 feet is better for privacy. His
15 previous township changed their ordinance to allow 6 feet. Dan D. made a motion to recommend that the
16 BOS vote in favor of the dimensional variance requested by the Schroeders to allow a 6-foot solid fence
17 be placed within the required front yard. Dan T. seconded the motion. The motion passed unanimously.

18
19 **ORDINANCE AMENDMENTS** - None

20
21
22 **OLD BUSINESS**

23 1. The Malvern Institute – (No action required.)

24
25 2. By Laws – The By Laws were discussed with some revisions. Kelly will make the changes and have it
26 ready for the next meeting.

27
28 **NEW BUSINESS**

29
30
31 **LIAISON REPORTS** –

32
33 **ANY OTHER MATTER** –

34 New member packet – This will be set up for review.

35 Meeting Agendas - The Commission members discussed receipt of the agenda by mail or email.

36
37 **CORRESPONDENCE** - None

38
39
40 **ADJOURNMENT**

41 There being no further business, Dan T. made a motion to adjourn the meeting. John seconded the
42 motion. The meeting was adjourned at 8:10 pm.

43 The next meeting will be held on Tuesday June 25, 2024 at 7:00 p.m.

44
45 Respectfully submitted,

46
47
48
49
50 _____
Ruth Kiefer, Recording Secretary

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380
Voice: 610-692-7171
Fax: 610-692-8950
E-mail: dbrady@eastgoshen.org

Date: 5-18-2024
To: Planning Commission
From: Duane J. Brady Sr., East Goshen Township Zoning Officer
Re: 1365/1373 Enterprise Drive/Communications Test Design, Inc & Parsons 1365, LLC
Preliminary/Final LD Plan/Application Filing Letter

Dear Commissioners,

The Township Staff has received an LD application for 1365/1373 Enterprise Drive Owned by Communications Test Design, Inc & Parsons 1365, LLC. The proposal is to construct a new building, outdoor amenity space, parking and circulation improvements, stormwater management and site improvements. The building will serve as a reception area for existing CTDI visitors. The land development is in the Business Park District section 240-21 of the East Goshen Township Zoning Ordinance. The land development will be completed as a Declaration of Condominium by an agreement. The application has been reviewed for completeness and was accepted by Township Staff on May 7, 2024.

Background information:

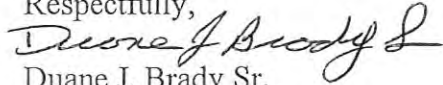
- Lots 1365 and 1373 Enterprise Drive are approximately 12.5 acres.
- The property is in the BP Business Park District.
- The application notes a total of 5 lots and 30.60 acres to be part of the Condominium Agreement.
- The start date for the project is May 7, 2024. (Day 1).
- The must act date for the Planning Commission is July 17, 2024 (Day 70).
- The must act date for the Board of Supervisors is August 7, 2024 (Day 90).

Zoning Information:

- The property is in the BP Business Park District (240-21).
- The minimum lot area is 4 acres.
- Building setback line 400 feet.
- Street line 300 feet.
- The front yard is 100 feet, the side yard is 50 feet, and the rear yard is 50 feet.
- The minimum building height is 35 feet (3 stories).
- Total impervious cover is 50%.
- Total building cover is 30%.
- The property is outside the flood area.
- The property has a pipeline located on it and does require a pipeline awareness study.

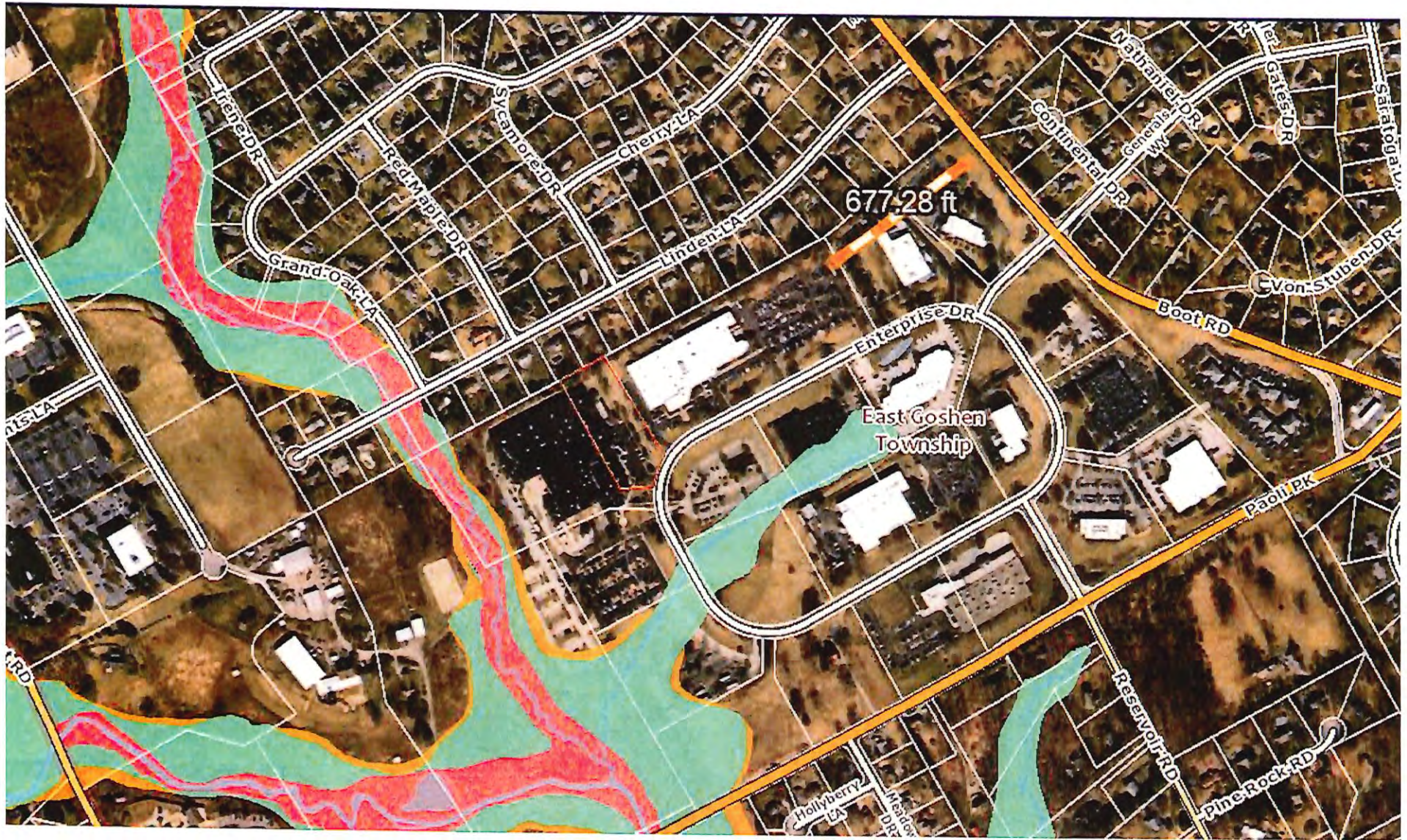
The Condominium Agreement has not been received as of the date of this letter and will be provided once it has been received and reviewed for completeness.

Respectfully,



Duane J. Brady Sr.
East Goshen Township
Zoning Officer (PA-CZO)





A pipeline is located along Boot Road and is 677.28 feet from the property line of 1373 Enterprise Drive. The LD project will be constructed in the location of 1365 and 1373 Enterprise Drive property lines. See red box in plan that shows area of work.

Return to: Chester County Planning Commission
601 Westtown Road-Suite 270
P.O. Box 2747
West Chester, PA 19380-0990



Act 247 County Referral

<p>To: Chester County Planning Commission</p> <p>Subject: Request for review of a subdivision, land development proposal, ordinances, or comprehensive plans pursuant to the Pennsylvania Municipalities Planning Code, Act 247. This application must be completed by the applicant, and submitted by the municipality to the above address, along with one (1) complete set of plans and accompanying documents and the required fee for review (see reverse side)</p>	<p align="center">TO BE COMPLETED BY THE MUNICIPALITY</p> <p>From: (Municipality) <u>East Goshen Township</u></p> <p>Date: <u>5-1-2022</u></p> <p>Official's Name: <u>Duane J. Brady Sr.</u></p> <p>Position: <u>Zoning Officer</u></p> <p>Official's signature: <u>Duane J. Brady Sr.</u></p> <p align="center"><small>Applications with ORIGINAL signatures must be submitted to CCPC.</small></p>
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TO BE COMPLETED BY THE APPLICANT

Development name (if applicable): <u>One CTDI Place</u>	Location: <u>1365 and 1373 Enterprise Drive</u>
Owner's name: <u>Communications Test Design Inc. (CTDI); 1365 Parsons, LLC</u>	Phone #: _____
Owner's address: <u>1365/1373 Enterprise Drive, West Chester, PA 19380</u>	
Applicant's name: <u>Communications Test Design Inc. (CTDI), 1365 Parsons, LLC</u>	Phone #: <u>610-389-1459</u>
Applicant's address: <u>1365/1373 Enterprise Drive, West Chester, PA, 19380</u>	
Architect/Engineer/Surveyor name: <u>Chester Valley Engineers, Inc.</u>	Phone #: <u>610-644-4623</u>

<p align="center">TYPE OF REVIEW REQUESTED (Check all appropriate boxes)</p> <p><input type="checkbox"/> Unofficial sketch plan (no fee)</p> <p><input type="checkbox"/> Subdivision plan</p> <p><input checked="" type="checkbox"/> Land development plan</p> <p><input type="checkbox"/> Planned residential development</p> <p><input type="checkbox"/> Zoning ordinance (no fee)</p> <p><input type="checkbox"/> Curative amendment (no fee)</p> <p><input type="checkbox"/> Subdivision ordinance (no fee)</p> <p><input type="checkbox"/> Comprehensive plan (no fee)</p> <p><input type="checkbox"/> Other _____</p>	<p align="center">REVIEW FEE (Fee schedule on other side)</p> <p><input checked="" type="checkbox"/> Attached \$ <u>843.13</u></p> <p><input type="checkbox"/> Not applicable</p>	<p align="center">TYPE OF SUBMISSION</p> <p><input checked="" type="checkbox"/> New proposal</p> <p><input type="checkbox"/> Revision to a prior proposal</p> <p><input type="checkbox"/> Phase of a prior proposal</p> <p><input type="checkbox"/> Amendment/revision to recorded plan is a new proposal</p>
	<p align="center">TYPE OF PLAN</p> <p><input type="checkbox"/> Unofficial sketch</p> <p><input checked="" type="checkbox"/> Preliminary</p> <p><input checked="" type="checkbox"/> Final</p>	<p>Tax parcel(s): # <u>53-4-161, 53-4-162,</u> # <u>53-4-163, 53-4-164</u> # <u>53-4-165</u></p> <p>Total area (gross acres): <u>30.60 acres</u></p>

<p align="center">PLAN INFORMATION</p> <p>Length of new roads: <u>N/A</u></p> <p>Number of new parking spaces: <u>15</u></p> <p>Ownership of roads: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private</p> <p>Open space: <input type="checkbox"/> Public <input type="checkbox"/> Private</p> <p>Acres: _____ Acres: _____</p> <p>HOA responsible for common facilities/areas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>HOA documents provided: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Traffic study included: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not conducted</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:30%;">LAND USE</th> <th style="width:20%;"># of lots/units</th> </tr> </thead> <tbody> <tr><td>Agriculture</td><td></td></tr> <tr><td>Single family</td><td></td></tr> <tr><td>Townhouses</td><td></td></tr> <tr><td>Twin units</td><td></td></tr> <tr><td>Apartments</td><td></td></tr> <tr><td>Mobile homes</td><td></td></tr> <tr><td>*Commercial</td><td align="center">5</td></tr> <tr><td>*Industrial</td><td></td></tr> <tr><td>*Institutional</td><td></td></tr> <tr><td>Other</td><td></td></tr> </tbody> </table>	LAND USE	# of lots/units	Agriculture		Single family		Townhouses		Twin units		Apartments		Mobile homes		*Commercial	5	*Industrial		*Institutional		Other		<p align="center">ZONING DISTRICT OF PROPOSAL</p> <p>Existing: <u>BP</u></p> <p>Proposed: <u>BP</u></p> <p>Variances/ Special exception granted: _____</p>	<p align="center">PROPOSED UTILITIES (Check appropriate boxes)</p> <table style="width:100%;"> <tr> <td></td> <td align="center">Water</td> <td align="center">Sewer</td> </tr> <tr> <td>Public</td> <td align="center"><input checked="" type="checkbox"/></td> <td align="center"><input checked="" type="checkbox"/></td> </tr> <tr> <td>On-site</td> <td align="center"><input type="checkbox"/></td> <td align="center"><input type="checkbox"/></td> </tr> <tr> <td>Package</td> <td align="center"><input type="checkbox"/></td> <td align="center"><input type="checkbox"/></td> </tr> </table> <p>No new sewage disposal or water supply proposed <input checked="" type="checkbox"/></p>		Water	Sewer	Public	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	On-site	<input type="checkbox"/>	<input type="checkbox"/>	Package	<input type="checkbox"/>	<input type="checkbox"/>
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On-site	<input type="checkbox"/>	<input type="checkbox"/>																																			
Package	<input type="checkbox"/>	<input type="checkbox"/>																																			

ADDITIONAL INFORMATION (This plan has been submitted to):

<input type="checkbox"/> County Health Department	Date _____
<input type="checkbox"/> PennDOT	Date _____
<input type="checkbox"/> DEP	Date _____
<input type="checkbox"/> Other _____	Date _____

***Information to be filled in for Commercial, Industrial or Institutional land use ONLY**

*Total square footage of addition to existing building: _____

*Total square footage of new building(s): 6,146 sf

THE TERM "LOTS"

The term "LOTS" includes conveyance, tracts or parcels of land for the purpose, whether immediate or future, of lease, transfer of ownership or building or development, as well as residue parcels, annexations, or the correction of lot lines.



EAST GOSHEN TOWNSHIP
CHESTER COUNTY, PA

RECEIVED
MAY 01 2024

SUBDIVISION AND / OR LAND DEVELOPMENT APPLICATION

Date Filed: _____

Application for (Circle one):

Subdivision Land Development Subdivision & Land Development

A. Application is hereby made by the undersigned for approval of a Subdivision and or Land Development Plan, more particularly described below.

1. Applicant's name: Communications Test Design, Inc. (CTDI), and Parsons 1365, LLC

Address: 1365/1373 Enterprise Drive, West Chester, PA 19380 Phone: 610-389-1459

Fax: _____ Email: tbooker@ctdi.com

2. Name and address of present owner (if other than 1. above)

Name: Same as Applicant -

Address: _____ Phone: _____

Fax: _____ Email: _____

3. Location of plan: 1365 and 1373 Enterprise Drive, West Chester, PA 19380

4. Proposed name of plan: One CTDI Place

5. County Tax Parcel No.: 53-4-161, 53-4-162, 53-4-163, 53-4-164, 53-4-165 Zoning District: BP

6. Area of proposed plan (ac.): 30.60 acres Number of lots: 5

7. Area of open space (ac.): NA

8. Type of structures to be constructed: Accessory building, outdoor amenity spce, stormwater management and site improvements

9. What provisions are to be made for water supply and sanitary sewer? Public sewer and water

10. Linear feet of road to be constructed: NA

11. Name of Engineer: Chester Valley Engineers, Inc.

Phone Number: 610-644-4623 Fax: _____

Email address: jmaziarz@chesterv.com

EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

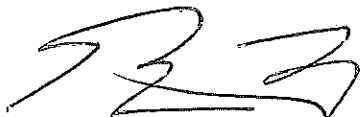
12. Name of Land Planner: Bernardon
Phone Number: 610-444-7868 Fax: _____
Email address: zcross@bernardon.com

- B. I/We agree to reimburse the Township of East Goshen for such fees and expenses the Township may incur for the services of an Engineer(s) in investigations, tests, and review in relation to the Subdivision Plan.
- C. I/We agree to post financial security for the improvements depicted on the Subdivision and or land Development Plan pursuant to the Subdivision and Land Development Ordinance.
- D. I/We agree to reimburse the Township of East Goshen for all inspection fees at the actual cost to Township.

NOTICE

The Township requires an Occupancy Permit before any building can be occupied; no Occupancy Permit will be issued until final inspection and approved by the Zoning Officer and Building Inspector.

Owner Signature



Applicant Signature *getting in - Permit*

Administrative Use

Fees received from applicant \$ _____ basic fee, plus \$ _____ per lot

For _____ lots = \$ _____.

Application and plan received by: _____ Date: _____
(Signature)

Application accepted as complete on: _____
(Date)

EAST GOSHEN TOWNSHIP, CHESTER COUNTY PA
SUBDIVISION AND/OR LAND DEVELOPMENT APPLICATION

SUBDIVISION AND/OR LAND DEVELOPMENT CHECKLIST

This checklist outlines the steps and items needed to insure completeness of the application and to insure the application follows the process and conforms to the timeframe outlined by the State of Pennsylvania and East Goshen Township. This checklist is broken into two parts, the Application Process and the Review Process. The application process must be completed in its entirety prior to the advancement into the Review Process.

*** Review the formal Planning Commission review procedure on page five.**

Application for (Circle all appropriate): Subdivision Land Development

Applicant Information:

Name of Applicant: Communications Test Design Inc. (CTDI) and Parsons 1365, LLC

Address: 1365/1373 Enterprise Drive, West Chester, PA 19380

Telephone Number: 610-389-1459 Fax: _____

Email Address: tbooker@ctdi.com

Property Address: 1365 and 1373 Enterprise Drive, West Chester, PA 19380

Property Information:

Owner's Name: Communications Test Design Inc. (CTDI) and Parsons 1365, LLC

Address: 1365/1373 Enterprise Drive, West Chester, PA 19380

Tax Parcel Number: 53-4-161, 53-4-162, 53-4-163, 53-4-164, 53-4-165 Zoning District: BP Acreage: 30.6

Description of proposed subdivision and or land Development:

The Applicant is proposing to construct a new building, outdoor amenity space, parking and circulation improvements, stormwater management and site improvements.

The building will serve as a reception area for existing CTDI visitors. The proposed building will not increase visitors, traffic, or require the addition of parking spaces.

For more information, see attached narrative.

BEFORE THE BOARD OF SUPERVISORS OF EAST GOSHEN TOWNSHIP

IN RE: Application of Communications Test Design, Inc. & Parsons 1365, LLC
For the Properties at: 1365/1373 Enterprise Drive, West Chester

NARRATIVE IN SUPPORT OF APPLICATION

I. Introduction.

Parsons 1365, LLC is the owner of the property known as 1365 Enterprise Drive in the Goshen Corporate Park (UPI No.'s 53-4-162, 53-4-163, 53-4-164, 53-4-165, and 53-4-174¹) ("**1365 Properties**"). Communications Test Design, Inc. ("CTDI") is the owner of the property located at 1373 Enterprise Drive in the Goshen Corporate Park (UPI No. 53-4-161) ("**1373 Property**"). The properties are located in East Goshen Township's Business Park Zoning District (the "**BP District**"). The properties' primary uses are business office, testing for research or product development, and warehousing and distribution.

II. Proposed Project.

Parsons 1365, LLC and CTDI (together, "**Applicants**") seek to construct a new building, outdoor amenity space, parking and circulation improvements, stormwater management, and site improvements ("**Project**"). The building will be a reception area for CTDI visitors, to serve the properties' existing approved uses. The proposed building will be located between UPI Nos. 53-4-162 and 53-4-161. The new private entrance drive will be named "One CTDI Place", and will be used as the new address for the CTDI campus.

¹ According to a conditional use approval from 1986, UPI Nos. 53-4-162, 53-4-163, 53-4-164 are "deemed merged into one lot for all purposes."

Except where otherwise noted, the Project will comply with all parking and bulk & area criteria in accordance with the approved plans for these properties.

III. Proposed Condominium.

The owners of the 1373 Property and 1365 Properties have agreed to enter into a Declaration of Condominium pursuant to the Pennsylvania Uniform Condominium Act, 68 Pa.C.S. §3101 *et seq.* According to the Condominium Plan, see attached as Exhibit "A", the proposed building will be a limited common element, as that term is defined in the Declaration.

IV. Zoning Analysis.

ZONING VERIFICATION/CONDITIONAL USE CONTINUATION

The Applicants have previously been advised by the then Township Zoning Officer that the existing uses on the 1365 Properties have been approved by the Township and that there are no existing zoning violations. See 01/22/2021 zoning verification letter from Mark A. Gordon, attached hereto as Exhibit "B." The Zoning Officer further explained that the conditional use approval granted by the Township in 1986 for the 1365 Properties permitted the following multiple principal uses by conditional use: business office; testing for research or product development; television transmitter; and warehouse and distribution. See 02/24/2021 Conditional Use Continuation Letter from Mark A. Gordon, attached hereto as Exhibit "C". The 02/24/2021 letter also acknowledged CTDI's existing operation at the 1373 Property and that the 1373 Property is also permitted to continue, with the notation that the television transmitter was not being continued.

Accordingly, the existing uses at the properties: business office; testing for research or product development; and warehouse and distribution are permitted. The proposed Project, a reception area for CTDI visitors is a permitted accessory use to those uses. The East Goshen Township Zoning Ordinance defines "accessory use" as, "[a] use subordinate to the principal use of land or a building on a lot and customarily incidental thereto." East Goshen Code §240-6(B).

The proposed building will not generate more traffic or require additional parking, as the proposed accessory building will serve existing visitors to the properties.

PARKING

The Project will result in the loss of 57 parking spaces. Currently, there are 827 parking spaces provided for the 1365 Properties and 403 parking spaces associated with the 1373 Property. As shown on the Condominium Plan, the required parking for the 1365 Properties is 369 and the total parking required for the 1373 Property is 231. Accordingly, there is sufficient parking provided even with the loss of 57 parking spaces due to this Project.

IMPERVIOUS COVERAGE

The 1365 Properties and 1373 Property are both legally conforming with respect to impervious coverage. The existing impervious coverage for the 1373 Property is 57.21% and the proposed increase would bring it to 59.56%. The 1373 Property previously was permitted to increase the impervious coverage on the property via conditional use decision dated September 11, 2000. The Board approved the increase pursuant to Zoning Ordinance §240-21.C(23), which allows for impervious coverage to increase to 60% in the BP District in order to provide parking. The existing impervious

coverage for the 1365 Properties is 48.66% and the proposed impervious coverage following the Project would be 51.40%.

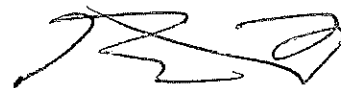
Together, the total impervious coverage permitted for the properties is 53.4% (or 717,675 sq. ft.). The Project would bring the total impervious coverage to 54.2% (or 728,848 sq. ft.). The total impervious coverage would exceed the permitted impervious coverage by (0.85%) or 11,461 sq. ft.

To address the excess impervious coverage for the properties, Applicants intend to remove unnecessary parking spaces at a location to be determined. The removal of these spaces will bring the impervious coverage into compliance with §240-21(G) of the Zoning Ordinance. The plans will be revised accordingly.

V. Conclusion.

The proposed Project is permitted as an accessory use to the existing uses at the 1365 Properties and 1373 Property. The building will serve as a reception area for CTDI visitors. The Project will comply with the area & bulk and parking requirements for the properties.

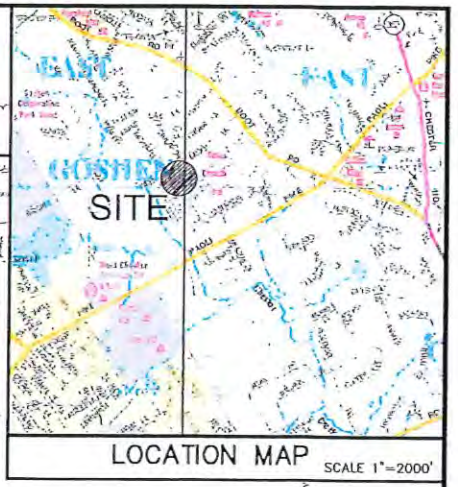
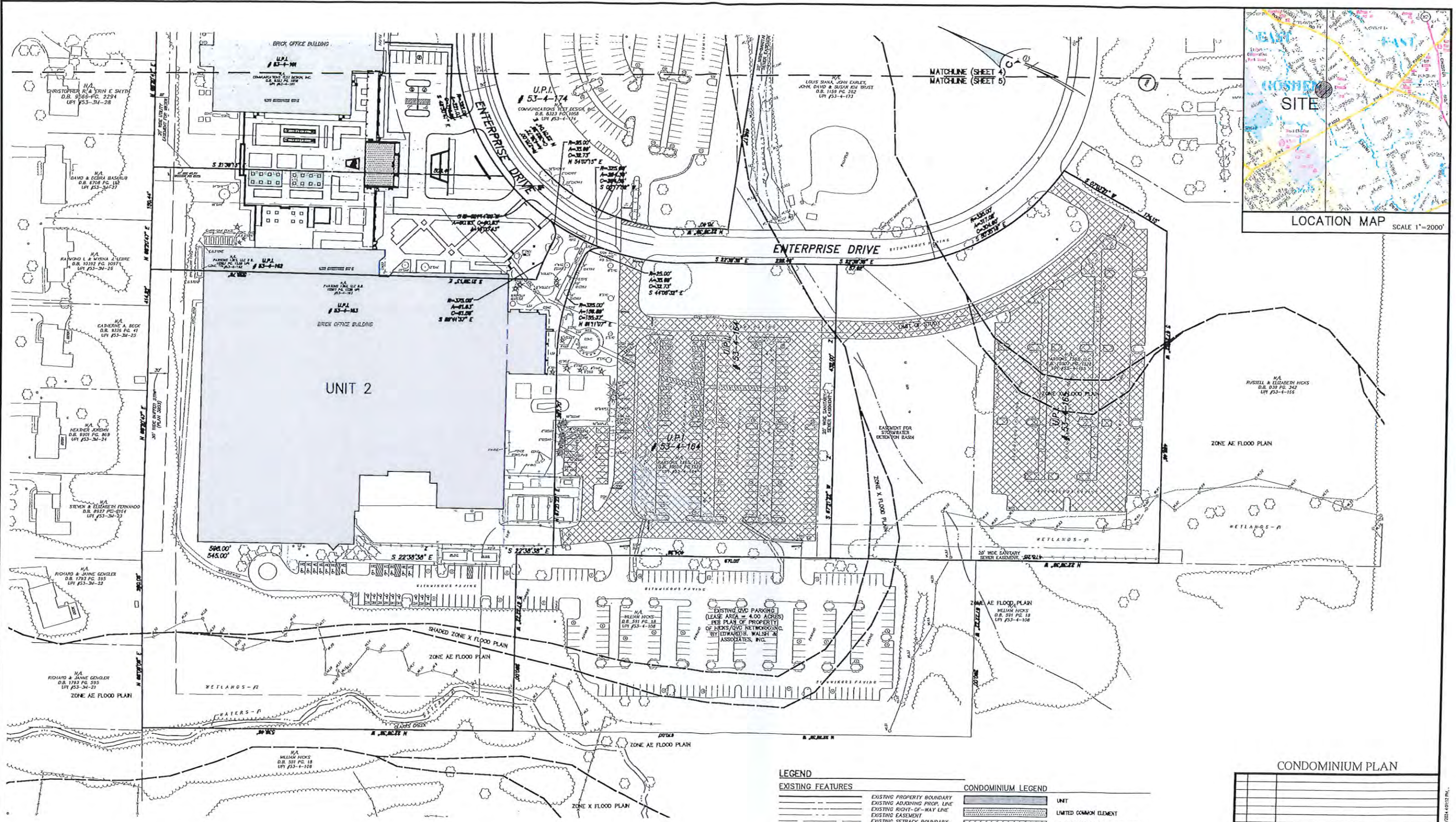
Respectfully submitted,



Brian L. Nagle, Esquire
Attorney I.D. #86924
17 West Miner Street
P.O. Box 660
West Chester, PA 19381-0660
(610) 436-0100
Attorneys for Applicants

Date: May 1, 2024

EXHIBIT A
Condo Plans



LEGEND

EXISTING FEATURES	CONDOMINIUM LEGEND
--- EXISTING PROPERTY BOUNDARY	[Hatched Box] UNIT
--- EXISTING ADJOINING PROP. LINE	[Dotted Box] LIMITED COMMON ELEMENT
--- EXISTING RIGHT-OF-WAY LINE	[Cross-hatched Box] LIMITED COMMON ELEMENT TO UNIT 1
--- EXISTING EASEMENT	[Diagonal Hatched Box] LIMITED COMMON ELEMENT TO UNIT 2
--- EXISTING SETBACK BOUNDARY	[White Box] COMMON ELEMENT
--- EXISTING BUILDING	
--- EXISTING CURB	
--- EXISTING EDGE OF PAVEMENT	
--- EXISTING FENCE	
--- EXISTING LIGHT POLE	
--- EXISTING SIGN	
--- EXISTING UTILITY POLE	
--- EXISTING CONIFEROUS TREE	
--- EXISTING DECIDUOUS TREE	
--- EXISTING TREE & SHRUB LINE	



CONDOMINIUM
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PENNSYLVANIA ACT 112 REGULATORY
 PENNSYLVANIA ACT 112 REGULATORY
 703231153344
 SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATION OF OFFICE ADDRESS AND TELEPHONE NUMBER.
 PENNSYLVANIA ONE CALL SYSTEM, INC.
 CALL 3 WORKING DAYS BEFORE YOU DIG
 1-800-242-1776
 POCS SERIAL NUMBER: 2023213344

CONDOMINIUM PLAN

NO.	DATE	REVISION

PRELIMINARY LAND DEVELOPMENT PLAN
 FOR
ONE CTDI PLACE
 EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

PROJECT NO. **22024**

Chester Valley ENGINEERS, INC.
 93 North Front Street, Suite 200, Malvern, PA 19355
 610-444-4422
 www.chevalley.com

SCALE 1" = 60'	DATE 4/9/2014	DESIGNED BY R.S.B.	CHECKED BY J.M.C.	DRAWING
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EXHIBIT B

01/22/2021 Zoning Verification Letter

BOARD OF SUPERVISORS
EAST GOSHEN TOWNSHIP
CHESTER COUNTY
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

January 22, 2021

Partner Engineering and Science, Inc.
ATTN: Ms. Colleen Degano
1141 West Sheridan Ave.
Oklahoma City, OK 73106

Re: Zoning Verification Letter (VIA EMAIL ONLY)
1365 Enterprise Dr. West Chester, PA 19380
TPNs': 53-4-162, 53-4-163, 53-4-164, 53-4-165, 53-4-174, 53-3-1.8

Dear Ms. Degado:

The Township has received a request for Zoning Verification of the above referenced properties. I have provided the information requested is below:

1. Subject Property Zoning District and Overlay Districts:
 - a. All the Tax Parcels (TPN's) referenced above are located within the BP - Business Park, Zoning District. There are no zoning overlay districts for the BP district at this time.
2. Open Zoning Violations:
 - a. There are no open zoning violations for the parcels referenced above.
3. If the property is a Planned Development, please include development approvals resolutions , and ordinances;
 - a. All development on the parcels listed above has been approved. The development plans are attached and the zoning ordinance regulating the BP District can be found here:
<https://ecode360.com/7253699>
4. Information on Area regulations:
 - a. <https://ecode360.com/7253699>
5. Any known variances, special exceptions, or conditions:
 - a. These documents are enclosed.
6. Required off street parking requirements:
 - a. The existing use has adequate parking that meets or exceeds the Township parking requirements; the parking ordinance is referenced here: <https://ecode360.com/7255200>
7. Site / Zone development Requirements:
 - a. The Township SALDO is referenced here: <https://ecode360.com/7251174>
8. Legal Non-Conforming issues and regulations on rebuilding after damage and destruction:
 - a. The Nonconforming Uses ordinance is referenced here: <https://ecode360.com/7255619>
9. A copy of the approved site plan:
 - a. Plans enclosed

This verification is based on a file search and not a physical property inspection. Township Re-Occupancy inspections are required to take place prior to the sale of the property. The application is located here: https://eastgoshen.org/wp-content/uploads/2020/01/Change-of-Use-and-or-Occupancy-Multi-Use-App_1-8-20_Fillable.pdf

Please contact me if you have any question or need additional information regarding this matter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark A. Gordon', followed by a horizontal line extending to the right.

Mark A. Gordon
Township Zoning Officer

Enclosures (VIA EMAIL ONLY)

EXHIBIT C

02/24/2021 Conditional Use Continuation Letter

BOARD OF SUPERVISORS
EAST GOSHEN TOWNSHIP
CHESTER COUNTY
1580 PAOLI PIKE, WEST CHESTER, PA 19380-6199

February 24, 2021

Brian L. Nagle, Esquire
MacElree Harvey, Ltd.
17 W. Miner Street
P.O. Box 660
West Chester, PA 198-381-0660

RE: Continuation of Conditional Use
1365 Enterprise Drive, West Chester, PA 19380
TPN's: 53-4-162, 53-4-163, 53-4-164, 53-4-165, 53-4-174 (the "Properties") [53-3-1.8 is
subject to a ground lease which is for parking only that is being assigned to CTDI]

Dear Mr. Nagle,

I have reviewed your inquiry regarding Communication Test Design Incorporated's (CTDI) acquisition and future use of the referenced Properties. The Properties currently have conditional use approval that was obtained during QVC's ownership via the letter decision dated September 24, 1986, which permitted the following multiple principal uses by conditional use:

1. Business Office; and
2. Testing for research or product development; and
3. Television transmitter; and
4. Warehouse and distribution.

I am aware of CTDI's existing operation at other properties within the Goshen Corporate Park. It is my understanding that, after acquisition, the Properties will be used by CTDI for the following uses:

1. Business Office; and
2. Testing for research or product development; and
3. Warehouse and distribution.

It is also my understanding that your client will not continue the Television transmitter use and that the existing satellite dishes will be removed in due course. I have determined that CTDI may utilize the Properties for its business as a continuation of the previously approved conditional uses and that a new conditional use approval shall not be required by East Goshen Township for CTDI's use and occupancy of the Properties and the buildings and other improvements located thereon. Please note that CTDI will still need to obtain applicable electrical, plumbing, and similar applicable permits for any interior fit-out work that it plans to complete within the existing building. As I noted in my January 22, 2021 letter to Partner

Engineering and Science, Inc., Township Re-Occupancy inspections are required to take place prior to sale of the property.

I have also provided you with a copy of the Radio Frequency analysis performed by Metropolitan Communications Inc. for the QVC Founders Park Building in accordance with §119 of the Township Code. The report identifies areas of the building that do not meet the minimum requirements of the code. Frequency enhancements are required and must be installed within the facility on or before June 30, 2022.

Sincerely,



Mark A. Gordon
Township Zoning Officer

Enclosure

POST – CONSTRUCTION STORMWATER MANAGEMENT REPORT

for

COMMUNICATIONS TEST DESIGN, INC.

ONE CTDI PLACE

East Goshen Township
Chester County, Pennsylvania
CVE Project No. 22024-0000

prepared for

CTDI

prepared by

Chester Valley Engineers, Inc.

112 Moores Road,
Suite 200
Malvern, PA 19355

Dated: April 29, 2024

Last Revised:



Jeremy R. Maziarz, P.E.

Professional Engineer

Pennsylvania License No. PE-50557-E

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Stormwater Management Report
Communications Test Design, Inc.
One CTDI Place

CHAPTER 1

Narrative and Project Information



SCOPE OF REPORT

The applicant, Communications Test Design, Inc. (CTDI), proposes to construct a building, parking lot, and several walkway/patio improvements. In order to do so, the applicant plans on demolishing existing parking lots and other impervious surfaces. The subject property exists in East Goshen Township, Chester County, Pennsylvania.

SITE LOCATION AND EXISTING CONDITIONS

The project site is located at 1365/1373 Enterprise Drive in East Goshen Township, Chester County, Pennsylvania. The site is located within a Business Park and is bordered by commercial, industrial and residential uses.

The stormwater runoff associated with the project site drains to the East Branch of Chester Creek. PA Code Chapter 93 designates East Branch of Chester Creek as Trout Stocking Fishes, Migratory Fishes (TSF-MF). The receiving watercourse is listed as having the following impairments: Siltation, Habitat Modifications, Urban Runoff / Storm Sewers. No TMDLs have been established or approved.

This project is considered "redevelopment". For modeling purposes, existing (pre-development) non-forested pervious areas must be considered meadow in good condition or its equivalent. For areas that are impervious surfaces, pre-development calculations assume 20% of the existing impervious surface area to be disturbed as "meadow" ground cover. Unaffected areas located outside of the Area of Disturbance have been modeled with actual land cover conditions.

There is currently an existing stormwater detention basin beneath the parking lot at 1373 Enterprise Drive. Since there is an orifice at the bottom of this system, it is assumed that this basin does not provide recharge benefits. For modeling purposes, actual cover conditions were routed through the basin, to determine peak rate requirements. Per the routing calculations, the basin inflow exceeds the basin storage beyond the 5-year storm event. Therefore, the peak rate requirements consist of the existing basin outflow (through the 5-year storm event) and the existing basin inflow (in events exceeding the 5-year storm event). Refer to the peak rate summary tabulation for additional information.

PROPOSED CONDITIONS

The applicant, Communications Test Design, Inc. (CTDI), proposes to construct a building, parking lot, and several walkway/patio improvements. In order to do so, the applicant plans on demolishing existing parking lots and other impervious surfaces.

Subsurface conveyance systems and sheet flow directed towards the Post-Construction Stormwater Management (PCSM) Best Management Practices (BMPs) will control the post-construction surface runoff by managing volumes and rates as required by Township and PADEP regulations. Uncontrolled runoff from the site will mimic existing drainage patterns by flowing overland to the receiving watercourses.

SOIL TYPES AND GEOLOGY

Original soil types on the project area identified in the NRCS Web Soil Survey and the following soil types can be found within the overall project area:

<u>Soil Type</u>	<u>Description (& Hydrologic Soil Group Classification)</u>
UugB	Urban Land – Udorthents, 0% to 8% slopes (HSG C)
UugD	Urban Land – Udorthents, 8% to 25% slopes (HSG C)

A copy of the custom soils report and map for the project area is included in this report and depicts the above-mentioned soil categories within the project’s disturbance area. There are no known geologic formations or soil conditions that may have the potential to cause pollution.

POST CONSTRUCTION STORMWATER MANAGEMENT DESIGN CRITERIA

The Post Construction Stormwater Management Plan described herein has been designed according to the following publications and criteria:

- East Goshen Township Stormwater Management Ordinance;
- County-Wide Act 167 Stormwater Management Plan for Chester County, PA, approved by PADEP July 13, 2013;
- “Urban Hydrology for Small Watersheds” (Technical Release No. 55), published by the United States Department of Agriculture, Soil Conservation Service, dated June 1986;
- “PA Stormwater Best Management Practices Manual”, prepared by the Department of Environmental Protection, dated December 2006;

Two (2) distinct stormwater management study areas exist within the project area:

1. Study Area #1: Overland & pipe conveyance flow to an inlet located Northeast of the proposed driveway entrance. This inlet conveys stormwater Northeast, to a patch of wetlands that drain to the East Branch of Chester Creek. Currently, an existing detention facility is located beneath the existing parking lot, which provides peak rate benefits. This facility is to be removed, and replaced with an infiltration system. Stormwater calculations were performed with respect to the existing inlet, which ensure that post-development peak rates and volumes do not exceed pre-development conditions.
2. Study Area #2: Overland & pipe conveyance flow to the southern conveyance systems. From here, stormwater is conveyed Southeast, to a patch of wetlands that drain to the East Branch of Chester Creek. In this study area, two sub-areas were considered. The first is an on-site inlet. The second is an off-site inlet, on Enterprise Drive. These inlets are not connected, but discharge to the same point of interest. Therefore, the basin outflow was compared to the on-site inlet. The bypass calculations were compared to the off-site inlet. These studies were performed to ensure that the post-development peak rates and volumes do not exceed pre-development conditions.

The Stormwater Management Plan has been designed to meet the following guidelines, directly extracted from the East Goshen Township Stormwater Management Ordinance:

§ 195-19 WATER QUALITY AND RUNOFF VOLUME REQUIREMENTS

To control post-construction stormwater impacts from regulated activities and meet state water quality requirements, BMPs shall be provided in the site design that replicate pre-development stormwater infiltration and runoff conditions, such that post-construction stormwater discharges do not degrade the physical, chemical, or biological characteristics of the receiving waters. The applicant shall comply with the following water quality and runoff volume requirements for all regulated activities, including all new development and redevelopment activities:

- A. The post-construction total runoff volume shall not exceed the pre-development total runoff volume for all storms equal to or less than the two-year, twenty-four-hour duration precipitation (design storm). The water quality and runoff volume to be managed shall consist of any runoff volume generated by the proposed regulated activity over and above the pre-development total runoff volume and shall be captured and permanently retained or infiltrated on the site. Permanent retention options may include, but are not limited to, reuse, evaporation, transpiration, and infiltration.

The required infiltration volume is achieved via infiltration beds. Refer to Chapters 2 & 3.

§ 195-20 INFILTRATION REQUIREMENTS

Providing for infiltration consistent with the natural hydrologic regime is required to compensate for the reduction in the recharge that occurs when the ground surface is disturbed or impervious surface is created or expanded. The applicant shall achieve the following infiltration requirements:

- A. Wherever possible, infiltration should be designed to accommodate the entire water quality and runoff volume required in § 195-19.
- B. For regulated activities involving new development, the volume of a minimum of one inch of runoff from all proposed impervious surfaces shall be infiltrated.
- C. For regulated activities involving redevelopment, whichever is less of the following volume options shall be infiltrated:
 - 1) The volume of a minimum of one inch of runoff from all proposed impervious surfaces;
or
 - 2) The total water quality and runoff volume required in § 195-19 of this chapter.

The required infiltration volume is achieved via infiltration beds. Refer to Chapters 2 & 3.

§ 195-21 STREAM CHANNEL PROTECTION REQUIREMENTS

For regulated activities involving new development with one or more acres of earth disturbance, the applicant shall comply with the following stream channel protection requirements to minimize stream channel erosion and associated water quality impacts to the receiving waters:

- A. The peak flow rate of the postconstruction two-year, twenty-four-hour design storm shall be reduced to the predevelopment peak flow rate of the one-year, twenty-four-hour-duration precipitation, using the SCS Type II distribution.

Peak flow reductions have been achieved via infiltration beds. Refer to Chapter 2 for calculations. Since Stream Channel requirements specifically apply to activities involving new development, they do not apply to undisturbed areas, or those areas draining to the existing detention bed.

§ 195-22 STORMWATER PEAK RATE CONTROL REQUIREMENTS

The applicant shall comply with the following peak flow rate control requirements for all regulated activities, including those that involve new development and redevelopment that are not located in the Chester Creek watershed:

- I. Chester Creek watershed redevelopment. Regulated activities for redevelopment projects located within the Chester Creek watershed shall meet peak discharge requirements based on the adjusted runoff control number (RCN) or "C" values illustrated in Appendix H.

Since the referenced table (195-22.3) provides runoff coefficients, and not peak rate control criteria, it is assumed that redevelopment conditions within the Chester Creek watershed are similar to those outside of the Chester Creek watershed. Per Table 195-22.1, redeveloped regulated activities cannot exceed pre-development conditions. See below table that summarizes the considered reductions.

<u>Post-Developed Design Storm</u>		<u>Pre-Developed Design Storm</u>
2-year	Reduce to	1-year (per § 195-21)
5-year		5-year
10-year		10-year
25-year		25-year
50-year		50-year
100-year		100-year

Peak flow reductions have been achieved via PCSM BMPs. Refer to Chapter 2.

In addition to meeting the above requirements of the East Goshen Township Stormwater Management Ordinance, the Stormwater Management Plan has been designed to incorporate the following features:

- Utilize a "treatment train" approach with redundant Best Management Practices (BMP's) adequately sized to provide pretreatment of the Water Quality Storm prior to surface or subsurface infiltration or detention.

- Routings were performed through the stormwater management basin using *HydroCAD*. The program closely follows the S.C.S. TR-55 calculation procedure for calculating and routing hydrographs. The 24-hour design rainfalls were taken from the NOAA Atlas 14, Volume 2, Version 3, and are as follows:

<u>Storm Frequency (Year)</u>	<u>24 – Hour Rainfall (Inches)</u>
1-year	2.70
2-year	3.25
5-year	4.08
10-year	4.77
25-year	5.77
50-year	6.61
100-year	7.51

- Provide an onsite storm sewer drainage system that safely conveys the 100-year storm under normal flow conditions to the proposed Stormwater Management systems without surcharging inlets.
- Provide temporary and permanent measures for proper soil erosion and sediment control according to the County Conservation District Soil Erosion and Sediment Control Standards and Township codes.

POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S

Subsurface Infiltration Beds (SWM #100/#200)

The systems are comprised of AASHTO #57 stone and perforated HDPE pipe. Surface runoff drains overland into inlets and then conveyed to these underground systems. The infiltration BMPs are designed to treat and mitigate surface runoff from the contributing watershed. The outlet structures are designed to ensure infiltration is attained, providing peak rate and volume reductions.

LOADING RATIO SUMMARY

Loading ratios for runoff from impervious surface areas are summarized below:

- SWM #100 – 6.6:1
- SWM #200 – 6.4:1

Loading ratios for runoff from tributary drainage areas are summarized below:

- SWM #100 – 10.1:1
- SWM #200 – 13.1:1

The footprints of the proposed subsurface infiltration BMPs have been maximized. There are several design constraints (proximity to buildings, proximity to walls, minimum cover requirements) that control these footprints.

Reference "A Risk-Based Approach for Sizing Stormwater Infiltration BMPs," prepared by Domenic Rocco, P.E., CPESC, CPSWQ, Chief, Stormwater Section, Watershed Management Program, PADEP – Southeast Region, dated July 27, 2009:

- "One of the lessons learned while developing this document is that the Maximum Impervious Loading Ratio is a much more important consideration than Maximum Total Loading Ratio for designing infiltration BMPs. Therefore, this document no longer includes a maximum adjusted TDA:IA , as this value may not factor significantly in the design process."
- The maximum allowable impervious drainage area loading ratio (in non-karst watersheds) was reported as 10:1 in this document. "This number was selected as a conservative estimate for those designers following a loading ratio approach to infiltration BMP design. Greater loading ratios can be justified, within reason, when proper soil and geologic investigations are conducted. See other recommendations in this document and Appendices A and B."

CONCLUSIONS

Rate Control:

Overall project site, post development flow rates for all storm events have been designed not to exceed the allowable release rates of all pre-development storms to ensure that no receiving watersheds incur any adverse conditions.

Volume Control:

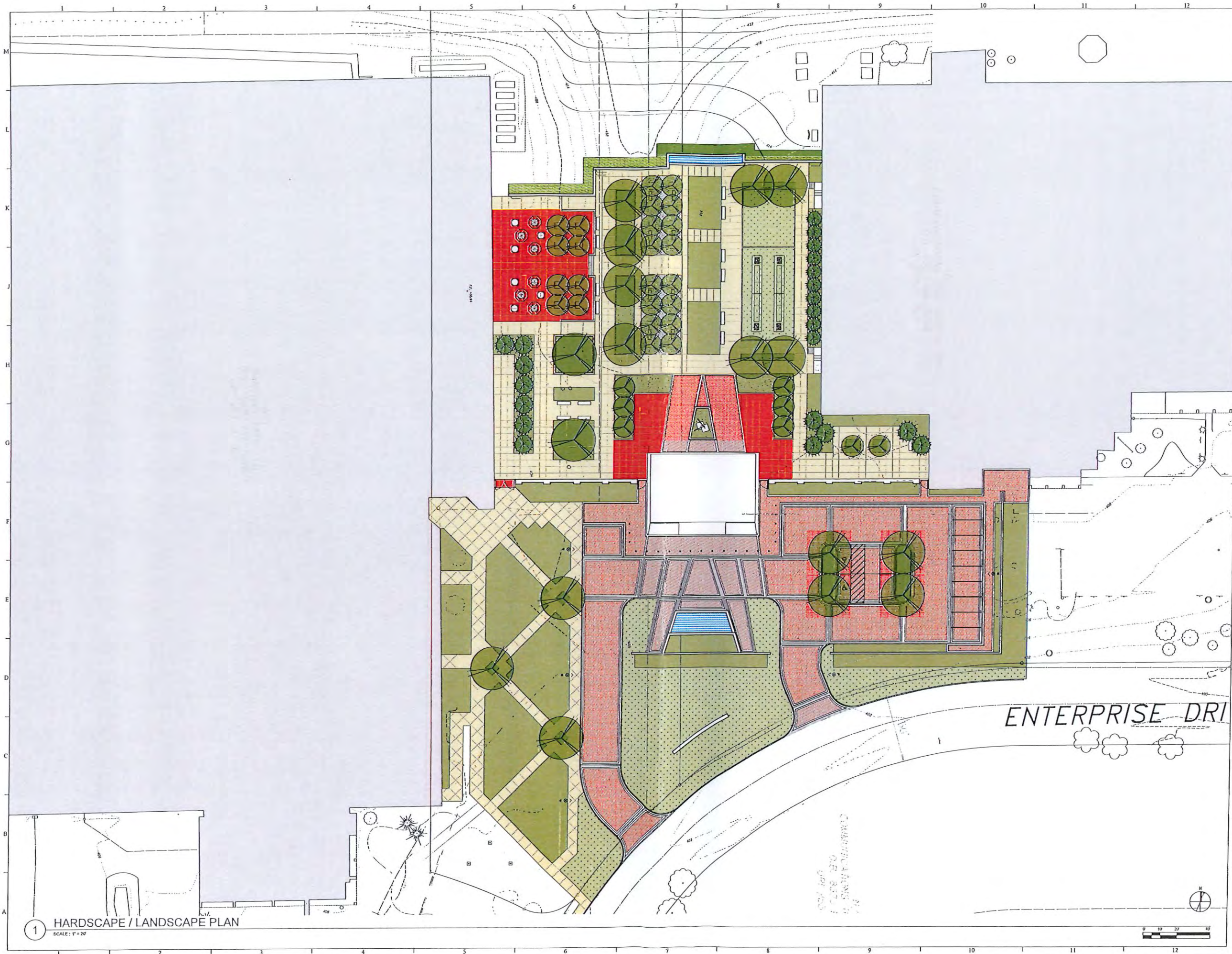
All stormwater management systems have been designed to provide no net increase in the total 2-year/24-hour post-development volume.

Storm Sewer Design:

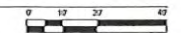
The storm drain system has been designed to safely convey the 100-year storm under normal flow conditions to proposed stormwater management systems.

Summary:

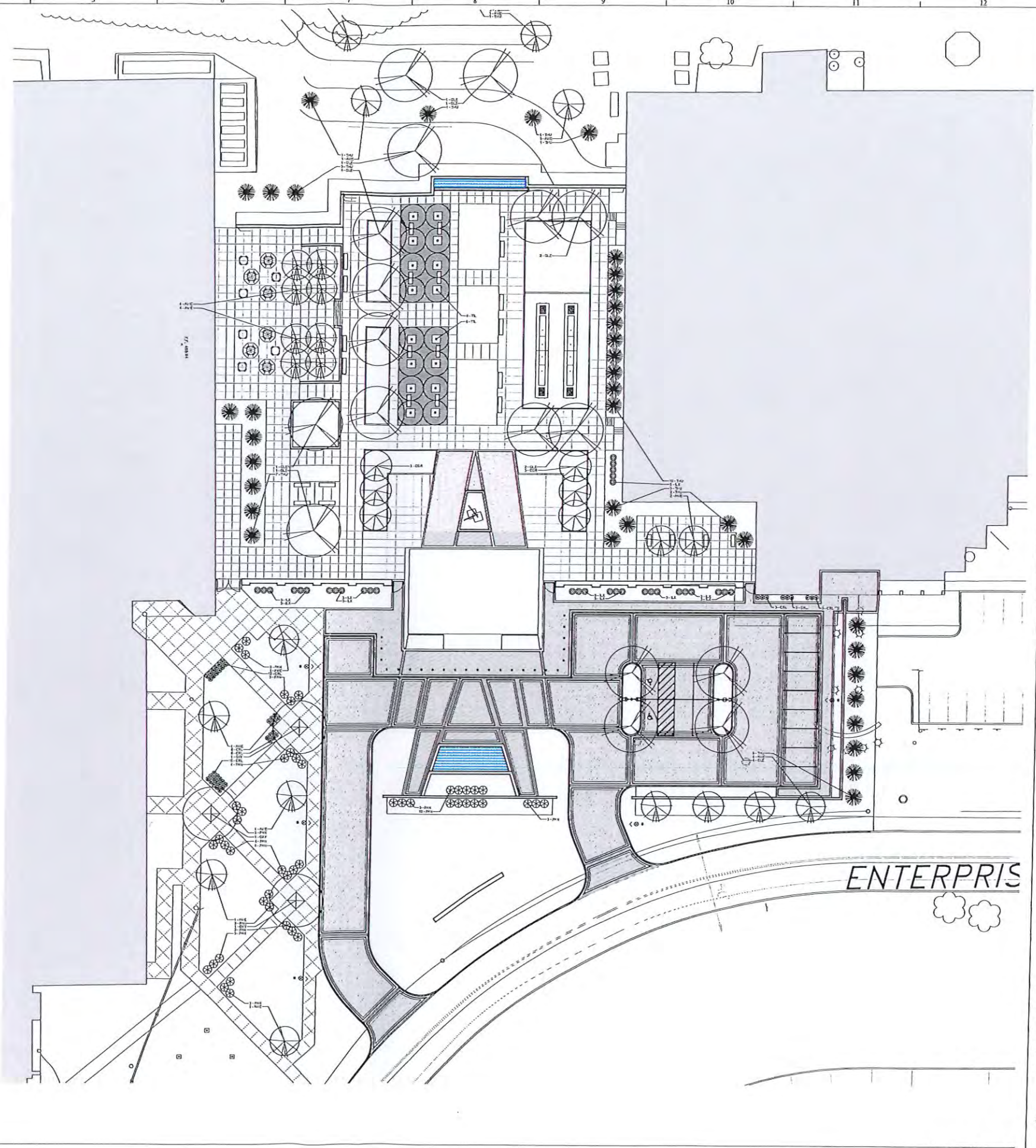
The above listed engineering measures will reduce and mitigate the impacts of the proposed development in accordance with the standards set forth by the Township and Pennsylvania Department of Environmental Protection. The Stormwater Management Plan will protect stream morphology, maintain groundwater recharge, prevent downstream increases in flooding and bank erosion, and replicate the hydrology on-site before development.



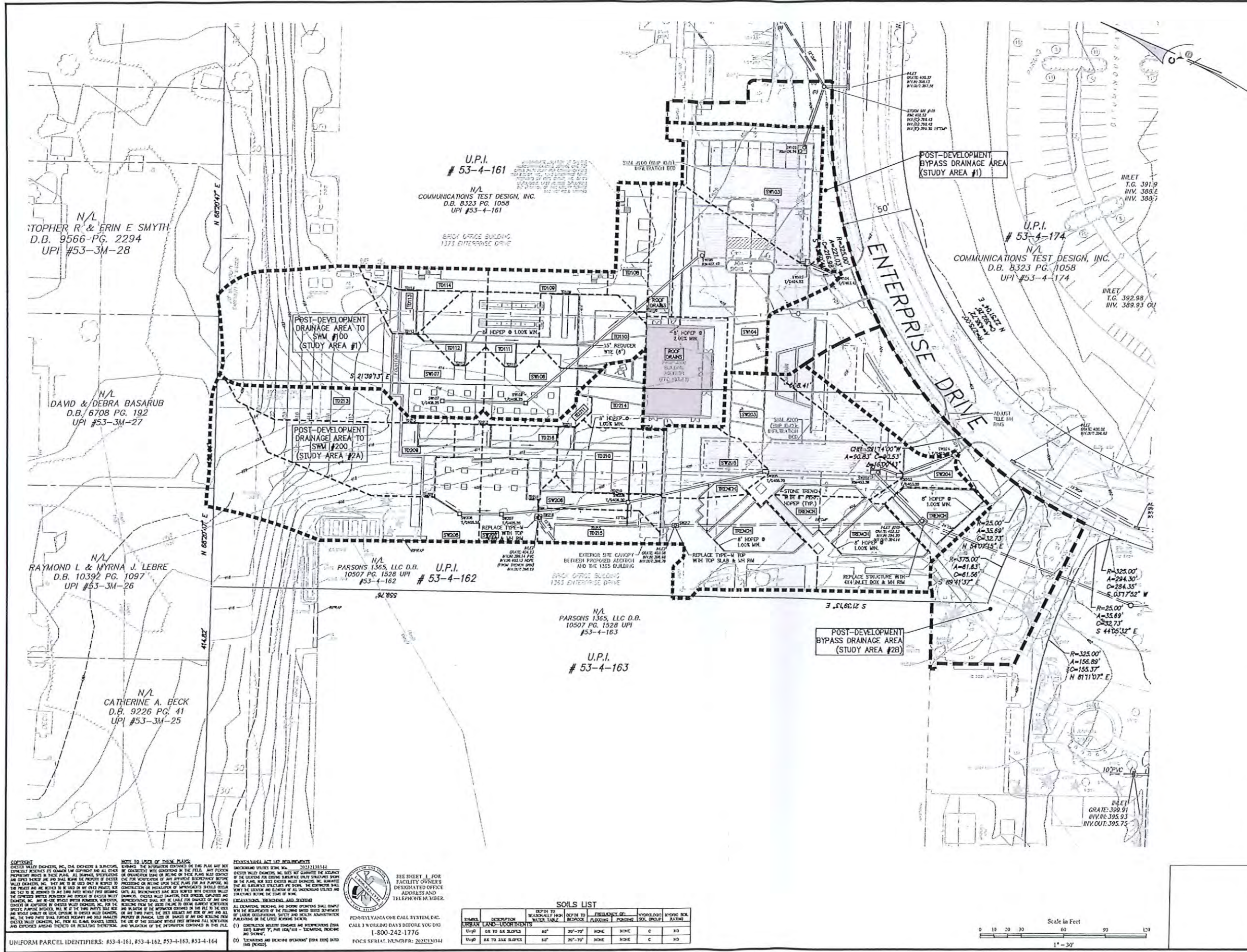
1 HARDSCAPE / LANDSCAPE PLAN
 SCALE: 1" = 20'



KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
DECIDUOUS TREES						
SPR	23	Amelanchier lancea Spring Flurry	Spring Flurry Serviceberry	1' - 2.3"	B&B	MULTI-STEM, SPACING AS SHOWN
GOR	5	Cornus florida Cherokee Princess	Cherokee Princess Dogwood	2-2.5"	B&B	
GLE	17	Gleditsia triacanthos Formis Skyline	Skyline Honey Locust	2.5" CAL. MIN.	B&B	SINGLE STEM, SPACING AS SHOWN
GRY	3	Ostrya virginiana	Sourwood Tree	2.5" CAL. MIN.	B&B	SINGLE STEM, SPACING AS SHOWN
TL	15	Tilia cordata June Bride	June Bride Oriental Linden	2.5" CAL. MIN.	B&B	SINGLE STEM, SPACING AS SHOWN
EVERGREEN TREES						
TRU	41	Thuja plicata Green Splendor	Green Splendor Western Red Cedar	1' H.	B&B	SINGLE STEM, SPACING AS SHOWN
SHRUBS						
EX	32	Ilex glabra Shamrock	Shamrock Highberry Holly	3" H.	B&B	SPACING AS SHOWN
YIB	15	Viburnum A Chesapeake	Chesapeake Viburnum	3" H.	B&B	SPACING AS SHOWN
PERENNIALS AND GRASSES						
CL	48	Calamagrostis A acutiflora York Foerster	York Foerster Feather Reed Grass	2 gal.	Pot	24" O.C. SPACING
PAN	49	Panicum Virgatum Cheyenne Sky	Cheyenne Sky Switch Grass	2 gal.	Pot	4" O.C. SPACING



1 LANDSCAPE PLAN
 SCALE: 1" = 20'



LEGEND

EXISTING FEATURES

- EXISTING PROPERTY BOUNDARY
- EXISTING ADJOINING PROP. LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING EASEMENT
- EXISTING SETBACK BOUNDARY
- EXISTING BUILDING
- EXISTING 1' CONTOURS
- EXISTING 5' CONTOURS
- EXISTING SPOT ELEVATION
- EXISTING SOIL TYPE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING STORM INLET AND PIPE
- EXISTING MANHOLE AND PIPE
- EXISTING U/G FIRE LINE
- EXISTING U/G WATER LINE
- EXISTING U/G ELECTRIC LINE
- EXISTING U/G TELEPHONE LINE
- EXISTING U/G GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE & SHRUB LINE

PROPOSED FEATURES

- PROPOSED BUILDING
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED CONCRETE PAD/SIDEWALK
- PROPOSED PAVERS
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE CURB
- NUMBER OF PROPOSED PARKING SPACES
- PROPOSED SIGN
- PROPOSED 1' CONTOURS
- PROPOSED 5' CONTOURS
- PROPOSED SPOT ELEVATION
- PROPOSED STORMWATER MANAGEMENT FACILITY
- PROPOSED STORM PIPE AND INLET
- PROPOSED STORM PIPE AND MANHOLE
- PROPOSED STORM PIPE AND CLEANOUT
- PROPOSED PIPE FLOW ARROW

DRAINAGE FEATURES

- POST-DEVELOPMENT DRAINAGE AREA
- POST-DEVELOPMENT DRAINAGE AREA TO FCMB BAYS
- POST-DEVELOPMENT INLET DRAINAGE AREA
- POST-DEVELOPMENT TO PATH

POST-DEVELOPMENT DRAINAGE AREA PLAN

NO.	DATE	REVISION

PRELIMINARY LAND DEVELOPMENT PLAN
FOR
ONE CTDI PLACE
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

Chester Valley ENGINEERS, INC.
831 Pleasant Road, Suite 200, Parkersburg, PA 17655
610-644-4523
www.chestervalley.com

PROJECT NO. **22024**
F.A. _____

SCALE	DATE	DRAWN BY	CHECKED BY	DRAWING
1" = 30'	4/29/2024	RJB	FEL	

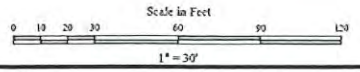
UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

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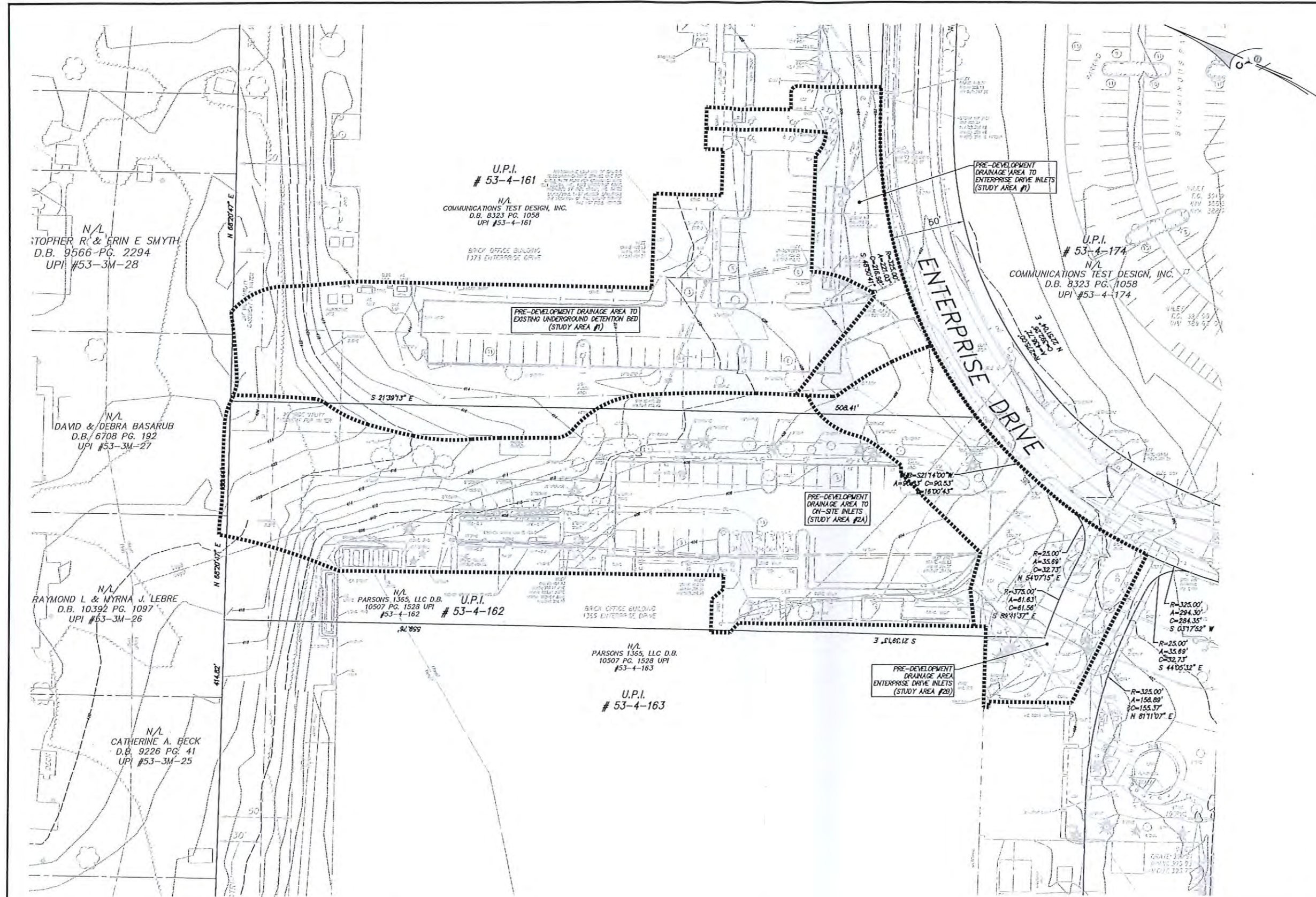
PROPERTY OWNERS:
 U.P.I. #53-4-161: N/L TOPHER R. & ERIN E. SMYTH, D.B. 9566-PG. 2294, UPI #53-3M-28
 U.P.I. #53-4-174: N/L COMMUNICATIONS TEST DESIGN, INC., D.B. 8323 PG. 1058, UPI #53-4-174
 U.P.I. #53-3M-27: N/L DAVID & DEBRA BASARUB, D.B. 6708 PG. 192, UPI #53-3M-27
 U.P.I. #53-3M-26: N/L RAYMOND L. & MYRNA J. LEBRE, D.B. 10392 PG. 1097, UPI #53-3M-26
 U.P.I. #53-3M-25: N/L CATHERINE A. BECK, D.B. 9226 PG. 41, UPI #53-3M-25
 U.P.I. #53-4-162: N/L PARSONS 1365, LLC D.B. 10507 PG. 1528, UPI #53-4-162
 U.P.I. #53-4-163: N/L PARSONS 1365, LLC D.B. 10507 PG. 1528, UPI #53-4-163
 U.P.I. #53-4-164: N/L PARSONS 1365, LLC D.B. 10507 PG. 1528, UPI #53-4-164

SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO BEDROCK	PERCENTAGE OF SAND	PERCENTAGE OF SILT	PERCENTAGE OF CLAY	MOISTURE CONTENT (%)	SHRINKAGE (%)	PLASTICITY INDEX	UNIFORM SOIL CLASSIFICATION
Uwp	SH TO SLT CLAYS	6"	27-79	NONE	NONE	C	NO		
Uwp	SH TO SLT CLAYS	6"	27-79	NONE	NONE	C	NO		



PROJECT NO. 22024



LEGEND

EXISTING FEATURES

- EXISTING PROPERTY BOUNDARY
- EXISTING ADJOINING PROP. LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING EASEMENT
- EXISTING SETBACK BOUNDARY
- EXISTING BUILDING
- EXISTING 1' CONTOURS
- EXISTING 5' CONTOURS
- EXISTING SPOT ELEVATION
- EXISTING SOIL TYPE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING STORM INLET AND PIPE
- EXISTING MANHOLE AND PIPE
- EXISTING U/G FIRE LINE
- EXISTING U/G WATER LINE
- EXISTING U/G ELECTRIC LINE
- EXISTING U/G TELEPHONE LINE
- EXISTING U/G GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE & SHRUB LINE

DRAINAGE FEATURES

- PRE-DEVELOPMENT DRAINAGE AREA
- PRE-DEVELOPMENT T&P

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

NOT TO SCALE OF THESE PLANS:

OWNER'S NOTICE: THE INFORMATION CONTAINED ON THIS PLAN WAS NOT OBTAINED BY CHESTER VALLEY ENGINEERS, INC. OR ANY OTHER PERSON OR ENTITY FROM ANY SOURCE OTHER THAN THE RECORDS OF THE CHESTER COUNTY RECORDS DEPARTMENT. THE INFORMATION IS PROVIDED AS IS AND WITHOUT WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO THE WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, AND NONINFRINGEMENT. THE USER OF THIS INFORMATION SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION AND FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SEE SHEET 1 FOR FACILITY OWNERS DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO BOUNDEDLY HIGH WATER TABLE	DEPTH TO BEDROCK	FREQUENCY OF FLOODING	PERCENT SAND	PERCENT SILT	PERCENT CLAY	HYDROLOGIC SOIL GROUP	WATER BEARING RATING
Usp1	SK TO BK SLOPES	8"	20"-70"	NONE	NONE	C	NO		
Usp2	BK TO 25% SLOPES	8"	20"-70"	NONE	NONE	C	NO		

PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE

EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC.

832 Phoenix Road, Suite 200, P.O. Box 191115
 63044-4822
 Chester, PA 19380

PROJECT NO: 22024

DATE: 4/29/2014

SCALE: 1" = 30'

REVISIONS

NO.	DATE	REVISION

SCALE

1" = 30'

Scale in Feet

0 10 20 30 40 50 60 70 80 90 100 110 120

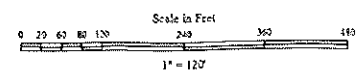
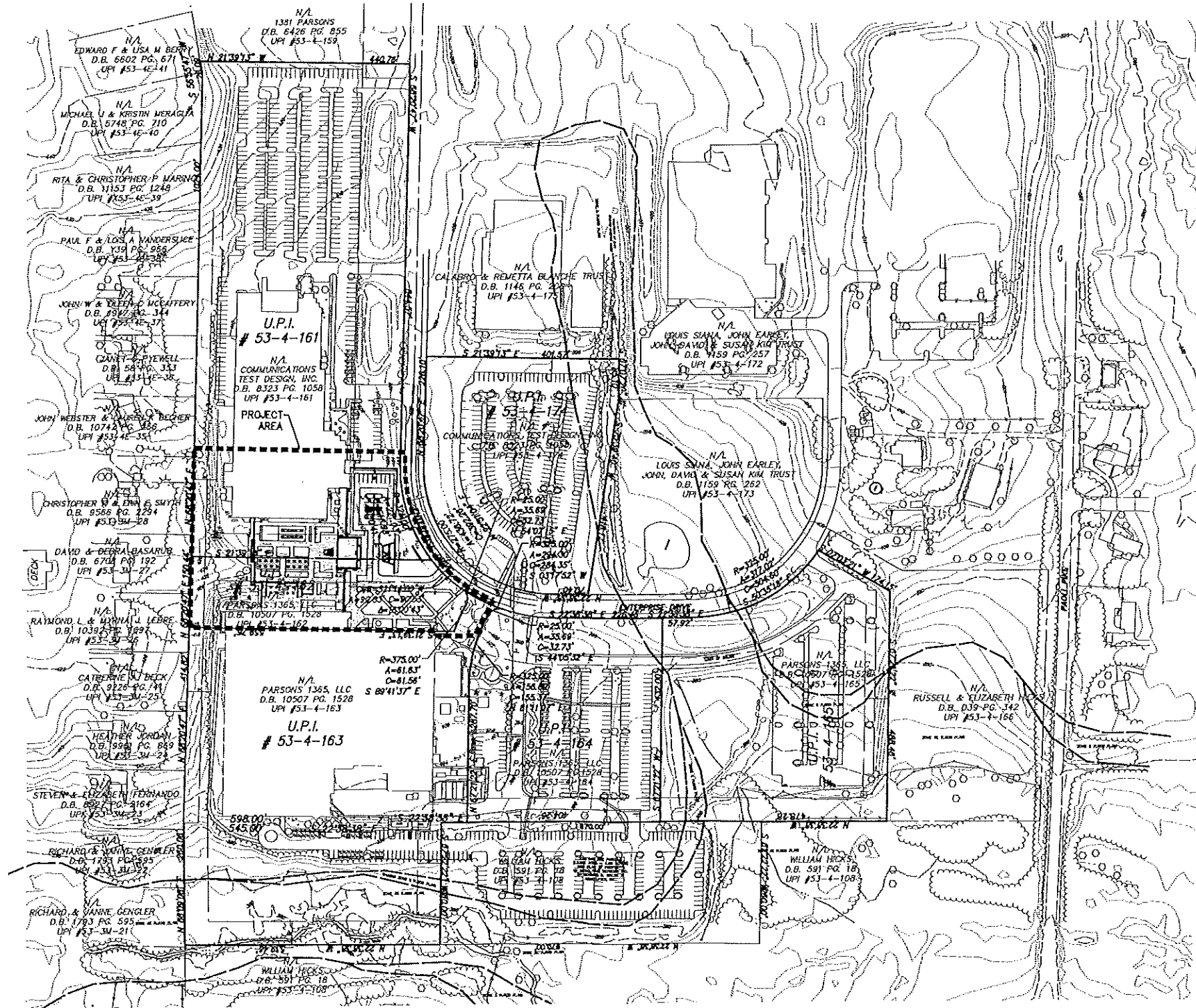
PRELIMINARY LAND DEVELOPMENT PLANS ONE CTDI PLACE FOR COMMUNICATIONS TEST DESIGN, INC. (CTDI)

SHEET INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	DEMOLITION PLAN
4, 5	CONDOMINIUM PLAN
6	SITE PLAN
7, 8	GRADING & UTILITIES PLANS
9	CONSTRUCTION DETAILS
10	PROFILES
11	EROSION & SEDIMENTATION CONTROL PLAN
12	EROSION & SEDIMENTATION CONTROL NOTES
13	EROSION & SEDIMENTATION CONTROL DETAILS
14	POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN
15	POST-CONSTRUCTION STORMWATER MANAGEMENT NOTES & DETAILS
16	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS
17	VEHICLE TRACKING PLAN

EAST GOSHEN TOWNSHIP UTILITY LIST

COMPANY: AIRT ADDRESS: 1100 3RD AVE ALTOONA, PA 15002 CONTACT: PAT SUTTON EMAIL: psutton@airt.com PHONE: (814) 321-6479	COMPANY: FICO ENERGY C/O UIC ADDRESS: 450 S HEDGECOCK RD. SUITE B KNOX OF PHILADEL, PA 19108 CONTACT: BRUCE SHIVERS EMAIL: bshivers@fico.com PHONE: (484) 681-2720
COMPANY: COMCAST ADDRESS: 153 SHOEMAKER RD POTSDOM, PA 17864 CONTACT: MIKE KIMBERLY EMAIL: mike_kimberly@comcast.com PHONE: (717) 255-8788	COMPANY: LINEN FORMERLY LEVEL 3 ADDRESS: 1025 DLOORADO BLVD BROOKFIELD, CO 80021 CONTACT: LINEN OPERATOR PERSONNEL EMAIL: TELECOM@LEVEL3.COM PHONE: (877) 344-8344 EXT. 3
COMPANY: EAST GOSHEN TOWNSHIP ADDRESS: 1550 PAOLI PKE WEST CHESTER, PA 19380 CONTACT: MARK MILLER EMAIL: mmiller@eastgoshen.org PHONE: (610) 692-7171 EXT. 3452	COMPANY: ENERGY TRANSFER ADDRESS: 1300 MAIN ST HOUSTON, TX 77002 CONTACT: KEVIN OSBEA EMAIL: KEVIN.OSBEA@ENERGYTRANSFER.COM PHONE: (713) 684-7187
COMPANY: AQUA PENNSYLVANIA ADDRESS: 782 LANCASTER AVE ERTM LAUREL, PA 19040 CONTACT: THOMAS WALCOT EMAIL: TWALCOT@AQUAAMERICA.COM PHONE: (610) 525-1400 EXT. 52105	COMPANY: TRANSCONTINENTAL GAS/WILLIAMS GAS ADDRESS: 53 FAUSER RD PRINCETON, NJ 08540 CONTACT: JUSTIN ADAMS EMAIL: jadams@transcontinental.com PHONE: (609) 745-2125
COMPANY: COMCAST ADDRESS: 1004 CORNERSTONE BLVD DOWNTOWN, PA 19133 CONTACT: TOM RUSSELL EMAIL: tom_russell@comcast.com PHONE: (610) 842-2501	COMPANY: WORTON BUSINESS FORMERLY WJ ADDRESS: 7000 WESTON PIKE CARY, NC 27513 CONTACT: WCTOR WOOD EMAIL: wctor.wood@worton.com PHONE: (919) 414-2782



CVE
ChesterValley
ENGINEERS, INC.
112 Moores Road, Suite 200, Malvern, PA 19355
610-644-6523
www.chestervalley.com

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

PRELIMINARY LAND DEVELOPMENT
ONE CTDI PLACE
ISSUED: APRIL 29, 2024
REVISED:
CVE PROJECT #: 22024



- LEGEND**
- EXISTING FEATURES**
- EXISTING PROPERTY BOUNDARY
 - EXISTING ADJOINING PROP. LINE
 - EXISTING RIGHT-OF-WAY LINE
 - EXISTING EASEMENT
 - EXISTING SETBACK BOUNDARY
 - EXISTING BUILDING
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 - EXISTING SIGN
 - EXISTING UTILITY POLE
 - EXISTING CONIFEROUS TREE
 - EXISTING DECIDUOUS TREE
 - EXISTING TREE & SHRUB LINE

- GENERAL NOTES:**
1. BEING CHESTER COUNTY UNIFORM PARCEL IDENTIFIERS: 53-4-161, 162, 163, 164, & 165.
 2. GROSS TRACT AREAS:
 U.P.I. # 53-4-161 - 10,806 ACRES
 U.P.I. # 53-4-162 - 1,334 ACRES
 U.P.I. # 53-4-163 - 8,933 ACRES
 U.P.I. # 53-4-164 - 4,500 ACRES
 U.P.I. # 53-4-165 - 5,300 ACRES
 3. THE TOPOGRAPHY AND IMPROVEMENTS SHOWN WAS PHOTOGRAMMETRICALLY COMPILED BY AERO-METRIC FROM PHOTOGRAPHY TAKEN DECEMBER 24, 2010 SUPPLEMENTED AND CONTROLLED BY FIELD SURVEYS PERFORMED JANUARY 4, 5, & 10, 2011 AND JULY 14, 2023 BY CHESTER VALLEY ENGINEERS, INC. ELEVATION DATUM = REFERENCE MARK #235 - PENNDOT DISK AT SOUTHWEST CORNER ABUTMENT OF PAOLI PIKE BRIDGE OVER EAST BRANCH OF CHESTER CREEK. ELEVATION = 340.00 NOV. 1929. BENCHMARK TAKEN FROM FLOOD INSURANCE RATE MAP 42028-0352 D DATED NOVEMBER 20, 1998 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
 4. BY GRAPHIC PLOTTING ONLY, PARCELS #53-4-163, #54-4-164 & #54-4-165 LIE WITHIN AREAS IDENTIFIED AS "ZONE A, ZONE AE & ZONE X" ON FLOOD INSURANCE RATE MAPS 4202802100 & 4202902150 DATED SEPTEMBER 29, 2017 FOR CHESTER COUNTY, PENNSYLVANIA BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. SOILS INFORMATION TAKEN FROM USDA NACS WEB SOIL SURVEY MAP.
 5. WETLANDS LOCATIONS SHOWN ON PARCELS #53-4-163 & #53-4-165 FROM PHYSICAL FIELD SURVEY BY CHESTER VALLEY ENGINEERS, INC. OF POINTS MARKED BY DEL VAL SOIL & ENVIRONMENTAL CONSULTANTS, INC., DOLESTOWN, PA.
 6. THE LOCATION OF EXISTING EASEMENTS WAS TAKEN FROM EXISTING PLANS. THE EASEMENTS WERE NOT DESCRIBED WITH BEARINGS AND DISTANCES. THE EASEMENT LOCATIONS ARE TO BE CONSIDERED APPROXIMATE.
 7. SCHEDULE B - PART 2 OF TITLE COMMITMENT NO. 2023-2478 KW, NOT DATED, ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, INCLUDES THE FOLLOWING EXCEPTIONS:
 9. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 203 PAGE 715. [LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE] (AS TO TRACTS I AND II)
 10. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 248 PAGE 296. [LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE] (AS TO TRACTS I AND II)
 11. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 563 PAGE 230. [LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE] (AS TO TRACTS I AND II)
 12. INSTRUMENT ESTABLISHING PROTECTIVE COVENANTS FOR GOSHEN CORPORATE PARK RECORDED IN MISCELLANEOUS DEED BOOK 541 PAGE 88. [EXPIRED JANUARY 1, 2010] FIRST AMENDMENT THERETO AS IN RECORD BOOK 4489 PAGE 1731. [EXPIRED BY EXPIRATION CLAUSE IN 841768] (AS TO TRACTS I AND II)
 13. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 585 PAGE 421. [BLANKET RIGHT OF WAY - NOT PLOTTABLE] (AS TO TRACTS I AND II)
 14. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 1045 PAGE 82. [NOT PLOTTABLE FROM SCHEMATIC DIAGRAM SUPPLIED] (AS TO TRACT I)
 15. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 2512 PAGE 16. [BLANKET EASEMENT - NOT PLOTTABLE] (AS TO TRACT I)
 16. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 3272 PAGE 259. [DOCUMENT NOT PROVIDED - NOT PLOTTABLE] (AS TO TRACT I)
 17. CONDITIONS AS SHOWN ON PLAN #352 AS FOLLOWS: (A) TEMPORARY O.A.-CE-SAG EASEMENT (LOT 7) [DOES NOT AFFECT PREMISES]; (B) REDEMPTION OF BUILDING SETBACK LINES: [PLOTTED]; (C) 30 FEET WIDE BUFFER PLANTING STRIP THROUGH REAR OF LOT. [PLOTTED] (AS TO TRACTS I AND II)
 18. CONDITIONS AS SHOWN ON PLAN #183 AS FOLLOWS: (A) REQUIREMENT OF BUILDING SETBACK LINES; [PLOTTED] (B) 20 FEET WIDE UTILITY EASEMENT FOR WATER EXTENDS THROUGH REAR OF LOTS 19 AND 18. [PLOTTED] (C) 30 FEET WIDE BUFFER PLANTING STRIP THROUGH REAR OF LOTS 18 AND 19. [PLOTTED] (AS TO TRACT I)
 19. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #353. [30 FEET WIDE BUFFER STRIP PLOTTED] (AS TO TRACT I)
 20. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #1951. [ADDITIONAL 3.234 ACRES CONVEYANCE AREA INCLUDED IN U.P.I. #53-4-163] (AS TO TRACT I)
 21. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #2114. [IMPROVEMENTS FOR PARKING LOT EXPANSION FOR Q.V.C. AS SHOWN ON PLAN] (AS TO TRACT I)

EXISTING CONDITIONS PLAN

NO.	DATE	REVISION

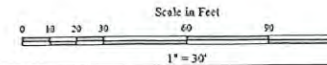
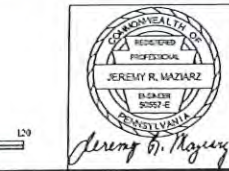
PRELIMINARY LAND DEVELOPMENT PLAN FOR

ONE CTDI PLACE

EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

Chester Valley ENGINEERS, INC. 22024
 812 Powers Road, Suite 300, Pottsville, PA 19383
 P. 610-444-4422
 www.chester-valley.com

PROJECT NO. 22024
 DATE 4/29/2024
 DRAWN BY JRM
 CHECKED BY JRM



SOILS LIST

SOIL NO.	DESCRIPTION	DEPTH TO TOP OF SOIL (FEET)	DEPTH TO BOTTOM OF SOIL (FEET)	PERCENT SAND	PERCENT SILT	PERCENT CLAY	PERCENT ORGANIC MATTER	PERCENT ROCK	PERCENT COBBLES	PERCENT Boulders	PERCENT STONES	PERCENT ROOTS
1	URBAN LAND-CONCRETS	0"	30"-70"	80%	10%	10%	C	NO	NO	NO	NO	NO
2	URBAN LAND-CONCRETS	0"	30"-70"	80%	10%	10%	C	NO	NO	NO	NO	NO

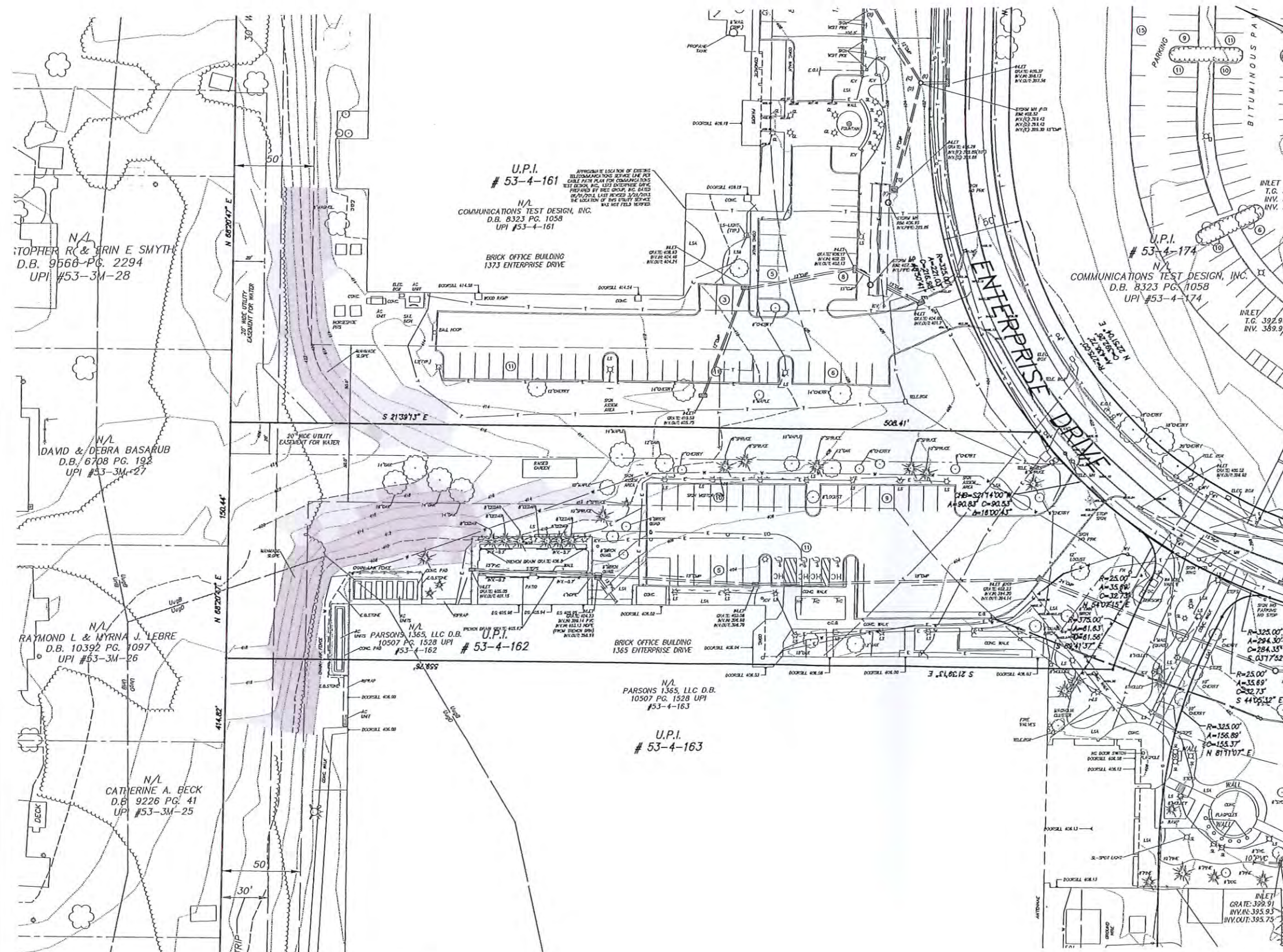


UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

NOTICE TO USER OF THESE PLANS:
 THESE PLANS AND THE INFORMATION CONTAINED THEREON ARE THE PROPERTY OF CHESTER VALLEY ENGINEERS, INC. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CHESTER VALLEY ENGINEERS, INC. ANY REPRODUCTION OR TRANSMISSION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF CHESTER VALLEY ENGINEERS, INC. IS STRICTLY PROHIBITED. ANY REPRODUCTION OR TRANSMISSION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF CHESTER VALLEY ENGINEERS, INC. IS STRICTLY PROHIBITED. ANY REPRODUCTION OR TRANSMISSION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF CHESTER VALLEY ENGINEERS, INC. IS STRICTLY PROHIBITED.

SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

PENNSYLVANIA CIVIL SYSTEM, INC.
 CALL 1-800-242-1776
 POCS SERIAL NUMBER: 2023120344



U.P.I. # 53-4-161
 N/A COMMUNICATIONS TEST DESIGN, INC.
 D.B. 8323 PG. 1058
 UPI #53-4-161

BRICK OFFICE BUILDING
 1373 ENTERPRISE DRIVE

U.P.I. # 53-4-174
 N/A COMMUNICATIONS TEST DESIGN, INC.
 D.B. 8323 PG. 1058
 UPI #53-4-174

BRICK OFFICE BUILDING
 1365 ENTERPRISE DRIVE

U.P.I. # 53-4-162
 N/A PARSONS 1365, LLC D.B.
 10507 PG. 1528 UPI #53-4-162

BRICK OFFICE BUILDING
 1365 ENTERPRISE DRIVE

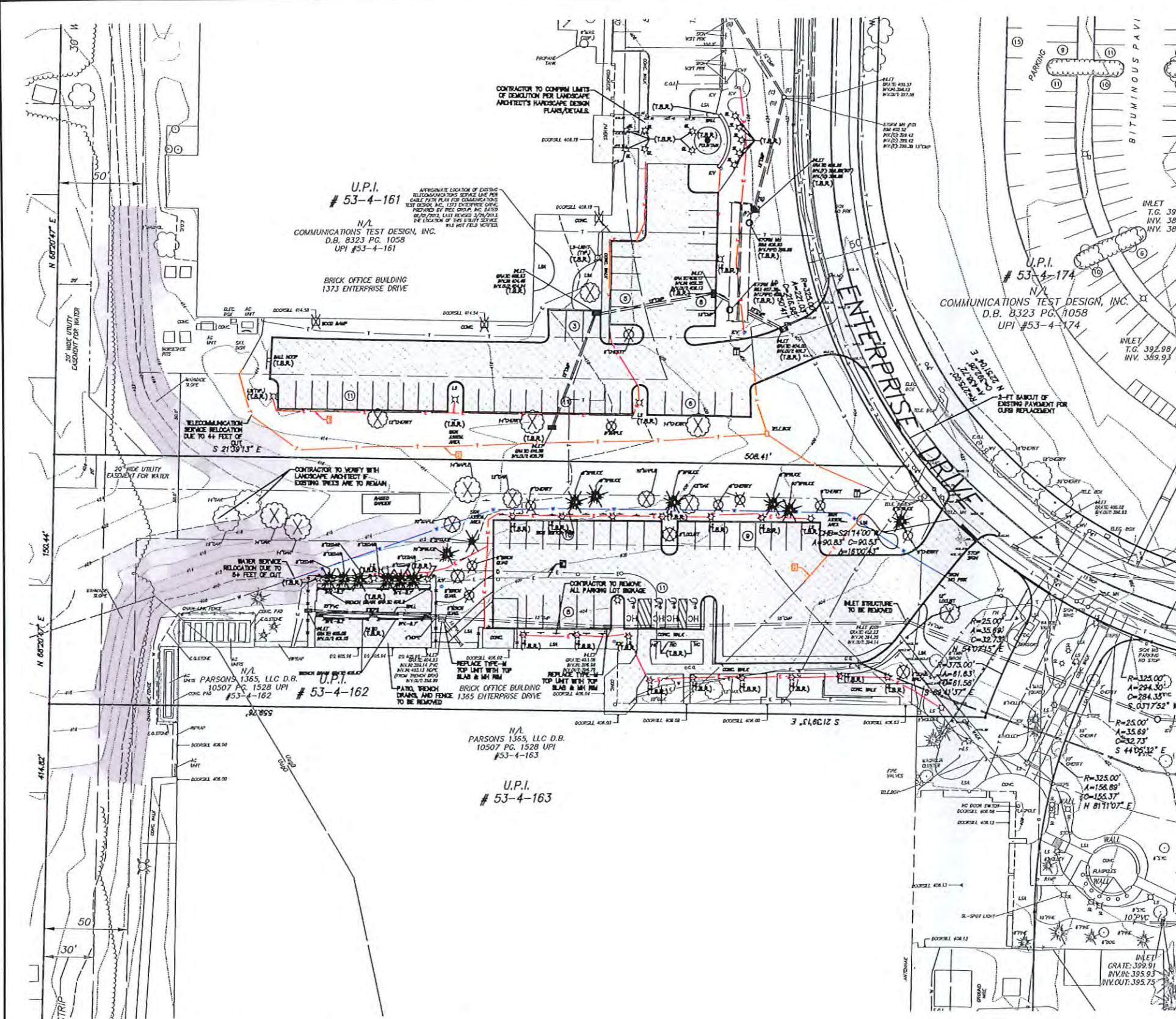
U.P.I. # 53-4-163
 N/A PARSONS 1365, LLC D.B.
 10507 PG. 1528 UPI #53-4-163

U.P.I. # 53-3M-28
 N/A TOPHER R & BRIN E SMYTH
 D.B. 9568 PG. 2294
 UPI #53-3M-28

U.P.I. # 53-3M-27
 N/A DAVID & DEBRA BASARUB
 D.B. 6708 PG. 192
 UPI #53-3M-27

U.P.I. # 53-3M-26
 N/A RAYMOND L & MYRNA J. LEBRE
 D.B. 10392 PG. 1097
 UPI #53-3M-26

U.P.I. # 53-3M-25
 N/A CATHERINE A. BECK
 D.B. 9226 PG. 41
 UPI #53-3M-25

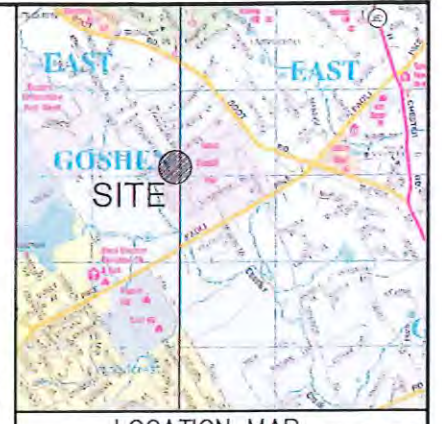


DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES WITHIN THE WORK AREA BEFORE THE START OF CONSTRUCTION. IF A CONFLICT EXISTS, CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL/DEMOLITION OF ALL ANCILLARY FEATURES WHICH ARE LOCATED ON THE PROPERTY AND CONFLICT WITH PROPOSED GRADING INCLUDING, BUT NOT LIMITED TO, POSTS, VEGETATION, PADS, STEPS, SIGNS, SCRUBS, CURBS, LIGHT AND LAMP POSTS, MAILBOXES, MECHANICAL, ELECTRICAL AND HVAC EQUIPMENT, WALLS, ROOF DRAIN PIPING, ETC.
- IF REQUIRED, CONTRACTOR IS RESPONSIBLE FOR GRADE ADJUSTMENT OF ALL SURFACE UTILITIES, INCLUDING BUT NOT LIMITED TO, VALLS, LEDS, GRATES, PINS, CAPS, STORM AND SANITARY STRUCTURES WITHIN THE LIMITS OF WORK. GRADE ADJUSTMENTS SHALL BE MADE PRIOR TO THE INSTALLATION OF PAVEMENT NEARING COURSE OR PLACEMENT OF TOPSOIL IN UNPAVED AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY OWNERS TO DISCONNECT AND CAP ALL EXISTING UTILITY SERVICES SCHEDULED FOR DEMOLITION IN ACCORDANCE WITH THE UTILITY COMPANIES REQUIREMENTS.
- AQUA PA-CAP EXISTING WATER SERVICE BEYOND THE LIMITS OF THE PROPOSED DEMOLITION AND REMOVE SERVICE LINE. SITE CONTRACTOR TO COORDINATE WITH THE OWNER AND AQUA PA FOR EXACT LOCATION OF CAPPING AND REMOVAL OF EXISTING WATERLINE, IF REQUIRED.
- PECO ENERGY CO.: CAP EXISTING ELECTRIC SERVICE BEYOND THE LIMITS OF PROPOSED DEMOLITION AND REMOVE SERVICE LINE. SITE CONTRACTOR TO COORDINATE WITH THE OWNER AND PECO FOR REMOVAL OF ELECTRIC SERVICE.
- TELECOMMUNICATIONS SERVICES: CAP EXISTING TELECOMMUNICATIONS SERVICES (PHONE, CABLE, ETC.) BEYOND THE LIMITS OF PROPOSED DEMOLITION AND REMOVE SERVICE LINES. SITE CONTRACTOR TO COORDINATE WITH THE OWNER AND UTILITY COMPANIES FOR REMOVAL OF TELECOMMUNICATION SERVICES.
- NOTE: ALL EXISTING UTILITIES THAT SERVE THE EXISTING BUILDING ON SITE AND ARE LOCATED WITHIN THE PROPOSED BUILDING FOOTPRINT ARE TO BE RE-ROUTED BEYOND THE PROPOSED BUILDING PRIOR TO DEMOLITION. IF REQUIRED, TEMPORARY UTILITY SERVICES SHALL BE PROVIDED TO ENSURE THAT ALL UTILITY SERVICES ARE NOT INTERRUPTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL EXISTING FEATURES WHICH ARE DAMAGED DURING CONSTRUCTION AND ARE INDICATED TO REMAIN.
- REMOVAL OF EXISTING PAVED SURFACES INCLUDES THE REMOVAL OF CRUSHED STONE BASE.
- REMOVAL OF ALL FENCES, POSTS AND OTHER SIMILAR FEATURES INCLUDES THE REMOVAL OF CONCRETE FOOTINGS AND BASES.
- ALL EXISTING TREES LOCATED AROUND THE PERIMETER OF THE BUILDING SHALL BE REMOVED. CONTRACTOR IS RESPONSIBLE FOR ALL TREE REMOVAL WITHIN THE PROPOSED LIMITS OF WORK, PER THE OWNER'S DISCRETION. DEMOLITION OF TREES AND OTHER VEGETATION INCLUDES REMOVAL OF ALL STUMPS AND ROOT SYSTEMS WITHIN 24" OF EXISTING GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL ELECTRICAL, MECHANICAL, AND HVAC EQUIPMENT AS REQUIRED PER THE MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- WHERE PROPOSED CURB AND SIDEWALK ARE TO MATCH EXISTING, THE CONTRACTOR IS TO PROVIDE A CLEAN TRANSITION AND REMOVE/REPLACE ANY EXISTING CURB AND/OR SIDEWALK THAT IS DAMAGED, PER THE OWNER'S DISCRETION.
- BITUMINOUS PAVING SHALL BE SAVED PRIOR TO APPLICATION OF THE NEW PAVING, INCLUDING PATCHING IN AREAS OF CURB REPLACEMENT, IF REQUIRED.
- CONTRACTOR IS TO VERIFY WITH OWNER AND LANDSCAPE ARCHITECT WHICH EXISTING TREES ARE TO BE REMOVED OR REQUIRE SELECTIVE PRUNING DUE TO THE CLOSE PROXIMITY TO THE PROPOSED CONSTRUCTION.
- CONTRACTOR IS TO VERIFY WITH OWNER IF EXISTING LIGHT POLES/FIXTURES TO BE REMOVED ARE TO BE RE-INSTALLED OR REPLACED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL LIGHTS, BASES, WIRING AND CONDUITS FOR ALL LIGHTS TO BE REMOVED.
- CONTRACTOR SHALL PROVIDE SAFE PEDESTRIAN ACCESS TO BUILDING ENTRANCES DURING SITE CONSTRUCTION PER OWNER'S BUILDING ACCESS REQUIREMENTS.
- CONTRACTOR TO VERIFY IF EXISTING PARKING LOT AND DRIVEWAY SIGNAGE TO BE REMOVED ARE TO BE RE-INSTALLED OR REPLACED WITH NEW SIGNAGE (STOP SIGNS, ADA PARKING SIGNS, DIRECTIONAL SIGNS, ETC.)

UTILITY LEGEND/NOTES

- E** CONTRACTOR TO VERIFY EXISTING ELECTRICAL SERVICE LIMITS TO REMAIN.
- T** CONTRACTOR TO VERIFY EXISTING TELECOMMUNICATION SERVICE LIMITS TO REMAIN.
- 1** EXISTING ELECTRICAL SERVICE, LIGHT STANDARDS, ETC. TO BE REMOVED (CONTRACTOR TO VERIFY REMOVAL LIMITS).
- 2** EXISTING TELECOMMUNICATION SERVICES TO BE REMOVED (CONTRACTOR TO VERIFY REMOVAL LIMITS).
- 3** EXISTING WATER SERVICE LINE TO BE REMOVED
- 4** EXISTING ELECTRIC SERVICE LINE TO BE REMOVED
- 5** EXISTING TELECOMMUNICATION SERVICE LINE TO BE REMOVED



LEGEND

EXISTING FEATURES	
---	EXISTING PROPERTY BOUNDARY
---	EXISTING ADJOINING PROP. LINE
---	EXISTING RIGHT-OF-WAY LINE
---	EXISTING EASEMENT
---	EXISTING SETBACK BOUNDARY
---	EXISTING BUILDING
---	EXISTING 1" CONTOURS
---	EXISTING 5' CONTOURS
---	EXISTING SPOT ELEVATION
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---	EXISTING EDGE OF PAVEMENT
---	EXISTING FENCE
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---	EXISTING U/G ELECTRIC LINE
---	EXISTING U/G GAS LINE
---	EXISTING OVERHEAD WIRES
---	EXISTING LIGHT POLE
---	EXISTING UTILITY POLE
---	EXISTING CONIFEROUS TREE
---	EXISTING DECIDUOUS TREE
---	EXISTING TREE & SHRUB LINE

DEMOLITION FEATURES	
(T.A.R.)	TO BE REMOVED
---	EXISTING FEATURE TO BE REMOVED
---	EXISTING PAVEMENT / CONCRETE / STRUCTURE TO BE REMOVED

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

NOTICE TO USER OF THESE PLANS:
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CHESTER VALLEY ENGINEERS, INC. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CHESTER VALLEY ENGINEERS, INC. ANY UNAUTHORIZED USE OF THESE PLANS IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.

CONTRACTOR TO REMOVE EXISTING ELECTRICAL SERVICE LIMITS TO REMAIN.

CONTRACTOR TO REMOVE EXISTING TELECOMMUNICATION SERVICE LIMITS TO REMAIN.

CONTRACTOR TO REMOVE EXISTING WATER SERVICE LINE TO BE REMOVED.

CONTRACTOR TO REMOVE EXISTING ELECTRIC SERVICE LINE TO BE REMOVED.

CONTRACTOR TO REMOVE EXISTING TELECOMMUNICATION SERVICE LINE TO BE REMOVED.

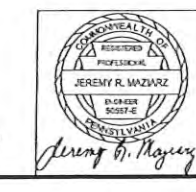
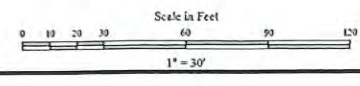
SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO SEASONALLY HIGH WATER TABLE	DEPTH TO PERMANENT WATER TABLE	PERCENT SAND	PERCENT SILT	PERCENT CLAY	PERCENT ORGANIC MATTER	PERCENT ROCK
Ug1p	Ug1p	0-10"	0-10"	85%	10%	5%	0%	0%
Ug2p	Ug2p	0-10"	0-10"	85%	10%	5%	0%	0%

SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

POCS SERIAL NUMBER: 2022113344

1-800-242-1776



DEMOLITION PLAN

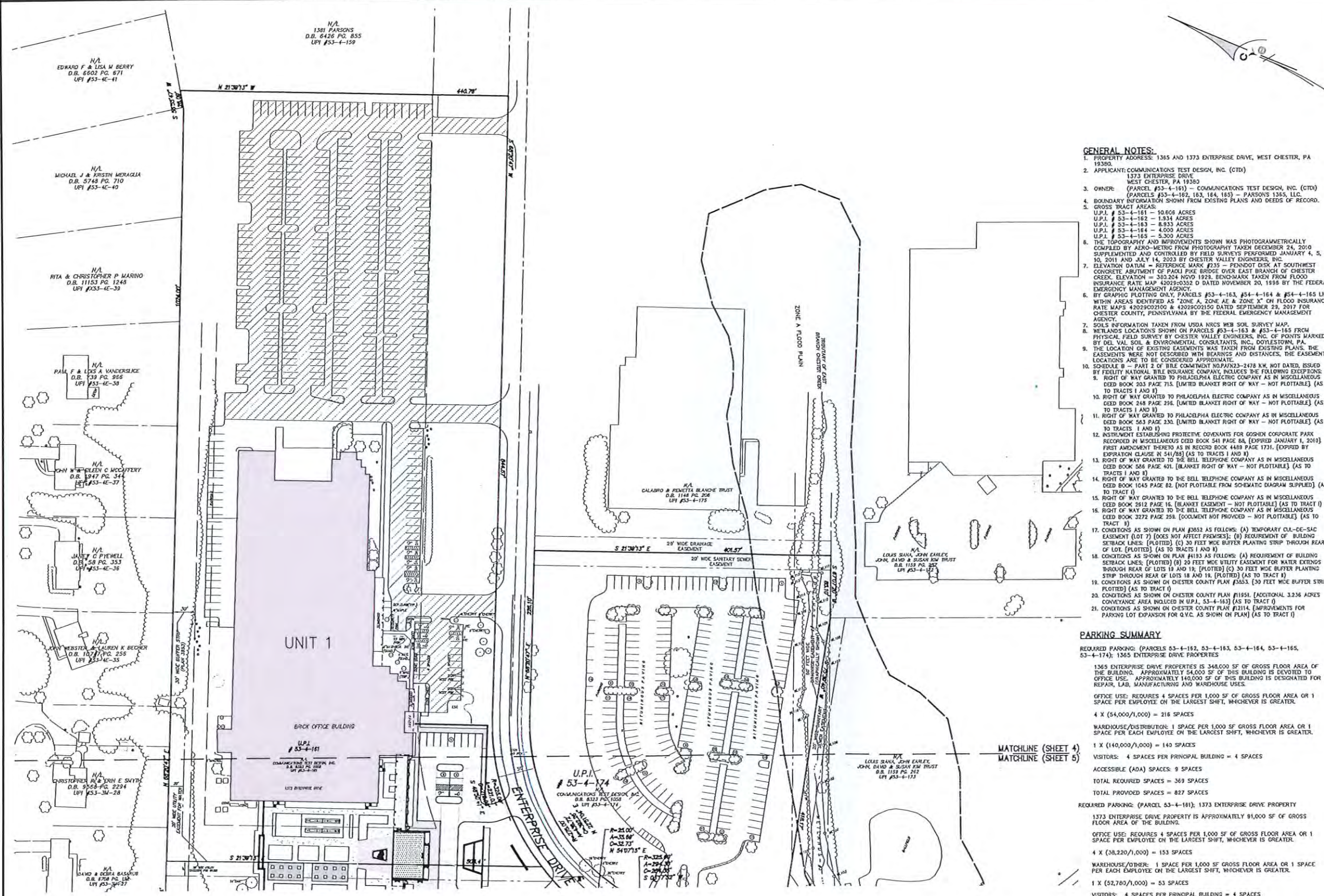
PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE

EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC. PROJECT NO. 22024

SCALE: 1"=30' DATE: 4/29/24 DRAWN BY: BRJ CHECKED BY: RMJ DRAWING

J:\CADD\2024\22024\22024.dwg 4/29/24 14:23:44



LEGEND

EXISTING FEATURES

[Symbol]	EXISTING PROPERTY BOUNDARY
[Symbol]	EXISTING ADJOINING PROP. LINE
[Symbol]	EXISTING RIGHT-OF-WAY LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	EXISTING SETBACK BOUNDARY
[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING CURB
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING CONIFEROUS TREE
[Symbol]	EXISTING DECIDUOUS TREE
[Symbol]	EXISTING TREE & SHRUB LINE

CONDOMINIUM LEGEND

[Symbol]	UNIT
[Symbol]	LIMITED COMMON ELEMENT
[Symbol]	LIMITED COMMON ELEMENT TO UNIT 1
[Symbol]	LIMITED COMMON ELEMENT TO UNIT 2
[Symbol]	COMMON ELEMENT

NOTE: LANDSCAPE AREAS AS COMMON ELEMENT OR LIMITED COMMON ELEMENT TO BE DETERMINED.

- ### GENERAL NOTES:
- PROPERTY ADDRESS: 1365 AND 1373 ENTERPRISE DRIVE, WEST CHESTER, PA 19380.
 - APPLICANT: COMMUNICATIONS TEST DESIGN, INC. (CTDI) 1373 ENTERPRISE DRIVE WEST CHESTER, PA 19380
 - OWNER: (PARCELS #53-4-161) - COMMUNICATIONS TEST DESIGN, INC. (CTDI) (PARCELS #53-4-162, 163, 164, 165) - PARSONS 1365, LLC.
 - BOUNDARY INFORMATION SHOWN FROM EXISTING PLANS AND DEEDS OF RECORD.
 - GROSS TRACT AREAS: U.P.I. # 53-4-161 - 10,608 ACRES U.P.I. # 53-4-162 - 1,934 ACRES U.P.I. # 53-4-163 - 8,933 ACRES U.P.I. # 53-4-164 - 4,000 ACRES U.P.I. # 53-4-165 - 5,300 ACRES
 - THE TOPOGRAPHY AND IMPROVEMENTS SHOWN WAS PHOTOGRAMMETRICALLY COMPILED BY AERO-METRIC FROM PHOTOGRAPHY TAKEN DECEMBER 24, 2010 SUPPLEMENTED AND CONTROLLED BY FIELD SURVEYS PERFORMED JANUARY 4, 5, & 10, 2011 AND JULY 14, 2013 BY CHESTER VALLEY ENGINEERS, INC.
 - ELEVATION DATUM - REFERENCE MARK #235 - PENNDOT DISK AT SOUTHWEST CONCRETE ABUTMENT OF PAOLI PIKE BRIDGE OVER EAST BRANCH OF CHESTER CREEK. ELEVATION = 382.04 MVD 1928, BENCH-MARK TAKEN FROM FLOOD INSURANCE RATE MAP 42029-0352 D DATED NOVEMBER 20, 1998 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - GRAPHIC PLOTTING ONLY, PARCELS #53-4-163, #54-4-164 & #54-4-165 LIE WITHIN AREAS IDENTIFIED AS "ZONE A, ZONE AE & ZONE X" ON FLOOD INSURANCE RATE MAPS #202902010 & #202902150 DATED SEPTEMBER 28, 2011 FOR CHESTER COUNTY, PENNSYLVANIA BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - SOILS INFORMATION TAKEN FROM USDA NRCS WEB SOIL SURVEY MAP.
 - METLANDS LOCATIONS SHOWN ON PARCELS #53-4-163 & #53-4-165 FROM PHYSICAL FIELD SURVEY BY CHESTER VALLEY ENGINEERS, INC. OF POINTS MARKED BY DEL VAL. SOIL ENVIRONMENTAL CONSULTANTS, INC. DOWLESTOWN, PA. THE LOCATION OF EXISTING EASEMENTS WAS TAKEN FROM EXISTING PLANS. THE EASEMENTS WERE NOT DESCRIBED WITH BEARINGS AND DISTANCES. THE EASEMENT LOCATIONS ARE TO BE CONSIDERED APPROXIMATE.
 - SCHEDULE B - PART 2 OF TITLE COMMITMENT NO.PA723-2478 KW, NOT DATED, ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, INCLUDES THE FOLLOWING EXCEPTIONS: 9. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 203 PAGE 715. (LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE) (AS TO TRACTS I AND II) 10. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 248 PAGE 236. (LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE) (AS TO TRACTS I AND II) 11. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 563 PAGE 230. (LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE) (AS TO TRACTS I AND II) 12. INSTRUMENT ESTABLISHING PROJECTIVE COVENANTS FOR GOSHEN CORPORATE PARK RECORDED IN MISCELLANEOUS DEED BOOK 541 PAGE 84. (EXPIRED JANUARY 1, 2010). FIRST AMENDMENT THERETO AS IN RECORD BOOK 4483 PAGE 1731. (EXPIRED BY EXPIRATION CLAUSE IN 541/84) (AS TO TRACTS I AND II) 13. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 586 PAGE 401. (BLANKET RIGHT OF WAY - NOT PLOTTABLE) (AS TO TRACTS I AND II) 14. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 1045 PAGE 82. (NOT PLOTTABLE FROM SOEMATIC DIAGRAM SUPPLIED) (AS TO TRACT I) 15. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 1512 PAGE 16. (BLANKET EASEMENT - NOT PLOTTABLE) (AS TO TRACT I) 16. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 3272 PAGE 258. (DOCUMENT NOT PROVIDED - NOT PLOTTABLE) (AS TO TRACT I) 17. CONDITIONS AS SHOWN ON PLAN #0552 AS FOLLOWS: (A) TEMPORARY OIL-DE-SAC EASEMENT (LOT 7) (DOES NOT AFFECT PREMISES); (B) REQUIREMENT OF BUILDING SETBACK LINES. (PLOTTED); (C) 30 FEET WIDE BUFFER PLANTING STRIP THROUGH REAR OF LOT. (PLOTTED) (AS TO TRACTS I AND II) 18. CONDITIONS AS SHOWN ON PLAN #1183 AS FOLLOWS: (A) REQUIREMENT OF BUILDING SETBACK LINES. (PLOTTED) (B) 30 FEET WIDE UTILITY EASEMENT FOR WATER EXTENDS THROUGH REAR OF LOTS 18 AND 19. (PLOTTED) (C) 30 FEET WIDE BUFFER PLANTING STRIP THROUGH REAR OF LOTS 18 AND 19. (PLOTTED) (AS TO TRACT I) 19. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #3553. (30 FEET WIDE BUFFER STRIP PLOTTED) (AS TO TRACT I) 20. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #1894. (ADDITIONAL 3.236 ACRES CONVEYANCE AREA INCLUDED IN U.P.I. #53-4-163) (AS TO TRACT I) 21. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #2114. (IMPROVEMENTS FOR PARSONS LOT EXPANSION FOR Q.V.C. AS SHOWN ON PLAN) (AS TO TRACT I)

- ### PARKING SUMMARY
- REQUIRED PARKING: (PARCELS 53-4-162, 53-4-163, 53-4-164, 53-4-165, 53-4-174); 1365 ENTERPRISE DRIVE PROPERTIES
- 1365 ENTERPRISE DRIVE PROPERTIES IS 348,000 SF OF GROSS FLOOR AREA OF THE BUILDING. APPROXIMATELY 54,000 SF OF THIS BUILDING IS DEVOTED TO OFFICE USE. APPROXIMATELY 140,000 SF OF THIS BUILDING IS DESIGNATED FOR REPAIR, LAB, MANUFACTURING AND WAREHOUSE USES.
- OFFICE USE: REQUIRES 4 SPACES PER 1,000 SF OF GROSS FLOOR AREA OR 1 SPACE PER EMPLOYEE ON THE LARGEST SHIFT, WHICHEVER IS GREATER.
- 4 X (54,000/1,000) = 216 SPACES
- WAREHOUSE/DISTRIBUTION: 1 SPACE PER 1,000 SF GROSS FLOOR AREA OR 1 SPACE PER EACH EMPLOYEE ON THE LARGEST SHIFT, WHICHEVER IS GREATER.
- 1 X (140,000/1,000) = 140 SPACES
- VISITORS: 4 SPACES PER PRINCIPAL BUILDING = 4 SPACES
- ACCESSIBLE (ADA) SPACES: 9 SPACES
- TOTAL REQUIRED SPACES = 369 SPACES
- TOTAL PROVIDED SPACES = 827 SPACES
- REQUIRED PARKING: (PARCEL 53-4-161); 1373 ENTERPRISE DRIVE PROPERTY
- 1373 ENTERPRISE DRIVE PROPERTY IS APPROXIMATELY 91,000 SF OF GROSS FLOOR AREA OF THE BUILDING.
- OFFICE USE: REQUIRES 4 SPACES PER 1,000 SF OF GROSS FLOOR AREA OR 1 SPACE PER EMPLOYEE ON THE LARGEST SHIFT, WHICHEVER IS GREATER.
- 4 X (91,000/1,000) = 364 SPACES
- WAREHOUSE/OTHER: 1 SPACE PER 1,000 SF GROSS FLOOR AREA OR 1 SPACE PER EACH EMPLOYEE ON THE LARGEST SHIFT, WHICHEVER IS GREATER.
- 1 X (52,780/1,000) = 53 SPACES
- VISITORS: 4 SPACES PER PRINCIPAL BUILDING = 4 SPACES
- ACCESSIBLE (ADA) SPACES: 7 SPACES
- TOTAL REQUIRED SPACES = 217 SPACES
- TOTAL PROVIDED SPACES = 403 SPACES

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

CONTRACTOR: CHESTER VALLEY ENGINEERS, INC. ONE CHESTER & SPRINGWOOD AVENUES WEST CHESTER, PA 19380
REGISTERED PROFESSIONAL ENGINEER
 CHESTER VALLEY ENGINEERS, INC. ONE CHESTER & SPRINGWOOD AVENUES WEST CHESTER, PA 19380
REGISTERED PROFESSIONAL ENGINEER
 JEREMY R. MAZURAK, P.E.
 LICENSE # 10007-E
 PENNSYLVANIA

NOTICE TO USER OF THESE PLANS:
 THE INFORMATION CONTAINED ON THIS PLAN WAS PREPARED BY CHESTER VALLEY ENGINEERS, INC. AND IS FOR YOUR INFORMATION ONLY. IT IS YOUR RESPONSIBILITY TO VERIFY THE ACCURACY OF THE INFORMATION CONTAINED ON THIS PLAN. THE INFORMATION CONTAINED ON THIS PLAN IS NOT TO BE USED AS A BASIS FOR ANY OTHER ACTION. ANY USER OF THIS PLAN ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS, ARISING FROM ANY AND ALL USES OF THIS PLAN. THE INFORMATION CONTAINED ON THIS PLAN IS NOT TO BE USED AS A BASIS FOR ANY OTHER ACTION. ANY USER OF THIS PLAN ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS, ARISING FROM ANY AND ALL USES OF THIS PLAN.

FOR MORE INFORMATION:
 CHESTER VALLEY ENGINEERS, INC.
 ONE CHESTER & SPRINGWOOD AVENUES
 WEST CHESTER, PA 19380
 (610) 336-1111
 www.cheval.com

SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

PENNSYLVANIA ONE CALL SYSTEM, INC.
 CALL 1-800-242-1776
 FOR A LIST OF ONE CALL PARTICIPATING UTILITIES.

CONDOMINIUM PLAN

NO.	DATE	REVISION

PRELIMINARY LAND DEVELOPMENT PLAN FOR

ONE CTDI PLACE

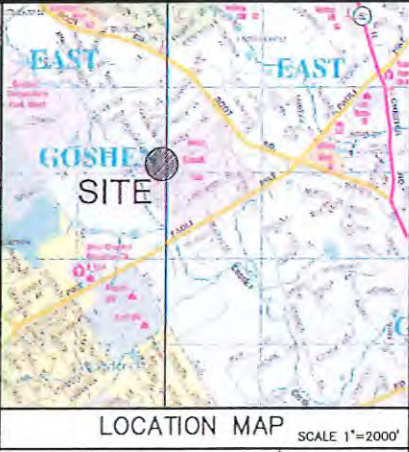
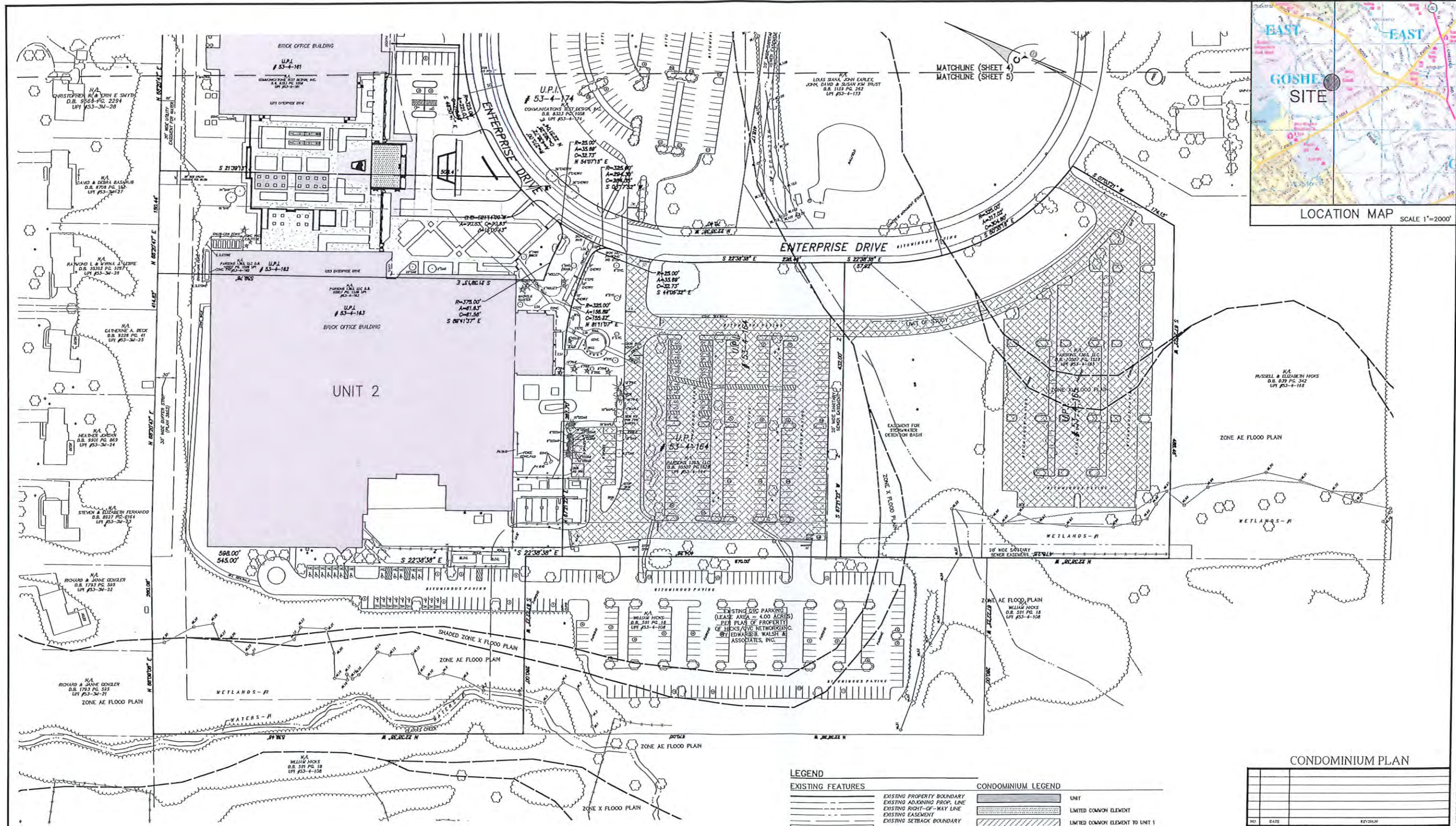
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC. PROJECT NO. 22024

102 Phoenix Road, Suite 200, Pottsville, PA 17505

610-444-4323
www.cheval.com

SCALE: 1" = 60'
 DATE: 4/29/2014
 DRAWN BY: BJB
 CHECKED BY: JRM
 DRAWING



CONTENTS
 SHEET 1: PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE
 SHEET 2: CONDOMINIUM PLAN FOR ONE CTDI PLACE
 SHEET 3: FLOOD PLANS FOR ONE CTDI PLACE
 SHEET 4: CONDOMINIUM PLAN FOR ONE CTDI PLACE
 SHEET 5: FLOOD PLANS FOR ONE CTDI PLACE

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

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LEGEND

EXISTING FEATURES	CONDOMINIUM LEGEND
EXISTING PROPERTY BOUNDARY	UNIT
EXISTING ADJOINING PROP. LINE	LIMITED COMMON ELEMENT
EXISTING RIGHT-OF-WAY LINE	LIMITED COMMON ELEMENT TO UNIT 1
EXISTING EASEMENT	LIMITED COMMON ELEMENT TO UNIT 2
EXISTING SETBACK BOUNDARY	COMMON ELEMENT
EXISTING BUILDING	
EXISTING CURB	
EXISTING EDGE OF PAVEMENT	
EXISTING FENCE	
EXISTING LIGHT POLE	
EXISTING SIGN	
EXISTING UTILITY POLE	
EXISTING CONIFEROUS TREE	
EXISTING DECIDUOUS TREE	
EXISTING TREE & SHRUB LINE	

CONDOMINIUM PLAN

NO. DATE REVISION

PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE

EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC.

122 Phoenix Road, Suite 200, Pottsville, PA 17854
 610-444-4222
 www.chestervalley.com

PROJECT NO. 22024

SCALE 1"=60'

DATE 4/29/2024

DESIGNED BY RBD

CHECKED BY JRM

DRAWN BY

LEGEND

EXISTING PROPERTY BOUNDARY
 EXISTING ADJOINING PROP. LINE
 EXISTING RIGHT-OF-WAY LINE
 EXISTING EASEMENT
 EXISTING SETBACK BOUNDARY
 EXISTING BUILDING
 EXISTING CURB
 EXISTING EDGE OF PAVEMENT
 EXISTING FENCE
 EXISTING LIGHT POLE
 EXISTING SIGN
 EXISTING UTILITY POLE
 EXISTING CONIFEROUS TREE
 EXISTING DECIDUOUS TREE
 EXISTING TREE & SHRUB LINE

CONDOMINIUM LEGEND

UNIT
 LIMITED COMMON ELEMENT
 LIMITED COMMON ELEMENT TO UNIT 1
 LIMITED COMMON ELEMENT TO UNIT 2
 COMMON ELEMENT

NOTE:
 LANDSCAPE AREAS AS COMMON ELEMENT OR LIMITED COMMON ELEMENT TO BE DETERMINED.

Scale in Feet
 0 20 40 60 80 100 120 140 160 180 200
 1" = 60'

ChesterValley ENGINEERS, INC.

PROFESSIONAL ENGINEER
 JEREMY R. MAZURZ
 No. 62828
 9052-E
 PENNSYLVANIA

Jeremy R. Mazurz

CONDOMINIUM PLAN

NO. DATE REVISION

PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE

EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC.

122 Phoenix Road, Suite 200, Pottsville, PA 17854
 610-444-4222
 www.chestervalley.com

PROJECT NO. 22024

SCALE 1"=60'

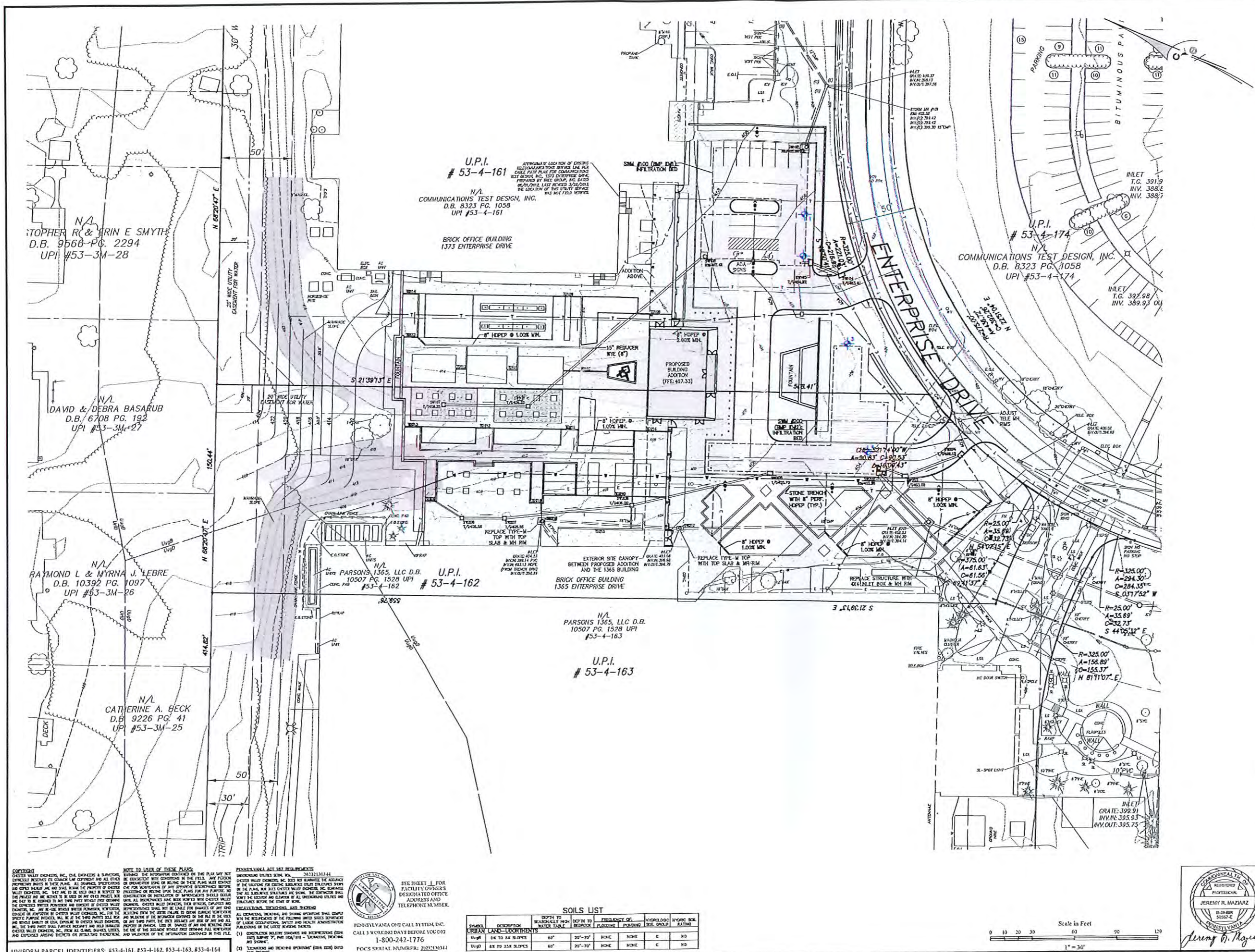
DATE 4/29/2024

DESIGNED BY RBD

CHECKED BY JRM

DRAWN BY

PENNSYLVANIA ONE CALL SYSTEM, INC.
 CALL 1-800-242-1776
 POC SERIAL NUMBER: 202213144



- LEGEND**
- EXISTING FEATURES**
- EXISTING PROPERTY BOUNDARY
 - EXISTING ADJOINING PROP. LINE
 - EXISTING RIGHT-OF-WAY LINE
 - EXISTING EASEMENT
 - EXISTING SETBACK BOUNDARY
 - EXISTING BUILDING
 - EXISTING 1' CONTOURS
 - EXISTING 5' CONTOURS
 - EXISTING SPOT ELEVATION
 - EXISTING SOIL TYPE
 - EXISTING CURB
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE
 - EXISTING STORM INLET AND PIPE
 - EXISTING MANHOLE AND PIPE
 - EXISTING U/D FIRE LINE
 - EXISTING U/D WATER LINE
 - EXISTING U/D ELECTRIC LINE
 - EXISTING U/D TELEPHONE LINE
 - EXISTING U/D GAS LINE
 - EXISTING OVERHEAD WIRES
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING UTILITY POLE
 - EXISTING CONIFEROUS TREE
 - EXISTING DECIDUOUS TREE
 - EXISTING TREE & SHRUB LINE
- PROPOSED FEATURES**
- PROPOSED BUILDING
 - PROPOSED HEAVY DUTY PAVEMENT
 - PROPOSED CONCRETE PAD/SCREENWALK
 - PROPOSED PAVERS
 - PROPOSED RETAINING WALL
 - PROPOSED CONCRETE CURB
 - NUMBER OF PROPOSED PARKING SPACES
 - PROPOSED SIGN
 - PROPOSED 1' CONTOURS
 - PROPOSED 5' CONTOURS
 - PROPOSED SPOT ELEVATION
 - PROPOSED STORMWATER MANAGEMENT FACILITY
 - PROPOSED STORM PIPE AND INLET
 - PROPOSED STORM PIPE AND MANHOLE
 - PROPOSED STORM PIPE AND CLEANOUT
 - PROPOSED PIPE FLOW ARROW

NOTES:
 1. CONTRACTOR TO REFER TO LANDSCAPE ARCHITECT'S PLANS AND DETAILS FOR ALL PAVEMENT/PAYER/HAZARDOUS LIMITS, TYPES AND PATTERNS.

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

CONTINUED: CHECKED BY: [Name], DATE: [Date].

NOTE TO OWNER OF THESE PLANS: THESE PLANS HAVE BEEN PREPARED BY CHESTER VALLEY ENGINEERS, INC. FOR THE PROJECT DESCRIBED HEREIN. THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION CONTAINED IN THESE PLANS AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION CONTAINED IN THESE PLANS NOR DOES THE ENGINEER ASSUME ANY LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL GOVERNMENT AND OTHER AGENCIES. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL GOVERNMENT AND OTHER AGENCIES. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE LOCAL GOVERNMENT AND OTHER AGENCIES.

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

PROPERTY OWNERS: U.P.I. #53-4-161, U.P.I. #53-4-174, U.P.I. #53-4-162, U.P.I. #53-4-163, U.P.I. #53-4-164.

PROPERTY OWNERS: U.P.I. #53-4-161, U.P.I. #53-4-174, U.P.I. #53-4-162, U.P.I. #53-4-163, U.P.I. #53-4-164.

PROPERTY OWNERS: U.P.I. #53-4-161, U.P.I. #53-4-174, U.P.I. #53-4-162, U.P.I. #53-4-163, U.P.I. #53-4-164.

SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO REASONABLY FIRM SUBSTRATA	DEPTH TO BEDROCK	PERCENTAGE OF FLOCCULES	PERCENTAGE OF CLAY	PERCENTAGE OF SAND	PERCENTAGE OF SILT	PERCENTAGE OF ORGANIC MATTER	PERCENTAGE OF HUMUS
U ₁ sp	DR TO BK SLOPES	60"	20"-70"	10%	10%	80%	0%	0%	0%
U ₂ sp	BR TO BK SLOPES	60"	20"-70"	10%	10%	80%	0%	0%	0%

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

PROPERTY OWNERS: U.P.I. #53-4-161, U.P.I. #53-4-174, U.P.I. #53-4-162, U.P.I. #53-4-163, U.P.I. #53-4-164.

PROPERTY OWNERS: U.P.I. #53-4-161, U.P.I. #53-4-174, U.P.I. #53-4-162, U.P.I. #53-4-163, U.P.I. #53-4-164.

PROPERTY OWNERS: U.P.I. #53-4-161, U.P.I. #53-4-174, U.P.I. #53-4-162, U.P.I. #53-4-163, U.P.I. #53-4-164.

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

PROPERTY OWNERS: U.P.I. #53-4-161, U.P.I. #53-4-174, U.P.I. #53-4-162, U.P.I. #53-4-163, U.P.I. #53-4-164.

PROPERTY OWNERS: U.P.I. #53-4-161, U.P.I. #53-4-174, U.P.I. #53-4-162, U.P.I. #53-4-163, U.P.I. #53-4-164.

PROPERTY OWNERS: U.P.I. #53-4-161, U.P.I. #53-4-174, U.P.I. #53-4-162, U.P.I. #53-4-163, U.P.I. #53-4-164.

GRADING & UTILITY PLAN

PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE

ChesterValley ENGINEERS, INC.

22024

SCALE: 1" = 30'

DATE: 4/29/2024

DRAWN BY: B.S.J.

CHECKED BY: J.M.L.

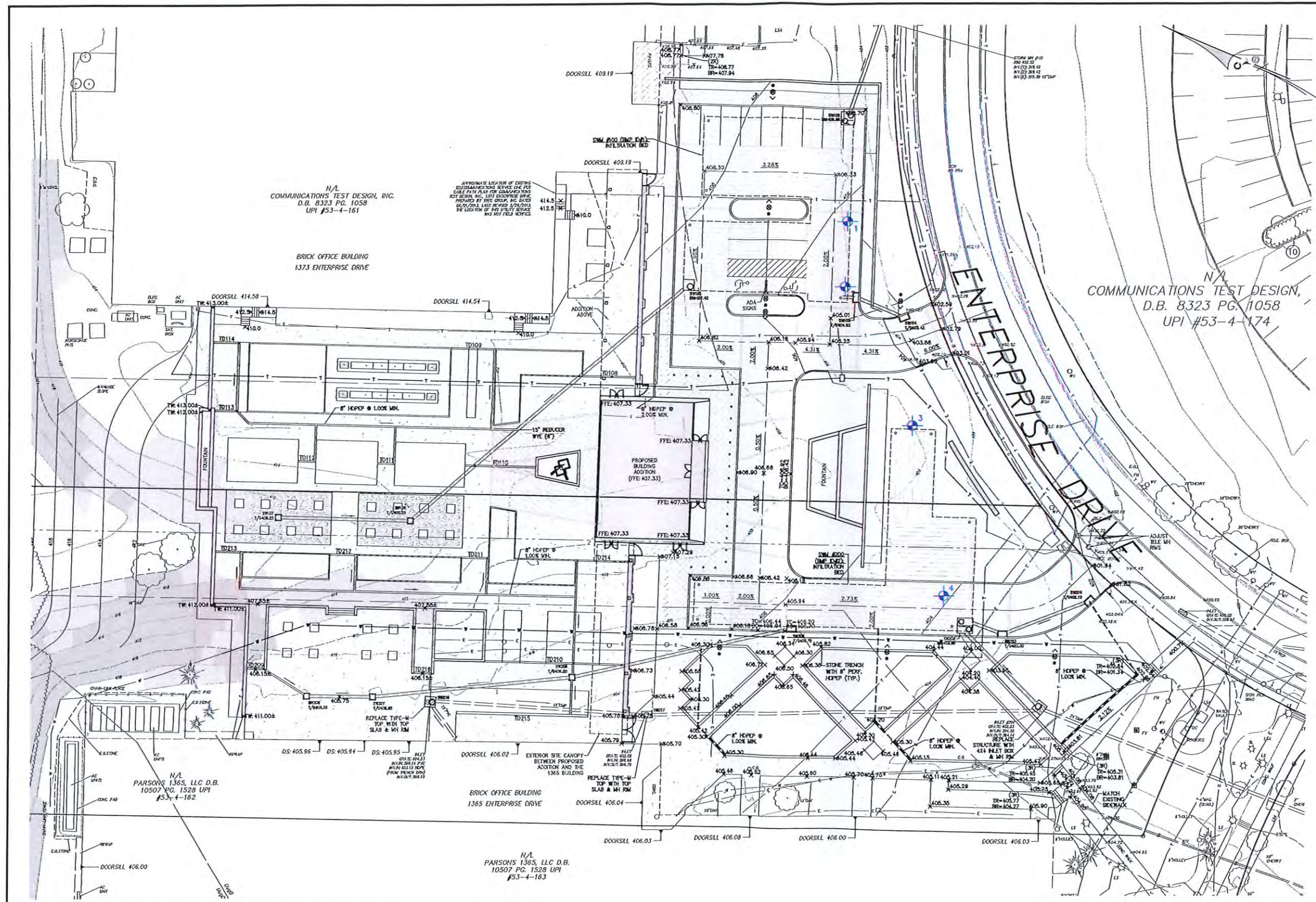
PROJECT NO: 22024

DATE: 4/29/2024

DRAWN BY: B.S.J.

CHECKED BY: J.M.L.

PENNSYLVANIA ONE CALL SYSTEM, INC. CALL 3-800-242-1776
 PENNSYLVANIA ONE CALL SYSTEM, INC. CALL 3-800-242-1776
 PENNSYLVANIA ONE CALL SYSTEM, INC. CALL 3-800-242-1776



LOCATION MAP SCALE 1"=2000'

LEGEND

EXISTING FEATURES	
[Symbol]	EXISTING PROPERTY BOUNDARY
[Symbol]	EXISTING ADJOINING PROP. LINE
[Symbol]	EXISTING RIGHT-OF-WAY LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	EXISTING SETBACK BOUNDARY
[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING 1' CONTOURS
[Symbol]	EXISTING 5' CONTOURS
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	EXISTING SOL TYPE
[Symbol]	EXISTING CURB
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING STORM INLET AND PIPE
[Symbol]	EXISTING MANHOLE AND PIPE
[Symbol]	EXISTING U/G PIPE LINE
[Symbol]	EXISTING U/G WATER LINE
[Symbol]	EXISTING U/G ELECTRIC LINE
[Symbol]	EXISTING U/G TELEPHONE LINE
[Symbol]	EXISTING U/G GAS LINE
[Symbol]	EXISTING OVERHEAD WIRES
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING CONIFEROUS TREE
[Symbol]	EXISTING DECIDUOUS TREE
[Symbol]	EXISTING TREE & SHRUB LINE
PROPOSED FEATURES	
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED HEAVY DUTY PAVEMENT
[Symbol]	PROPOSED CONCRETE PAD/SIDEWALK
[Symbol]	PROPOSED PAVERS
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED CONCRETE CURB
[Symbol]	NUMBER OF PROPOSED PARKING SPACES
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED 1' CONTOURS
[Symbol]	PROPOSED 5' CONTOURS
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED STORMWATER MANAGEMENT FACILITY
[Symbol]	PROPOSED STORM PIPE AND INLET
[Symbol]	PROPOSED STORM PIPE AND MANHOLE
[Symbol]	PROPOSED STORM PIPE AND CLEANOUT
[Symbol]	PROPOSED PIPE FLOW ARROW

NOTES:
 1. CONTRACTOR TO REFER TO LANDSCAPE ARCHITECT'S PLANS AND DETAILS FOR ALL PAVEMENT/PAVER/HARDSCAPE LIMITS, TYPES AND PATTERNS.

GRADING & UTILITY PLAN

NO.	DATE	REVISION

PRELIMINARY LAND DEVELOPMENT PLAN FOR

ONE CTDI PLACE

EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC.
 PROJECT NO. 22024
 82 Phoenix Road, Suite 200, Pottsville, PA 17855
 P.O. Box 444
 www.chestervalley.com

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

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PARSONS 1365, LLC D.B. 10507 PG. 1528 UPI #53-4-161

PARSONS 1365, LLC D.B. 10507 PG. 1528 UPI #53-4-164

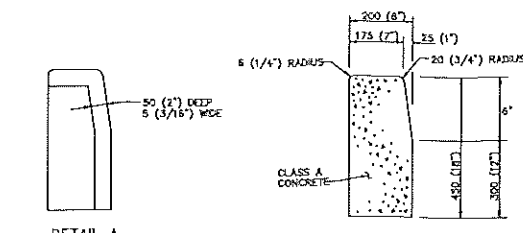
SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO BEDROCK (FEET)	PERCENT SAND	PERCENT SILT	PERCENT CLAY	PERCENT ORGANIC MATTER	HYDROLOGIC GROUP	HYDROLOGIC SUBGROUP
Ug1p	OU TO 25% SLT/CL	20'-25'	NOHC	NOHC	NOHC	C	NO	NO
Ug2p	OU TO 25% SLT/CL	20'-25'	NOHC	NOHC	NOHC	C	NO	NO

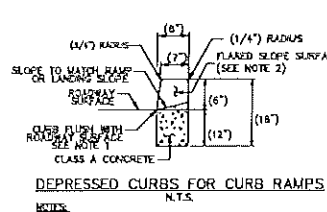
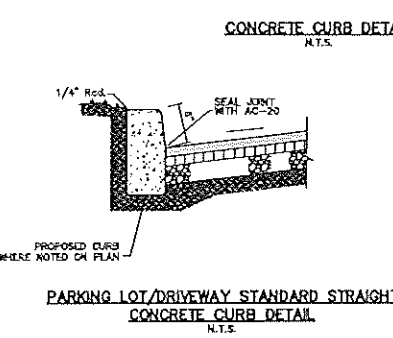
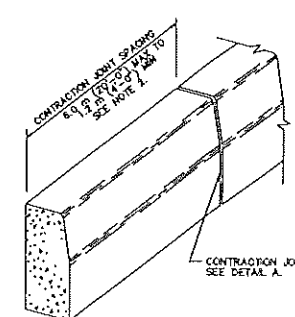
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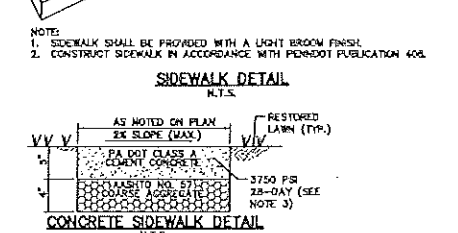
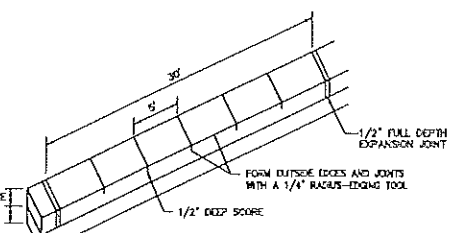
Jeremy B. Hoyer



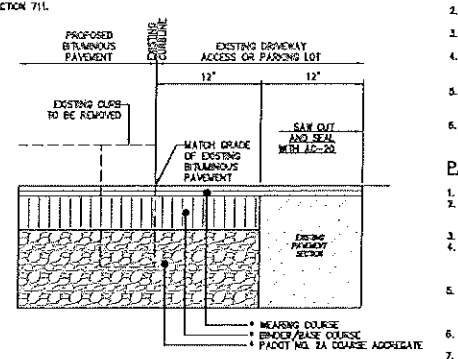
- NOTES:
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 404, SECTION 630 FOR PLAN CONCRETE CURB AND DERESSED CURB.
 2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OF SECTIONS.
 3. PLACE 3/4" FIBERGLASS EXPANSION JOINT FILLER MATERIAL AT STRUCTURES, AND AT THE END OF THE WORK DAY, CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS-SECTIONAL AREA OF CURB.
 4. ALL CURBS SHOULD BE CONSTRUCTED OF CLASS A CEMENT CONCRETE W/ A 3,000 PSI 28-DAY STRENGTH, AND SHALL BE CONSTRUCTED IN 16-FOOT LENGTHS.
 5. A FIBERGLASS BITUMINOUS IMPREGNATED 1/2" WIDE EXPANSION JOINT SHALL BE PLACED BETWEEN SECTIONS OF CURBS AT INTERVALS OF NOT MORE THAN 35-FEET.
 6. DERESSED CURB AT DRIVEWAYS SHALL BE BETWEEN ONE AND 1/2 INCHES ABOVE THE FINISHED STREET GRADE. PIPES, GRATES, WOOD PLANKS OR OTHER MATERIALS SHALL NOT BE PLACED IN THE GUTTER TO FORM A DRIVEWAY RAMP.
 7. WHEN CURBS MUST BE CUT FOR DERESSED CURB INSTALLATION, THE LENGTH OF THE REMAINING SECTION SHALL BE NO LESS THAN FOUR FEET BETWEEN EXPANSION JOINTS AND THE CUT SHALL BE MADE IN A NEAT MANNER WITH A POWER SAW EQUIPPED WITH A PROPER MASONRY CUTTING BLADE.
 8. ANY DERESSED CURB SECTIONS THAT ARE UNDESIRED WHEN A DEVELOPMENT OR PHASE OF A DEVELOPMENT IS COMPLETED, SHALL BE COMPLETELY REMOVED AND REPLACED WITH FULL SECTION UPRIGHT CURBING TO LINE AND GRADE OF ADJACENT CURBING. FORWARD AND POURING VERTICAL CURBING ON TOP OF AN EXISTING CURB DEPRESSION WILL NOT BE PERMITTED.
 9. ALL CURBING SHALL BE 6" REVEAL UNLESS NOTED OTHERWISE.
 10. EXPOSED CURB FACES SHALL HAVE A BRUSHED FINISH.
 11. BASE UNDER CONCRETE CURB SHALL BE MINIMUM 4" OF 2A WOODEN AGGREGATE.
 12. CONCRETE CURBS SHALL BE SEALED W/ AC-20 OR OTHER TOWNSHIP APPROVED CURB SEALER. THE SEAL MATERIALS SHALL EXTEND OUT A MINIMUM OF 12" FROM FACE OF CURB AND A MINIMUM 2" UP FACE. THE SEALING AND FACE SHALL BE PROPERLY CLEANED PRIOR TO SEALING TO PROMOTE MAXIMUM ADHERENCE OF THE SEALING MATERIAL.



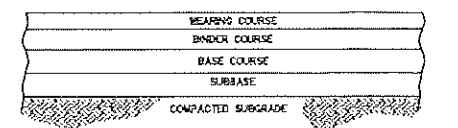
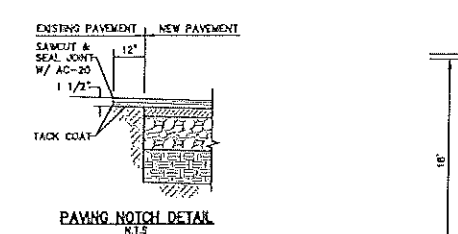
- NOTES:
1. CONSTRUCT DERESSED CURB FOR CURB RAMPS FLUSH TO ADJACENT ROADWAY GRADE EDGE OF ROAD ELEVATIONS AT THE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT POCKETING FOR LEVEL TURNING SPACES BEHIND DERESSED CURBS. ADJUST SLOPES TO PROVIDE POSITIVE DRAINAGE AT THE JOINT BETWEEN DERESSED CURB AND ROADWAYS. REMOVE EXCESS JOINT SEALER AND COVER THE SEALED AREA WITH A LIGHT APPLICATION OF GRY SAND.
 2. CURB TAPER MAY BE FIELD ADJUSTED TO MEET EXISTING CURB REVEAL HEIGHT OF EXISTING GRANITE CURB.



- NOTES:
1. PLACE 1/4" THICK FIBERGLASS EXPANSION JOINT FILLER WHERE SIDEWALK ADJUTS CURBS.
 2. CONSTRUCT SIDEWALK IN 30' LENGTHS, EXCEPT FOR CLOSURES. SEPARATE SLABS W/ A TRANSVERSE 1/4" THICK FIBERGLASS EXPANSION JOINT FILLER, 0.5% SLABS BETWEEN EXPANSION JOINTS W/ TRANSVERSE SCORIES AT 5' SPACING.
 3. PAINT CLASS "AA" CEMENT CONCRETE (3750 PSI) SHALL BE USED FOR ALL SIDEWALKS CONSTRUCTED WITHIN THE RIGHT-OF-WAY OF TOWNSHIP STREETS.
 4. LAWN RESTORATION TO CONSIST OF 4" (MIN) TOPSOIL AND PERMANENT SEED MIXTURE AND MULCH.
 5. CONCRETE CURING COMPOUND TO BE APPLIED IN ACCORDANCE WITH FENCOAT FUR 404, SECTION 711.



- NOTES:
- - SEE "REQUIRED BITUMINOUS PAVEMENT SECTION"



DEPTH	LOCATION
WEARING:	1-1/2"
BINDER:	NONE
BASE (AS NOTED):	5" 60SC
SUBBASE: PA DOT 2A COARSE AGGREGATE	8"

NOTE: FOR PAVEMENT WHERE UNCOVERED, EXTEND SUBBASE AND/OR BASE COURSE EIGHT INCHES BEYOND EACH REQUIRED EDGE OF THE BINDER AND SURFACE COURSE.

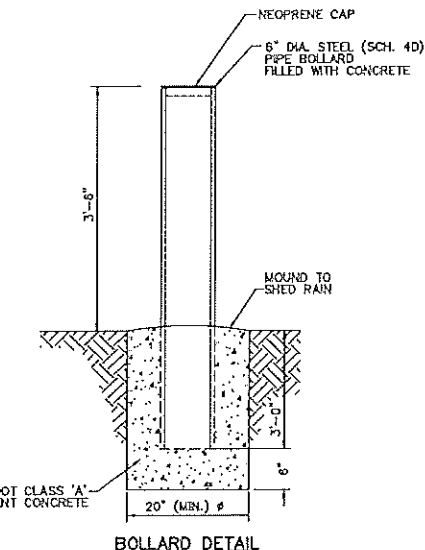
BITUMINOUS PAVEMENT SPECIFICATIONS, ALL SECTIONS, AS APPLICABLE

WEARING COURSE	SUPERPAVE ASPHALT MIXTURE DESIGN, HMA WEARING COURSE, PG 64-22, 10 TO 435 MILLION ESALS, 9.5 MIN WMA, 5.0-11
BINDER COURSE	SUPERPAVE ASPHALT MIXTURE DESIGN, HMA BINDER COURSE (LEVELING), PG 64-22, 10 TO 435 MILLION ESALS, 9.5 MIN WMA, 5.0-11
BITUMINOUS CONCRETE BASE COURSE	SUPERPAVE ASPHALT MIXTURE DESIGN, 10A BASE COURSE, PG 64-22, 10 TO 435 MILLION ESALS, 25.0 MIN WMA

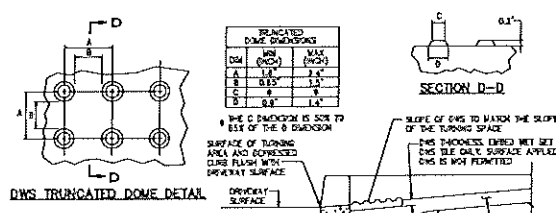
- NOTE:
1. PAVEMENT SHOULD BE INSTALLED LATE IN CONSTRUCTION WHEN MOST HEAVY CONSTRUCTION TRAFFIC WILL NO LONGER BE ON-SITE. PRIOR TO PAVING, THE SITE SHOULD BE PROPERLY LEVELED, NEW SOFT AREAS TREATED IN ACCORDANCE WITH SOIL REMEDIATION NOTES. THE BASE LEVELED AND THICKENED AS REQUIRED, AND THE SITE PAVED AT THE END OF CONSTRUCTION.
 2. FOR PAVEMENT WHERE UNCOVERED, EXTEND SUBBASE AND/OR BASE COURSE EIGHT INCHES BEYOND EACH REQUIRED EDGE OF THE BINDER AND SURFACE COURSE.
 3. FLEXIBLE (AGGREGATE) BASE SHOULD BE COMPACTED TO 100% OF THE MATERIAL'S MAXIMUM DRY DENSITY AS PER MODIFIED PROCTOR (ASTM D-1557).
 4. PAVEMENT MUST BE PLACED OVER WELL PREPARED SUBGRADE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR (ASTM D-698) DENSITY IN THE UPPER 2' BELOW SUBGRADE AND TO AT LEAST 95% OF THE STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY ELSEWHERE.
 5. SEALING MATERIAL FOR FILLING PAVEMENT JOINTS SHALL MEET THE REQUIREMENTS OF ASTM D3469 OR D1130. ALTERNATIVELY, LOW MOLECULAR MATERIALS SUCH AS SILICONE HOT OR COLD-CURED RUBBERIZED ASPHALT OR NITRILE RUBBER MEETING THE MANUFACTURER'S SPECIFICATIONS MAY BE USED.
 6. CAR TRAFFIC SHOULD NOT BE ALLOWED ON THE NEW PAVEMENT FOR AT LEAST 3-DAYS; SIGNARLY NO TRUCK TRAFFIC FOR 7-DAYS.

PAVEMENT MARKING NOTES:

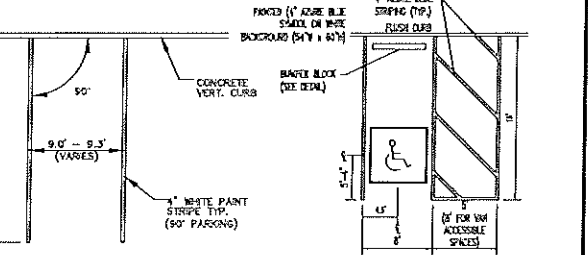
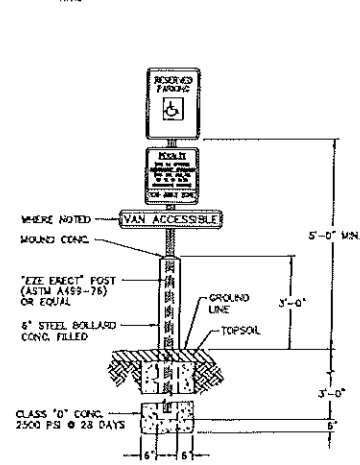
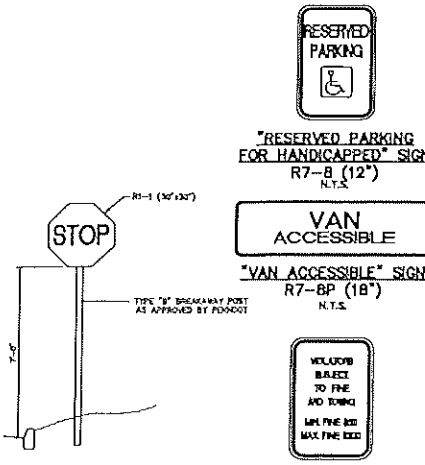
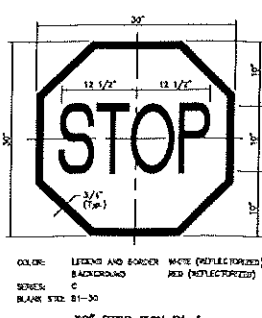
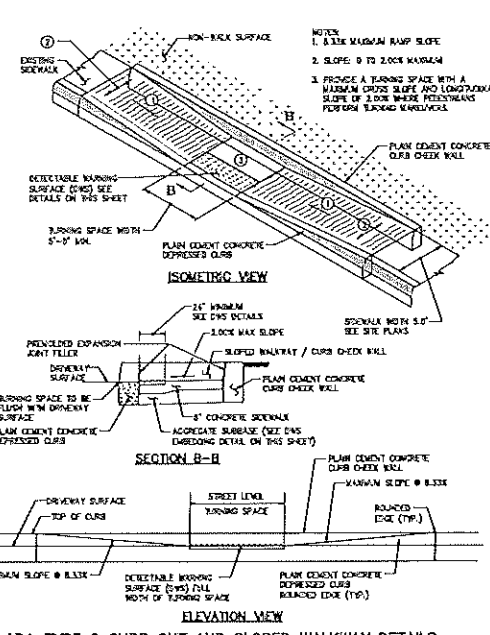
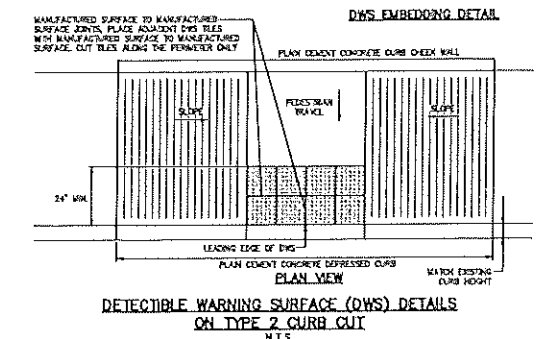
1. MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DEPARTMENT'S SPECIFICATIONS, PUBLICATION 404.
2. THESE PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS GOVERNING THE DESIGN, LOCATION, AND OPERATION OF ALL OFFICIAL TRAFFIC SIGNS, SIGNALS, AND MARKINGS ON AND ALONG HIGHWAYS WITHIN THE COMMONWEALTH OF PENNSYLVANIA.
3. ALL PAVEMENT MARKING SHALL BE REFLECTORIZED.
4. THE CONTRACTOR SHALL PREPARE THE PAVEMENT SURFACE FOR THE PROPER ADHESION. ANY SWEEPING OR REMOVAL OF DEBRIS, GRAVEL, DIRT, OR OTHER FOREIGN MATERIALS SHALL BE CONSIDERED INCIDENTAL TO THE INSTALLATION OF THE NEW PAVEMENT MARKINGS, AND NO SEPARATE PAYMENT WILL BE MADE THEREFOR.
5. ALL PAVEMENT MARKING SHALL BE REFLECTORIZED.
6. PRIOR TO THE APPLICATION, THE CONTRACTOR SHALL FIELD CHECK AND LOCATE ALL PAVEMENT MARKINGS TO THE SATISFACTION OF THE INSPECTOR.
7. ALL MARKING IMPROPERLY APPLIED OR LOCATED SHALL BE COMPLETELY REMOVED AND CORRECTLY RE-APPLIED AT THE SOLE EXPENSE OF THE CONTRACTOR.
8. WHERE BITUMINOUS SEALANTS PREVENTS OR MAKES IMPRACTICAL THE EXTENDING OF LINES TO THE FACE OF CURBS, THE CONTRACTOR SHALL EXTEND LINES TO EDGE OF SEALANT OR WITHIN ONE FOOT OF THE FACE OF CURB, WHICHEVER IS LESS.
9. ALL PROPOSED PAVEMENT MARKINGS (ARROWS, STOP BARS, CROSSMARKS, ETC.) MUST BE HOT THERMOPLASTIC ON BITUMINOUS PAVEMENT, INCLUDING LONG AND SHORT LINES AND PAVEMENT MARKING LEGENDS. ALL PROPOSED PAVEMENT MARKINGS MUST BE EPOXY OR CONCRETE PAVEMENT, INCLUDING LONG AND SHORT LINES AND PAVEMENT MARKING LEGENDS.



NOTE: BOLLARD TO BE PAINTED WITH EXTERIOR PAINT, COLOR PER OWNER.



DWS EMBEDDING NOTES: CONSTRUCT NOTCH AS SHOWN TO PROVIDE FULL THICKNESS SUBGRADE UNDER DETECTABLE SURFACE.



NOTE: (1) CURB BARS MAY NOT EXTEND INTO ANY PORTION OF THE PARKING SPACE OR ADJACENT DRIVEWAY.

CONSTRUCTION DETAILS

NO.	DATE	REVISION

PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE

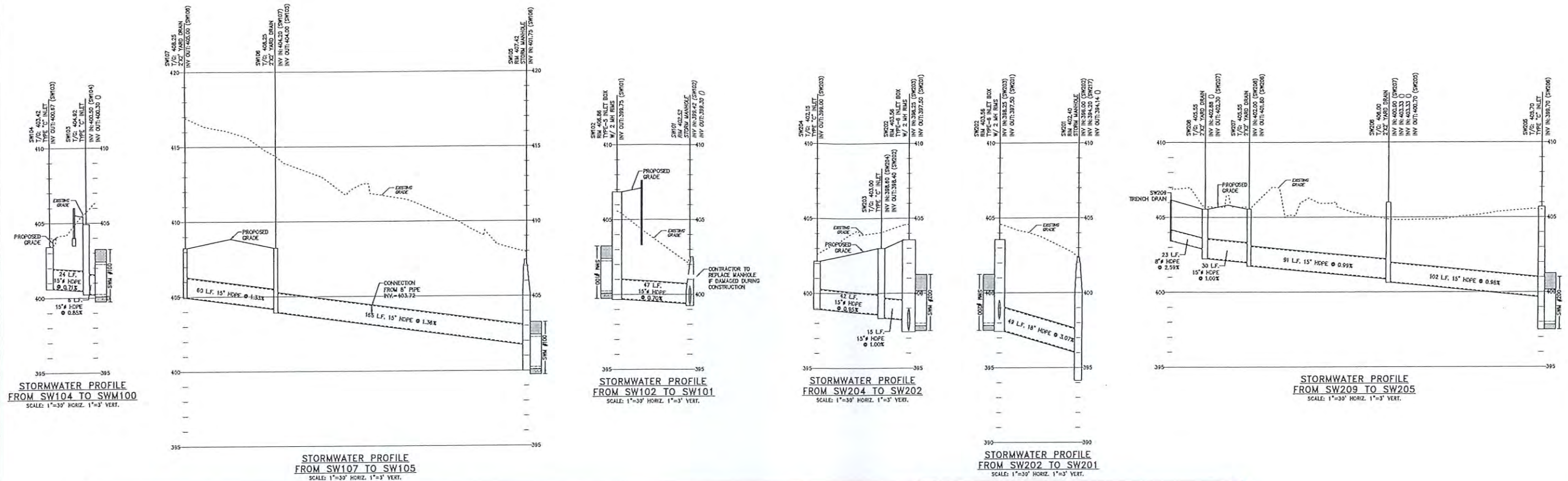
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC.

PROJECT NO. 22024

73 Powers Road, Suite 200, Malvern, PA 19355
610-444-4123
www.chestervalley.com

SCALE: AS NOTED DATE: 4-29-2024 DRAWN BY: B.R.D. CHECKED BY: J.M. DRAWING NO. 22024-01



ASTM D2321 SOIL CLASSIFICATIONS

Soil classifications are grouped by typical soil stiffness when compacted. Class I indicates a soil that generally provides the highest soil stiffness at any given percent compaction, and provides a given soil stiffness with the least compactive effort. Each higher-number soil class provides successively less soil stiffness at a given percent compaction and requires greater compactive effort to provide a given level of soil stiffness.

Thermoplastic pipe installations develop structural stability from the strength and relative stiffness of the embedment material. It is the remaining soil pipe interaction system that defines the ability of a flexible pipe to withstand service loads. Using the stiffer pipe embedment materials is key to minimizing pipe deflection and the need for detailed installation inspection and compaction testing. For these reasons only soil classifications I and II are presented here.

Successing soil classifications (III through V) may be appropriate for use but will require a more thorough analysis to determine suitability and optimum water content for compaction. Although reasonable levels of pipe support are provided when properly placed and compacted, these materials may not be suitable under the deeper fills, shutoff covers, and instances where water conditions in the trench may prevent proper placement and compaction. Since these materials may represent native soils that bring an economy to the installation, the user is advised to consult ASTM D2321 directly as a guide to their appropriate use.

Class I materials provide maximum stability and pipe support for a given percent compaction. With minimum effort, these materials can be installed at relatively high stiffnesses over a wide range of moisture contents. Suitable compaction is typically achieved with a dumped placement method or worked into the haunch zone. Worst-case impact compaction methods will ensure the highest levels of stiffness for the deeper fills.

The high permeability of Class I materials may aid in the control of water, and these materials are often desirable for embedment in rock cuts where water is frequently encountered. However, when groundwater flow is anticipated, consideration should be given to the potential for migration of fines from adjacent materials into the open-graded Class I materials.

CLASS I MATERIALS ADDENDUM

Doubly graded manufactured/processed aggregates were included as Class I materials in former editions of ASTM D2321 due to the high stiffnesses of these materials when compacted. The stone-sand mixtures of these materials are graded to minimize migration of adjacent soils and contain little or no fines. Since these materials do not flow as readily into the haunch region and require moderate compactive effort, these materials are now relegated to Class II. It should be noted that when properly placed and compacted, this material can provide an equivalent strength to Class I materials provided soil migration into adjacent soils is not a concern or has been addressed.

Class II materials provide a relatively high level of pipe support when moderately compacted with either vibration or impact compaction methods.

Class II materials have more stiffness than Class I materials, but data indicates that the stiffness of uncompact Class II materials can be taken equivalent to Class I materials compacted to 95%, and the stiffness of compacted Class I materials can be taken equivalent to Class II materials compacted to 100%.

The open-graded groups within this classification may allow migration, and the particle size distributions should be reviewed for compatibility with adjacent material.

Uniform fine sands (SF) with more than 50% passing the #100 sieve behave like silts and are not considered Class II materials.

ASTM D2321 Soil Class I Manufactured Aggregates

- Crushed rock with angular, fractured particle faces.
- 95% passing the #10 sieve
- 10% or less passing the #4 sieve
- 2% or less passing the #2 sieve
- 0% or less passing the #200 sieve
- Open graded, high permeability
- AASHTO No. 57 stone commonly used

ASTM D2321 Soil Class II Clean, Coarse-Grained Soils

- Sands and gravels with 12% or less fines.
- ASTM D2487 Soil Group
- GW: Well-graded gravels and gravel-sand mixtures
- GP: Poorly-graded gravels and gravel-sand mixtures
- SP: Poorly-graded sands and gravel-sand mixtures
- AASHTO M45 Soil Groups A1 and A2

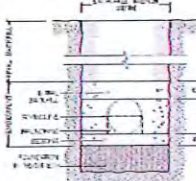
EXCAVATED TRENCH WIDTH

Trench width should be sufficient to allow proper placement and compaction of the backfill. Narrower trench widths normally provide better pipe support and it is generally recommended to maintain the minimum width unless more clearance is needed to accommodate compaction equipment in use on the project. If the native soils forming the trench wall are unstable but can sustain a vertical cut, the trench width should be increased to provide one-half diameter width of structural backfill on either side of the pipe; otherwise, a full diameter should be provided on either side of the pipe.

Minimum Trench Width (T_{min})

ID	CD	T _{min}	ID	CD	T _{min}
FT	IN	FT	IN	IN	IN
6	7.55	24	24	23.90	47
8	9.25	28	32	24.50	64
10	12.20	32	36	24.50	64
12	14.50	36	42	27.50	72
15	17.50	36	48	24.50	64
18	21.50	36	60	24.50	64

Minimum trench width per ASTM D2321 for stable trench walls is taken as the greater of the CD plus 14 inches or 1.25 times the CD plus 12 inches.



Haunch tiling is carried out on both sides simultaneously to avoid rolling the pipe, and confining the compaction force will prevent the pipe from lifting off grade. Filling adjacent sidefill zones will provide lateral support for the haunch material during the process.

Material cannot be properly worked into the haunch zone and compacted if the pipe is backfilled to the springline on the first lift. Smaller lift thicknesses may therefore be necessary initially depending on the diameter of the pipe.

Lift thickness and compaction must be done evenly on each side of the pipe. The maximum difference in the sidefill surface elevations at any given time is generally limited to one lift thickness.

While 6-inch lifts are commonly specified, 12-inch lifts can produce good results with coarse-graded backfills provided placement and compaction practices are appropriate.

It may be beneficial to require a minimum number of compaction passes and to specify a minimum density. If the specified density is 95% of maximum standard Proctor density, then good pipe performance will result; even if the compaction is slightly less than specified. An additional 6 inches of structural backfill over the top of the pipe provides a complete envelope that better locks underlying material together and protects the pipe from any damaging impacts from the final backfill.

FINAL BACKFILL

Final backfill does not directly support the pipe and is more appropriately dealt with in connection with the intended use at the surface. Selection, placement and compaction of final backfill is therefore directed by the design engineer. However, when final backfill contains large fragments or cobbles, the final backfill cover levels may need to be increased accordingly to protect the pipe from any potential impact or point loading.

MAXIMUM COVER HEIGHTS

Maximum burial depths corresponding to the soil classification system of ASTM D2321 are shown in the table below, with the best results obtained using manufactured or processed aggregates (i.e., crushed rock).

Lane HD100/HD100EC Pipe - Allowable Burial Depths (ft)

Cover	Class I		Class II		Class III	
	Compacted	Dumped	95%	90%	95%	90%
12	38	28	26	18	13	11
15	45	32	30	21	14	12
18	50	36	33	24	16	14
24	60	42	39	28	18	16
30	70	48	45	33	21	18
36	80	54	51	38	24	21
42	90	60	57	43	27	24
48	100	66	63	48	30	27
60	120	81	76	58	36	33

1. Illustrative in accordance with ASTM D2321.
2. Class I indicates a soil that generally provides the highest soil stiffness at any given percent compaction, and provides a given soil stiffness with the least compactive effort. Each higher-number soil class provides successively less soil stiffness at a given compaction and requires greater compactive effort to provide a given level of soil stiffness.
3. All acceptable backfill materials are not presented here. See ASTM D2321 for a complete listing of classifications.
4. Results based on the AASHTO LRFD design method using ternary hydraulic pressure and a soil density of 120 pcf.
5. Greater cover heights are attainable with appropriate modifications to the design method. Contact Lane for further details.
6. Dumped Class I material is estimated at 90% maximum standard Proctor density.

MINIMUM COVER HEIGHTS FOR LIVE LOADS

Truck Loadings (PCL, HCL or HLL) (ft)	12 wheel	18 wheel
Truck Loadings (PCL, HCL or HLL) (ft)	12 wheel	18 wheel
Minimum Cover for Live Loads	24 inches	24 inches
Temporary Cover for Construction Loads	24 inches	24 inches

MINIMUM COVER FOR CONSTRUCTION LOADS (ft)

Minimum Cover	12 wheel	18 wheel
Minimum Cover for Construction Loads	24 inches	24 inches
Minimum Cover for Construction Loads	24 inches	24 inches

NOTE: Information contained herein is meant as a discretionary guide and is not intended to supersede any governing specifications or requirements of record.

About Lane

As a full-line manufacturer of metal and plastic drainage products, Lane Enterprises, Inc., operates multiple plants in the Mid-Atlantic and Northeastern regions of the United States, producing corrugated metal and plastic drainage pipe for the construction industry.



For over 75 years, Lane has partnered with contractors, engineers and municipalities to supply reliable products that provide the highest service life, strength, versatility and economy. Our focus on quality products, responsive customer service and technical expertise has established a long, proven history of successful partnerships with the industries we serve.

Lane Enterprises, Inc.
Corporate Headquarters
3905 Hardscrabble Drive, Suite 514 • Camp Hill, PA 17011
P: 717-761-8125 • F: 717-761-2625
www.laneenterprises.com

NOTE: PIPE INSTALLATION AND TRENCH BACKFILL PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.

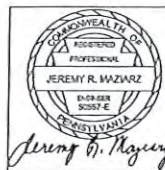
UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

PROFILES

PRELIMINARY LAND DEVELOPMENT PLAN FOR **ONE CTDI PLACE**
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

CHESTER VALLEY ENGINEERS, INC. PROJECT NO. 22024

SCALE: AS NOTED DATE: 4/29/2024 DRAWN BY: BJD CHECKED BY: JRM QUANTITY: 1



PROJECT NO. 22024



LOCATION MAP SCALE 1"=2000'

LEGEND

EXISTING FEATURES

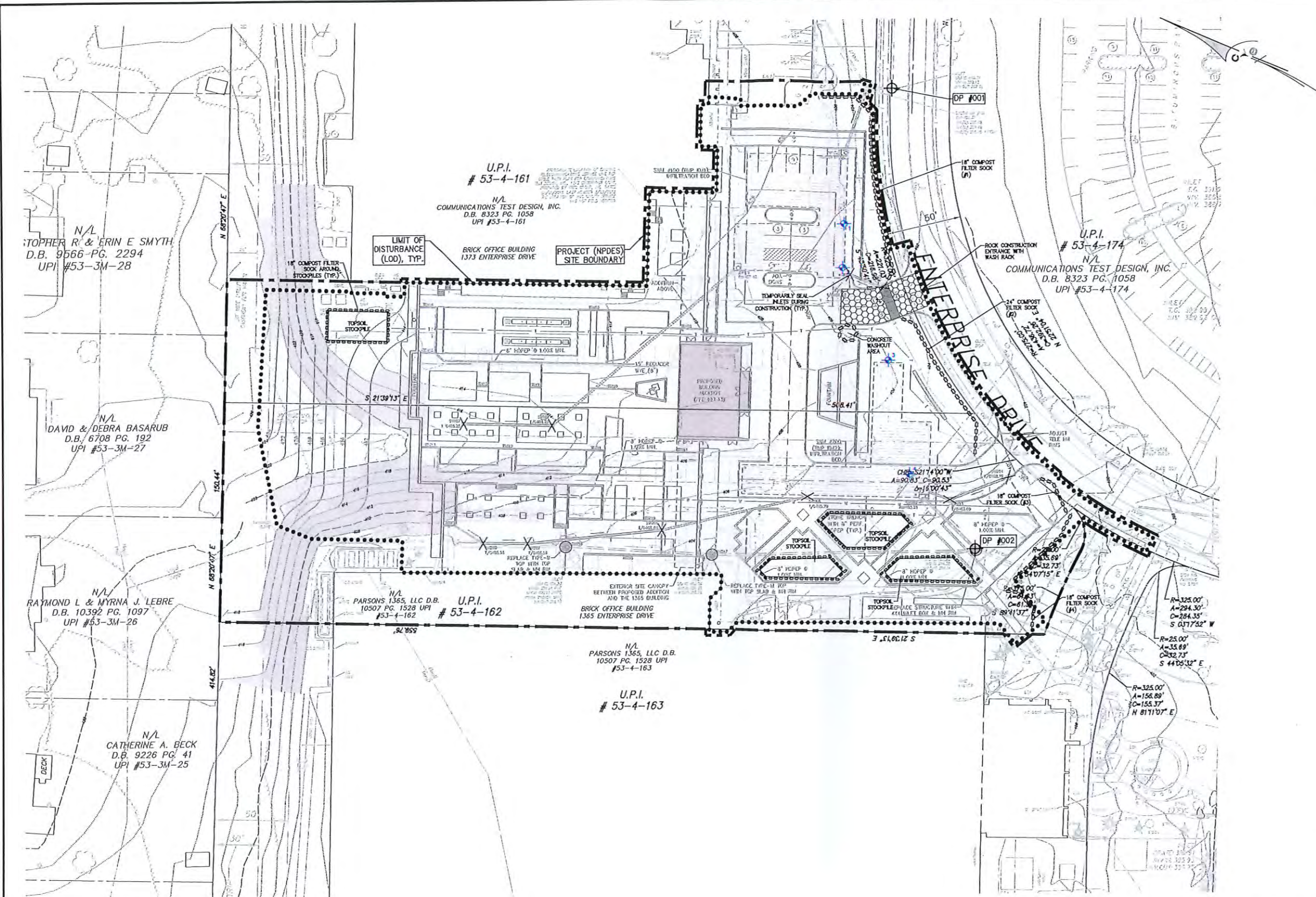
- EXISTING PROPERTY BOUNDARY
- EXISTING ADJOINING PROP. LINE
- EXISTING DRIVE-UP/WAY LINE
- EXISTING EASEMENT
- EXISTING SETBACK BOUNDARY
- EXISTING BUILDING
- EXISTING 1' CONTOURS
- EXISTING 5' CONTOURS
- EXISTING SPOT ELEVATION
- EXISTING SOIL TYPE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING STORM INLET AND PIPE
- EXISTING MANHOLE AND PIPE
- EXISTING U/G FIRE LINE
- EXISTING U/G WATER LINE
- EXISTING U/G ELECTRIC LINE
- EXISTING U/G TELEPHONE LINE
- EXISTING U/G GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE & SHRUB LINE

PROPOSED FEATURES

- PROPOSED BUILDING
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED CONCRETE PAD/SIDEWALK
- PROPOSED PAVERS
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE CURB
- NUMBER OF PROPOSED PARKING SPACES
- PROPOSED SIGN
- PROPOSED 1' CONTOURS
- PROPOSED 5' CONTOURS
- PROPOSED SPOT ELEVATION
- PROPOSED STORMWATER MANAGEMENT FACILITY
- PROPOSED STORM PIPE AND INLET
- PROPOSED STORM PIPE AND MANHOLE
- PROPOSED STORM PIPE AND CLEANOUT
- PROPOSED PIPE FLOW ARROW

EROSION CONTROL FEATURES

- PROJECT (NPDES) SITE BOUNDARY
- LIMIT OF DISTURBANCE (LBI ADDRESS)
- ROCK CONSTRUCTION ENTRANCE WITH WASH RACK
- EROSION CONTROL BLANKET
- COMPOST FILTER SOOK
- TREE PROTECTION FENCE
- TEMPORARY INLET PROTECTION
- TEMPORARY INLET/PIPE BLOCK
- DISCHARGE POINT



UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

CONTRACTOR: CHESTER VALLEY ENGINEERS, INC. CHESTER COUNTY, PENNSYLVANIA

DATE: 02/29/2024

SCALE: 1"=30'

NOTES TO USER OF THESE PLANS:

1. THE INFORMATION CONTAINED ON THIS PLAN WAS PREPARED BY THE ENGINEER OR SURVEYOR AND IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER OR SURVEYOR DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

2. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

4. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO BEDROCK	PERCENTAGE OF CLAY	PERCENTAGE OF SILT	PERCENTAGE OF SAND	PERCENTAGE OF ORGANIC MATTER	PERCENTAGE OF FINE SAND	PERCENTAGE OF COARSE SAND	PERCENTAGE OF GRAVEL
U ₁ u ₂	DE TO AX SLOPES	60"	20-79%	NONE	NONE	C	0	0	0
U ₁ u ₃	AX TO AX SLOPES	60"	20-79%	NONE	NONE	C	0	0	0

DRAINS TO E. BRANCH CHESTER CREEK
CHAPTER 93 CLASSIFICATION: TROUT STOCKING FISHES, MIGRATORY FISHES (TSF-MF)

Scale in Feet
0 10 20 30 40 50 60 70 80 90 100 110 120
1" = 30'

EROSION & SEDIMENTATION CONTROL PLAN

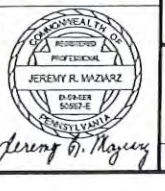
NO. DATE REVISION

PRELIMINARY LAND DEVELOPMENT PLAN
FOR
ONE CTDI PLACE
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC.
823 Phoenix Road, Suite 200, P.O. Box 100, PA 19380
610-644-4122
www.chestervalley.com

PROJECT NO. **22024**

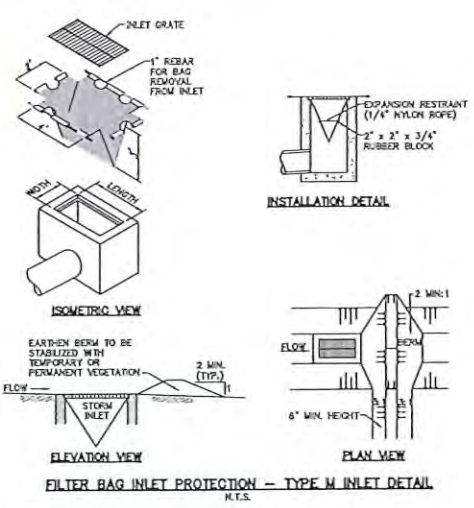
SCALE: 1"=30' DATE: 02/29/2024 DRAWN BY: JRM CHECKED BY: JRM DESIGNED BY: JRM





Installation Made Easy

When using the product at your location, even the best...
 For more information regarding the product, visit our website...
 For more information regarding the product, visit our website...

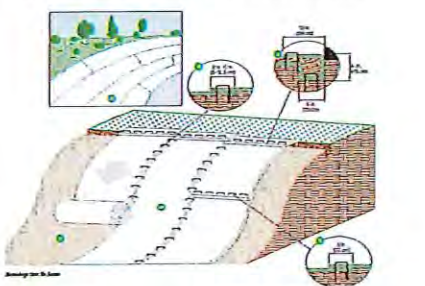


NOTES:
 1. MAXIMUM DRAINAGE AREA = 3 ACRES.
 2. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BIRDS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 3. ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR ROADWAY PERMANENTLY.
 4. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSF, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 5. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE REPAIRED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOSED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

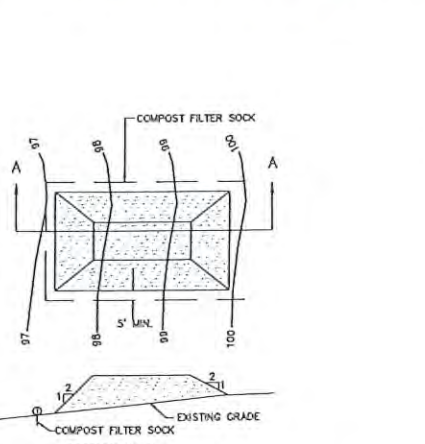
Slope Installation

The following steps guide the contractor in installing the...
 1. Prepare the slope by grading and compacting the soil...
 2. Lay out the filter sock along the slope...
 3. Secure the filter sock to the slope with stakes...
 4. Backfill the area behind the filter sock with soil...
 5. Compact the backfill and install a final topsoil layer...
 6. Plant vegetation to stabilize the slope.



IF SLOPES EXCEED 4:1, USE MAG 575 WITH STAPLE PATTERN "C"

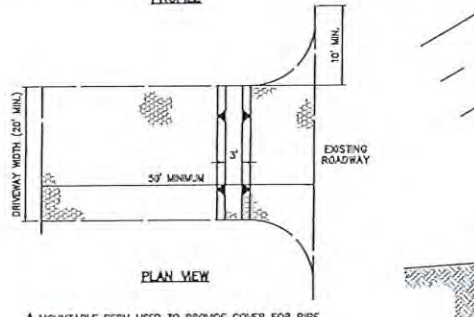
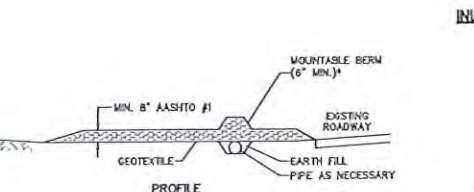
UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164



NOTES:
 1. PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN.
 2. ALL SIDE SLOPES SHALL BE 2:1 OR FLATTER.
 3. STOCKPILES SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS.
 4. COMPOST FILTER SOCK SHALL BE INSTALLED AS DETAIL HEREON.
 5. LOCATION OF PROPOSED STOCKPILE WHICH AFFECT EROSION CONTROLS ARE SHOWN SCHEMATICALLY ONLY. ACTUAL STOCKPILE LOCATION MAY CHANGE DURING CONSTRUCTION.
 6. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET.

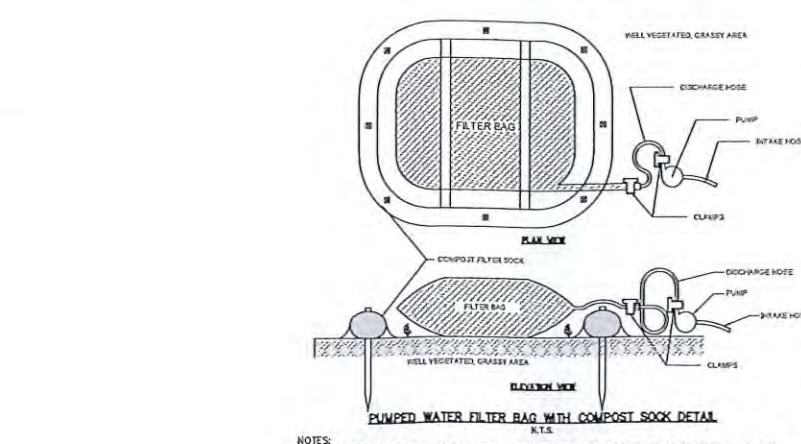
ROCK CONSTRUCTION ENTRANCE DETAIL

NOTES:
 1. WASH RACK SHALL BE 20 FEET (MIN.) WIDE OR TOTAL WIDTH OF ACCESS.
 2. WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTIPOATED CONSTRUCTION VEHICULAR TRAFFIC.
 3. A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXITING THE SITE.



MAINTENANCE:
 ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

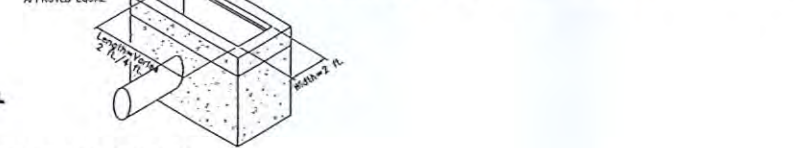
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 3. A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXITING THE SITE.



NOTES:
 1. LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL BERM WITH HIGH STRENGTH, DOUBLE STITCHED 1/2\"/>

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4844	80 LB/IN
GRAB TENSILE	ASTM D-4832	305 LB
PUNCTURE	ASTM D-4833	110 LB
WALLEN BURST	ASTM D-3718	350 PSF
UV RESISTANCE	ASTM D-4355	70%
AGE & RETAINED	ASTM D-4721	80 SIEVE

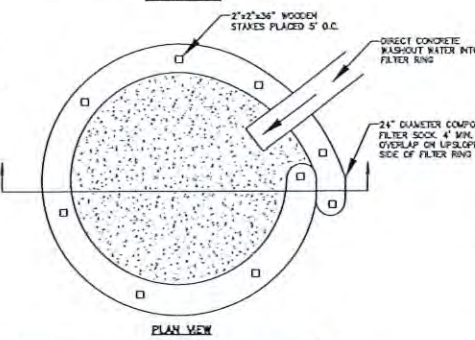
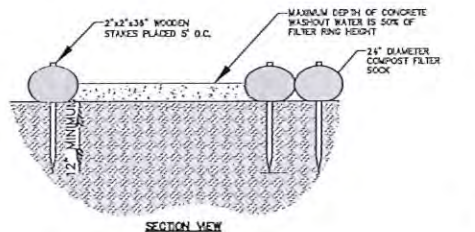
2. A SATISFACTORY MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME A FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FULL. BAGS SHALL BE PLACED ON STAKES TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
 3. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE INTO STABLE, EROSION RESISTANT AREAS. PLACES THAT ARE NOT SUITABLE FOR DISCHARGE AND FLOW PANS SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER SOCK TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 4:1. FOR SLOPES EXCEEDING 4:1, CLEAR ROCK OR OTHER NON-POSSIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
 4. NO CONDUIT SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS, WITH 50 FEET OF ANY RECEIVING SURFACE WATER OR MOIST, GRASSY AREA IS NOT AVAILABLE.
 5. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
 6. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 3.5 GPM PER 100 FEET OF ANY RECEIVING SURFACE WATER OR MOIST, GRASSY AREA IS NOT AVAILABLE.
 7. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.



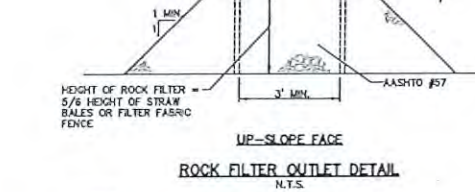
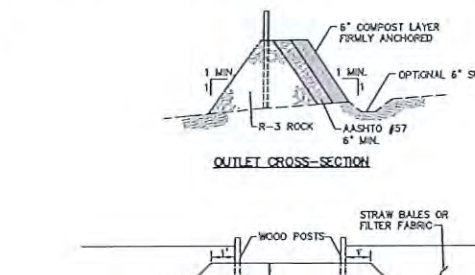
NOTES:
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 3. A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXITING THE SITE.

MAINTENANCE:
 ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

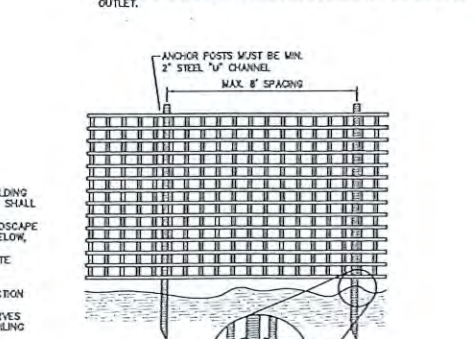
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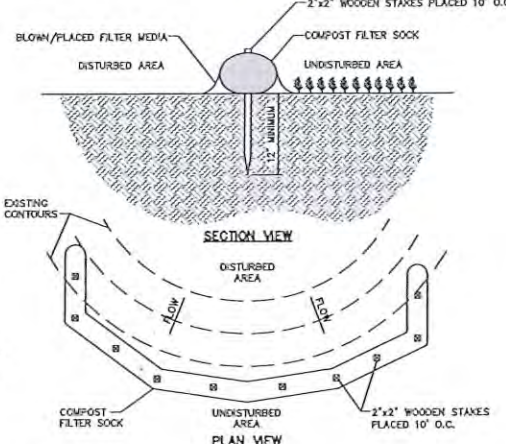
NOTES:
 1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
 2. 12\"/>



NOTES:
 1. A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HO AND EV WATERSHEDS.
 2. IF INSTALLED, INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.



NOTES:
 1. PROTECTION BARRIER SHALL BE 4 FEET HIGH, CONSTRUCTED OF DURABLE AND HIGHLY VISIBLE MATERIAL (PLASTIC ORANGE CONSTRUCTION FENCE AND/OR SNOW-FENCE MAY BE USED).
 2. PROTECTION BARRIERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK AT THE SITE.



NOTES:
 1. SOCK FABRIC SHALL MEET THE STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.
 2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 3 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
 3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
 4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF TECH SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 5. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 6. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 7. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REDUCED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
 8. REFER TO E&S PLAN FOR COMPOST SOCK LOCATIONS, SIZE, IDENTIFICATIONS AND CONSTRUCTION SPECIFICATIONS.

COMPOST FILTER SOCK DETAIL

TABLE 4.1 - COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

MATERIAL TYPE	MATERIAL CHARACTERISTICS				
	3 MIL HOPE	5 MIL HOPE	8 MIL HOPE	MULTI-FLY (MULTI-FLY) POLYPROPYLENE (MPP)	HEAVY DUTY (MULTI-FLY) POLYPROPYLENE (HMP)
SOCK DIAMETERS	12"	15"	18"	12"	12"
	18"	24"	30"	18"	18"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/2"
		25 PSF	25 PSF	44 PSF	232 PSF
ULTRAVIOLET STABILITY & ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.
	MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	6 MONTHS	1 YEAR	2 YEARS

TWO-FLY SYSTEMS

INNER CONTAINMENT NETTING	HOPE BASEAL NET
	CONTINUOUSLY WOUND
	FUSION-WELDING JUNCTURES
	3/4" x 3/4" MAX. APERTURE SIZE
	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLUIDE MECHANICALLY FUSED VIA NEEDLE PUNCH)
OUTER FILTRATION MESH	3/8" MAX. APERTURE SIZE

SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.

TABLE 4.2 - COMPOST STANDARDS

ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 g/5m (mmhos/cm) MAXIMUM

EROSION & SEDIMENTATION CONTROL DETAILS

PRELIMINARY LAND DEVELOPMENT PLAN FOR **ONE CTDI PLACE**
 EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC.
 82 Hurst Road, Suite 200, Parkton, PA 17125
 610-444-4333
 www.chestervalley.com

DATE: 4/29/2024
 DRAWN BY: P.S.D.
 CHECKED BY: J.M.
 DESIGNED BY: J.M.

SCALE: AS NOTED

PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE

NO. DATE REVISION

SCALE: AS NOTED

DATE: 4/29/2024

DRAWN BY: P.S.D.

CHECKED BY: J.M.

DESIGNED BY: J.M.



LEGEND

EXISTING FEATURES

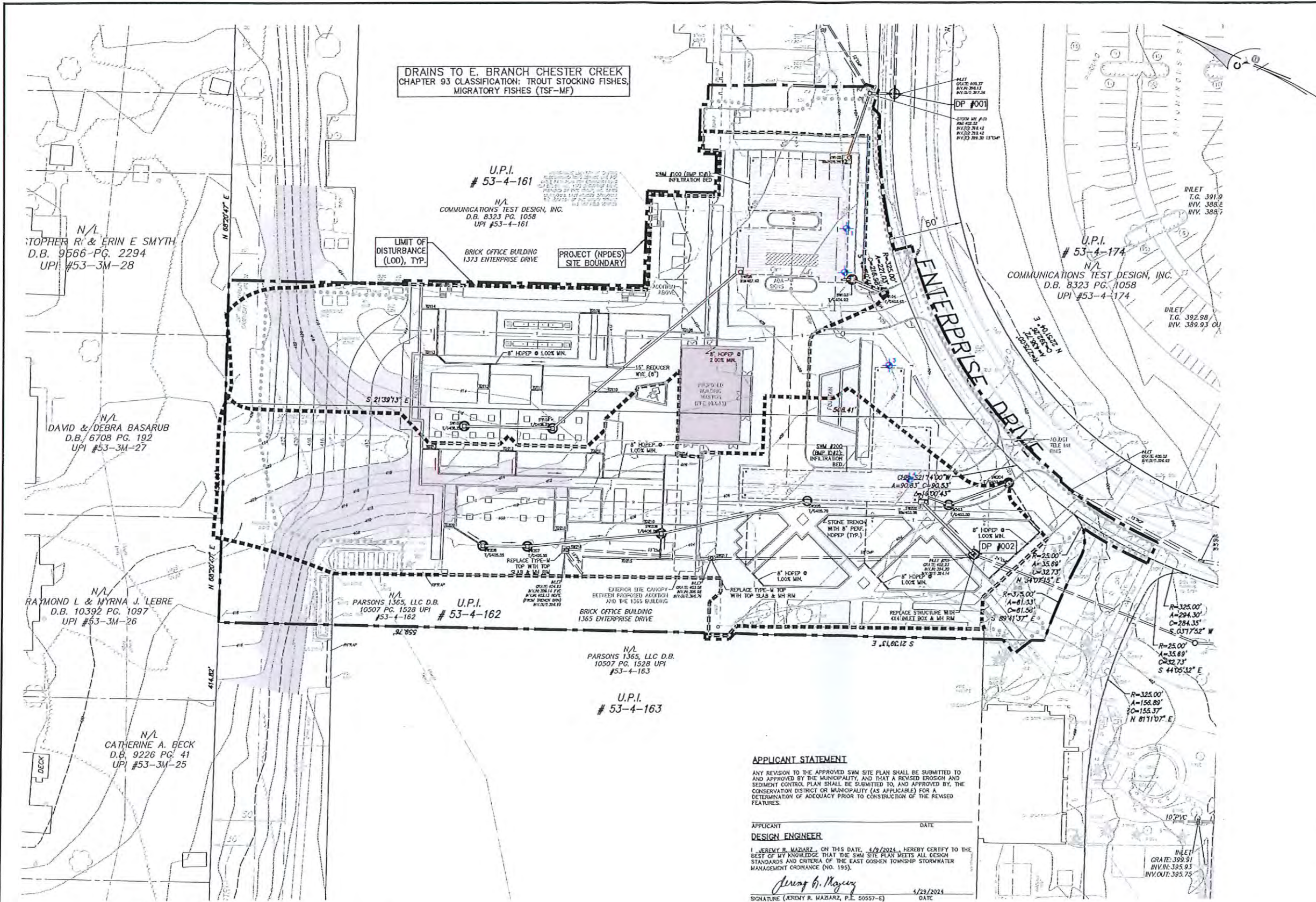
- EXISTING PROPERTY BOUNDARY
- EXISTING ADJOINING PROP. LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING EASEMENT
- EXISTING SETBACK BOUNDARY
- EXISTING BUILDING
- EXISTING 1' CONTOURS
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- EXISTING SPOT ELEVATION
- EXISTING SOIL TYPE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
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- EXISTING U/G TELEPHONE LINE
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- EXISTING UTILITY POLE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE & SHRUB LINE

PROPOSED FEATURES

- PROPOSED BUILDING
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED CONCRETE PAD/SIDEWALK
- PROPOSED PAVERS
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE CURB
- NUMBER OF PROPOSED PARKING SPACES
- PROPOSED SOIL
- PROPOSED 1' CONTOURS
- PROPOSED 5' CONTOURS
- PROPOSED SPOT ELEVATION
- PROPOSED STORMWATER MANAGEMENT FACILITY
- PROPOSED STORM PIPE AND INLET
- PROPOSED STORM PIPE AND MANHOLE
- PROPOSED STORM PIPE AND CLEANOUT
- PROPOSED PIPE FLOW ARROW

PCSM FEATURES

- PROJECT (NPDES) SITE BOUNDARY
- LIMIT OF DISTURBANCE (LID) (8.1 ACRES)
- DRAINAGE AREA TO PCSM BASIN
- DISCHARGE POINT
- WATER QUALITY INSERT



DRAINS TO E. BRANCH CHESTER CREEK
CHAPTER 93 CLASSIFICATION: TROUT STOCKING FISHES,
MIGRATORY FISHES (TSF-MF)

U.P.I.
53-4-161

N/A
COMMUNICATIONS TEST DESIGN, INC.
D.B. 8323 PG. 1058
UPI #53-4-161

LIMIT OF
DISTURBANCE
(LOD), TYP.

PROJECT (NPDES)
SITE BOUNDARY

U.P.I.
53-4-174

N/A
COMMUNICATIONS TEST DESIGN, INC.
D.B. 8323 PG. 1058
UPI #53-4-174

N/A
TOPHER R. & ERIN E SMYTH
D.B. 9566-PG. 2294
UPI #53-3M-28

N/A
DAVID & DEBRA BASARUB
D.B. 6708 PG. 192
UPI #53-3M-27

N/A
RAYMOND L. & NYRNA J. LEBRE
D.B. 10392 PG. 1097
UPI #53-3M-26

N/A
CATHERINE A. BECK
D.B. 9226 PG. 41
UPI #53-3M-25

N/A
PARSONS 1365, LLC D.B.
10507 PG. 1528 UPI
#53-4-162

U.P.I.
53-4-162

N/A
PARSONS 1365, LLC D.B.
10507 PG. 1528 UPI
#53-4-163

U.P.I.
53-4-163

APPLICANT STATEMENT

ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

APPLICANT: _____ DATE: _____
DESIGN ENGINEER: _____

I, JEREMY R. MAZIARZ, ON THIS DATE, 4/23/2024, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE EAST GOSHEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE (NO. 195).

Signature: *Jeremy R. Maziarz* DATE: 4/23/2024
SIGNATURE (JEREMY R. MAZIARZ, P.E. 50557-E)

INFILTRATION TESTING RESULTS

TEST ID	EX. GROUND ELEVATION	TEST DEPTH (FT)	TEST ELEVATION	MEASURED INF. RATE	LIMITING ZONE	LIMITING ZONE ELEVATION	BMP NAME	BMP BOTTOM ELEVATION
TP-1	408.00	6.00	400.00	0.31 IN/HR	NOT ENCOUNTERED	N/A	SWM #100	399.75
TP-2	408.00	6.00	400.00	0.22 IN/HR	NOT ENCOUNTERED	N/A	SWM #100	399.75
TP-3	408.00	8.50	397.50	0.25 IN/HR	NOT ENCOUNTERED	N/A	SWM #200	397.50
TP-4	408.00	8.00	398.00	0.25 IN/HR	NOT ENCOUNTERED	N/A	SWM #200	397.50

SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO BOUNDBARY BELOW SURFACE	DEPTH TO BEDROCK	PERMEABILITY OF FLOoding	PERMEABILITY OF FLOWING	HYDROLOGIC SOIL GROUP	HYDROLOGIC RATING
Uwp	68 TO 84 INCL	8"	29"-70"	NONE	NONE	C	PO
Uwp	84 TO 234 INCL	8"	29"-70"	NONE	NONE	C	PO

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

NOTICE TO USER OF THESE PLANS:
OWNER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES.

PROFESSIONAL SEAL: JEREMY R. MAZIARZ, P.E. 50557-E

SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

PENNSYLVANIA ONE CALL SYSTEM, INC.
CALL 3 WEEKS/DAYS BEFORE YOU DIG
1-800-242-1776
POC'S SERIAL NUMBERS: 20221130141

POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN

NO. _____ DATE _____ REVISION _____

PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE

EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

Jeremy R. Maziarz
REGISTERED PROFESSIONAL ENGINEER
NO. 50557-E
PENNSYLVANIA

ChesterValley ENGINEERS, INC.
22024
83 Powers Road, Suite 200, Pottsville, PA 17516
610-444-4142
www.chestervalley.com

SCALE: 1" = 30' DATE: 4/23/2024 DRAWN BY: R.B. CHECKED BY: JRM. DRAWING: _____

SHEET 14 OF 17

GENERAL NOTES:

- STORMWATER MANAGEMENT DESIGN: REFER TO THE "POST-CONSTRUCTION STORMWATER MANAGEMENT REPORT", PREPARED BY CHESTER VALLEY ENGINEERS.
- MAINTENANCE NOTES:
 - THE BMP'S LISTED BELOW WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.
 - INFILTRATION BED(S)
 - WATER QUALITY FILTER(S)
 - STORM SEWER AND ASSOCIATED STRUCTURES
- DESIGN CONSIDERATIONS:
 - SUBSURFACE BED(S) DESIGNED TO STORE AND MITIGATE POST-DEVELOPMENT RUNOFF TO RATES LESS THAN THOSE REQUIRED BY TOWNSHIP CODE. SUBSURFACE BED(S) DESIGNED TO MITIGATE THE POST-DEVELOPMENT VOLUME INCREASE DUE TO DEVELOPMENT. WATER QUALITY FILTERS DESIGNED TO FILTER ALL SURFACE RUNOFF.
- THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN HAS BEEN DESIGNED TO MEET THE FOLLOWING GOALS AND GUIDELINES:
 - PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF RECEIVING STREAMS.
 - PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF.
 - MINIMIZE ANY INCREASE IN STORMWATER RUNOFF VOLUME.
 - MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION.
 - MINIMIZE LAND CLEARING AND GRADING.
 - MINIMIZE SOIL COMPACTION.
 - UTILIZE OTHER STRUCTURAL OR NONSTRUCTURAL BMP'S THAT PREVENT OR MINIMIZE CHANGES IN STORMWATER RUNOFF.
- THE RECEIVING WATER FOR THIS PROJECT IS EAST BRANCH OF CHESTER CREEK. THE CHAPTER 93 CLASSIFICATION FOR EAST BRANCH OF CHESTER CREEK IS TROUT STOCKING FISHES, MIGRATORY FISHES (TF-MF).
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 2601 ET SEQ., 27.1 ET SEQ., AND 28.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISPOSE ANY BUILDING MATERIAL OR WASTES AT THE SITE. CONSTRUCTION WASTES MUST BE RECYCLED TO THE EXTENT PRACTICABLE, AND DISPOSED WHEREAS MUST COMPLY WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER BMP'S. A LICENSED PROFESSIONAL ENGINEER KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF STORMWATER BMP'S, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT.
- AS-BUILT PLANS OF THE STORMWATER BMP'S SHALL BE PROVIDED WITHIN SIX MONTHS FOLLOWING THE COMPLETION OF EACH PHASE. THE AS-BUILT PLANS SHALL BE SIGNED AND SEALED BY A PA REGISTERED PROFESSIONAL ENGINEER.
- A NOTICE OF TERMINATION (NOT) WILL BE REQUIRED TO BE SUBMITTED FOLLOWING APPROVAL OF THE FINAL AS-BUILT PLANS. PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION TO ENSURE SITE STABILIZATION AND VERIFY ADEQUATE INSTALLATION AND FUNCTION OF STORMWATER BMP'S.
- PCSM REPORTING AND RECORDKEEPING: THE PCSM PLAN, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.
- FINAL CERTIFICATION: THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:

I, (NAME) DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 P.A.C.S. § 4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES."

- THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.
- THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP'S.

- UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER § 102.22(A)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMP'S IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH § 102.4 AND 102.8 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS), AND PCSM REQUIREMENTS), THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT.
- THE NOTICE OF TERMINATION MUST INCLUDE:
- THE FACILITY NAME, ADDRESS AND LOCATION.
 - THE OPERATOR NAME AND ADDRESS.
 - THE PERMIT NUMBER.
 - THE REASON FOR PERMIT TERMINATION.
 - IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP'S IN ACCORDANCE WITH § 102.6(N) AND PROOF OF COMPLIANCE WITH § 102.6(N)(2).
- PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION.

GENERAL CONSERVATION NOTES AND SPECIFICATIONS:

INTENT OF CONSERVATION PROGRAM: THE INTENT OF THIS PROGRAM IS TO PREVENT ACCELERATED EROSION OF THE EXPOSED SITE SOILS DURING THE CONSTRUCTION AND PERMANENT LIFE PERIODS OF THE DEVELOPMENT. THE PROGRAM REQUIRES RETENTION OF ALL SEDIMENTS ON THE CONSTRUCTION SITE TO MINIMIZE THE IMPACT OF DEVELOPMENT ON EXISTING STREAMS AND ADJACENT PROPERTY OWNERS. THESE OBJECTIVES WILL BE ACHIEVED BY MINIMIZING THE EXPOSURE TIME OF FOULMULCH EROSION SOILS TO RUNOFF AND INSTALLATION OF THE TEMPORARY CONSTRUCTION. THE INTENT OF THIS PROGRAM SHOULD BE UNDERSTOOD AND IMPLEMENTED THROUGHOUT THE ENTIRE DEVELOPMENT. THE VARIOUS CONSTRUCTION TRACES SHOULD BE APPRAISED OF THIS PROGRAM AND DIRECTED TO PREVENT UNDESIRABLE DISTURBANCE OF PREPARED AND PROTECTED SURFACES.

SURFACE STABILIZATION CRITERIA: ALL DISTURBED SOIL SURFACES, INCLUDING SOIL STOCKPILES, ARE SUBJECT TO EROSION AND SHALL BE STABILIZED EITHER TEMPORARILY OR PERMANENTLY, IMMEDIATELY DURING NON-GENERATION PERIODS. MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. CRUSHED STONE ON PAVEMENT SUBSURFACES IS CONSIDERED ADEQUATE PROTECTION. ALL DISTURBED ZONES AND VEGETATED REGIONS SHALL BE STABILIZED, PREFERABLY WITH A PERMANENT TREATMENT.

CRITICAL VEGETATION AREAS (CVA)

CRITICAL VEGETATION AREAS ARE TO BE GRADED, HYDROSEEDED, AND MULCHED WITHIN 10 DAYS OF THE BEGINNING OF EXCAVATION. IN GENERAL, CRITICAL VEGETATION AREAS ARE DEFINED AS CUT SLOPES STEEPER THAN 3:1, ALL FILL SLOPES STEEPER THAN 4:1, AND IN ALL DRAINAGE SWALES.

DISPOSAL AND RECYCLING

CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL DEMOLISHED OR UNUSED CONSTRUCTION MATERIALS. GARBAGE SHALL BE COLLECTED ON-SITE UNTIL REMOVED BY AN APPROVED DISPOSAL OR RECYCLING COMPANY. CONTRACTOR SHALL NOT INCORPORATE EXCESS MATERIALS.

LIKELY WASTE TO BE GENERATED AT THIS SITE:

- UNUSED CONCRETE TO BE PLACED IN CONCRETE WASHOUT AREAS.
- EXCESS SILT SOCK AND FENCING MATERIALS.
- GENERAL RUBBISH AND DEBRIS

THERMAL IMPACT

STORMWATER RUNOFF FROM THE DRIVEWAY AND PARKING AREAS DRAIN TO A SUBSURFACE INFILTRATION BED AND UNDERGROUND STORM DRAIN PIPE. THEREFORE, THE INITIAL RUNOFF THAT IS MOST LIKELY TO WARMER IS SENT UNDERGROUND AND NOT DISCHARGED TO THE WATERCOURSE. WATER HAS TIME TO COOL PRIOR TO LEAVING THE SITE AND DRAINING TO THE WATER COURSE.

SPECIAL GEOLOGIC AND SOIL CONDITIONS

NO SPECIAL SOIL OR GEOLOGICAL ISSUES ARE KNOWN.

POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) LONG-TERM OPERATIONS AND MAINTENANCE REQUIREMENTS:

- UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSM BMP'S ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.
- THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMP'S UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMP'S.
- FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE FOR PCSM BMP'S AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY THE SUBSEQUENT GRANTEE, AND PROVIDE PROOF OF FILING WITH THE NOTICE OF TERMINATION UNDER § 102.7(b)(5) (RELATING TO PERMIT TERMINATION).
- THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSM BMP'S OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP'S LOCATED ON THE PROPERTY.
- IN THE EVENT THAT THE BMP IS NOT FUNCTIONING PROPERLY, THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE SHALL BE REQUIRED TO REPAIR OR REPLACE THE BMP TO ENSURE FUNCTION AND OPERATION.
- THE PERMITTEE SHALL BE REQUIRED TO SUBMIT A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ALL BMP REPAIR AND MAINTENANCE ACTIVITIES TO THE TOWNSHIP CONSERVATION DISTRICT, AND THE DEPARTMENT UPON REQUEST.

BMP FAILURE NOTES (PER PROTOCOL 2 OF THE BMP MANUAL)

- THE TERM "FAILURE" FOR THE PROPOSED SUBSURFACE BED SHALL BE DEFINED AS:
- THE LOSS OF FUNCTIONALITY OF THE PROPOSED OUTLET STRUCTURE OR DISCHARGE PIPE.
 - THE LOSS OF STRUCTURAL INTEGRITY OF THE STONE AND PIPES
 - THE ACCUMULATION OF SEDIMENT, TRASH OR DEBRIS IN PERIMETER DRAINAGE STRUCTURES
 - STANDING WATER IS OBSERVED IN THE BASIN AFTER 72 HOURS

THE PERMITTEE SHALL MAKE THE NECESSARY REPAIRS TO THE OUTLET STRUCTURE, DISCHARGE PIPING, STONE, AND PERFORATED PIPE AS NEEDED. IF STANDING WATER IS OBSERVED AFTER 72 HOURS, CONSULT ENGINEER FOR REMEDIATION OF THE UNDERGROUND BED.

THE TERM "FAILURE" FOR THE PROPOSED WATER QUALITY INLETS (FILTER INSERTS) SHALL BE DEFINED AS:

- DISCOVER EVIDENCE OF DAMAGED FILTER MEDIA
- DISCOVER EVIDENCE OF THE FILTER MEDIA'S INABILITY TO SUPPORT ACCUMULATED SEDIMENT OR DEBRIS.

THE PERMITTEE SHALL REPAIR BMP FAILURE BY REPLACING THE FILTER MEDIA IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

POST CONSTRUCTION STORMWATER MANAGEMENT REPORTING AND RECORD KEEPING

A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ALL BMP REPAIRS AND MAINTENANCE ACTIVITIES MUST BE PROVIDED AS PART OF THE LONG-TERM OPERATION AND MAINTENANCE PROGRAM.

THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

WATER QUALITY INLETS (FILTER INSERTS)

IT SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN ALL WATER QUALITY INLETS ON SITE.

- INSPECTION REQUIREMENTS:**
- WATER QUALITY INLET INSERTS SHOULD BE INSPECTED THREE TIMES PER YEAR.
- A. DURING THE THREE ROUTINE INSPECTIONS, THE FILTER MEDIA SHALL BE CLEANED.
- B. ONE REGULAR CHANGE AND DISPOSAL OF THE FILTER MEDIA SHALL OCCUR DURING THE CALENDAR YEAR AS WELL.

BMP FAILURE

BMP FAILURE IS DEFINED AS DISCOVERING EVIDENCE OF TORN FILTER FABRIC OR FILTER MEDIA INABILITY TO SUPPORT ACCUMULATED SEDIMENT OR DEBRIS.

- REPAIR BMP FAILURE BY REPLACING THE FILTER MEDIA IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

GENERAL MAINTENANCE NOTES

- WATER QUALITY INLET INSERTS SHALL BE CHECKED TO ENSURE THEY ARE SECURELY FASTENED DURING EACH INSPECTION.
- RECOMMENDED MAINTENANCE IS PERFORMED INCLUDING REMOVAL AND DISPOSAL OF THE FILTER MEDIA OR EXCESS MATERIAL BY PERSONNEL.

DISPOSAL

- DISPOSAL OF REMOVED MATERIAL WILL DEPEND ON THE NATURE OF THE DRAINAGE AREA AND THE INTENT AND FUNCTION OF THE WATER QUALITY INLET.
- MATERIAL REMOVED FROM WATER QUALITY INSERTS THAT SERVE "HOT SPOTS" SUCH AS FUELING STATIONS THAT RECEIVE A LARGE AMOUNT OF DEBRIS SHOULD BE HANDLING ACCORDING TO DEP REGULATIONS FOR THAT TYPE OF SOLID WASTE. WATER QUALITY INSERTS THAT PRIMARILY CAUGH SEDIMENT AND DETRIVUS FROM AREAS SUCH AS LAWNS MAY REUSE THE WASTE ON SITE.

CONSTRUCTION SEQUENCE

- REMOVE THE GRATE OF THE INSTALLED INLET AND SET IT TO THE SIDE.
- REMOVE DEBRIS AND LITTER FROM THE INLET.
- CLEAN OFF THE GRATE BEARING LEDGE.
- LOWER THE FILTER ASSEMBLY INTO THE INLET UNTIL THE ASSEMBLY'S SUPPORT FLANGES REST ON THE GRATE BEARING LEDGE.
- ENSURE THAT THE FOUR FILTER MEDIA CARTRIDGES ARE ATTACHED TO THE D-RINGS IN THE BOTTOM CORNERS OF THE FILTER ASSEMBLY.

CRITICAL STAGE OF CONSTRUCTION: CONTACT ENGINEER TO VERIFY INSTALLATION OF WATER QUALITY INSERTS.

- REPLACE THE INLET GRATE.

SUBSURFACE INFILTRATION BEDS (SWM #100 & #200)

IT SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM(S).

SPECIFICATIONS:

- AGGREGATE: AGGREGATE FOR BEDS SHALL BE 3/8 INCH TO 3/4 INCH UNIFORMLY GRADED COARSE AGGREGATE, AASHTO NUMBER 57 PER TABLE 4, AASHTO SPECIFICATIONS, PART 1, 13TH ED., 1998 (P. 47).
- NON-WOVEN GEOTEXTILE: SHALL CONSIST OF NEEDLED NON-WOVEN POLYPROPYLENE FIBERS AND MEET THE FOLLOWING PROPERTIES:
 - GRAB TENSILE STRENGTH (ASTM-D4632): 120 LBS.
 - MULLEN BURST STRENGTH (ASTM-D3786): 225 PSF
 - FLOW RATE (ASTM-D4491): 95 GPM/FT²
 - UV RESISTANCE AFTER 500 HOURS (ASTM-D4355): 70%
 - HEAT-SET OR HEAT-CALCENDARED FABRICS ARE NOT PERMITTED. ACCEPTABLE TYPES INCLUDE MIRAF 140N, AMOCO 4547, AND GEOTEX 451.
- STORAGE PIPE: SHALL BE CONTINUOUSLY PERFORATED, SMOOTH INTERIOR, HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL MEET AASHTO M252, TYPE S OR AASHTO M284, TYPE S.

INSPECTION REQUIREMENTS:

- ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE INSPECTED ANNUALLY, OR AFTER EACH RAINFALL EVENT IN EXCESS OF TWO (2") INCHES (MAJOR STORM EVENT), FOR TRASH AND DEBRIS. ANY DISCOVERED TRASH OR DEBRIS SHALL BE REMOVED IMMEDIATELY.

GENERAL MAINTENANCE NOTES:

- ACCESS FOR VIEWING OR VACUUMING IS PROVIDED THROUGH OBSERVATION PORTS AND STORM STRUCTURES.
- REMOVE SEDIMENT/TRASH/DEBRIS FROM PERIMETER DRAINAGE STRUCTURES AND OUTLET STRUCTURE.
- THE OVERLYING VEGETATION OF SUBSURFACE INFILTRATION FEATURES SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
- VEHICULAR ACCESS ON SUBSURFACE INFILTRATION AREAS SHOULD BE PROHIBITED IN UNPAVED AREAS, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOTORS. IF CONTINUAL ACCESS IS NEEDED, USE OF REMEDIABLE TIRE REPAIRMENT SHOULD BE CONSIDERED.
- CONTACT QUALIFIED ENGINEER IMMEDIATELY AFTER DISCOVERY OF SINNHOLE OCCURRENCE. SINNHOLE SHOULD BE PROMPTLY AND PROPERLY REPAIRED.

CONSTRUCTION SEQUENCE:

- INSTALL AND MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
- INSTALL CONSTRUCTION FENCING AROUND PERIMETER OF INFILTRATION AREA TO PREVENT CONSTRUCTION TRAFFIC FROM COMPACTING EXISTING SUBGRADE AREAS.
- INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES, CLEANOUTS, STORAGE PIPE, AND ALL OTHER NECESSARY STORMWATER STRUCTURES.
- CRITICAL STAGE OF CONSTRUCTION: CONTACT ENGINEER PRIOR TO PLACEMENT OF GEOTEXTILE, STORAGE PIPES, AND BED AGGREGATE SHOULD BE PLACED IMMEDIATELY AFTER APPROVAL OF SUB GRADE PREPARED AND INSTALLATION OF STRUCTURES. GEOTEXTILE SHOULD BE PLACED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS.
- CLEAN-WASHED, UNIFORMLY GRADED AGGREGATE SHOULD BE PLACED IN THE BED IN MAXIMUM 8-INCH LIFTS. EACH LAYER SHOULD BE LIGHTLY COMPACTED, WITH CONSTRUCTION EQUIPMENT KEPT OFF THE BED BOTTOM.
- APPROVED SOIL MEDIA OR PAVEMENT BASE COURSES SHOULD BE PLACED OVER DETENTION BED IN MAXIMUM 8-INCH LIFTS. SEED AND STABILIZE AREA IF APPLICABLE.
- DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

STORM SEWER

- INSPECTION REQUIREMENTS:**
- ALL STORM COLLECTION STRUCTURES SHALL BE INSPECTED ANNUALLY, OR AFTER EACH RAINFALL EVENT IN EXCESS OF TWO (2") INCHES (MAJOR STORM EVENT), FOR TRASH, DEBRIS OR EVIDENCE OF PIPE LEAKAGE OR SAGGING. REMOVE TRASH OR DEBRIS IMMEDIATELY, IMMEDIATELY REPAIR OR REPLACE LEAKING/SAGGING DRAINAGE FEATURES.

GENERAL MAINTENANCE NOTES:

- ACCESS CAN BE GAINED TO EACH COLLECTION STRUCTURE THROUGH THE REMOVABLE INLET GRATE OR MANHOLE LID. STEEL OR OTHER APPROVED RUNGS HAVE BEEN INSTALLED ON THE INSIDE OF EACH STRUCTURE OVER FOUR FEET DEEP FOR ANY NECESSARY ENTRY. GRATES AND LIDS SHALL BE REPLACED SECURELY IMMEDIATELY AFTER MAINTENANCE.
- CONTACT DESIGN ENGINEER IMMEDIATELY AFTER DISCOVERY OF SINNHOLE OCCURRENCE. SINNHOLE SHOULD BE PROMPTLY AND PROPERLY REPAIRED.
- IF SEDIMENT/TRASH/DEBRIS IS FOUND IN THE CONVEYANCE SYSTEM, THE SYSTEM SHALL BE JETTED AND VACUUMED TO REMOVE ALL SEDIMENT/TRASH/DEBRIS AND DISPOSED OF APPROPRIATELY.
- REFER TO WATER QUALITY INLET MAINTENANCE GUIDELINES FOR ADDITIONAL DETAIL IN CLEANING OF THOSE STRUCTURES WITH WATER QUALITY APPARATUS INSTALLED.

CRITICAL STAGES OF CONSTRUCTION

- A LICENSED ENGINEER OR HIS RESPONSE SHALL BE PRESENT TO OBSERVE AND VERIFY INSTALLATION AND CONSTRUCTION OF THE PCSM PLAN AT THE FOLLOWING CRITICAL STAGES:
- EXCAVATION AND FINAL GRADING OF SWM #00 & #03.
 - PLACEMENT OF GEOTEXTILE FABRIC, STONE AND DISTRIBUTION PIPE INSIDE SWM #00 & #03.
 - INSTALLATION OF WATER QUALITY INLET FILTERS.
 - FOLLOWING CONSTRUCTION, REFER TO WATER QUALITY INLET MAINTENANCE GUIDELINES TO VERIFY THAT ALL PCSM BMP'S ARE INSTALLED, FUNCTIONING, AND HAVE NOT BEEN IMPACTED BY CONSTRUCTION ACTIVITIES.

