

**EAST GOSHEN TOWNSHIP
PLANNING COMMISSION
Meeting Agenda
Tuesday, July 30, 2024
7:00 PM**

- A. Call to Order / Pledge of Allegiance and Moment of Silence
- B. Chairman will ask if anyone is going to record the meeting.
- C. Review of Tracking Log / Determine need for Workshop Meeting
- D. Public Comment on Non-Agenda Items
- E. Approval of Minutes
 - 1. **June 25, 2024**
- F. Acknowledge Receipt of New Applications (Initial Submission)
- G. Subdivision and Land Development Applications
 - 1. **1010 Hershey Mill Road – Millstone Meadows SD (Final Plan)**
- H. Conditional Uses and Variances
- I. Zoning Hearing Board Variances
 - 1. **1538 Anne Drive/McCarragher (Dimensional Variance)**
- J. Ordinance Amendments
- K. Old Business
 - 1. The Malvern Institute – Update – (No Action Required)
 - 2. Planning Commission Bylaw Review.
- L. New Business
 - 1. **Environmental & sustainability Advisory Council working with the Planning Commission.**
- M. Liaison Reports
- N. Correspondence
- O. Announcements
- P. Next Meeting – **August 27, 2024, at 7pm.**

Bold Items indicate new information to review or discuss.

East Goshen Township Planning Commission
Application Tracking Log
June 25, 2024

July 6, 2022 PC Meeting													
Application Name	Application (CU, LD, ZO, SD, SE, CA)	Type (SE, P, F)	Date Filed	Start Date	Date to Township Engineer	Date to CCPC	Date to Abutting Prop. / ABC's	Extension	PC MUST Act Date (70-Days)	BOS Must Act Date (90-Days)	Hearing Date	Drop Dead Date	Comments
Paoli Pike Trail ALT Route	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Bold = New Application or PC action required													
14 Reservoir Road	SD	P	9/28/2022	9/28/2022	10-12-2022	10/19/2022		5-28-2023 8-28-2023 10-12-2023 2-17-2024 5-13-2024	2/28/2024 5/28/2024 8-28-2024	2/28/2024 5/28/2024 8-28-2024		2/28/2024 5/28/2024 8-28-2024	5-23-2023 Presentation for SD
Millstone Meadows SD 1010 Hershey Mill Road	SD	P	5/16/2023	5/16/2023		5/5/2023		7/15/2023 10/12/2023 1/24/2024 4-11-2024 6-28-2024	10/25/2023 1/25/2024 4/25/2024 7-25-2024 9-25-2024	10/25/2023 1/25/2024 4/25/2024 7-25-2024 9-25-2024		4/25/2024 1/25/2024 7-25-2024 9-25-2024	The Township Engineer review letter was received on 6-8-2023. The CCPC review letter was received on 6-7-2023. The Township Park & Recreation Board decline to review application. The following reviews are still in process, Historical, Fire Marshal, Zoning Officer, Municipal Authority, Conservancy.
Malvern Institute	LD	P	6/28/2021	7/1/2021	6/30/2021	6/29/2021	8/13/2021	\	2/2/2022	2/15/2022	NA	2/28/2022	PC made rec to BOS for Prelim App on June 1 2022. ZHB Decision was 4 years for building permits for Barn Renovations Building 11,25,2024
1338 Morstein Road SD	SD	P	2/5/2024	2/27/2024				4/11/2024	5/3/2024 8-3-2024	5/3/2024 8-3-2024		5/3/2024 8-3-2024	SD Application for a 16 lots subdivision split between West Whiteland and East Goshen with 3 lots located in EGT. Plan went to PC on 2-27-2024 for the initial submission with no action.
Timbermill SD 301 Reservoir Road	SD	F											Preliminary Plan was approved by the BOS at the 6-18-2024 meeting. Township Staff is waiting for the final plan review application.
CTDI	LD	P	5/7/2024	5/7/2024	7/9/2024				8/7/2024	8/7/2024		8/7/2024	
PROJECTS COMPLETED IN 2024													
1306 West Chester Pike	CU	NA	3/15/2024	3/15/2024	NA	NA	NA	NA	4/30/2024	5/15/2024	4/16/2024	5/15/2024	Conditional use for an automotive repair business. An automotive repair business is an existing use for this property. Board of Supervisors approved the CU application on 4-16-2024.
1344 Morstein Road Sketch Plan Review	SD	SK	2/16/2024	2/27/2024	NA	NA	NA	NA	NA	NA	NA	NA	Sketch Plan Review Application. Plan went to PC on 2-27-2024 as initial submission. Applicant will attend 3-26-2024 meet for discussion. Sketch Plan Review is closed and the Applicant is working on formal plans.
Timbermill SD 301 Reservoir Road	SD	P	1/29/2024	2/27/2024				4/11/2024	5/3/2024 7-3-2024	5/27/2024 7-3-2024		5-27-2024 7-3-2024	SD Application for a 5 lots subdivision. One lot has existing historic farm house and accessory building and a second lot has existing historic barn. 3 new lots will be created. Plan went to PC on 2-27-2024 for initial submission and presentation at applicants request. Preliminary Plan approval was granted by the BOS at the 6-18-24 meeting. Preliminary Plan Review is completed.

DRAFT
EAST GOSHEN TOWNSHIP
PLANNING COMMISSION MEETING
June 25, 2024

The East Goshen Township Planning Commission held their regular monthly meeting on Tuesday, June 25, 2024 at 7:00 pm in the Township Building.

Members present are highlighted:

Chair – Ernest Harkness

Vice Chair – John Stipe

Dan Daley

Michael Koza

Michael Pagnanelli

Fred Pioggia

Dan Truitt

Also present was:

Duane Brady, Zoning Officer

Kelly A. Krause, Asst. Zoning Officer

John Hertzog , BOS Liaison

Nathan Cline, Township Engineer

COMMON ACRONYMS:

BOS – Board of Supervisors

BC – Brandywine Conservancy

CB – Conservancy Board

CCPC – Chester Co Planning Commission

CPTF – Comprehensive Plan Task Force

CVS – Community Visioning Session

SWM – Storm Water Management

ZHB – Zoning Hearing Board

FORMAL MEETING – 7 p.m.

1. Ernest called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and asked for a moment of silence to remember our first responders, police, military, and all who protect us.
2. Ernest asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
3. The tracking log was checked and no need for a workshop meeting.
4. The minutes of the May 28, 2024 meeting were approved.

CHAIRMAN’S REPORT – None

SUBDIVISION AND LAND DEVELOPMENT APPLICATIONS

1. 1365/1373 Enterprise Dr./CTDI Land Development (Presentation) – Keith Montone, Vice President CTDI; Jeremy Maziara, Chester Valley Engineers; and Brian Nagle, Attorney were present. Brian commented that this is their first presentation, and they are excited to have this project for One CTDI Place ready. This will be a reception area and courtyard between the two existing buildings. He mentioned that he was there today and there were representatives from Microsoft there. Keith Montone commented that CTDI bought the QVC building in 2021 and made it into a CTDI building. CTDI owns another 4 buildings in the corporate park, so they use the term campus when referring to this West Chester location. This will be the World wide campus. CTDI has 20,000 employees around the world. 2025 will be their 50th Anniversary. They started in a garage on Boot Road. The third generation is running the company now. Keith showed photos of the area in this application and pointed out what they want to do. The new building will be between the two existing properties.

1 They will have museum quality exhibits of the start of CTDI. The subject of a condominium agreement
2 was discussed. There will be no signage on the building. They will use a ground monument.
3 Jeremy Maziarz pointed out where parking will be for this new area. Right now there is about 644 excess
4 parking spaces. The area that they leased for parking belongs to the Hicks family. There will be
5 handicapped spaces at the entrances. There was mention of EV charging stations in the parking area, but
6 they haven't decided where to do that yet. Trees are being removed and replaced with shrubs. John
7 mentioned that these trees were installed to keep the light from the sign on the building from shining into
8 residents' property. Jeremy will take a look at this. Dan T. spoke about the flooding problems they had
9 along the creek into the Grand Oak neighborhood. Also, he suggested that they reach out to the residents
10 about this project. Ernie commented that they may have to do a pipeline awareness study.
11 They will be back for the July meeting.

12
13
14 CONDITIONAL USES AND VARIANCES - None

15
16 ZONING HEARING BOARD VARIANCES - None

17
18 ORDINANCE AMENDMENTS - None

19
20
21 OLD BUSINESS

22 1. The Malvern Institute – (No action required.)

23
24 2. Planning Commission By Laws– Ernest reviewed the latest version of the By Laws. Recommended
25 changes from the last meeting are highlighted in yellow. John moved to adopt the By Laws as amended
26 and send to the BOS. Fred seconded the motion. The motion passed unanimously.

27
28 3. Planning Commission New Member Package – This will be reviewed next month.

29
30 NEW BUSINESS - None

31
32 LIAISON REPORTS - None

33
34 ANY OTHER MATTER – None

35
36 CORRESPONDENCE - None

37
38
39 ADJOURNMENT

40 There being no further business, Dan T. made a motion to adjourn the meeting. Fred seconded the
41 motion. The meeting was adjourned at 8:00 pm.

42 The next meeting was scheduled for July 23, 2024. However, the Commission would not be able to get a
43 quorum, so it was changed to Tuesday July 30, 2024 at 7:00 p.m.

44
45 Respectfully submitted,

46
47
48
49
50 _____
Ruth Kiefer, Recording Secretary

EAST GOSHEN TOWNSHIP

1580 Paoli Pike, West Chester, PA 19380
CHESTER COUNTY

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380
Voice: 610-692-7171 ex. 3103
E-mail: kkrause@gmail.com



Recommendation and Draft Motion

Date: July 24, 2024
To: Planning Commission
From: Kelly A. Krause, Assistant Zoning Officer
Re: **Zoning Hearing Board Application (Dimensional Variance)**
1538 Anne Drive/McCarraher

Dear Planning Commission Members,

The township has received a Zoning Hearing Board application from Meghan & John McCarraher, 1538 Anne Drive, West Chester, PA 19380 to allow a 2,003 square foot (approx. 34'x 58') addition for the construction of an in-law suite attached to the existing house, as permitted as an accessory use pursuant to §240-9E(16) of the East Goshen Township Code. The subject property is within the R-2 Low Density Residential Zoning District, and part of a Single-Family Cluster Development.

The placement of the addition requires a variance from the provisions of § 240-28D(3)(b) of the East Goshen Township Code, which requires a 20' minimum side yard setback for single family dwellings within a cluster development. The proposed addition will encroach into the required 20' side yard setback by 11'8 ½" (providing an 8'3 ½" setback) for a length of 31' 2 ½", and by 8'6" (providing an 11'6" setback) for a length of 27'.

Background and General Information

- The subject parcel was created as part of the single-family cluster development plan of Pin Oak Farm- Section I, Lot #11, approved by the Board of Supervisors on October 7, 1968.
- Recorded plans of the subdivision indicate the following area and bulk regulations at the time of approval:
 - Lot area: 25,000 square feet
 - Lot width: 125 feet at building line
40 feet at street line
 - Setback: 35 feet (i.e. front yard setback from public right-of-way)
 - Side Yard: 20 feet
 - Rear Yard: 35 feet
- 1538 Anne Drive, aka Lot 11 on the above-referenced plans, exceeds the minimum lot area and width required, providing the following:
 - Lot area: 25,353 square feet
 - Lot width: 127 feet at building line & street line (semi-regular shaped lot)

The following information is attached:

1. A copy of the Zoning Hearing Board Application.
2. The final subdivision plan of Pin Oak Farm, Section I for Hankin & Robinson, Inc., dated July 22, 1968.
3. ChescoViews aerial view imagery.
4. Recorded plans of development, individual site plan records, and associated documentation for the following properties referenced in applicant's exhibits:
 - a. 1523 Alison Drive, Lot 78, Pin Oak Farm, Section I
 - b. 426 Gateswood Drive, Lot 54, Pin Oak Farm, Section I
 - c. 448 Gateswood Drive, Lot 75, Marydell Farm
 - d. 452 Gateswood Drive, Lot 77, Marydell Farm
 - e. 461 Gateswood Drive, Lot 139, Marydell Farm
 - f. 1519 Richard Drive, Lot 46, Pin Oak Farm, Section IIA

Zoning Review Comments:

The applicant's site plan contains incorrect information regarding certain area and bulk regulations for a lot created as part of a cluster development. Specifically, the required front yard setback is shown as 45' where 35' is required, the maximum building coverage maximum is shown as 25% where 20% is permitted, and the impervious coverage is shown as 35% where 30% is permitted. With these regulations correctly applied, the subject property is currently in conformance with all area and bulk regulations currently and historically imposed, pursuant to § 240-28D(3), and the approved subdivision plans for the development.

The lot is generally regular in shape (approx. 127'x 200'), and does not appear to contain any unusual encumbrances such as steep slope, floodplain, easements, etc.

There are no records or documentation to support that a 10 foot side yard setback was historically permitted within this development, or within surrounding neighborhoods.

Draft Motion:

Mr. Chairman, I move that we recommend to the Board of Supervisors to _____ (vote in favor/oppose) the dimensional variance requested by the McCarrahers to allow the construction of a 2,003 square foot addition to encroach into the 20' side yard setback by 11' 8 ½".

Respectfully,



Kelly A. Krause
Zoning Officer (PA-CZO)
Department of Code Enforcement

**EAST GOSHEN TOWNSHIP
ZONING HEARING BOARD APPLICATION**

1580 PAOLI PIKE WEST CHESTER, PA 19380-6199
PHONE (610)-692-7171 FAX (610)-692-8950

Name of Applicant: John and Meghan McCarragher
Applicant Address: 1538 Anne Drive
West Chester, PA 19380
Telephone Number: (610) 888-3022 Email: Meg. mcarragher@gmail.com
john.mccarragher@gmail.com
Email Address: _____
Property Address: 1538 Anne Drive
West Chester, PA 19380
Tax Parcel Number: 53-04Q-0040 Zoning District: R2 Acreage: .5831

Purpose of Application (check one)

- Variance (Type: Use Variance Dimensional Variance)
 Special Exception
 Appeal determination of the Zoning Officer
 Other _____

Sections of Zoning Ordinance in which relief is sought:

240-9.6

R2 Area and Bulk requirements: 20 foot minimum side yard setback

Description of the Zoning Relief requested and the future use of the property:

Side yard setback from 20 feet to 11 feet 8.5 inches

Description of the Hardship:

Adding an in-law suite for mother with dementia to be able to help father care for her. Using current garage for their bedroom. Want to build new 2-car garage with living space for parents behind the new garage. Current setbacks are based on a 1-acre lot. We only have .58 acres. Setbacks in this neighborhood used to be →

We hereby acknowledge that we have read this application and state that the above is correct and agree to comply with all provisions of the East Goshen Township Zoning Ordinance applicable to this project and property.

Meghan McCarragher
Signature of Applicant

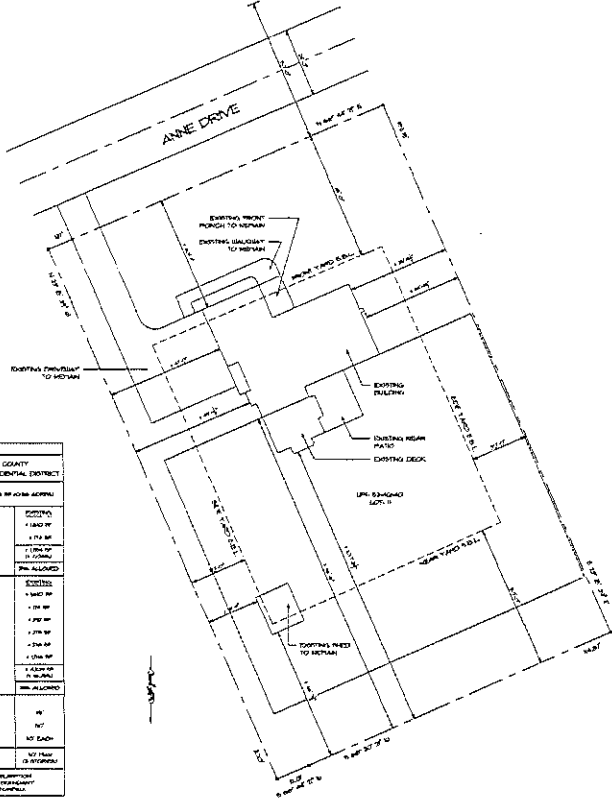
John McCarragher 6/27/24
Date

***Please review the formal application and review procedures on page three.**

10 feet; at some point this was changed to 20 feet.

EXISTING		TOTAL / # AVAILABLE FOR ACCESS	
EAST GOSHEN TOWNSHIP, CHESTER COUNTY ZONING DISTRICT - R-1-1 (LOW DENSITY RESIDENTIAL DISTRICT)			
WALKWAYS			
EXISTING WALKWAY	11.40 SF	EXISTING	
PROPOSED WALKWAY	1.75 SF	TOTAL	13.15 SF
TOTAL	13.15 SF		
EXISTING DRIVEWAYS			
EXISTING DRIVEWAY	13.00 SF	EXISTING	
PROPOSED DRIVEWAY	1.00 SF	TOTAL	14.00 SF
PROPOSED DRIVEWAY	1.00 SF		
PROPOSED DRIVEWAY	1.00 SF		
TOTAL	14.00 SF		
REVISIONS			
REVISION	10		
REVISION	20		
REVISION	30 EACH		
CHALLENGE			
	10		

1 SITE LOCATION PLAN
SCALE: 1" = 30'-0"

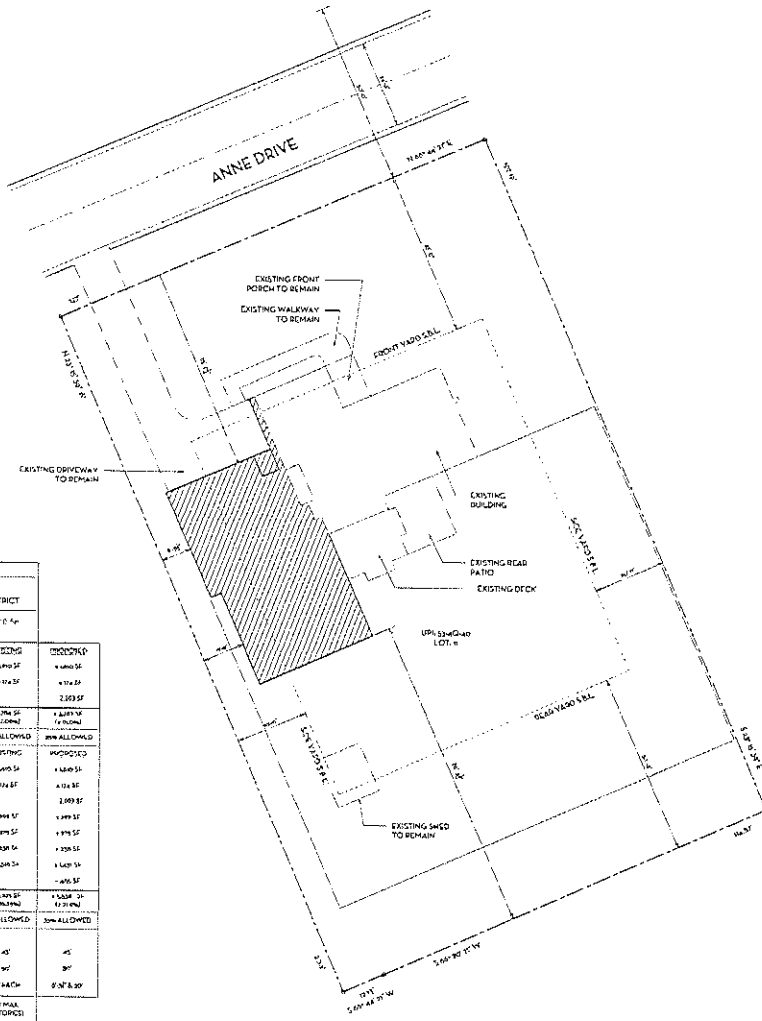


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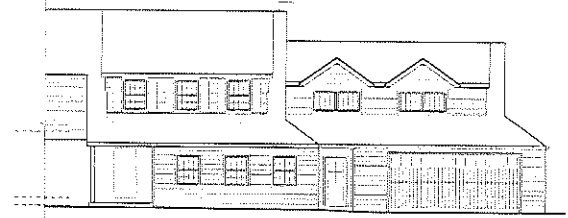
<p>STOCKLOS DESIGN GROUP, LLC</p>	<p>JIM DESROSIER PROFESSIONAL ENGINEER No. 011003983 STATE OF PA</p>	<p>MCCARRAHER RESIDENCE 1539 ANNE DRIVE WEST CHESTER, PA 19380 EAST GOSHEN TOWNSHIP, CHESTER COUNTY</p>
	<p>REVISIONS DATE: _____ REVISION: _____</p>	<p>THE SITE LOCATION PLAN</p>
	<p>DRAWING NO. A1</p>	<p>DATE: MARCH 27, 2024 SCALE: AS NOTED</p>

PROJECT NO.
60_403

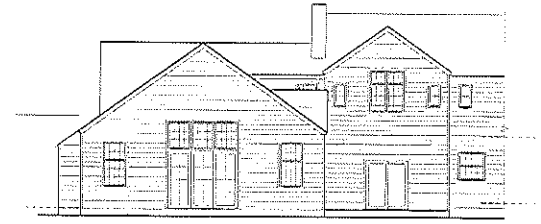
EAST GOSHEN TOWNSHIP, CHESTER COUNTY ZONING DISTRICT - R-1 - LOW DENSITY RESIDENTIAL DISTRICT		
USE AREA	TOTAL	PERMITTED
TOTAL 4,252.64 SQ. FT. (0.44 ACRES)		
BUILDING COVERAGE		
EXISTING HOUSE	4,149 SF	4,149 SF
EXISTING SHED	1,174 SF	1,174 SF
ADDITION		2,893 SF
TOTAL	5,323 SF	8,216 SF
IMPASSED SURFACES		
	PERMITTED	PERMITTED
EXISTING HOUSE	4,149 SF	4,149 SF
EXISTING SHED	1,174 SF	1,174 SF
ADDITION		2,893 SF
EXISTING FRONT PORCH/WALKWAY	1,149 SF	1,149 SF
EXISTING DECK	1,175 SF	1,175 SF
EXISTING ROAD PATIO	1,500 SF	1,500 SF
EXISTING DRIVEWAY	1,248 SF	1,248 SF
ADDITION		405 SF
TOTAL	12,303 SF	12,594 SF
	PERMITTED	PERMITTED
ULTRADIG	30'	45'
FRONT	30'	30'
REAR	30'	30'
SIDE	30'	30'
BUILDING HEIGHT	30' MAX	30' MAX
SITE PLAN DEVELOPED FROM DEED DESCRIPTION AND FIELD MEASUREMENTS. NO FORMAL BOUNDARY SURVEY OF THE PROPERTY WAS OBTAINED.		



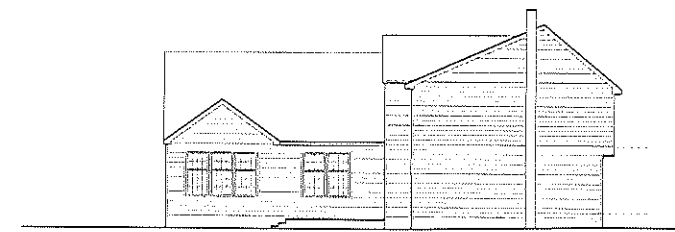
Z1 Site Plan
1/8" = 1'-0"



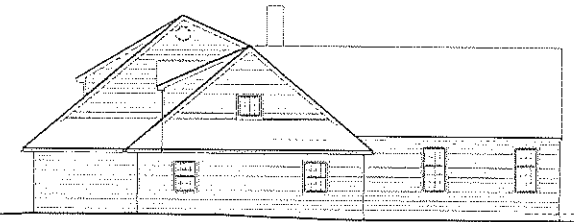
Z1 Front Elevation
1/8" = 1'-0"



Z1 Rear Elevation
1/8" = 1'-0"



Z1 Yard Side Elevation
1/8" = 1'-0"



Z1 Side Elevation
1/8" = 1'-0"

1538 Anne Drive, West Chester, PA 19380

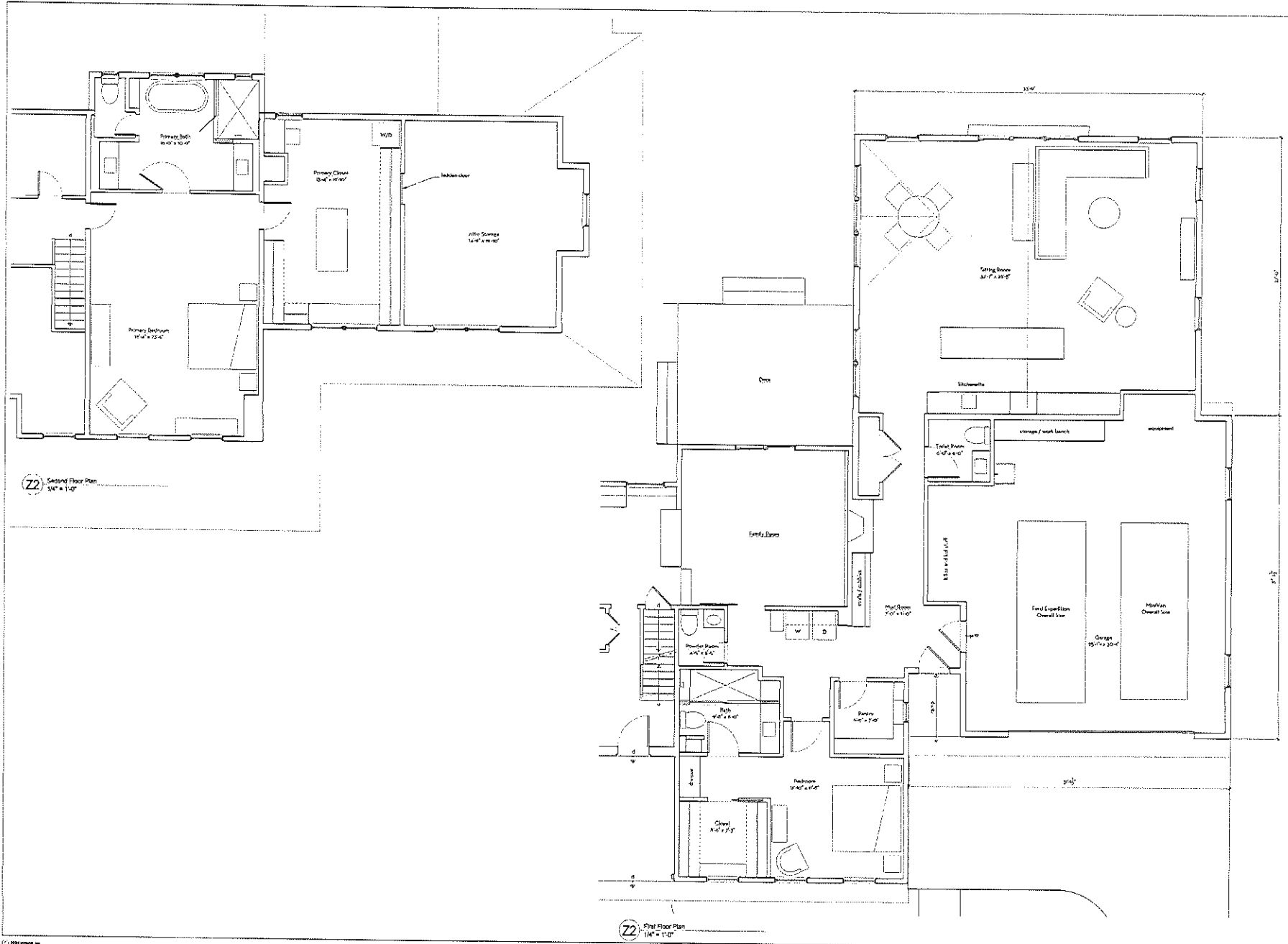
McCarragher

inHabit



22 April 2024
2403

Z1



Z2 Second Floor Plan
14'4" x 11'0"

Z2 First Floor Plan
14'4" x 11'0"

McCarragher 1558 Anne Drive, West Chester, PA 19380



DATE: 22 April 2024
 SHEET: 2403
 PROJECT: 2403

Z2

1536 Anne Drive
West Chester, PA
19380
Ph: (484) 887-0818

May 31, 2024

To Whom It May Concern:

This letter is in support of John and Meghan Mccarraher's proposed addition. We are their neighbors on the right side when looking from the street which is the side where the addition will be located. We are fully aware of the circumstances that have necessitated the construction of an in-law suite. Given the layout of their home and the position of the current driveway, where they are proposing to locate the structure seems reasonable. We understand that a 20 feet set back from the property line is required by the township and their plans would need to reduce this to around 8 feet for the planned new garage location and 10 feet for the additional room behind this new garage. Given their reasons for this project, we want to confirm that they have talked to us about this matter. They have shown us the plans for the addition and we find their design acceptable.

Best regards,

Rosemary Sullivan and Neil Watling

June 3, 2024

**George and Jennifer Bull
1540 Anne Dr
Westchester, PA 19380**

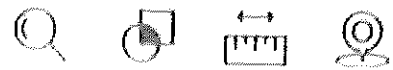
To Whom It May Concern,

My wife and I own the property at 1540 Anne Drive. We are writing in support of John and Meghan McCarragher's plans to add an addition to their home at 1538 Anne Drive.

Respectfully submitted,

George and Jennifer Bull

Handwritten signatures of George and Jennifer Bull in cursive script.



IMAGERY



Ordnance Survey | Chester Reporter | Visit our website

Logout



1523 Alison Dr.



Address

Owner

UPI

PIN

Street

Intersection

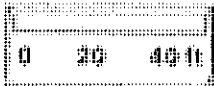
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426 Gateswood Dr.



Address Owner UPI PIN Street Intersection Buf ^

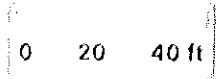


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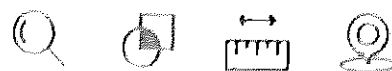
10/27



448 Gateswood Dr.



Address Owner UPI PIN Street Intersection Buf ^



IMAGERY

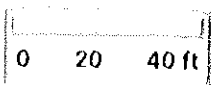
Leaf On Off Chesco Reporter Visit our website

1/1

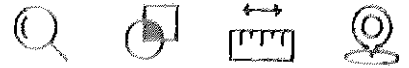
Jun 20 2024



452 Gateswood Dr



Address	Owner	UPI	PIN	Street	Intersection	Buf
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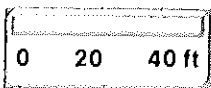
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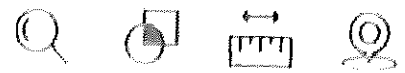
Measurement ? ^ X

Distance	Area	Coordinates
Unit		
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Distance		
12.59 ft		
<input type="button" value="New measurement"/>		

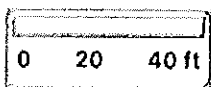
461 Gatewood Dr.



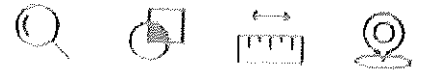
Address Owner UPI PIN Street Intersection Buf ^



1519 Richard Dr.



Address Owner UPI PIN Street Intersection Buf ^



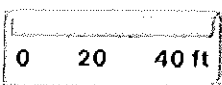
IMAGERY

Leaflet | Data: Chesco Reporter, Mapbox, Zillow

10/27



Clocktower
Development



Address	Owner	UPI	PIN	Street	Intersection	Buf
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Approved by the Planning Commission of
East Goshen Township, Chester County,
Pennsylvania, this 12th day of August, 1968.

[Signature]
Chairman

Approved by the Board of Supervisors of
East Goshen Township, Chester County,
Pennsylvania, this 12th day of August, 1968.

[Signature]
Chairman

By Chester County Planning
Commission, Chester County, Pennsylvania,
this 12th day of August, 1968.

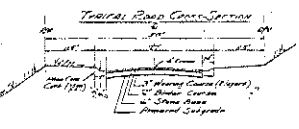
[Signature]
County Engineer

Site Plan
1/2" = 1' = 100'

2. CURVE DATA

- A = 35°16'28"
- B = 28°00'00"
- T = 73.84'
- A = 140.25'
- C = 144.01'
- Chy = 245°07'11"W
- A = 45'
- B = 20°18'46"
- T = 280.00'
- A = 70.00'
- B = 180.00'
- C = 180.00'
- Chy = 345°18'00"W
- A = 17°03'00"
- T = 280.00'
- A = 60.49'
- B = 172.00'
- C = 171.21'
- Chy = 37°01'00"W

P.2 Zone Minimum Requirements:
 AREA: 25,000 Sq Ft
 WIDTH: 15' W to 20' W
 SIDEWALK: 10' W
 DRIVEWAY: 10' W
 DRIVE: 20' W



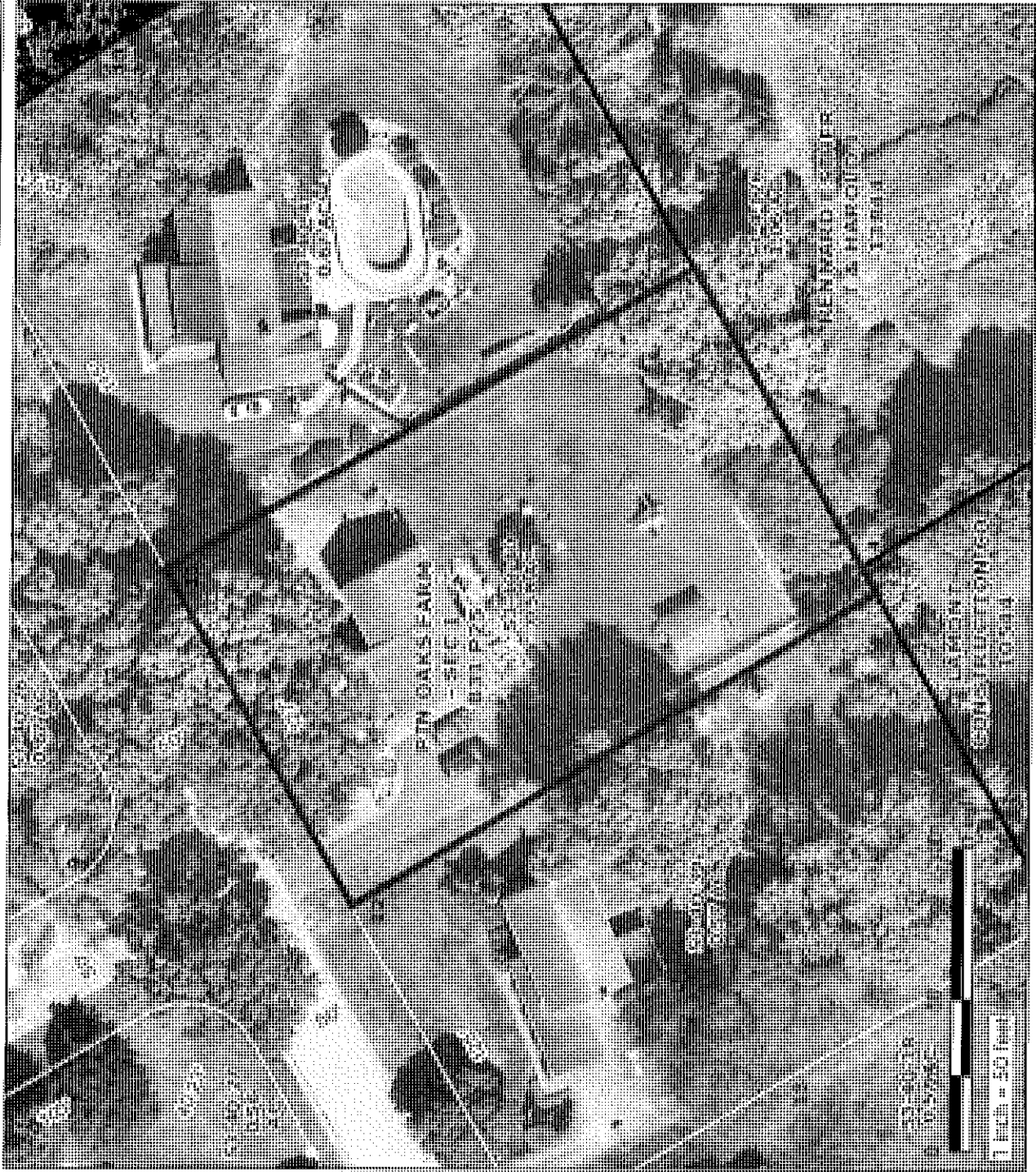
NOTE:
 1. All subdivisions to be serviced with public sewer and water.
 2. All utilities to be placed underground.
 3. Park areas and buffer strips to be dedicated to the township of East Goshen.

Copy

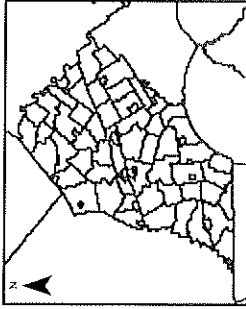
APPROVED BY THE CHESTER COUNTY PLANNING COMMISSION THIS 12th DAY OF AUGUST, 1968.
[Signature]
Chairman

HEARD BY
PIN OAK FARM - SECTION I
 FOR
 HANCOCK & ROBINSON, INC.
 ENGINEERS
 HENRY S. CONNEY, INC.
 DIVISION OF
 CHESTER VALLEY ENGINEERS
 100 N. MARKET STREET, PHILADELPHIA, PA. 19102

1538 Anne Drive- Z24-3



COUNTY OF CHESTER
PENNSYLVANIA



Find Address Information

PAR ID : 5304000400000
LPT: 53-4Q-40
Owner: MCCARRAHER, MEGHAN
K
Owner:2: MCCARRAHER, JOHN R JR
Mail Address 1: 1538 ANNE DR
Mail Address 2: WEST CHESTER PA
Mail Address 3:
ZIP Code: 19380
Deed Book: 10680
Deed Page: 2378
Deed Recorded Date: 09/20/2021
Legal Desc 1: SS ANNE DR
Legal Desc 2: LOT 11 & DW G
Acres: 0.5831
LUC: R-10
Lot Assessment: 45790
Property Assessment: 159430
Total Assessment: 205220
Assessment Date: 12/15/2023 7:39:35
AM
Property Address: 1538 ANNE DR
Municipality: EAST GOSHEN
School District: West Chester Area



Map Created:
Thursday, July 25, 2024

County of Chester

Limitations of Liability and Use:
County of Chester, Pennsylvania makes no claims to the completeness, accuracy, or correct of any data contained herein, and makes no representation of any kind, including, but not limited to, the warranties of merchantability or fitness for a particular use, nor are any such warranties to be implied or inferred with respect to the information or data furnished herein. For information on data sources visit the GIS Services page listed at www.chesco.org/gis.

Approved by the Planning Commission of
East Chester Township, Chester County,
Pennsylvania, this 14th day of February, 1966.

[Signature]
County Engineer

Approved by the Board of Supervisors of
East Chester Township, Chester County,
Pennsylvania, this 14th day of February, 1966.

[Signature]
County Engineer

By Chester County Planning
Commission, Chester County, Pennsylvania,
this 14th day of February, 1966.

[Signature]
County Engineer

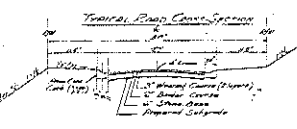
Area 7 23174'93
SECTION 10774

2. CURVE DATA

- Δ = 25°48'30"
 - R = 800.00'
 - T = 73.84'
 - A = 125.00'
 - C = 141.01'
 - Chy = 3 43'07" W
-
- Δ = 25°48'30"
 - R = 800.00'
 - T = 73.84'
 - A = 125.00'
 - C = 141.01'
 - Chy = 3 46'48" W
-
- Δ = 17°43'00"
 - R = 800.00'
 - T = 80.00'
 - A = 175.00'
 - C = 171.61'
 - Chy = 3 19'41" W

P.R. Zone Minimum Requirements

MINES	25,000 Sq Ft
WINDMILL	150' H to 200' H
WATER	20' H
REAR YARD	25' H



Notes:
1. All utilities to be serviced with public square and water.
2. All utilities to be placed underground.
3. Bank areas and buffer strips to be dedicated to the Township of East Chester.

Copy

DESIGNED BY THE CHESTER COUNTY PLANNING COMMISSION

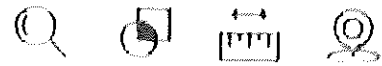
PIN OAK FARM - SECTION I

FOR
HARRIS & GOODSON, INC.

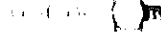
ENGINEERS

DIVISION OF
HENRY B. CONROY, INC.

CHESTER VALLEY ENGINEERS
1825 MARKET STREET
PHILADELPHIA, PA. 19103



INSURANCE



ChescoViews for Web

Logout



1523 Alison Dr.



Address

Owner

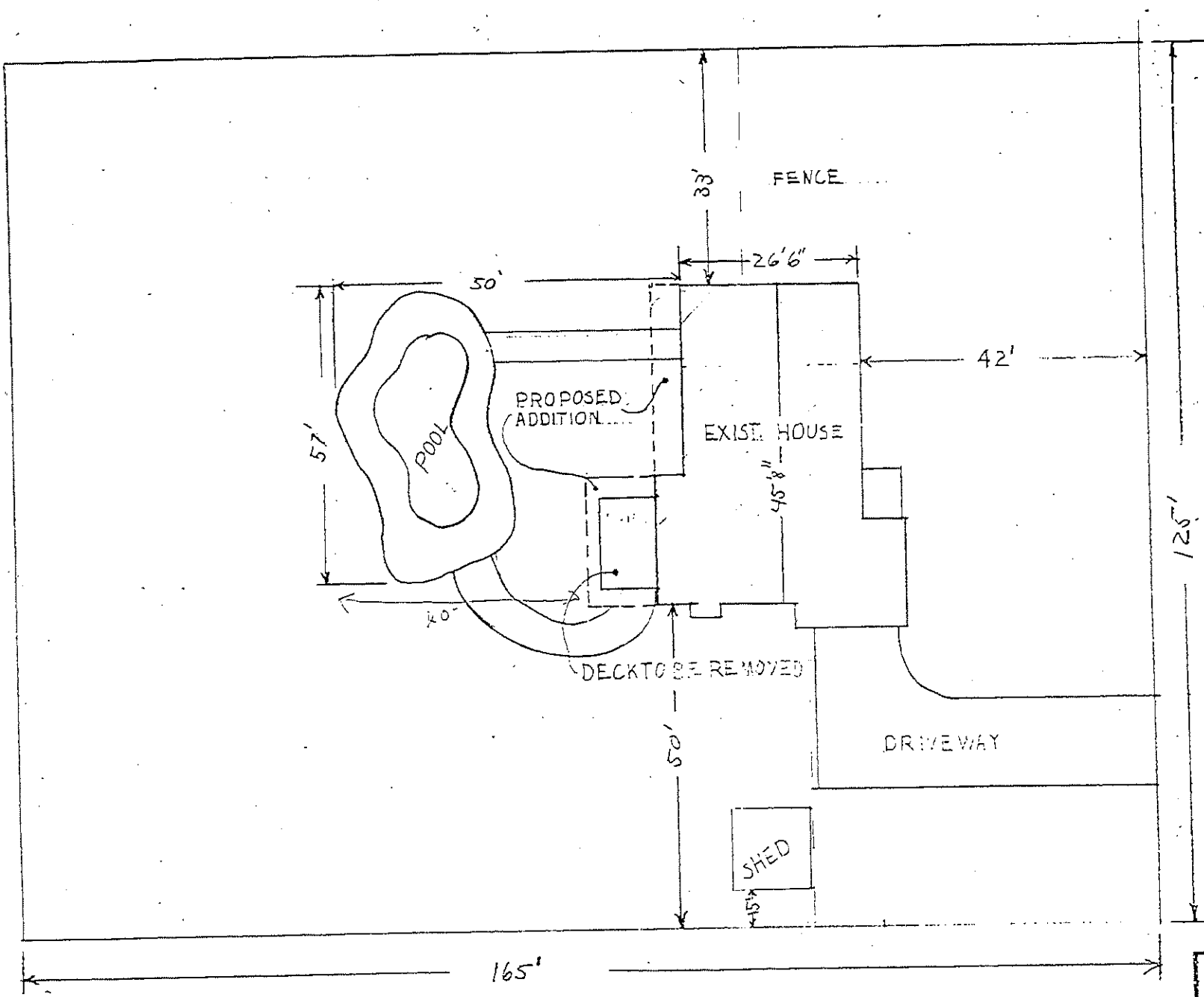
UPI

PIH

Street

Intersection

But ^



5890.

ALLISON DR

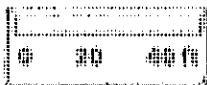
PLOT PL.
 MR - MRS.
 SCALE: 1/4" = 1'-0"



IMAGERY Leaf: On Off Chesco Reporter Visit our website Leave



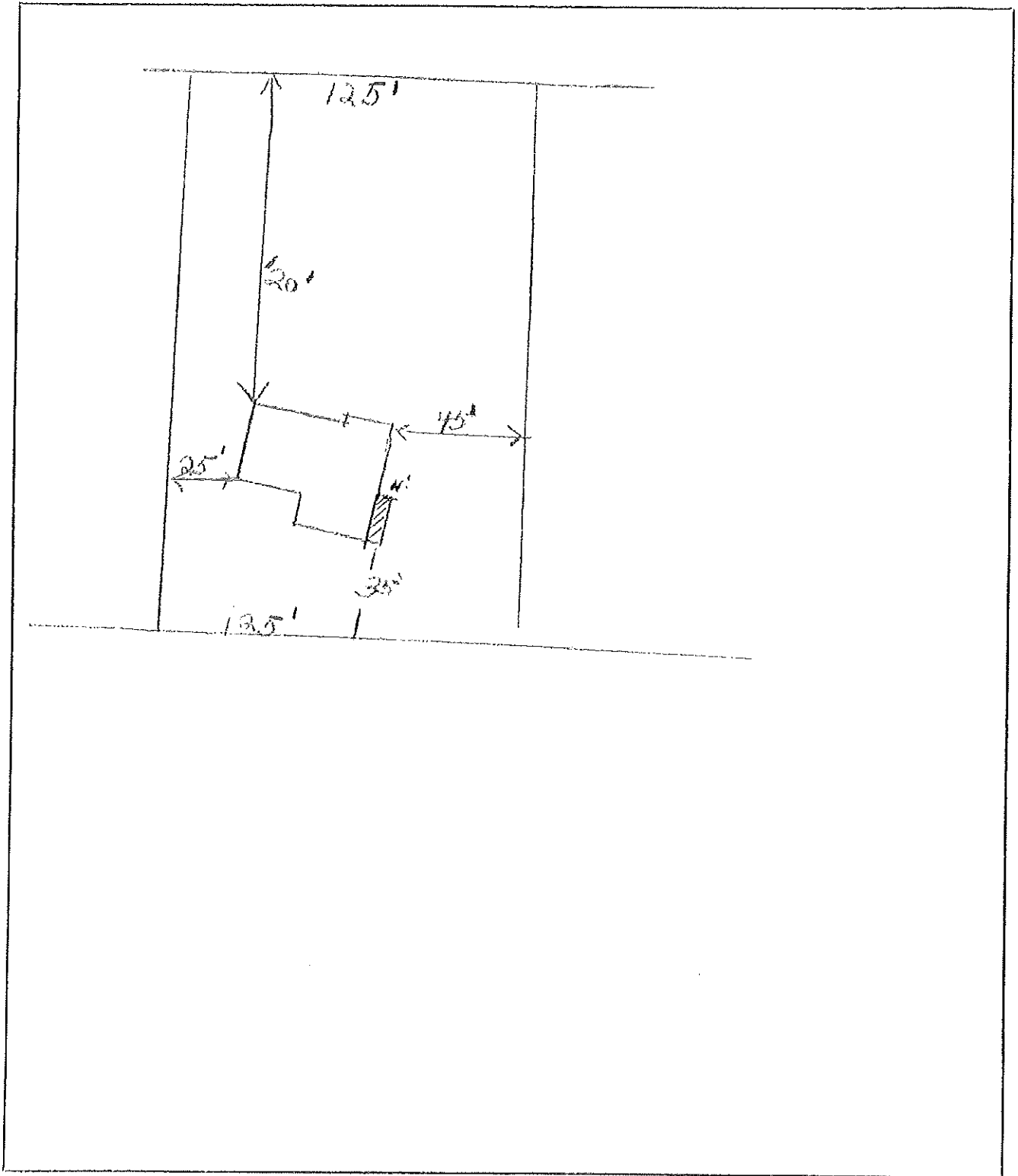
426 Gateswood Dr.



Address Owner UPI PIN Street Intersection Buf ^

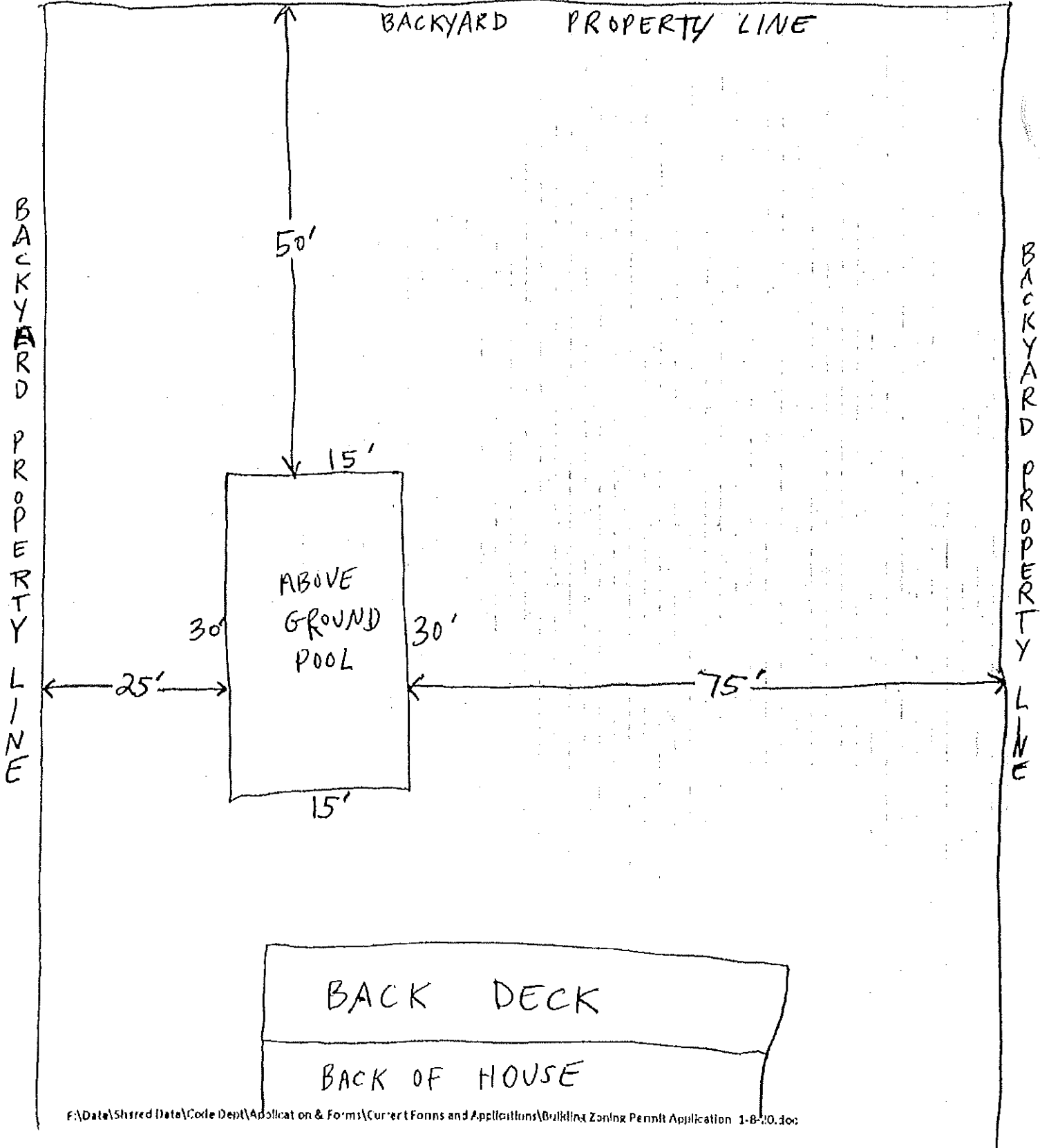
17. PLOT PLAN

Show Property Lines, Street Lines, Net Area of Lot to Street Lines, Septic Tank, Seepage Pit, Tile Field, Streams, etc. Separate Plot Plan can be attached. Plot Plan must be neat, legible, and suitable for permanent record.



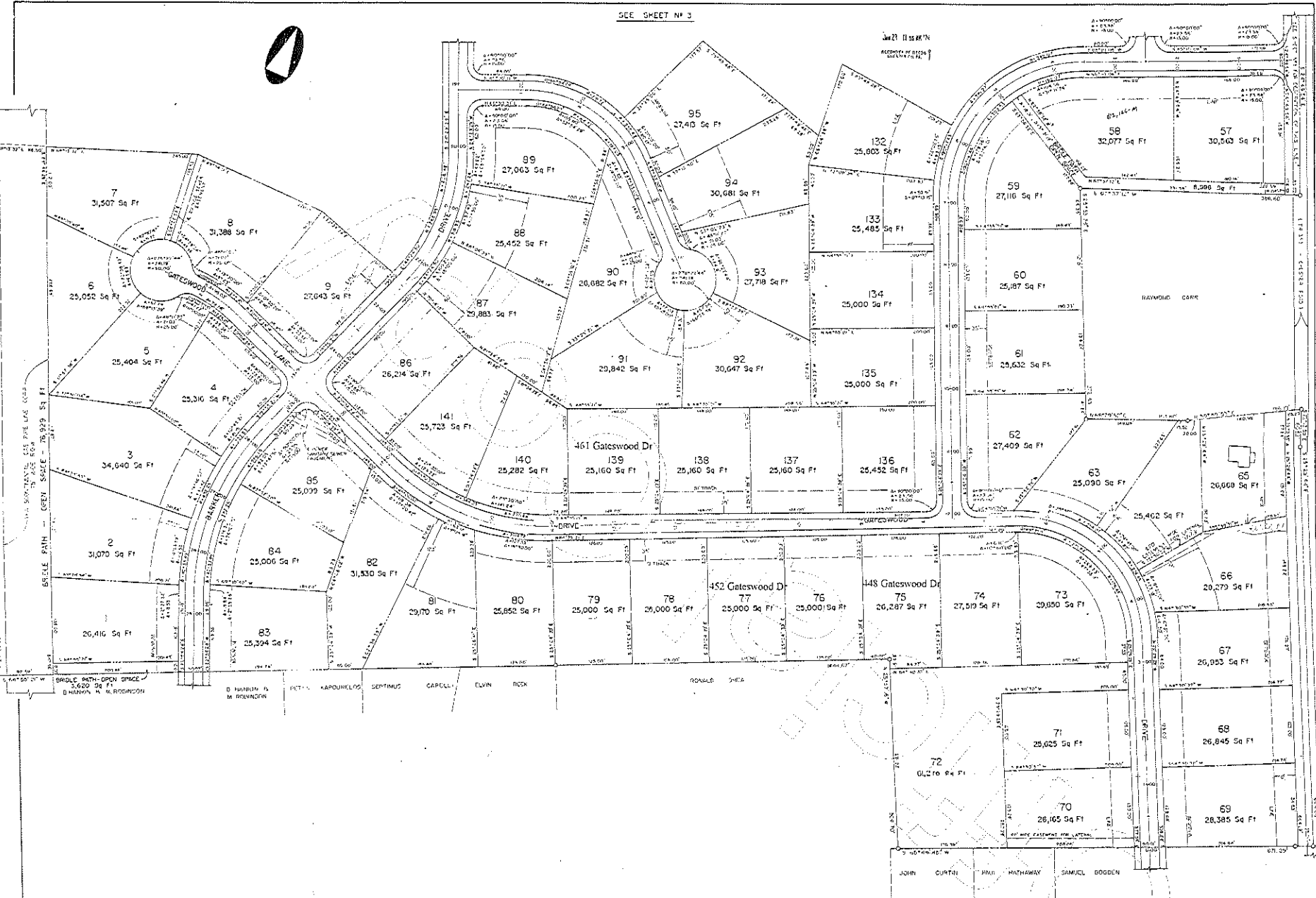
EAST GOSHEN TOWNSHIP
BUILDING & ZONING PERMIT APPLICATION
1580 PAOLI PIKE WEST CHESTER, PA 19380-6199
PHONE (610)-692-7171 FAX (610)-692-8950
codes@eastgoshen.org

7. SITE PLAN: Show existing features of the property, property lines, easements, and project dimensions.



DATE 11 25 2017

SEE SHEET NO. 2 FOR SECTION OF THIS LANE



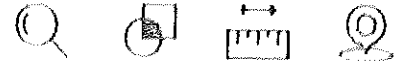
MARYDELL FARM
EAST-GOSHEN TWP
Hankin & Robinson
Pott, Pennsylvania

FINAL SUBDIVISION PLAN

Copy Filed
Date of Closing Co. No. 51
Plan No. 51

Robert R. March PE
P.E. Consulting Engineer
THE CENTER FOR DESIGN
P.O. Box 1000, West Chester, OH 45380-1000

DATE	11/25/17
SCALE	AS SHOWN
BY	R.R. MARCH
CHECKED	S. BROWN
DATE	11/25/17
PROJECT	MARYDELL FARM
DATE	11/25/17
BY	R.R. MARCH
CHECKED	S. BROWN
DATE	11/25/17



IMAGERY

Leaflet



©

Chesco Reporter

Visit our website

Leave



448 Gateswood Dr.

0 20 40 ft

Address

Owner

UPI

PIN

Street

Intersection

But ^

1876

GATESWOOD DRIVE

00
00

R/W LINE

$116^{\circ}55'21''E$ 125.00'

36'

BUILDING SETBACK LINE

21'

26 287 SQFT

200.00'

$S 25^{\circ}04'39''E$

214.86'

$S 25^{\circ}04'39''E$

40.00'

$S 64^{\circ}55'21''W$

$N 25^{\circ}57'16''W$

15.48'

$N 64^{\circ}30'32''E$

84.77'

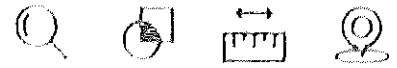
"NEWGATE"

PLOT PLAN - LOT 75
1" = 30'

MARYDELL FARM
EAST GOSHEN TWP
HANKIN & ROBINSON
PAOLI, PENNSYLVANIA



Robert F. Harsch PE
CONSULTING ENGINEER



IMAGERY

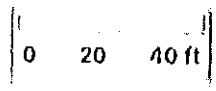
Deal On Off Chesco utility poles Test out website

1/1/21

Jun 2019



452 Gateswood Dr



Address	Owner	UPI	PIN	Street	Intersection	Buf ^
---------	-------	-----	-----	--------	--------------	-------

GATESWOOD DRIVE

11-00

1874

R/W LINE

N 64° 55' 21" E

125.00'

36'

41'

BUILDING

SETBACK LINE

21'

25,000 SQ FT

200.00'

200.00'

S 25° 04' 39" E

S 25° 04' 39" E

S 64° 55' 21" W

125.00'



"TUDOR"

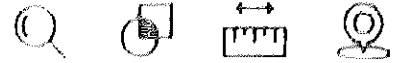
AN LOT 77

1-30'

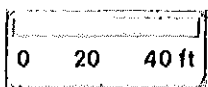
MARYDELL FARM
EAST GOSHEN TWP
HANKIN & ROBINSON
PAOLI, PENNSYLVANIA



Robert F. Harsch PE
CONSULTING ENGINEER

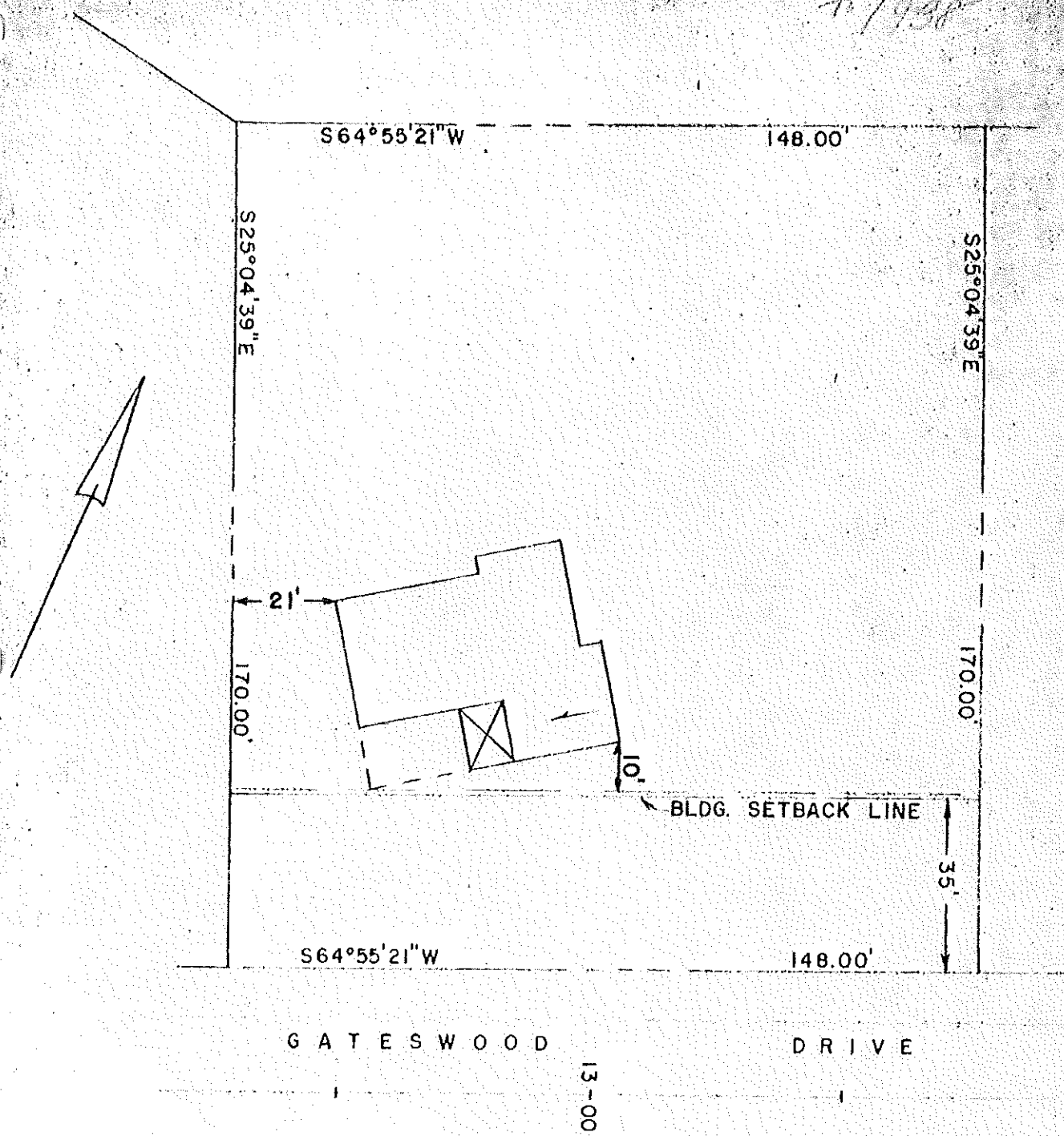


461 Gatewood Dr.



Address	Owner	UPI	PIN	Street	Intersection	Buf
---------	-------	-----	-----	--------	--------------	-----

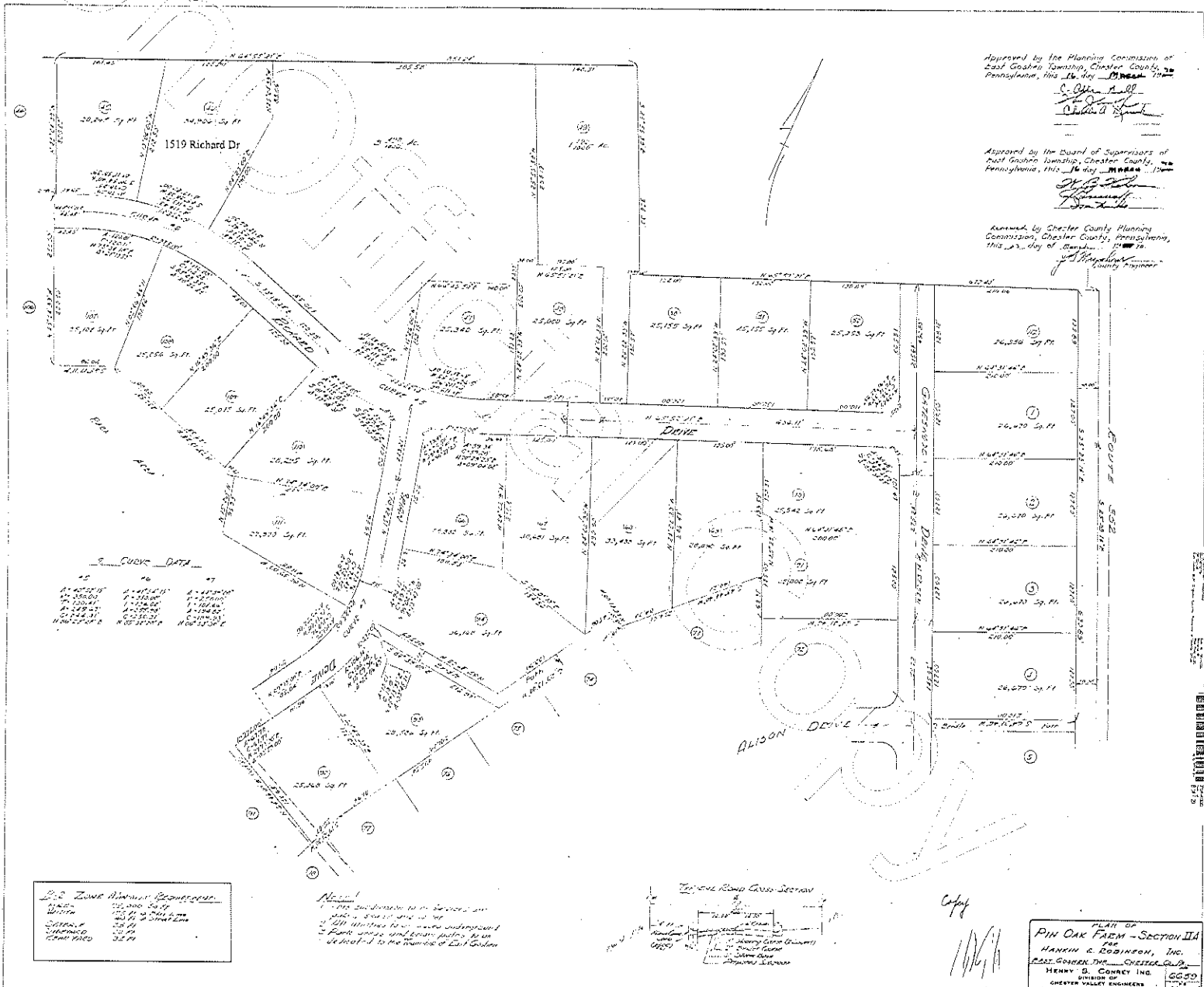
11/9/38



TUDOR

PLOT PLAN - LOT 139
1" = 30'

MARYDELL FARM
EAST GOSHEN TWP.
HANKIN & ROBINSON
PAOLI, PENNSYLVANIA



Approved by the Planning Commission of
East Goshen Township, Chester County,
Pennsylvania, this 16th day of March, 1972

S. Allen Hall
Chairman
Richard Spurr

Approved by the Board of Supervisors of
East Goshen Township, Chester County,
Pennsylvania, this 16th day of March, 1972

John J. ...
Treasurer
Tom ...

Examined by Chester County Planning
Commission, Chester County, Pennsylvania,
this 27th day of March, 1972

J. ...
County Engineer

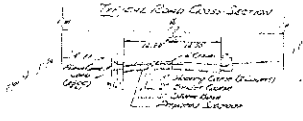
S. CURVE DATA

PC	PT	PT
11,400.00'	11,400.00'	11,400.00'
12,000.00'	12,000.00'	12,000.00'
12,600.00'	12,600.00'	12,600.00'
13,200.00'	13,200.00'	13,200.00'
13,800.00'	13,800.00'	13,800.00'
14,400.00'	14,400.00'	14,400.00'
15,000.00'	15,000.00'	15,000.00'
15,600.00'	15,600.00'	15,600.00'
16,200.00'	16,200.00'	16,200.00'
16,800.00'	16,800.00'	16,800.00'
17,400.00'	17,400.00'	17,400.00'
18,000.00'	18,000.00'	18,000.00'
18,600.00'	18,600.00'	18,600.00'
19,200.00'	19,200.00'	19,200.00'
19,800.00'	19,800.00'	19,800.00'
20,400.00'	20,400.00'	20,400.00'
21,000.00'	21,000.00'	21,000.00'
21,600.00'	21,600.00'	21,600.00'
22,200.00'	22,200.00'	22,200.00'
22,800.00'	22,800.00'	22,800.00'
23,400.00'	23,400.00'	23,400.00'
24,000.00'	24,000.00'	24,000.00'
24,600.00'	24,600.00'	24,600.00'
25,200.00'	25,200.00'	25,200.00'
25,800.00'	25,800.00'	25,800.00'
26,400.00'	26,400.00'	26,400.00'
27,000.00'	27,000.00'	27,000.00'
27,600.00'	27,600.00'	27,600.00'
28,200.00'	28,200.00'	28,200.00'
28,800.00'	28,800.00'	28,800.00'
29,400.00'	29,400.00'	29,400.00'
30,000.00'	30,000.00'	30,000.00'

R.O. ZONE MINIMUM REQUIREMENTS

Front	100.00'	100.00'
Side	10.00'	10.00'
Back	10.00'	10.00'
Street	10.00'	10.00'
Front	10.00'	10.00'
Side	10.00'	10.00'
Back	10.00'	10.00'
Street	10.00'	10.00'

- Notes
1. The boundaries shown herein are based on the survey of ...
 2. All utilities shown herein are underground.
 3. All structures and other improvements shown herein are shown as existing.
 4. The location of East Goshen Township is shown.



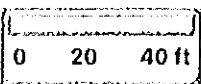
PLAN OF
PIN OAK FARM - SECTION II
FOR
HANKIN & BOBINSON, INC.
PART GARAGE, INC., CHESTER, PA.
HENRY B. CONROY, INC.
DIVISION OF
CHESTER VALLEY ENGINEERS
120 N. MARKET ST. PHILADELPHIA, PA.
19102

DATE: 3/16/72
SCALE: AS SHOWN
BY: HBC

Copy
[Signature]



1519 Richard Dr.



Address

Owner

UPI

PIN

Street

Intersection

Buf ^

IN RE:APPLICATION OF THE : BEFORE THE ZONING HEARING BOARD OF
MICHAEL AND LEISA STEIN : EAST GOSHEN TOWNSHIP
: CHESTER COUNTY, PENNSYLVANIA

COPY

DECISION

The Zoning Hearing Board of East Goshen Township, Chester County, Pennsylvania (the "Board"), after proper advertisement met at approximately 7:30 P.M. on Thursday, May 5, 2011 to receive evidence on the above captioned matter. The Applicants, Michael and Leisa Stein (the "Applicant"), seek a variance from the 20 foot side yard requirement of Section 240-28.D.(3)(b) in the Zoning Chapter of the East Goshen Township Code (the "Code") in order to construct a detached garage 10 feet from the side property line on their property located at 1519 Richard Drive, East Goshen Township, Chester County, Pennsylvania (the "Property"). Mr. Stein appeared to testify on behalf of his application.

Present at the hearing were Chairman, Janet L. Emanuel, Member, John T. Nicholson, Esquire, and Member, Charles W. Proctor, III, Esquire. Also present at the hearing were Mark Gordon, Zoning Officer, and Ross A. Unruh, Esquire, Solicitor for the Zoning Hearing Board. No other parties entered their appearance. At the conclusion of the hearing the Applicant waived the time period in the Municipalities Planning Code (the "MPC") with respect to the issuance and service of this written decision.

I. FINDINGS OF FACT

1. The Property is located at 1519 Richard Drive, East Goshen Township, Chester County, Pennsylvania, which is in the R-2 Low Density Residential District.
2. The following exhibits were presented and accepted into evidence at the hearing:

B-1 – Application;

B-2 – Proof of Publication;

B-3 – Affidavit of Posting and photos of the posting;

B-4 – Notification to surrounding property owners with a list of the
surrounding property owners;

T-1 – An April 7, 2011 East Goshen Township Planning Commission
letter; and

T-2 – An April 25, 2011 East Goshen Board of Supervisors letter.

The Code and Zoning Map are incorporated herein by reference

3. There exists on the Property a single family home which contains a two car garage.
4. Applicant is proposing to convert the existing two car garage into an office and to construct a two story detached garage.
5. The proposed detached garage will accommodate two cars and provide for storage.
6. Applicant proposes to construct the detached garage at the end of the driveway, with the front of the garage on the same plane as the rear of the house.
7. Applicant is not able to install the proposed detached garage elsewhere on the Property because of steep slopes and mature vegetation as more particularly depicted in photographs which are attached to the application.
8. At the closest point, which is the front right corner of the detached garage, the side yard setback will be 10 feet. Extending along the side of the garage to the right rear corner, the setback will be 17.5 feet.

9. Also included with the application is written support for the application from the Applicant's neighbors.
10. No one appeared in opposition to the application.
11. The Planning Commission and the Board of Supervisors voted unanimously in favor of the dimensional variance provided the Applicant follows all applicable Federal, State and Local Laws and secures all proper permits prior to construction of the improvements depicted on the plans.
12. The standards for obtaining a variance set forth in Section 240-58 of the Code have been met. In particular, the physical conditions of the Property, such as the steep slopes and mature vegetation, do not permit the detached garage to be constructed on the Property in strict conformity with the side yard requirements of the Code. In addition, the proposed location at the end of the driveway is the most logical location for the construction of the detached garage and it is a location which will result in the least disruption to the Property.
13. This hardship was not created by the Applicant and the Applicant has requested the minimum variance which will afford appropriate relief.
14. Granting the requested variance will be in harmony with the general purpose and the intent of the Code and will not be injurious to the neighborhood or detrimental to the public health, safety and welfare of the community.

II. DISCUSSION

Section 240-58 of the Code empowers the Zoning Hearing Board to grant variances from the terms of the Code. The MPC and existing case decisions provide that variances from a zoning ordinance may be granted owing to any physical circumstance

or condition of the property which causes unnecessary hardship, when the hardship is not self-created. In addition, it has been established that applicants for a dimensional variance need not be held to the same strict standards imposed on applicants for a use variance. Hertzberg v. Zoning Board of Adjustment of the City of Pittsburgh, 721 A.2d 43 (Pa. 1998).

This Board has determined that it would be appropriate to grant the variance from the side yard requirement of Section 240-28.D.(3)(b) to permit the Applicant to construct the detached garage which at its closed point, will be 10 feet from the side property line instead of the required 20 feet. As indicated in the Findings of Fact, the conditions of the Property, such as the steep slopes and mature vegetation, do not permit the garage to be constructed elsewhere on the Property. In addition, constructing the garage at the end of the driveway is the most logical place for it and it is a location which will result in the least disruption to the Property.

III. CONCLUSIONS OF LAW

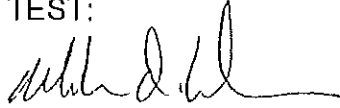
The Applicant's request for a dimensional variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

IV. ORDER

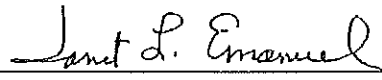
AND NOW, this 10th day of May, 2011, the Applicant, Michael and Leisa Stein, are hereby granted a variance from Section 240-28.D.(3)(b) in order to construct a detached garage which at its closest point will be 10 feet from the side property line regarding the Property located at 1519 Richard Drive, East Goshen Township, Chester County, Pennsylvania, provided the Applicant complies with all Federal, State and Local

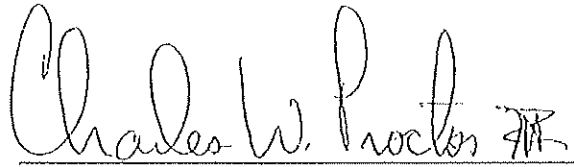
Laws and secures proper permits prior to the construction of the improvements depicted
on the plans.

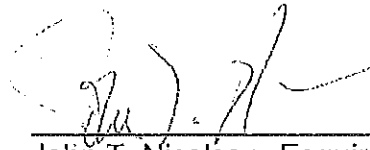
ATTEST:


Zoning Officer

EAST GOSHEN TOWNSHIP
ZONING HEARING BOARD


Janet L. Emanuel
Chairman


Charles W. Proctor, III, Esquire
Member


John T. Nicolson, Esquire
Member

Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380
Voice: 610-692-7171
Fax: 610-692-8950
E-mail: dbrady@eastgoshen.org

Date: 7-26-2024
To: Planning Commission
From: Duane J. Brady Sr., East Goshen Township Zoning Officer
Re: **1010 Hershey Mill Road / Millstone Meadows
Preliminary/Final Subdivision and Land Development
Residential Open Space Development/Third Submission Letter**

Dear Board Commissioner,

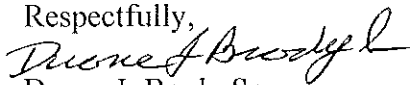
The Grove Meadow Developers, LLC is requesting final plan approval recommendation to the East Goshen Township Board of Supervisors. The submitted information was reviewed by Township Staff, Township Engineer. The Developer did receive preliminary plan approval from the East Goshen Township Board of Supervisors.

Draft Motion Recommendation:

Mr. Chairman, I move that we recommend to the Board of Supervisors in favor of approving the 1010 Hershey Mill Road / Millstone Meadows, for final plan approval. Based on the recommendation of the Township Staff and Township Engineer. Both parties feel that the final plans are at a sufficient level of information and layout to consider a recommendation.

With a condition that all outstanding review items and agreements, be completed as part of the final approval process. That Pennoni review letter dated July 25, 2024, and East Goshen Township Fire Marshal review letter dated 7-26-2024 pending items be completed as part of the conditions for final approval.

Respectfully,



Duane J. Brady Sr.
East Goshen Township
Zoning Officer



Memorandum

East Goshen Township
1580 Paoli Pike
West Chester, PA 19380
Voice: 610-692-7171
Fax: 610-692-8950
E-mail: dbrady@eastgoshen.org

Date: 7-26-2024
To: Planning Commission
From: Duane J. Brady Sr., East Goshen Township Fire Marshal
Re: **1010 Hershey Mill Road / Millstone Meadows
Preliminary/Final Subdivision and Land Development
Residential Open Space Development/Initial Review Letter**

Dear Board Commissioner,

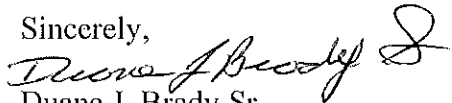
The Township Fire Marshal has reviewed the Revised Subdivision Plans dated June 7, 2024, for the creation of a new 14 Lot Residential Open Space Subdivision/Land Development and has the following recommendations and comments:

All code information is from the International Fire Code 2018 Edition (IFC) and East Goshen Township Code Chapter 205 Subdivision and Land Development section 205-30 Preliminary plan requirements, Part C.3.D.

1. The plans show an 18-foot-wide street/road which does not meet the minimum fire access road requirement of 20 feet minimum. IFC 2018 section 503.2 specifications.
Resolved
2. The plans do not show the size of the driveways. A driveway is considered a fire access road and shall be a minimum of twenty feet as required pre the IFC 2018 section 503.2. specifications.
Resolved
3. The development street/road and driveways shall be installed to carry a minimum of 75,000 pounds as required for a fire access road. IFC 2018 section 503.2.3 Surface.
Resolved
4. The development street/road and driveway shall meet the required apparatus turning requirements. As required in the IFC 2018 section 503.2 Specifications. Please provide a Fire Turck Pathway Plan showing the requirements will meet code.
Resolved
5. The development of the street/road and shared driveway may require placing or installing Fire Lane No Parking signs if the minimum of 20 feet width is installed.
Resolved

6. Fire Hydrant locations were not clearly located on the plans.
Resolved
7. Fire hydrants show existing locations of hydrants in the area and distance to new development.
Resolved
8. Fire Hydrant will the installed system be public.
Resolved
9. Provide the size of the largest dwelling unit to calculate the required fire flow rate for the development.
Resolved
10. Provide the existing available fire flow rate to the development.
Pending
11. Fire Hydrants and fire flow rate must meet the IFC 2018 code requirements.
Pending
12. East Goshen Township Code Chapter 205 Subdivision and Land Development section 205-30 Preliminary plan requirements, Part C.3.D. requires size and location of fire hydrants be shown on plans. Fire hydrants were not clearly marked on plans.
Resolved

Sincerely,



Duane J. Brady Sr.
East Goshen Township
Fire Marshal



July 25, 2024

EGOST 00134

Attn: Duane Brady, Zoning Officer
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

RE: 1010 Hershey Mill Road – Millstone Meadows
Final Subdivision and Land Development Review

Dear Duane:

As requested, we have reviewed the following information, prepared by dH Enterprises, Inc., regarding the referenced submission:

- *"Final Subdivision and Land Development Plans for Milestone Meadows"* (19 sheets) dated April 20, 2023, **last revised June 7, 2024**; and
- Response letter to Pennoni comments dated December 22, 2023.

The applicant and equitable owner, Grove Meadow Developers LLC of Berwyn, on behalf of the owners, Mark & Christine Miller of Wayne, propose to subdivide and develop UPI 53-1-19 (±16.1 acres) with fourteen (14) single-family residential lots per the Single-Family Open Space Development Option (§240-36). Two (2) of the lots will be redeveloped utilizing existing buildings and/or historic resources, additional lots will be open space. The parcel is located on the west side of Hershey Mill Road (T-452) approximately 1,950 feet north of its intersection with Greenhill Road, within the R-2 Low Density Residential District. The development is proposed to be served by public water supply and public sanitary sewer.

The applicant was granted Conditional Use approval by the Board of Supervisors on March 7, 2023.

The applicant is requesting the following three (3) waivers:

1. From §205-46 requiring a minimum center line radii of 150 feet;
2. From §205-53.A requiring proposed streets that are in alignment with existing streets to bear the same name; and
3. From §205-62 requiring all street trees to be installed on forty (40) foot centers.

Please note that previously resolved comments or comments requiring no further action have been removed. We offer the following comments (new comments in bold/italics):

CONDITIONAL USE DECISION AND ORDER

3. *The applicant shall comply with all outstanding comment contained in the Pennoni review letter dated October 27, 2022 (Exhibit B-10), to the satisfaction of the Township Engineer, as amended by this order.*

Outstanding. See review comments below.

4. *During the subdivision/land development process, the applicant shall adequately address stormwater management, to the satisfaction of the Township Engineer, including but not limited to stormwater conveyances through the site from adjacent stormwater management facilities and any necessary stormwater easements.*

Outstanding. See review comments below.

5. *The applicant shall provide to the Township a sanitary sewer and pedestrian access easement approximately located between lots 6 and 7, to the satisfaction of the Township. The pedestrian access easement shall be demarcated by post-and-rail fencing, stone, mulch, grass pavers, or the like. The pedestrian access easement shall be maintained by the Homeowners' Association and will be adequately addressed in the Association's Declaration of Covenants, Conditions and Restrictions (the "Declaration") to the satisfaction of the Township. Notice of the easement shall also be provided to any prospective buyers of lots 6 and 7 prior to execution of an agreement of sale. The applicant shall complete the demarcation of the pedestrian access prior to the issuance of building permits for lots immediately adjacent to the easement area.*

Pending/Resolved.

- a. **Pending.** The easement has been noted on the plans and the applicant's attorney is working with the Township Solicitor to coordinate necessary documents.
- b. **Resolved.** **Boxwood shrubs are proposed to delineate the easement.**

7. *The applicant shall preserve as much of the existing perimeter vegetation as possible. Any vegetation replaced pursuant to the Ordinance and/or the Township's subdivision and land development ordinance (the "SALDO") shall be replaced with native and deer-resistant materials, wherever possible. Landscaping plans shall be reviewed by the East Goshen Township Conservancy Board and the Township Engineer to ensure compliance with the ordinance and SALDO. Furthermore, the perimeter of the property shall contain a traditional post-and-rail or equivalent fence that reuses the existing concrete posts, where possible.*

Outstanding. See comments below.

8. *The applicant shall design and install a 150' wide riparian forest buffer in accordance with the riparian buffer requirements outlined in 25 PA. Code §102.14 for the portion of stream within the subject property, should the applicant demonstrate to the Township that creation and maintenance of the entire 150' riparian buffer area is not possible for any portion of the property, then the width of the buffer may be reduced by the Board of Supervisors, in their sole discretion, during the subdivision/land development process. Areas of existing woodland may be utilized to meet the riparian buffer requirements; however, these areas shall be reviewed by an arborist or qualified professional to ensure that the composition of plant life meets the requirements outlined. A plan shall be established to remove invasive species within the existing wooded areas and any area of the riparian buffer. An operation and maintenance plan shall be developed for the riparian buffer to ensure that this buffer is maintained free of invasive species in perpetuity, with such plan being recorded with the approved Final Plans.*

Pending. A formal application was submitted to CCCD and is currently undergoing a technical review. Additional review will commence following feedback from both PADEP and CCCD.

9. *Maintenance of all landscaping on HOA-owned property, as well as all street trees, shall be the responsibility of the Homeowners Association and will be addressed in the declaration, to the satisfaction of the Township. All street trees shall be located outside of any road right-of-way.*

Pending/Resolved.

- a. *Pending. The final HOA documents will be reviewed by the Township at the record plan stage.*
- b. *Resolved. The applicant has discussed the location of street trees with the Conservancy Board and a waiver was granted from §205-62 by the Board of Supervisors at the preliminary plan stage.*

10. *Prior to recording the plans, the applicant shall prepare and submit to the Township a shared access easement, as approved by the Township Solicitor, for the shared driveway servicing the two (2) flag lots.*

Pending. The easement has been noted on the plans and the applicant's attorney is working with the Township Solicitor to coordinate necessary agreements.

11. *The applicant shall comply with the Township's ordinances regarding cartway width (Section 205-44) and sidewalks/paths (Section 205-56). Any waiver request from these provisions will be considered by the Board of Supervisors during the subdivision/land development process.*

- b. *Trail/sidewalk access is not proposed throughout the site; this should be confirmed with the Township.*

Resolved. Trail/sidewalk was discussed with the Planning Commission and Board, and it was agreed no formal/permanent trail is to be provided.

12. *The applicant shall provide an offer of dedication of additional property along Hershey Mill Road for a potential future sidewalk or pathway.*

Pending. The applicant has indicated that an easement will be addressed at the time of plan recording.

18. *The applicant shall execute and provide to the Township a recordable, notarized copy of a memorandum containing a metes and bounds description of the property in question and stipulating the terms and conditions of this approval and shall consent to the recording by the Township in the Office of the Recorder of Deeds of Chester County no later than the recording of the approved Final Plan. All recording costs shall be reimbursed by the applicant within 30 days of receipt of an invoice from the Township.*

Pending.

ZONING (§240)

1. We will defer a review of the Flood-Prone Area regulations (§240-26) pending clarification regarding PADEP permitting requirements and anticipated submissions and designs.

Pending. Revised submission to PADEP/CCCD have been completed by the applicant; reviews are pending.

SUBDIVISION AND LAND DEVELOPMENT (§250)

10. Full documentation of any proposed homeowners' association, covenants or other such proposed association and/or restrictions governing the subdivision and/or land development shall be provided. (§205-30.C(4)(i))

Pending. The applicant's attorney is coordinating with the Township Solicitor on any necessary documents and agreements.

13. Documentation concerning the maintenance, repair and use of the private streets shall be submitted to the Township for review and approval with the preliminary plan. (§205-42.H)

Pending. The applicant has indicated the proposed street is to be dedicated to the Township, see General Note 2 on the Cover Sheet.

17. Horizontal curve data should be provided to ensure conformance with §205-46.

Resolved. A waiver was granted from this section by the Board of Supervisors at the preliminary plan stage.

19. As the proposed lots are below one acre, the right of way width of a minor street may be reduced to 40 feet and the cartway width of a minor street may be reduced to 20 feet at the sole discretion of the Township Supervisors (§205-44.E(2)). Otherwise, the right of way width shall be 50 feet and the cartway width shall be 25 feet (§205-44.D). See Decision & Order Condition No. 11, above.

Resolved. A waiver was granted from this section by the Board of Supervisors.

21. Proposed streets that are in alignment with existing streets shall bear the name of the existing street. (§205-53.A) The proposed entrance to the development aligns with Tanglewood Drive.

Resolved. A waiver was granted from this section by the Board of Supervisors.

Where driveways are used jointly by more than one property owner, they may straddle the property line. The appropriate easement restrictions shall be noted on the final plan. (§205-57.C) An access/utility easement should be provided for Lots 13 & 14.

Pending. A shared access and utility easement has been added to the shared driveway of Lots 13 and 14.

STORMWATER MANAGEMENT

22. It appears that several permits will be required; please confirm PADEP direction regarding specific permits being required. (§195-16)

Pending. **Revised submission to PADEP/CCCD have been completed by the applicant; reviews are pending.**

24. Indicate the elevations of the amended soils in their respective details in order to confirm the infiltration BMPs have the required 2-foot separation to a limiting zone. (§195-20.L(1))

Outstanding. The applicant provided updated information, however, note the following:

- a. *Basin 1 does not appear to have the required 2-foot separation; the bottom of basin is 483 but rock is present at 486.86.*
- b. *Basin 2 does not appear to have the required 2-foot separation; the bottom of basin is 473 but a seasonally high water table is present at 477.78.*

Outstanding. The applicant provided additional soils testing; the following comments are based on this new test information:

- a. *Basin 1 infiltration surface is at elevation 483.0. The bottom of Test Pit SW-1A is at 481.3'. The basin does not have the required 2-foot separation to the limiting zone (bottom of test pit). (§195-20.J(1))*

Resolved. The bottom of Basin #1 was revised to 484.00 and a two-foot layer of amended soils has been included to provide infiltration separation.

- b. Basin 2 infiltration surface is at elevation 473.0. The bottom of Test Pit SW-2C is at 471.25. The basin does not have the required 2-foot separation to the limiting zone (bottom of test pit). (§195-20.J(1))

Resolved. The bottom of Basin #2 was revised to 475.00 and a two-foot layer of amended soils has been included to provide infiltration separation.

- c. Test Pit SW-2A indicates rock within 37 inches of the ground surface. The applicant should indicate SW-2A and provide more information as to the extent of the rock.

Resolved. A note has been added to the plans indicating that additional soil testing at the time of conversion.

- d. The infiltration test in SW-1A was performed at 484.3'. The applicant should provide testing at the elevation of the proposed infiltration for Basin 1 elevation 483.0'. (§195-20.I(2))

Resolved. The bottom of Basin #1 was revised to 484.00 and a two-foot layer of amended soils has been included to provide infiltration separation. A note has been added to the plans indicating that additional soil testing at the time of conversion.

- e. The infiltration test in SW-2C was performed at 475.09'. The applicant should provide testing at the elevation of the proposed infiltration for Basin 2 elevation 473.0'. (§195-20.I(2))

Resolved. The bottom of Basin #2 was revised to 475.00 and a two-foot layer of amended soils has been included to provide infiltration separation.

31. Provide all calculations and design details for the proposed culvert.

Pending. The applicant has submitted a HEC-RAS study of the stream, note the following:

- a. The applicant should clearly indicate the stream cross section stations in the report.

Resolved. Station 125 was added to the Floodplain Plan and Station 115 was identified as the culvert on Hershey Mill Road.

SANITARY SEWER

48. Sewers shall be located a minimum of 10 feet horizontally from any obstruction such as a building. Sewers must be a minimum of 10 feet from a water main or 18 inches (measured from top of sewer to bottom of water main) under the same. When a sanitary sewer line crosses above or under any other pipeline with separation of less than 18 inches, the sanitary line will be provided with concrete encasement per the standard detail that extends 10 feet on either side of the pipe being crossed. (§205-71.B(4)(d)(6)) Sewer pipe between MH 6 & MH 12 and between MH 7 & MH 8 appear to have less than 10 feet horizontal or 18 inches vertical clearance between sanitary sewer and water pipes.

Outstanding. The pipes near MH 5 and MH 14 still appear to have less than 10' horizontal clearance and less than 18" vertical clearance.

50. Sewer outfalls, headwalls, manholes, gateboxes or other structures shall be so located that they do not interfere with the free discharge of flood flows of the stream. (PA DEP Domestic Water Facilities Manual 27.1) MH 3 appears close to the stream, please relocate or indicate how this manhole will not interfere with the streamflow.

This comment remains outstanding; we still recommend MH 3 have a manhole dish/insert.

The proposed location for MH 4 is now within the driveway for Lots 13 and 14 and shows the rim elevation to be approximately 2 feet above proposed grade. The rim elevation of MH 4 needs to be lowered to be flush with grade. Additionally, if the driveway will be paved, MH 4 would be in a paved area and would not require a bolted down lid.

52. Upon completion of construction, the stream shall be returned as near as possible to its original condition. The streambanks shall be seeded, planted or other erosion prevention methods employed to prevent erosion. Provide on the plans the specific method(s) to be employed in the construction of the sewers in or near the stream to control siltation. (PA DEP Domestic Water Facilities Manual 27.2)

Pending. *Revised submission to PADEP/CCCD have been completed by the applicant; reviews are pending.*

GENERAL

57. Please continue to include the Township in any meetings, submissions and/or correspondence with the Chester County Conservation District and/or PADEP.

Comment acknowledged. *Revised submission to PADEP/CCCD have been completed by the applicant; reviews are pending.*

60. A trail/sidewalk easement should be provided along the frontage of Hershey Mill Road for future connections; see additionally Condition No. 12

Pending. The applicant has indicated that an easement will be addressed at the time of plan recording.

62. Submission is subject to Conservancy Board, Zoning Officer, Historic Commission and Fire Marshal review.

Pending.

63. It may be appropriate to consider a pedestrian crossing, per PENNDOT regulations, across Hershey Mill Road to Tanglewood Drive.

Outstanding. The applicant has revised the plans to include a pedestrian crossing warning signs (PennDOT Sign W11-2); however, no crosswalk is proposed at the intersection of Millstone Circle, Tanglewood Drive, and Hershey Mill Road.

SANITARY SEWER

73. Watertight manhole frame and cover are to be revised per the attached detail. Top of manhole to say, "East Goshen Municipal Authority" and "Sanitary Sewer". Precast concrete adjustment rings that are less than or equal to 11.5-inches are to be used. Bolt down lids are to be used instead of locking bar (bolt down lids are not to be used for manholes located in pavement).

Resolved. The detail has been revised as requested.

75. We recommend extending sewer from MH 11 through the easement, past the driveway, to the rear of Lot 6 so that future connections from the neighboring community will not require the demolition and replacement of

curb and driveway of Lot 6. We recommend this extension have a cleanout near or at the end of the pipe extension to help locate the end of the pipe for future connection to the system.

Outstanding. Provide a detail or a note for the cleanout that will be added to the rear of Lot 6. It will be acceptable to provide an 8" to 4" reducer with a standard 4" cleanout.

LANDSCAPING

76. All buffer yards shall include a completely planted visual barrier or landscape screen. Such visual barrier shall be fully attainable within a three-year period. (§205-60.B)

Further, where the existing tree masses do not fully screen the area or where there are no existing tree masses, plantings shall be added to complete the visual barrier within the prescribed time period. (§205-60.B(2))

Groupings of evergreens trees have been provided; however, they do not provide a completed planted visual barrier. Additional plant material shall be provided to meet this requirement or clarity regarding existing vegetation/visual buffers provided for all property boundaries.

Resolved. The proposed plan and landscape plantings were presented to the Conservancy Board and were considered acceptable, and the Board provided their recommendation for approval.

82. Street trees shall be installed on forty-foot centers on the same side of the street. (§205-62) We recommend the street trees be spaced at forty-foot intervals.

Resolved. The placement of street trees was discussed with the Township and a waiver from this section was granted by the Board of Supervisors.

84. The Open Space Management provide no notes regarding maintenance.

Resolved. Notes regarding the maintenance of natural areas and re-forestation have been added to the Open Space plans on Sheet 4.

GENERAL

89. The E&SC Details Sheet is incorrectly labeled as reserved on Sheet 1.

Outstanding. Cover sheet still has Sheet 14 noted as reserved.

90. Provide one sewer lateral each for Lots 13 & 14. These sewer laterals are to extend to the edge of the sewer easement and shall end with a cleanout. These sewer laterals are to facilitate future sewer connections from Lots 13 and 14 without disturbing the sewer main.

Outstanding. Lots 13 and 14 now propose cleanouts. Cleanouts also need to be within the sanitary sewer easement. The applicant may want to consider only extending the pipe stub to the end of the easement.

91. ***The Site Plan Legend references grinder pumps; however, the plan views imply that all sanitary laterals will be gravity per the Sewer Lateral / Sewer Building Sewer Detail on Sheet 19. Engineer shall clarify and revise the plans accordingly if the laterals will be gravity fed or use a grinder pump. If grinder pumps are to be used, additional information and details will be required.***

92. ***There are a number of large existing trees in the adjusted sanitary sewer easement that will need to be removed between MH 3 and MH 4.***

Should you have any further questions or comments, please contact the undersigned.

Sincerely,

PENNONI ASSOCIATES INC.



Nathan M. Cline, PE
Township Engineer

cc (via e-mail): Derek Davis, Township Manager
Mark Miller, Public Works
Mark Thompson, Township Solicitor
Michael D. Hartman, PE, dH Enterprises
TR Moser, Grove Meadow Developers LLC

Duane Brady

From: Nathan M. Cline <Ncline@Pennoni.com>
Sent: Thursday, July 25, 2024 4:40 PM
To: Duane Brady; Derek Davis
Cc: Mark Thompson - Lamb McErlane PC (mthompson@lambmcerlane.com); Mark Miller; Michael Ellis; TR Moser; mhartman@dh-enterprises.net; Christine Street; Kelly Krause
Subject: Millstone Meadows, 1010 Hershey Mill Road - Final Subm.
Attachments: Millstone Pennoni Prel-Final Review LTR 2024-07-25.pdf

Importance: High

Follow Up Flag: Follow up
Flag Status: Flagged

Please see updated review comments. Please forward to PC/include in their packet.

Generally, I am of the opinion that the PC should consider a final recommendation; any outstanding items are minor and/or administrative in nature.

Thanks

Nathan M. Cline, PE

Office Director

Pennoni

158 West Gay Street, Suite 300 | West Chester, PA 19380

Direct: +1 610-422-2453 | **Mobile:** +1 610-888-8564

www.pennoni.com | Ncline@Pennoni.com



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**BOARD OF SUPERVISORS
EAST GOSHEN TOWNSHIP
CHESTER COUNTY
1580 PAOLI PIKE, WEST CHESTER, PA 19380
(610) 692-7171
codes@eastgoshen.org**


Date: June 28, 2024
To: T.R. Moser
From: Duane J. Brady Sr., Zoning Officer
RE: 1010 Hershey Mill Road / Millstone Meadow
Preliminary/Final Subdivision and Land Development
Extension of Review Period Request Letter

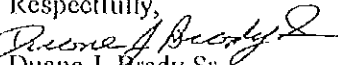
Mr. Moser, this letter is a request for an extension of the review period for your subdivision plan for 1010 Hershey Mill Road. The extension will be needed as there are outstanding items still needed for the Planning Commission to complete the review process. The must act date for the East Goshen Planning Commission is July 25, 2024.

I am requesting you authorize a 60-day extension to the review period. Please understand that this extension does not mean that the application referenced will be approved within the period; it only allows East Goshen Township additional time to review the application.

If you are allowing the 60-day extension to the review period, the new Drop-Dead Date will be September 25, 2024.

If you are allowing the 60-day extension to the review period, please sign below and return it to me by email no later than Thursday July 8, 2024.

Applicant (Print): T.R. Moser
Applicant (Signature): 

Respectfully,

Duane J. Brady Sr.
East Goshen Township
Zoning Officer



Duane Brady

From: mhartman dh-enterprises.net <mhartman@dh-enterprises.net>
Sent: Friday, June 7, 2024 10:38 AM
To: Duane Brady; 'Nathan M. Cline (ncline@pennoni.com)'
Cc: tr@moserhomes.com; Christine Street
Subject: Millstone Meadows Final Plan Submission
Attachments: Millstone Meadows Cost Opinion 240607.pdf; Township Transmittal Letter 240607.pdf; Millstone Final Subdivision Planset 240607.pdf; Millstone Meadows Flood Plain Plan 240607.pdf; Millstone Wetland Impact Planset 240607.pdf

Follow Up Flag: Follow up
Flag Status: Completed

Duane;

Attached please find pdf copies of the Final Plan submission for Millstone Meadows.

Can you please let us know how many paper copies you will need. Also, please let us know if there are any applications/fees needed for the submission, or if we are just continuing from the preliminary plan application.

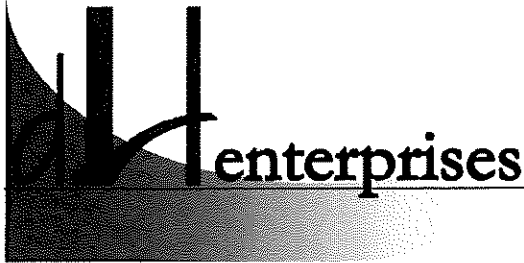
Thanks,

Michael Hartman, P.E., LEED AP
Project Manager

dH Enterprises

2815 Penn Avenue
West Lawn, PA 19609

Phone: 610-927-4242
Cell: 484-663-3487
Email: mhartman@dh-enterprises.net



a civil engineering design & management firm

ENGINEERING COST ESTIMATE

=====

PROJECT: Mill Stone Meadows
 MUNICIPALITY: East Goshen Township, Chester County
 DATE of DRAWINGS: June 7, 2024

PAGE: 1 of 3
 WORK ORDER: 22-001
 DATE: 6/7/2024
 REVISED: _____

<u>Item</u>	<u>Description</u>	<u>Units</u>	<u>Unit Cost</u>	<u>Quantity</u>	<u>Total Cost</u>
1.	<u>EARTHWORK</u>				
	1. Clearing and Grubbing	AC.	\$ 3,955.67	8.11	\$ 32,080.30
	2. Strip and Stockpile Topsoil	C.Y.	\$ 4.69	6,542	\$ 30,690.00
	3. Bulk Cut / Fill & Compact	C.Y.	\$ 4.36	35,352	\$ 154,234.53
	4. Respread Topsoil - Bulk	C.Y.	\$ 1.48	4,383	\$ 6,470.64
	Subtotal of Item 1				\$ 223,475.47
2.	<u>ROADWORK</u>				
	1. Fine Grade and Roll Subgrade for Paving	S.Y.	\$ 1.64	3,635	\$ 5,961.40
	2. 6" 2A Subbase	S.Y.	\$ 9.60	3,635	\$ 34,896.00
	3. 5" BCBC Course	S.Y.	\$ 27.95	3,635	\$ 101,598.25
	4. 2" Binder Course	S.Y.	\$ 12.33	3,635	\$ 44,819.55
	5. 1 1/2" Wearing Course, SRL-H	S.Y.	\$ 10.07	3,635	\$ 36,604.45
	6. Tack Coat	S.Y.	\$ 1.10	3,635	\$ 3,998.50
	7. Slant Curb	L.F.	\$ 29.41	3,080	\$ 90,582.80
	8. Joint Sealing	L.F.	\$ 0.99	3,080	\$ 3,049.20
	9. Permanent Paving for Utility Trenches	S.Y.	\$ 131.39	165	\$ 21,679.35
	10. Mill & Overlay for Utility Trenches	S.Y.	\$ 51.95	465	\$ 24,156.75
	Subtotal of Item 2				\$ 367,346.25
3.	<u>STORM SEWER SYSTEM</u>				
	1. 15" SLCPP (Excluding End Sections)	L.F.	\$ 64.28	386	\$ 24,813.80
	2. 18" SLCPP (Excluding End Sections)	L.F.	\$ 70.53	304	\$ 21,442.47
	3. 24" SLCPP (Excluding End Sections)	L.F.	\$ 92.56	907	\$ 83,952.82
	4. 30" SLCPP (Excluding End Sections)	L.F.	\$ 106.75	191	\$ 20,390.10
	5. 36" SLCPP (Excluding End Sections)	L.F.	\$ 142.90	15	\$ 2,143.57
	6. Type C Inlet	EA.	\$ 3,136.58	12	\$ 37,638.96
	7. Type M Inlet	EA.	\$ 3,677.03	1	\$ 3,677.03
	8. Junction Box	EA.	\$ 10,862.05	4	\$ 43,448.20
	9. 15" RCP End Section	EA.	\$ 1,191.12	1	\$ 1,191.12
	10. 24" RCP End Section	EA.	\$ 1,354.49	1	\$ 1,354.49
	11. 36" End Wall	EA.	\$ 2,844.47	1	\$ 2,844.47
	12. R-4 Rip Rap Apron	Ton	\$ 48.29	57	\$ 2,752.53
	13. R-5 Rip Rap Apron	Ton	\$ 62.37	23	\$ 1,434.51
	14. R-6 Rip Rap Apron	Ton	\$ 67.44	35	\$ 2,360.40
	15. Crossing Culvert	L.S.	\$358,234.64	1	\$ 358,234.64
	Subtotal of Item 3				\$ 607,679.11

ENGINEERING COST ESTIMATE

=====

PROJECT: Mill Stone Meadows
 MUNICIPALITY: East Goshen Township, Chester County
 DATE of DRAWINGS: June 7, 2024

PAGE: 2 of 3
 WORK ORDER: 22-001
 DATE: 6/7/2024
 REVISED: _____

<u>Item</u>	<u>Description</u>	<u>Units</u>	<u>Unit Cost</u>	<u>Quantity</u>	<u>Total Cost</u>
4.	<u>INFILTRATION/SEDIMENT TRAP 1</u>				
1.	Cut, Fill & Compact	C.Y.	\$ 4.53	2,104	\$ 9,531.12
2.	Respread Topsoil	C.Y.	\$ 4.11	337	\$ 1,385.07
3.	Permanent Outlet Structure - Complete	L.S.	\$ 14,400.00	1	\$ 14,400.00
4.	Erosion Control Blanket (N.A.G. S75) - Slopes	S.Y.	\$ 1.35	1,867	\$ 2,520.00
5.	Erosion Control Blanket (N.A.G. P550) - Spillway	S.Y.	\$ 8.46	378	\$ 3,196.00
6.	Plywood Baffles	L.F.	\$ 16.80	112	\$ 1,882.14
7.	Basin Conversion	L.S.	\$ 15,151.32	1	\$ 15,151.32
	Subtotal of Item 4				\$ 48,065.65
5.	<u>INFILTRATION/SEDIMENT BASIN 2</u>				
1.	Cut, Fill & Compact	C.Y.	\$ 4.53	2,246	\$ 10,174.38
2.	Excess Cut / Fill for sediment basin	C.Y.	\$ 3.90	867	\$ 3,380.00
3.	Respread Topsoil	C.Y.	\$ 3.79	334	\$ 1,265.86
4.	Permanent Outlet Structure - Complete	L.S.	\$ 17,640.63	1	\$ 17,640.63
5.	4" Skimmer - Complete	EA.	\$ 1,600.00	1	\$ 1,600.00
6.	Erosion Control Blanket (N.A.G. S75) - Slopes	S.Y.	\$ 1.35	1,267	\$ 1,710.00
7.	Erosion Control Blanket (N.A.G. P550) - Spillway	S.Y.	\$ 8.46	504	\$ 4,267.60
8.	Plywood Baffles	L.F.	\$ 16.80	330	\$ 5,545.59
9.	Basin Conversion	L.S.	\$ 43,622.55	1	\$ 43,622.55
	Subtotal of Item 5				\$ 89,206.61
6.	<u>EROSION & SEDIMENT CONTROL</u>				
1.	Rock Construction Entrance	EA.	\$ 5,198.04	1	\$ 5,198.04
2.	LOD and Orange Construction Fence	L.F.	\$ 1.65	3,620	\$ 5,973.00
3.	12" Compost Filter Sock	L.F.	\$ 3.14	150	\$ 471.00
4.	24" Compost Filter Sock	L.F.	\$ 9.19	175	\$ 1,608.25
5.	Inlet Berm & Filter	EA.	\$ 259.51	12	\$ 3,114.12
6.	Erosion Control Blanket (N.A.G. S75) - Slopes	S.Y.	\$ 1.71	9,000	\$ 15,390.00
7.	Temporary Seeding and Mulching	L.S.	\$ 14,411.20	1	\$ 14,411.20
8.	Permanent Seeding and Mulching	L.S.	\$ 10,000.00	1	\$ 10,000.00
9.	Maintenance and Removal of E&SC Measures	L.S.	\$ 5,000.00	1	\$ 5,000.00
	Subtotal of Item 6				\$ 61,165.61
7.	<u>LANDSCAPING</u>				
1.	Red Maple (3-3.5" cal.)	EA.	\$300.00	17	\$ 5,100.00
2.	River Birch (3-3.5" cal.)	EA.	\$300.00	6	\$ 1,800.00
3.	Honey Locust (3-3.5" cal.)	EA.	\$300.00	11	\$ 3,300.00
4.	Black Gum (3-3.5" cal.)	EA.	\$300.00	15	\$ 4,500.00
5.	London Planetree (3-3.5" cal.)	EA.	\$300.00	20	\$ 6,000.00
6.	American Linden (3-3.5" cal.)	EA.	\$300.00	11	\$ 3,300.00
7.	Deodar Cedar (6-8' ht.)	EA.	\$300.00	26	\$ 7,800.00
8.	White Pine (6-8' ht.)	EA.	\$300.00	29	\$ 8,700.00
9.	Shagbark Hickory (#3 cont.)	EA.	\$50.00	64	\$ 3,200.00
10.	Eastern Redbud (#5 cont.)	EA.	\$50.00	64	\$ 3,200.00
11.	Flowering Dogwood (#7 cont.)	EA.	\$50.00	64	\$ 3,200.00
12.	Tulip Poplar (#5 cont.)	EA.	\$50.00	64	\$ 3,200.00
13.	Sassafras (#2 cont.)	EA.	\$50.00	64	\$ 3,200.00
14.	American Boxwood (#3 cont.)	EA.	\$50.00	20	\$ 1,000.00
	Subtotal of Item 7				\$ 57,500.00



ENGINEERING COST ESTIMATE
 =====

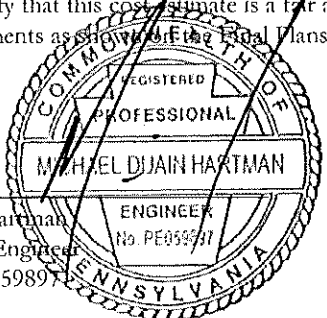
PROJECT: Mill Stone Meadows
 MUNICIPALITY: East Goshen Township, Chester County
 DATE of DRAWINGS: June 7, 2024

PAGE: 3 of 3
 WORK ORDER: 22-001
 DATE: 6/7/2024
 REVISED: _____

<u>Item</u>	<u>Description</u>	<u>Units</u>	<u>Unit Cost</u>	<u>Quantity</u>	<u>Total Cost</u>
8.	Sanitary Sewer				
1.	8" PVC (On-site)	L.F.	\$96.17	1149	\$ 110,501.72
2.	8" PVC (Off-site)	L.F.	\$93.18	567	\$ 52,831.50
3.	6" Laterals	EA.	\$2,279.03	14	\$ 31,906.44
4.	Manhole	EA.	\$16.00	14	\$ 224.00
5.	Sawcut	L.F.	\$2.47	500	\$ 1,235.00
6.	Stream Crossing	L.S.	\$17,218.19	1	\$ 17,218.19
7.	Concrete Encasement	L.F.	\$110.30	90	\$ 9,927.00
8.	Tie Into Existing Manhole	EA.	\$7,234.58	1	\$ 7,234.58
9.	Temporary Paving	S.Y.	\$49.63	105	\$ 5,211.15
10.	Traffic Control	L.S.	\$3,301.44	1	\$ 3,301.44
11.	Testing	L.S.	\$9,413.86	1	\$ 9,413.86
	Subtotal of Item 8				\$ 249,004.88
9.	MISCELLANEOUS				
1.	Construction Stakeout	L.S.	\$ 19,500.00	1	\$ 19,500.00
2.	Street Signs	EA.	\$ 265.00	9	\$ 2,385.00
3.	As-Built Plans	L.S.	\$ 20,000.00	1	\$ 20,000.00
4.	Lot Pinning	LOT	\$ 125.00	14	\$ 1,750.00
5.	Concrete Monuments	EA.	\$ 250.00	16	\$ 4,000.00
6.	Boulder Retaining Wall	L.F.	\$ 83.41	400	\$ 33,364.00
	Subtotal of Item 9				\$ 80,999.00
	Construction Subtotal				\$ 1,784,442.58
	Contingency (10%)				\$ 178,444.26
	GRAND TOTAL				\$ 1,962,886.84

I hereby certify that this cost estimate is a fair and reasonable estimate of the costs to construct the improvements as shown on the Final Plans for the referenced project.

Michael D. Hartman
 Professional Engineer
 PA Lic. No. 059897




- a. *The easement has been noted on the plans and the applicant's attorney is working with the Township Solicitor to coordinate necessary documents.*
The applicant's attorney is working with the Township's Solicitor to coordinate all necessary documents and agreements.
- b. *No demarcation, details nor notes for the proposed easement are indicated.*
A row of Boxwood Shrubs has been provided along the easement to delineate it.
7. *The applicant shall preserve as much of the existing perimeter vegetation as possible. Any vegetation replaced pursuant to the Ordinance and/or the Township's subdivision and land development ordinance (the "SALDO") shall be replaced with native and deer-resistant materials, wherever possible. Landscaping plans shall be reviewed by the East Goshen Township Conservancy Board and the Township Engineer to ensure compliance with the ordinance and perimeter of the property shall contain a traditional post-and-rail or equivalent fence that reuses the existing concrete posts, where possible.*
Outstanding. See comments below.
A response to the landscaping comments has been provided below.
8. *The applicant shall design and install a 150' wide riparian forest buffer in accordance with the riparian buffer requirements outlined in 25 P.A. Code §102.14 for the portion of stream within the subject property, should the applicant demonstrate to the Township that creation and maintenance of the entire 150' riparian buffer area is not possible for any portion of the property, then the width of the buffer may be reduced by the Board of Supervisors, in their sole discretion, during the subdivision/land development process. Areas of existing woodland may be utilized to meet the riparian buffer requirements; however, these areas shall be reviewed by an arborist or qualified professional to ensure that the composition of plant life meets the requirements outlined. A plan shall be established to remove invasive species within the existing wooded areas and any area of the riparian buffer. An operation and maintenance plan shall be developed for the riparian buffer to ensure that this buffer is maintained free of invasive species in perpetuity, with such plan being recorded with the approved Final Plans.*
Pending. A formal application was submitted to CCCD and is currently undergoing a technical review. Additional review will commence following feedback from both PADEP and CCCD
As noted, an application for an Individual NPDES permit has been submitted to and is currently under review by CCCD. Included within the NPDES permit application is a Riparian Buffer Management Plan that outlines the areas that are to be planted with trees or maintained as is. Also provided on the plan are the Operation and Maintenance notes as requested in the comment.
9. *Maintenance of all landscaping on HOA-owned property, as well as all street trees, shall be the responsibility of the Homeowners Association and will be addressed in the declaration, to the satisfaction of the Township. All street trees shall be located outside of any road right-of-way.*
Outstanding. A landscape plan has been provided and the applicant's attorney is working with the Township Solicitor regarding necessary HOA documents. All street trees are located either directly on or inside the road right-of-way.
The placement of the street trees was discussed with the Township's Conservancy Board and a waiver of Section 205-62 was granted by the Board of Supervisors.
10. *Prior to recording the plans, the applicant shall prepare and submit to the Township a shared access easement, as approved by the Township Solicitor, for the shared driveway servicing the two (2) flag lots.*
Pending. The easement has been noted on the plans and the applicant's attorney is working with the Township Solicitor to coordinate necessary agreements.
As previously noted, an access easement has been denoted on the plans. The applicant's attorney is working with the Township's Solicitor to coordinate all necessary agreements.

11. The applicant shall comply with the Township's ordinances regarding cartway width (Section 205-44) and sidewalks/paths (Section 205-56). Any waiver request from these provisions will be considered by the Board of Supervisors during the subdivision/land development process.

Pending:

- a. The proposed cartway width has been revised to 20 feet, with rolled gutter curb; the proposed right-of-way is 40 feet. Fire Marshall review and Board of Supervisors approval is required.

The proposed cartway width has been increased to 20' wide and it is my understanding that the current road layout is acceptable to the Fire Marshall.

- b. Trail/sidewalk access is not proposed throughout the site; this should be confirmed with the Township

A trail/sidewalk was discussed with the Planning Commission, and it was agreed that no trail is to be provided.

12. The applicant shall provide an offer of dedication of additional property along Hershey Mill Road for a potential future sidewalk or pathway.

Outstanding. The applicant has indicated that this will be further discussed with the Township.

An easement agreement between the developer and the township shall be provided to permit the Township to install a sidewalk/pathway in the future.

18. The applicant shall execute and provide to the Township a recordable, notarized copy of a memorandum containing a metes and bounds description of the property in question and stipulating the terms and conditions of this approval and shall consent to the recording by the Township in the Office of the Recorder of Deeds of Chester County no later than the recording of the approved Final Plan. All recording costs shall be reimbursed by the applicant within 30 days of receipt of an invoice from the Township.

Pending.

Comment noted.

ZONING (§240)

1. We will defer a review of the Flood-Prone Area regulations (§240-26) pending clarification regarding PADEP permitting requirements and anticipated submissions and designs.

Pending. A pre-application meeting with PADEP and CCCD was completed on June 13, 2023, and a Joint Permit submission to both agencies was made on August 10, 2023. Reviews are pending.

An application for an Individual NPDES permit has been submitted to and is currently under review by CCCD. An application to DEP for a Joint Permit has been submitted to and is currently under review by DEP.

SUBDIVISION AND LAND DEVELOPMENT (§205)

10. Full documentation of any proposed homeowners' association, covenants or other such proposed association and/or restrictions governing the subdivision and/or land development shall be provided. (§205-30.C(4)(i))

Pending. The applicant's attorney is coordinating with the Township Solicitor on any necessary documents and agreements.

The applicant's attorney is working with the Township's Solicitor to coordinate all necessary documents and agreements.

12. Provide a landscape plan meeting all the requirements of §205-36.

Outstanding. See outstanding landscape comments below; Conservancy Board review pending.

A response to the comments has been provided below.

13. Documentation concerning the maintenance, repair and use of the private streets shall be submitted to the Township for review and approval with the preliminary plan. (§205-42.H)

Pending. The applicant has indicated the proposed street is to be dedicated to the Township, see General Note 2 on the Cover Sheet.

Per Cover Sheet, General Note #2, the proposed road (Millstone Circle) is intended to be dedicated to East Goshen Township.



17. *Horizontal curve data should be provided to ensure conformance with §205-46.*
Outstanding. The applicant is requesting a waiver from this section.
A waiver of Section 205-46 to permit the centerline radius to be reduced to 100 feet was granted by the Board of Supervisors.
19. *As the proposed lots are below one acre, the right of way width of a minor street may be reduced to 40 feet and the cartway width of a minor street may be reduced to 20 feet at the sole discretion of the Township Supervisors (§205-44.E(2)). Otherwise, the right of way width shall be 50 feet and the cartway width shall be 25 feet (§205-44.D). See Decision & Order Condition No. 11, above.*
Pending. The proposed cartway width has been revised to be 20 feet, with rolled gutter curb; the proposed right-of-way is 40 feet. Fire Marshall review and Board of Supervisors approval is required.
The proposed cartway width has been increased to 20' wide and it is my understanding that the current road layout is acceptable to the Fire Marshall.
21. *Proposed streets that are in alignment with existing streets shall bear the name of the existing street. (§205-53.A) The proposed entrance to the development aligns with Tanglenwood Drive.*
Outstanding. The applicant is requesting a waiver from this requirement.
Where driveways are used jointly by more than one property owner, they may straddle the property line. The appropriate easement restrictions shall be noted on the final plan. (§205-57.C) An access/utility easement should be provided for Lots 13 & 14.
Pending. A shared access and utility easement has been added to the shared driveway of Lots 13 and 14.
A waiver of Section 205-53.A was granted by the Board of Supervisors.

The applicant's attorney is working with the Township's Solicitor to coordinate all necessary documents and agreements.

STORMWATER MANAGEMENT

22. *It appears that several permits will be required; please confirm PADEP direction regarding specific permits being required. (§195-16)*
Pending. A pre-application meeting with PADEP and CCCD was completed on June 13, 2023, and a Joint Permit submission to both agencies was made on August 10, 2023; the NPDES permit application was deemed complete by the CCCD. Reviews are pending.
An application for an Individual NPDES permit has been submitted to and is currently under review by CCCD. An application for a Joint Permit has been submitted to and is currently under review by DEP.
24. *Indicate the elevations of the amended soils in their respective details in order to confirm the infiltration BMPs have the required 2-foot separation to a limiting zone. (§195-20.L(1))*
Outstanding. The applicant provided updated information, however, note the following:
- a. *Basin 1 does not appear to have the required 2-foot separation; the bottom of basin is 483 but rock is present at 486.86.*
The additional testing that was completed on 9/27/23 did not encounter any rock within the basin.
- b. *Basin 2 does not appear to have the required 2-foot separation; the bottom of basin is 473 but a seasonally high-water table is present at 477.78.*
The additional testing that was completed on 9/27/23 did not encounter any signs of a high-water table within the basin.
- Outstanding. The applicant provided additional soils testing; the following comments are based on this new test information:*
- a. *Basin 1 infiltration surface is at elevation 483.0. The bottom of Test Pit SW-1A is at 481.3'. The basin does not have the required 2-foot separation to the limiting zone (bottom of test pit). (§195-20.J(1))*
The bottom surface of Basin #1 has been raised to 484.00. A two-foot layer of amended soils has been included in the basin to provide filtration and separation below the basin bottom.



- b. Basin 2 infiltration surface is at elevation 473.0. The bottom of Test Pit SW-2C is at 471.25. The basin does not have the required 2-foot separation to the limiting zone (bottom of test pit). (§195-20.J(1))
The bottom surface of Basin #2 has been raised to 475.00. A two-foot layer of amended soils has been included in the basin to provide filtration and separation below the basin bottom.
- c. Test Pit SW-2A indicates rock within 37 inches of the ground surface. The applicant should indicate SW-2A and provide more information as to the extent of the rock.
Upon review of the soil testing information with the consultant, it was determined that the bedrock that was encountered will still permit infiltration. The Individual Construction Sequence has been revised to include additional soil testing within the basin at the time of conversion from a sediment facility to its permanent configuration.
- d. The infiltration test in SW-1A was performed at 484.3'. The applicant should provide testing at the elevation of the proposed infiltration for Basin 1 elevation 483.0'. (§195-20.I(2))
The bottom surface of Basin #1 has been raised to 484.00. A two-foot layer of amended soils has been included in the basin to provide filtration and separation below the basin bottom. The Individual Construction Sequence has been revised to include additional soil testing within the basin at the time of conversion from a sediment facility to its permanent configuration.
- e. The infiltration test in SW-2C was performed at 475.09'. The applicant should provide testing at the elevation of the proposed infiltration for Basin 2 elevation 473.0'. (§195-20.I(2))
The bottom surface of Basin #2 has been raised to 475.00. A two-foot layer of amended soils has been included in the basin to provide filtration and separation below the basin bottom.
31. Provide all calculations and design details for the proposed culvert.
Pending. The applicant has submitted a HEC-RAS study of the stream, note the following:
- a. The applicant should clearly indicate the stream cross section stations in the report.
Outstanding. The corresponding river stations were not added to the cross sections in the HEC-RAS report. The applicant should indicate Stations 115 and 125 on the Flood Plain Plan.
Cross-sections 115 and 125 were added to the study to model the existing culvert in Hershey Mill Road. Cross-section 115 is the actual culvert and Cross-section 125 is the immediately upstream. Cross-Section 125 has been added to the plan and elevation noted per the flood study. A copy of the revised flood plain plan has been included with the submission.

SANITARY SEWER

49. Sewers shall be located a minimum of 10 feet horizontally from any obstruction such as a building. Sewers must be a minimum of 10 feet from a water main or 18 inches (measured from top of sewer to bottom of water main) under the same. When a sanitary sewer line crosses above or under any other pipeline with separation of less than 18 inches, the sanitary line will be provided with concrete encasement per the standard detail that extends 10 feet on either side of the pipe being crossed. (§205-71.B(4)(d)(6)) Sewer pipe between MH 6 & MH 12 and between MH 7 & MH 8 appear to have less than 10 feet horizontal or 18 inches vertical clearance between sanitary sewer and water pipes.
Outstanding. This comment remains outstanding as there are still locations near Manholes 5, 8, 9, 11, and 14 which appear to have less than 10 feet horizontal or less than 18 inches vertical clearance and do not have concrete encasement shown.
The pipe connections at the noted manholes have been revised to provide 18" of vertical separation between the sanitary sewer line and the water line.
50. Sewer outfalls, headwalls, manholes, gateboxes or other structures shall be so located that they do not interfere with the free discharge of flood flows of the stream. (PA DEP Domestic Water Facilities Manual 27.1) MH 3 appears close to the stream, please relocate or indicate how this manhole will not interfere with the streamflow.
Outstanding. MH 3 has been relocated to be outside of the 100-year floodplain. As MH 3 is in a vegetated area, we still recommend MH 3 have a raised rim elevation (at least 12-inches above grade) with a bolted down lid and a manhole dish/insert. We recommend MH 4 have a bolted down lid and recognize that MH 4 may be flush with grade as it is next to a driveway.
MH 3 has been raised 12" above grade and MH 4 has been designated with a bolt-down lid.



52. Upon completion of construction, the stream shall be returned as near as possible to its original condition. The streambanks shall be seeded, planted or other erosion prevention methods employed to prevent erosion. Provide on the plans the specific method(s) to be employed in the construction of the sewers in or near the stream to control siltation. (PA DEP Domestic Water Facilities Manual 27.2) Pending. The applicant has stated that stream restoration will be addressed as part of the PADEP/CCCD Joint Permit application. Any modifications per the PADEP/CCCD Joint Permit shall be indicated plans prior to final approval.
The proposed sanitary sewer crossing and removal of the existing driveway has been included in the Project's Joint Permit application and shall be in accordance with DEP's requirements. The restoration of the stream channel has been noted on the Wetland Impact Plan and Detail planset. For reference purposes, a copy the planset has been included with this submission.

GENERAL

57. Please continue to include the Township in any meetings, submissions and/or correspondence with the Chester County Conservation District and/or PADEP.
Comment acknowledged; note our office/Township were included in a pre-application meeting with DEP and CCCD on June 13, 2023, and copied on the Joint Permit submission to both agencies on August 10, 2023; reviews are pending.
Comment noted.
60. A trail/sidewalk easement should be provided along the frontage of Hershey Mill Road for future connections; see additionally Condition No. 12.
Outstanding. The applicant has indicated this will be discussed further with the Planning Commission to determine the location and extent.
An easement agreement between the developer and the township shall be provided to permit the Township to install a sidewalk/pathway in the future.
62. Submission is subject to Conservancy Board, Zoning Officer, Historic Commission and Fire Marshal review.
Pending.
The plans have been revised per comments received.

SANITARY SEWER (NEW)

73. Watertight manhole frame and cover are to be revised per the attached detail. Top of manhole to say, "East Gosben Municipal Authority" and "Sanitary Sewer". Precast concrete adjustment rings that are less than or equal to 11.5-inches are to be used. Bolt down lids are to be used instead of locking bar (bolt down lids are not to be used for manholes located in pavement).
Outstanding. On Sheet 19, the Standard Manhole Section Detail needs to be revised so that only precast concrete adjustment rings that are less than or equal to 11.5-inches are used. Brick grade rings shall not be used. Additionally, a note shall be added stating that bolt down lids are to be used for all manholes that are not located in pavement.
The detail has been revised as requested.
75. We recommend extending sewer from MH 11 through the easement, past the driveway, to the rear of Lot 6 so that future connections from the neighboring community will not require the demolition and replacement of curb and driveway of Lot 6. We recommend this extension have a cleanout near or at the end of the pipe extension to help locate the end of the pipe for future connection to the system.
Outstanding. The design engineer has indicated that this will be further discussed.
The requested sewer line has been added and a profile provided on Sheet 9.

LANDSCAPING (NEW)

77. All buffer yards shall include a completely planted visual barrier or landscape screen. Such visual barrier shall be fully attainable within a three-year period. (§205-60.B)
Further, where the existing tree masses do not fully screen the area or where there are no existing tree masses, plantings shall be added to complete the visual barrier within the prescribed time period. (§205-60.B(2))
Groupings of evergreens trees have been provided; however, they do not provide a completed planted visual barrier. Additional plant material shall be provided to meet this requirement or clarity regarding existing vegetation/visual buffers provided for all property boundaries.



Outstanding. After further Code review, we concur with the applicant's response that buffer plantings are not specifically required per Code. However, per §240-36.E(50(g), "common open space areas that are not already wooded and are not approved as lawn, natural areas or recreation areas shall be attractively and extensively landscaped, according to a plan approved by the Board of Supervisors". We will defer to the Conservancy Board for a recommendation to the Board of Supervisors regarding the proposed landscaping within the open space but recommend that the comments below (Nos. 78-80) be considered prior to submission of a final plan

The proposed plan and plantings were presented to the Conservancy Board and discussed. The Conservancy Board considered the plan acceptable and provided their recommendation for approval.

82. *Street trees shall be installed on forty-foot centers on the same side of the street. (§205-62) We recommend the street trees be spaced at forty-foot intervals.*

Outstanding. The applicant has revised the plans to resolve this requirement where possible and has requested a waiver, as necessary. We defer to the Conservancy Board.

The placement of the street trees was discussed with the Township's Conservancy Board and a waiver of Section 205-62 was granted by the Board of Supervisors.

85. *The Open Space Management provide no notes regarding maintenance.*

Outstanding. Open Space notes #4 & #5 on Sheet 4 are unclear and seem to incorrectly reference the wrong parcel numbers. This discrepancy shall be corrected. The maintenance notes provided with the landscape details are specific to the installation of new lawns and plant material. They are not specific to the maintenance of natural areas that may involve re-forestation/landscape restoration. Notes along with a maintenance program similar to those provided on Sheet 17 for the riparian buffer management plan shall be provided to assist the HOA as guidelines for the life maintenance of these areas. See §240-36.E.(b).

The Open Space plan has been revised to correct the open area parcel references and include notes for the operation and maintenance of the restoration areas.

GENERAL (NEW)

88. *Indicate proposed slope of "Central Green" area.*

Slope labels have been added to the Central Green area.

89. *The E&SC Details Sheet is incorrectly labeled as reserved on Sheet 1*

Outstanding.

The sheet number has been corrected.

90. *Provide one sewer lateral each for Lots 13 & 14. These sewer laterals are to extend to the edge of the sewer easement and shall end with a cleanout. These sewer laterals are to facilitate future sewer connections from Lots 13 and 14 without disturbing the sewer main.*

The requested laterals have been added to the plans.

Should you have any questions, please feel free to contact me.

Sincerely,

Michael Hartman, P.E.
mhartman@dh-enterprises.net



June 7, 2024

Duane Brady
Zoning Officer
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380-6199

**RE: *Millstone Meadows Subdivision
Final Subdivision Plan
East Goshen Township, Chester County
DHE Project No. 22-001***

Dear Duane:

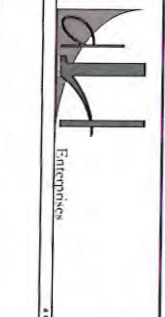
On behalf of the applicant, Grove Meadow Developers, LLC, please accept for review the enclosed Final Subdivision application for the above-mentioned project. The following items have been enclosed specifically for your review:

- Final Subdivision Planset
- Engineering Cost Opinion

The enclosed items have been revised in response to the comments provided by Pennoni in their Review Letter dated December 22, 2023. Provided below is an item-by-item response to the provided comments. Please note that comments previously marked as resolved have been excluded:

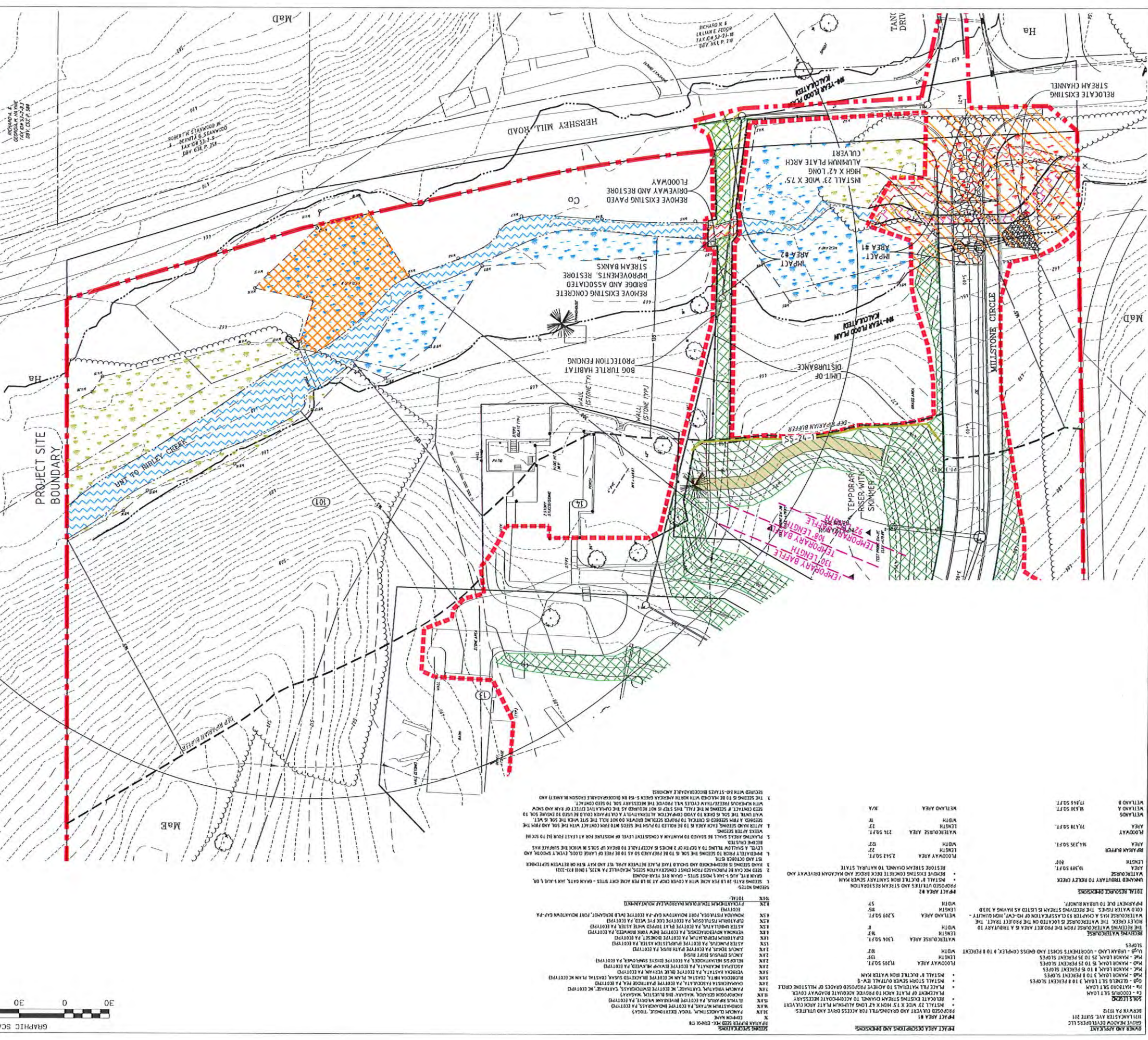
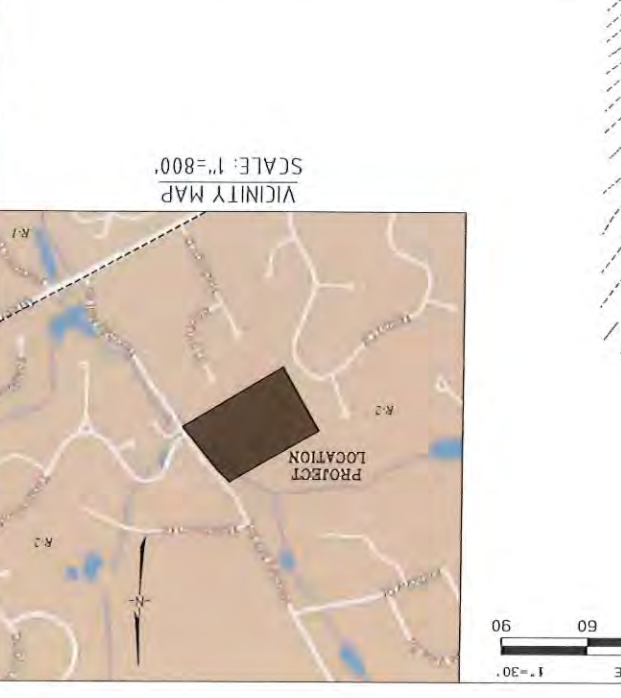
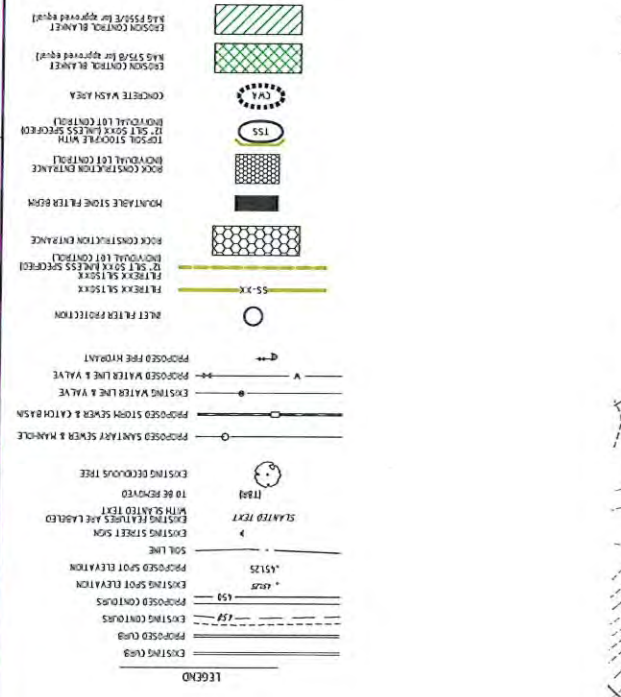
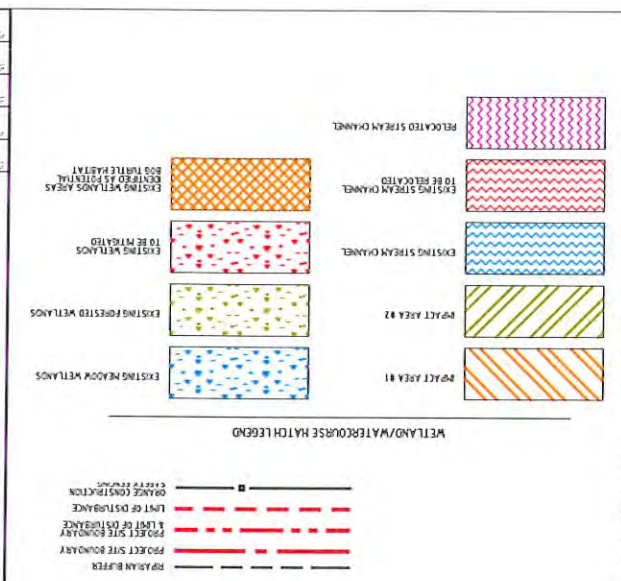
CONDITIONAL USE DECISION AND ORDER

- 3. The applicant shall comply with all outstanding comments contained in the Pennoni review letter dated October 27, 2022 (Exhibit B-10), to the satisfaction of the Township Engineer, as amended by this order.
Outstanding. See review comments below.
A response to the updated comments has been provided below.*
- 4. During the subdivision/land development process, the applicant shall adequately address stormwater management, to the satisfaction of the Township Engineer, including but not limited to stormwater conveyances through the site from adjacent stormwater management facilities and any necessary stormwater easements.
Outstanding. See review comments below.
A response to the updated comments has been provided below.*
- 5. The applicant shall provide to the Township a sanitary sewer and pedestrian access easement approximately located between lots 6 and 7, to the satisfaction of the Township. The pedestrian access easement shall be demarcated by post-and-rail fencing, stone, mulch, grass pavers, or the like. The pedestrian access easement shall be maintained by the Homeowners' Association and will be adequately addressed in the Association's Declaration of Covenants, Conditions and Restrictions (the "Declaration") to the satisfaction of the Township. Notice of the easement shall also be provided to any prospective buyers of lots 6 and 7 prior to execution of an agreement of sale. The applicant shall complete the demarcation of the pedestrian access prior to the issuance of building permits for lots immediately adjacent to the easement area.
Pending/Outstanding.*



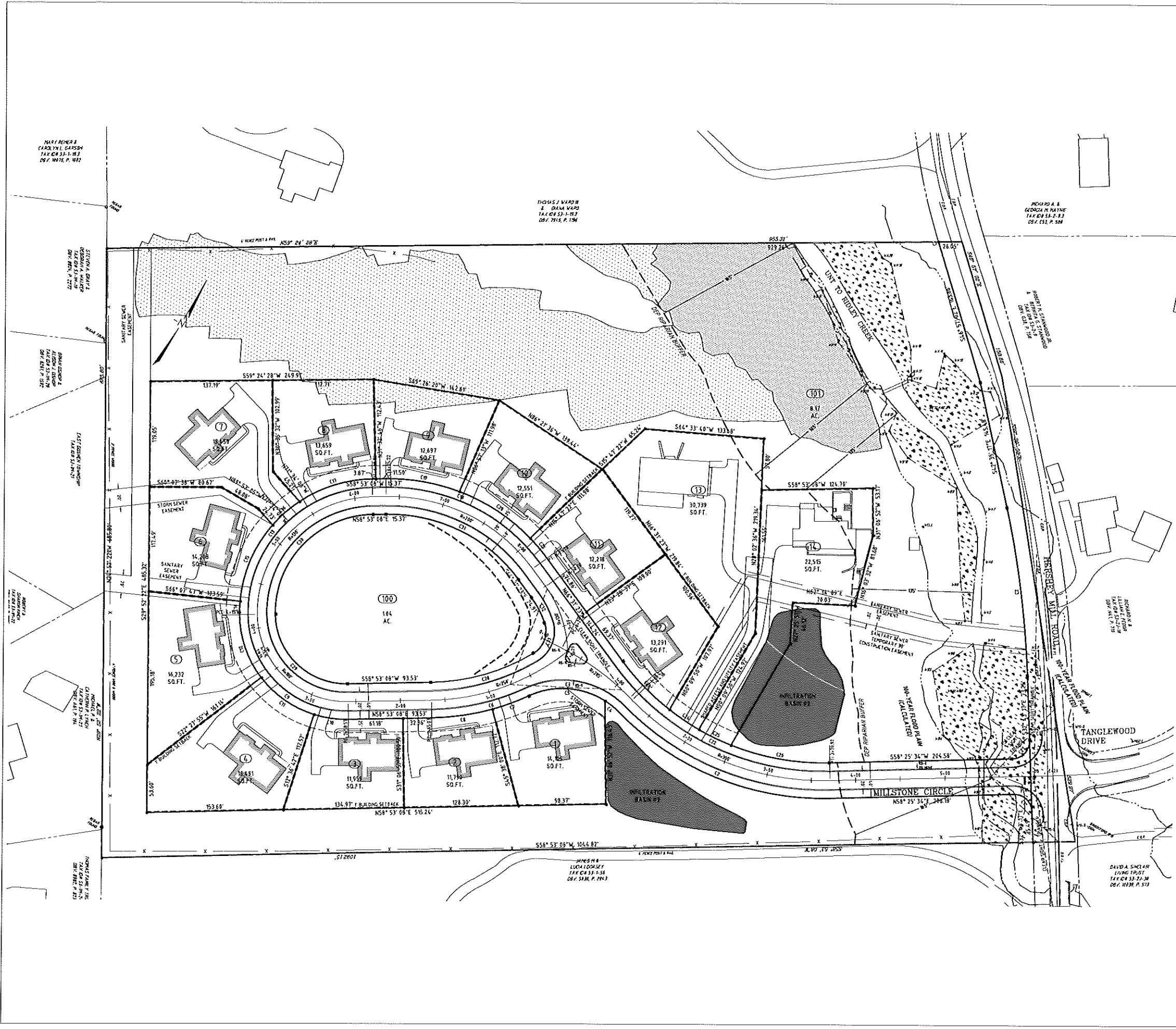
2815 PENN. AVENUE
WEST LAWN, PA
610-927-4242

Revision	Date	Description
1	11/21/23	REVISED FOR CONSENTS FROM DEP
2	12/14/23	REVISED FOR COMMENTS FROM DEP



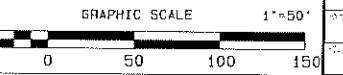
PERMIT AREA DESCRIPTIONS AND PROVISIONS:

- PERMIT AREA #1: PROPOSED WETLANDS AND WATERCOURSES TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #2: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #3: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #4: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #5: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #6: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #7: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #8: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #9: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #10: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #11: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #12: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #13: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #14: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #15: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #16: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #17: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #18: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #19: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #20: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #21: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #22: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #23: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #24: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #25: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #26: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #27: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #28: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #29: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE
- PERMIT AREA #30: PROPOSED WETLANDS TO BE RESTORED TO ORIGINAL STATE

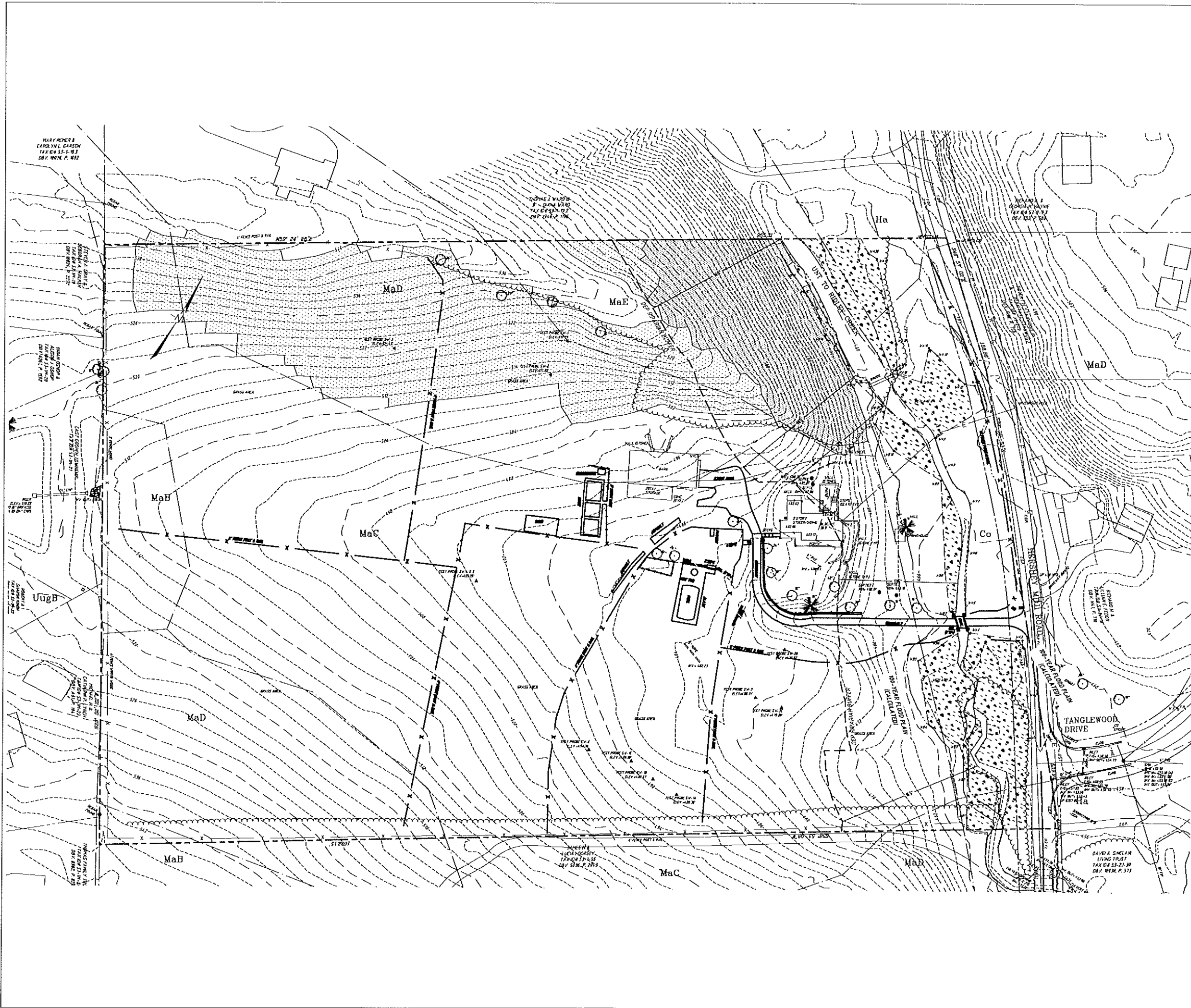


PROPERTY LINE CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CH BEARING & DIST.
C1	136'	75.00'	85°05'58"	N45°53'18"W 136'
C1	30.41'	28.20'	88°27'44"	S78°42'57"E 27.57'
C2	189.43'	100.00'	65°52'01"	S37°39'11"E 89.20'
C2	243.44'	328.00'	64°27'05"	N82°48'37"E 55.84'
C3	163.62'	43.00'	87°34'36"	N76°48'32"E 102.82'
C4	28.56'	68.00'	83°14'16"	S87°47'24"E 24.52'
C5	87.84'	89.00'	85°23'31"	N43°41'25"E 85.39'
C6	192.45'	270.00'	82°58'44"	N43°57'36"E 171.84'
C7	44.83'	270.00'	65°23'36"	N37°47'42"E 43.88'
C8	48.42'	270.00'	63°43'37"	N37°37'36"E 48.24'
C9	188.53'	120.00'	88°46'03"	S78°25'52"E 187.71'
C10	38.75'	120.00'	83°38'16"	N41°48'13"E 38.58'
C11	73.47'	120.00'	83°54'37"	S85°24'24"E 72.32'
C12	76.24'	120.00'	83°25'13"	S41°19'28"E 75.82'
C13	235.82'	150.00'	69°14'03"	S10°53'08"W 212.13'
C14	65.94'	150.00'	65°13'57"	S78°12'54"E 65.94'
C15	114.53'	150.00'	63°14'25"	S57°45'12"E 92.47'
C16	48.80'	150.00'	65°36'14"	S78°25'52"W 48.80'
C17	85.91'	150.00'	83°24'56"	S42°28'11"W 84.74'
C18	219.82'	210.00'	65°17'28"	S84°18'53"W 211.78'
C19	81.85'	210.00'	61°53'21"	S84°54'18"W 81.85'
C20	14.65'	210.00'	82°54'53"	N41°41'04"W 14.65'
C21	21.52'	210.00'	87°14'05"	N70°22'09"W 21.52'
C22	269.87'	210.00'	65°43'33"	S85°57'04"W 258.82'
C23	75.37'	210.00'	81°05'54"	N34°16'13"W 75.37'
C24	48.36'	210.00'	67°17'18"	N54°43'25"W 48.36'
C25	48.36'	210.00'	69°12'48"	S85°43'46"W 48.36'
C26	113.36'	210.00'	82°31'14"	S74°01'28"W 113.36'
C27	31.82'	210.00'	61°08'51"	S12°51'03"W 28.57'
C28	129.84'	210.00'	62°54'11"	S43°58'02"W 118.48'
C29	115.64'	88.00'	89°09'00"	N76°46'52"W 115.64'
C30	172.79'	140.00'	65°40'00"	N10°53'09"E 155.56'
C31	171.56'	140.00'	65°35'29"	N88°18'53"E 165.89'
C32	32.74'	140.00'	67°03'05"	S57°58'45"E 32.67'
C33	39.71'	28.00'	87°27'05"	S16°16'35"E 36.66'

- LEGEND**
- EXISTING LIGHT STANDARD
 - EXISTING CURB
 - PROPOSED CURB
 - SOIL LINE
 - RIPARIAN BUFFER
 - WETLAND DELINEATION
 - EXISTING WETLANDS
 - EXISTING STREET SIGN
 - EXISTING DECIDUOUS TREE
 - EXISTING CONIFEROUS TREE
 - EXISTING EDGE OF WOODS
 - PROPOSED CONCRETE MONUMENT
 - PROPOSED IRON PIN (IIP)
 - PROPOSED CURB MARKER
 - PROPOSED HANDICAPPED RAMP
 - RETAINING WALL



<p>285 PENN AVENUE WEST LAWN PA 610-927-4342</p>							
<p>"MILLSTONE MEADOWS" FINAL PLAN SUBDIVISION PLAN</p>							
<p>CLIENT: GROVE MEADOW DEVELOPERS LLC LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA DATE: APRIL 20, 2023</p>							
<p>DESIGNED BY: M.D. HARTMAN CHECKED BY: M.D. HARTMAN SCALE: 1" = 50' SHEET: 2 OF 19 PROJECT: 22-001-F-D-2.0</p>							



- DEMOLITION NOTES**
- CONTRACTOR TO DEMOLISH ALL ITEMS NECESSARY TO CONSTRUCT PROPOSED BUILDING AND SITE FEATURES WHETHER OR NOT INDICATED IN THE CONSTRUCTION DOCUMENTS. ADEQUATE AND PROPER PROTECTION SHALL BE PROVIDED TO EXISTING FEATURES NOT BEING REMOVED.
 - ELEVATIONS THAT ARE LEFT OPEN DURING THE DEMOLITION PROCESS SHALL BE COVERED OR FENCED OFF. THE AREA SHALL BE ADEQUATELY MARKED TO ENSURE WORKER AND PUBLIC SAFETY.
 - THE CONTRACTOR IS RESPONSIBLE FOR TERMINATING ALL APPLICABLE UTILITIES WHERE ITEMS ARE BEING REMOVED IN A SAFE AND EDDIE COMPENSING MANNER.
 - UNUSABLE MATERIALS AND RUBBISH SHALL BE IMMEDIATELY REMOVED FROM THE SITE. MATERIALS TO BE REUSED WILL BE STOCKPILED IN A SAFE AND SECURE LOCATION. MATERIAL THAT REQUIRES PROTECTION FROM THE WEATHER SHALL BE STORED IN A SECURE DRY LOCATION.
 - DAMAGE CAUSED TO EXISTING FEATURES DURING THE DEMOLITION PROCESS SHALL BE REPAIRED AND RESTORED TO PRE-DEMOLITION CONDITIONS. IF DAMAGE CANNOT BE REPAIRED ADEQUATELY, THE DAMAGED ITEM SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 - FEATURES SHOWN IN BLACK INDICATE ITEMS THAT MUST AT A MINIMUM BE REMOVED. ALSO SEE NOTE 1.

- EXISTING NATURAL FEATURES:**
- TOPOGRAPHY AND CONTOURS:
THE EXISTING TOPOGRAPHY AND CONTOURS HAVE BEEN SHOWN ON PLANS.
 - SITE BENCHMARK AND DATUM:
BENCHMARK: EXISTING SANITARY SEWER MANHOLE IN TANGLEWOOD DRIVE
TOP OF MANHOLE: 433.58
DATUM IS BASED ON NAVD DATUM OF 1988
 - STEEP SLOPES:
THE STEEP SLOPES HAVE BEEN DELINEATED ON THE PLANS FOR 15% AND GREATER THAN 15% SLOPES.
 - WATERCOURSES, PONDS AND FLOOD HAZARD DISTRICT:
THERE IS AN EXISTING PERENNIAL STREAM CHANNEL ON-SITE. THE PROPOSED LAYOUT HAS LIMITED DISTURBANCE TO A ROADWAY CROSSING OF THE STREAM CHANNEL TOWARDS THE SOUTH-EAST CORNER OF THE SITE. THERE IS AN EXISTING STREAM CROSSING THAT SHALL BE REMOVED AS PART OF THE DEVELOPMENT. THE SITE IS LOCATED WITHIN THE FLOOD HAZARD DISTRICT 'A'.
 - SOIL DATA:
G1 - COORUS SCLT LOAM
M1 - HATFIELD SCLT LOAM
G2 - GLEBEL SCLT LOAM, 3 TO 8 PERCENT SLOPES
M2 - MAJOR LOAM, 3 TO 8 PERCENT SLOPES
M3 - MAJOR LOAM, 8 TO 15 PERCENT SLOPES
M4 - MAJOR LOAM, 15 TO 25 PERCENT SLOPES
M5 - MAJOR LOAM, 25 TO 35 PERCENT SLOPES
D1 - GIBBON LOAM - UDDERENTS SOMS1 AND GIBBS COMPLEX, 4 TO 8 PERCENT SLOPES
 - GEOLOGIC FORMATION:
GLENORA WISCONSINIAN FORMATION: QUARTZ, ALBITE, MUSCOVITE, AND CALCITE
 - SOIL PERCOLATION TESTS:
SNL TEST AND PROBE LOCATIONS ARE SHOWN ON THE PLANS.
 - WETLANDS:
THE WETLAND INFORMATION SHOWN HEREON IS BASED ON A WETLAND DELINEATION PERFORMED BY LIBERTY ENVIRONMENTAL, INC. IN JUNE 2022.
 - EXISTING VEGETATION:
THE SITE VEGETATION IS PREDOMINANTLY MEADOWS/PASTURE COVER, WITH AREAS OF MAINTAINED LAWN AND WOODED AREAS. THE WOODED AREAS AND NONWETLAND TREES ARE SHOWN ON THE PLANS.
 - EXISTING STRUCTURES AND OTHER IMPROVEMENTS:
THE EXISTING IMPROVEMENTS ARE SHOWN ON THE PLANS.
 - HISTORIC RESOURCES:
THE EXISTING DWELLING AND BARN ARE CONSIDERED HISTORIC RESOURCES AND WILL NOT BE ALTERED AS PART OF THIS PLAN. PER THE CONDITIONAL USE DECISION, ANY FUTURE RE-ENTRY OF THE HISTORIC BARN SHALL REQUIRE FURTHER APPROVALS FROM THE TOWNSHIP. PURSUANT TO THE HISTORIC PRESERVATION PROVISIONS OF THE ORDINANCE SECTIONS 214-38.1 THROUGH 214-38.6, DURING ITS MEMBERSHIP OF THE HISTORIC BARN, THE APPLICANT SHALL ENSURE THAT IT IS WELL MAINTAINED AND DOES NOT FALL INTO DISREPAIR.
 - EXISTING PATHS AND TRAILS:
THERE ARE NO EVIDENCES OF PATHS OR TRAILS ON SITE.
 - EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES:
THERE ARE NO EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES ON SITE.
 - ANY OTHER SIGNIFICANT EXISTING NATURAL OR MAN-MADE FEATURES:
THERE ARE NO OTHER SIGNIFICANT EXISTING NATURAL OR MAN-MADE FEATURES ON SITE.
 - DELINEATION OF THOSE PORTIONS OF THE LOT VISIBLE FROM ADJACENT PUBLIC ROADS:
DUE TO THE SUBORDINATE DEVELOPMENT PROVISIONS AND EXISTING VEGETATION, THE VISIBILITY OF THE PROPERTY FROM HERSHEY MILL ROAD AND TANGLEWOOD DRIVE IS VERY LIMITED.

- LEGEND**
- EXISTING CURB
 - EXISTING CONTOURS
 - EXISTING SPOT ELEVATION
 - SOIL LINE
 - RIPARIAN BUFFER
 - WETLAND DELINEATION
 - EXISTING WETLANDS
 - EXISTING STREET SIGN
 - EXISTING FEATURES ARE LABELED WITH SLANTED TEXT
 - EXISTING DECIDUOUS TREE
 - EXISTING CONIFEROUS TREE
 - EXISTING EDGE OF WOODS
 - TO BE REMOVED
 - EXISTING SANITARY SEWER & MANHOLE
 - EXISTING WATER LINE & VALVE
 - 15% - 25% SLOPES
 - 25% SLOPES

GRAPHIC SCALE 1" = 50'

50 0 50 100 150

"MILLSTONE MEADOWS" FINAL PLAN EXISTING CONDITIONS AND DEMOLITION PLAN

DATE: APRIL 20, 2023

PROJECT: GROVE MEADOW DEVELOPERS LLC
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

BY: M.D. HARTMAN
CHECKED BY: M.D. HARTMAN
SCALE: 1" = 50'
PAGE: 3 OF 19
DRAWING NO: 22-001-F-0-3.0

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WEST LAWN, PA
610-977-4242

LIBERTY ENVIRONMENTAL
A civil engineering design & management firm

MICHAEL DUAN HARTMAN
PROFESSIONAL ENGINEER
EXPIRES PERMANENT

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
1	5/7/24	REVISED PER COCD REVIEW COMMENTS	M.D.H.	M.D.H.
2	9/7/24	UPDATED PLAN FOR SUBMISSION TO TOWNSHIP	M.D.H.	M.D.H.

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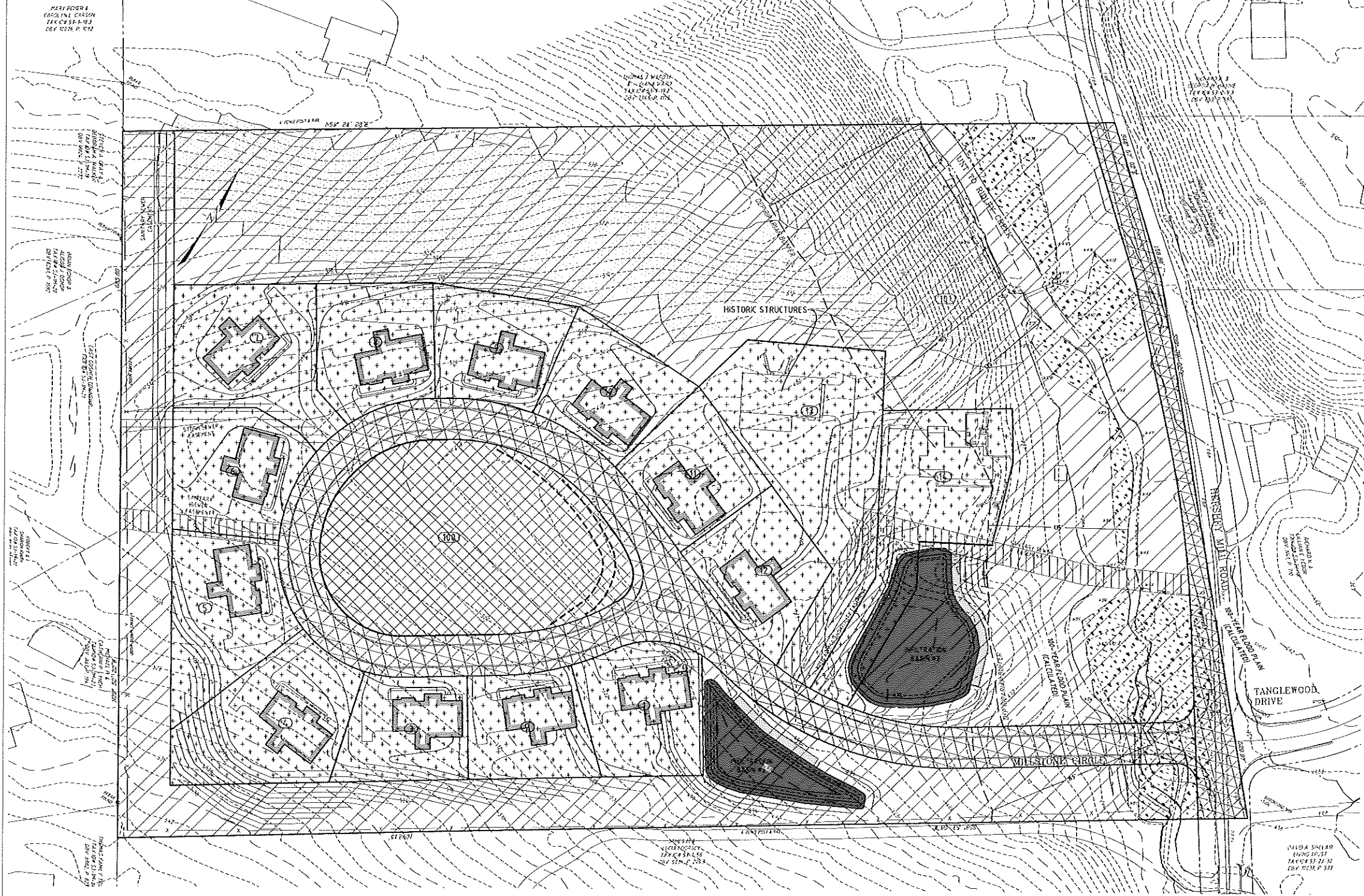
OPEN SPACE DEVELOPMENT OPTION REQUIREMENTS

REQUIRED OPEN SPACE	15% OF TRACT, MINIMUM 8 ACRES
PROPOSED OPEN SPACE	15% OF TRACT, MINIMUM 8 ACRES
CENTRAL OPEN SPACE (PARCEL 100)	15% OF TRACT, MINIMUM 8 ACRES
PERIMETER OPEN SPACE (PARCELS 101-104)	15% OF TRACT, MINIMUM 8 ACRES
DOUBLE OPEN SPACE	15% OF TRACT, MINIMUM 8 ACRES

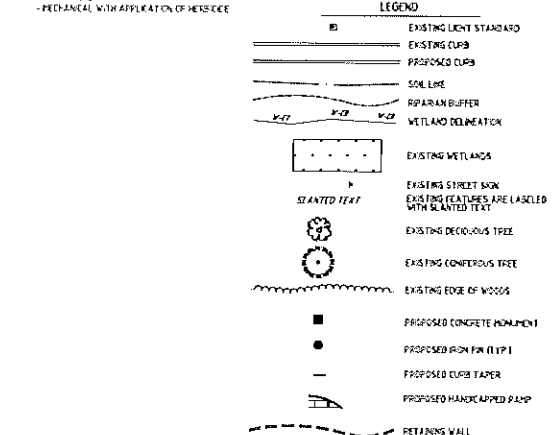
- OPEN SPACE NOTES**
1. THE PROPOSED OPEN SPACE AREAS ARE NOT FOR DEDICATION AND WILL REMAIN PRIVATELY OWNED.
 2. THE PROPOSED OPEN SPACE MAY NOT BE SEPARATELY SOLD, NOR SHALL SUCH LAND BE FURTHER DEVELOPED OR SUBDIVIDED.
 3. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF PARCELS 101 AND 104.
 4. THE CENTRAL OPEN SPACE AREA, DESIGNATED AS PARCEL 100, SHALL BE CONSIDERED AN ACTIVE OPEN SPACE AREA AND AVAILABLE FOR THE COMMUNITY USE. THE AREA IS INTENDED TO BE USED FOR ACTIVE RECREATION AND TO BE MAINTAINED IN A GRASSY/POD COVER.
 5. THE PERIMETER OPEN SPACE AREA, DESIGNATED AS PARCEL 101, SHALL BE CONSIDERED A PASSIVE OPEN SPACE. THE AREA IS INTENDED TO BE USED FOR PASSIVE RECREATION AND IS TO BE MAINTAINED IN A NATURALISTIC PERSONAL-CARE CONDITION.
 6. THE OPEN SPACE AREAS SHALL BE PROTECTED BY A CONSERVATION EASEMENT, OWNERSHIP AND OWNED, MANAGED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.
 7. ALL PLANTINGS SHALL BE MAINTAINED IN ACCORDANCE WITH THE NOTES PROVIDED ON THE LANDSCAPING DETAILS AND NOTES SHEET (PLAN 22-001-F-12).

- OPERATIONS AND MAINTENANCE RESPONSIBILITIES**
- THE OWNER SHALL INSPECT AND MONITOR THE PROPOSED OPEN SPACE AREAS AS SHOWN ON THESE PLANS. THE OWNER SHALL INSPECT AND MONITOR THE PROPOSED OPEN SPACE AREAS AS SHOWN ON THESE PLANS. THE OWNER SHALL INSPECT AND MONITOR THE PROPOSED OPEN SPACE AREAS AS SHOWN ON THESE PLANS.
- PLANTING**
- THE OWNER SHALL ASSIST IN MOISTURE RETENTION IN THE ROOT ZONE OF PLANTINGS, MODERATE SOIL TEMPERATURE, PROVIDE SOIL COMPRESSION AND SETBACK EVAPORATION.
 - USE ORGANIC MULCH THAT IS SLOW TO DECOMPOSE IN ORDER TO PREVENT PESTICIDE APPLICATION.
 - USE 2" x 4" MULCH WITH LEAVES OR STRIPS AROUND THE PLANT TO PREVENT FERTILIZER RUNOFF.
 - USE COMBINATION OF WOODCHIPS, LEAVES, AND TWIGS THAT ARE STOCKPILED FOR SIX MONTHS TO A YEAR.
- WEED CONTROL**
- WEED CONTROL ON LEVELS EXCEEDS GROWTH AND SURVIVAL, THEREFORE WEEDS SHOULD BE CONTROLLED BY EITHER HERBICIDES, MOWING, OR WEEDMATS.
- HERBICIDES**
- THIS IS A SHORT-TERM MAINTENANCE TECHNIQUE (2-3 YEARS) THAT IS GENERALLY CONSIDERED LESS EXPENSIVE AND MORE FLEXIBLE THAN MOWING, AND WILL RESULT IN A CLEANER APPEARANCE OF THE OPEN SPACE. HERBICIDE USE IS REGULATED BY THE PA DEPARTMENT OF AGRICULTURE. PROPER CARE SHOULD BE TAKEN TO ENSURE THAT PROXYLIFOR TOXICITY IS AVOIDED.
- MOWING**
- MOWING CONTROLS THE HEIGHT OF THE EXISTING GRASSES, NET INCREASES NUTRIENT UPTAKE, THEREFORE COMPETITION FOR NUTRIENTS WILL BE REDUCED. THE CANOPY CLIPPER SHOULD CUT LOWER LAYERS. A PLANTING LAYOUT SPREAD TO A GOOD FERTILITY WILL FAVORABLE EFFECT OF MOWING. YET YIELD AN UNDESIRABLY SPARSE ECONOMY. MOWING MAY RESULT IN STRIPS ON THE TRUNK UNLESS PROTECTIVE MEASURES ARE UTILIZED. MOWING SHOULD OCCUR TWICE EACH GROWING SEASON. MOWER HEIGHT SHOULD BE SET BETWEEN 8-12 INCHES.
- WEED MATS**
- WEED MATS ARE GEO-TEXTILE FABRICS THAT ARE USED TO SUPPRESS WEED GROWTH AROUND NEWLY PLANTED VEGETATION BY PROVIDING SHADE AND PREVENTING SEED DEPOSITION. WEED MATS ARE INSTALLED AFTER PLANTING, AND SHOULD BE REMOVED ONCE THE TREES HAVE DEVELOPED A CANOPY THAT WILL NATURALLY SHADE OUT WEEDS.
- DEER DAMAGE**
- DEER WILL REMOVE ALL VEGETATION WITHIN PERIM, GENERALLY BETWEEN 5-6 FEET ABOVE THE GROUND.
 - APPROACHES TO MINIMIZE DAMAGE:
 - SELECTING PLANTS THAT DEER DO NOT PREFER (EX. PAPER BIRCH, BEECH, ASH, LINDEN, ELDERBERRY)
 - HOME MADE DEER REPELLENTS
- INVASIVE PLANTS**
- MONITOR RESTORATION SITES REGULARLY FOR ANY SIGNS OF INVASIVE PLANTS.
 - APPENDIX B CONTAINS COMMON INVASIVE PLANTS FOUND IN PENNSYLVANIA.
 - CHECK OF CONTROL METHOD IS BASED ON A VARIETY OF CONSERVATIONS, BUT FALLS INTO THREE GENERAL CATEGORIES:
 - MECHANICAL
 - CHEMICAL
 - MECHANICAL WITH APPLICATION OF HERBICIDE

NO.	REVISION	DATE	DESCRIPTION
1	ISSUED FOR PERMITS	12/14/24	
2	REVISED PER COMMENTS	07/24/25	
3	REVISED PER COMMENTS	07/24/25	



- LEGEND**
- EXISTING LIGHT STANDARD
 - EXISTING CURB
 - PROPOSED CURB
 - SOIL LINE
 - RIPIARIAN BUFFER
 - WETLAND DELINEATION
 - EXISTING WETLANDS
 - EXISTING STREET SIGN
 - EXISTING FEATURES ARE LABELED WITH SLANTED TEXT
 - EXISTING DECIDUOUS TREE
 - EXISTING CONIFEROUS TREE
 - EXISTING EDGE OF WOODS
 - PROPOSED CONCRETE MONUMENT
 - PROPOSED IRON PIN (I.P.I.)
 - PROPOSED CURB TAPER
 - PROPOSED HANDICAPPED RAMP
 - RETAINING WALL
- OPEN SPACE HATCH LEGEND**
- OPEN SPACE AREA (ACTIVE AREA)
 - OPEN SPACE AREA (PASSIVE AREA)
 - DEVELOPMENT AREA
 - PROPOSED RIGHT-OF-WAY TO BE DEDICATED TO EAST GOSHEN TOWNSHIP
 - SHARED ACCESS AND UTILITY EASEMENT
 - SANITARY SEWER EASEMENT
 - STORM SEWER EASEMENT
 - 15% - 25% SLOPES
 - 25%+ SLOPES
 - EXISTING WETLANDS
 - STORMWATER BASIN



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PROFESSIONAL SEAL

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 ENGINEER
 PENNSYLVANIA

"MILLSTONE MEADOWS"
 FINAL PLAN
 OPEN SPACE MANAGEMENT PLAN

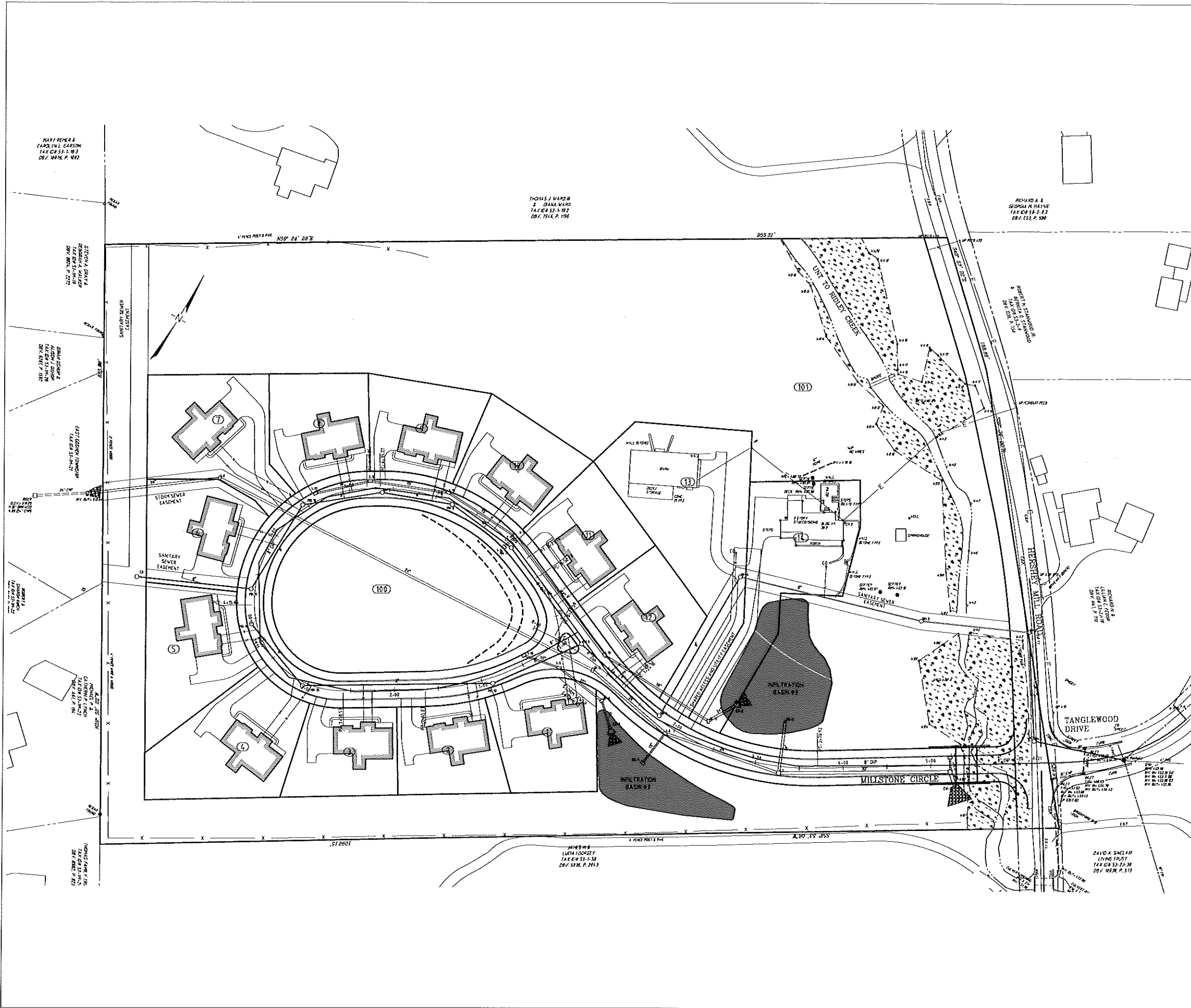
GROVE MEADOW DEVELOPERS, LLC
 1000 N. EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
 APRIL 20, 2023

DATE: 04/20/23

SCALE: 1" = 50'

SHEET: 4 OF 19

PROJECT: 22-001-F-0-4.0



- GENERAL CONSTRUCTION NOTES:**
- AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MINIMUM DENSITY OF MAXIMUM DENSITY AS DETERMINED BY THE PROPER PROCTOR TEST (ASTM D-155) IN THE BUILDING, PAVED AND SIDEWALK AREAS, AND 90% IN OTHER AREAS.
 - UNDERGROUND FACILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND PLANS OF OTHERS AND THEREFORE THEIR ELEVATIONS AND LOCATIONS MUST BE CONSIDERED AS APPROXIMATE ONLY. THE VERIFICATION OF EACH FACILITY'S LOCATION OR DEPTH SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO INSTALLATION OF PLUMBING. ALL SERVICES TO BE CONNECTED IN ACCORDANCE WITH LOCAL CODES AND/OR UTILITY COMPANIES REQUIREMENT.
 - PAYMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH PENNDOT SPECIFICATIONS PUBLICATION 414, LATEST EDITION.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT NO WORK IS DONE WITHOUT THE PROPER INSPECTIONS BY LOCAL AUTHORITY OR GOVERNING AGENCY.
 - CONTRACTOR TO NOTIFY ENGINEER AS SOON AS POSSIBLE IF CONDITIONS ON GROUND DIFFER FROM THOSE SHOWN ON THE PLANS.
 - ALL AREAS OTHER THAN PAVED AREAS SHALL HAVE A MINIMUM DEPTH OF SIX INCHES 1/2" OF TOPSOIL PRIOR TO SEEDING. THE SURFACE SHALL BE SCAFFLED AND CLEARED OF ALL TRASH, DEBRIS, ROOTS AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTING, BRUSHING OR MAINTENANCE OPERATIONS.
 - SEEDING AND MAINTENANCE SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 414.
 - ALL SPOT ELEVATIONS SHOWN AT THE CURBLINE ARE THE BOTTOM OF CURB, UNLESS OTHERWISE NOTED.

- UTILITY NOTES:**
- THIS PLAN PROPOSES PUBLIC WATER SUPPLY AND PUBLIC SEWER. PUBLIC WATER WILL BE PROVIDED BY AQUA PENNSYLVANIA.
 - ALL WATER MAINS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS OF AQUA PENNSYLVANIA.
 - WATER SUPPLY, ALL WATER SERVICES, INCLUDING DOMESTIC AND FIRE PROTECTION, SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS OF EAST GOSHEN TOWNSHIP. SHOP DRAWINGS AND/OR CATALOG CUTS FOR ALL PROPOSED MATERIALS SHALL BE SUBMITTED TO EAST GOSHEN TOWNSHIP AS PART OF THE APPLICATION FOR A PLUMBING PERMIT.
 - SANITARY SEWERAGE: ALL SANITARY SEWER MAINS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS OF EAST GOSHEN TOWNSHIP. SHOP DRAWINGS AND/OR CATALOG CUTS FOR ALL PROPOSED MATERIALS SHALL BE SUBMITTED TO EAST GOSHEN TOWNSHIP.
 - SANITARY SEWERAGE: ALL SEWER LATERALS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS OF EAST GOSHEN TOWNSHIP. SHOP DRAWINGS AND/OR CATALOG CUTS FOR ALL PROPOSED MATERIALS SHALL BE SUBMITTED TO EAST GOSHEN TOWNSHIP.
 - THE SANITARY SEWER SHALL BE INSTALLED AT LEAST 18" HORIZONTALLY AND AT LEAST 18 INCHES VERTICALLY FROM OTHER UTILITIES.
 - THE SANITARY SEWER MAINS AND LATERALS SHALL BE BURIED A MINIMUM OF 4 FEET DEEP.
 - SANITARY SEWER SERVICE SHALL NOT BE PROVIDED TO THE BASEMENTS OF THE PROPOSED DWELLINGS.
 - OTHER UTILITIES: ALL OTHER UTILITIES (ELECTRIC, COMMUNICATIONS, GAS, ETC) SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY COMPANY'S REQUIREMENTS AND SHALL BE INSTALLED AS TO NOT CONFLICT WITH THE WATER, SANITARY SEWER AND/OR STORM FACILITIES PROPOSED AS PART OF THIS PLAN.
 - BACKFILL OF ALL UTILITY TRENCHES WITH EXISTING AND/OR PROPOSED BACKFILL SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS, STANDARDS AND DETAILS OF EAST GOSHEN AND BE SUBJECT TO THE APPROVAL OF EAST GOSHEN TOWNSHIP OR THEIR DESIGNER.
 - THE SANITARY SEWER SHALL BE PROHIBITED FROM UNNECESSARILY DISTURBING OR UPROOTING TREES AND VEGETATION ALONG THE STREAMBANK AND IN THE VICINITY OF THE STREAM, CLIPPING OF SOIL AND DEBRIS INTO STREAMS AND/OR ON BANKS OF STREAMS, CHANGING THE COURSE OF THE STREAM WITHOUT AN ENCROACHMENT PERMIT, LEAVING COFFERDAMS IN STREAMS, LEAVING TEMPORARY STREAM CROSSINGS FOR EQUIPMENT, OPERATING EQUIPMENT IN THE STREAM, OR PUMPING SALT-LADEN WATER INTO THE STREAM.
 - THE PIPE TRENCH BOTTOM MUST BE INSPECTED FOR STABILITY BY THE TOWNSHIP ENGINEER PRIOR TO BEGINS INSTALLATION. THE BOTTOM MAY BE REQUIRED TO BE UNDERGUT AND FILLED WITH ADDITIONAL BEDDING AND/OR BALLAST STONE AS DIRECTED BY TOWNSHIP ENGINEER.

REVISIONS

Revision	Date	Description
1	5/14/24	REVISED PER GOOD REVIEW COMMENTS
2	6/7/24	UPDATED PLAN FOR SUBMISSION TO TOWNSHIP

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WEST LAWN, PA
610-257-4242

PROFESSIONAL ENGINEER
MICHAEL DUAN HARTMAN
EXHIBIT A
PENNSYLVANIA

"MILLSTONE MEADOWS"
FINAL PLAN
UTILITY PLAN

CLIENT: GROVE MEADOW DEVELOPERS LLC
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
DATE: APRIL 20, 2023

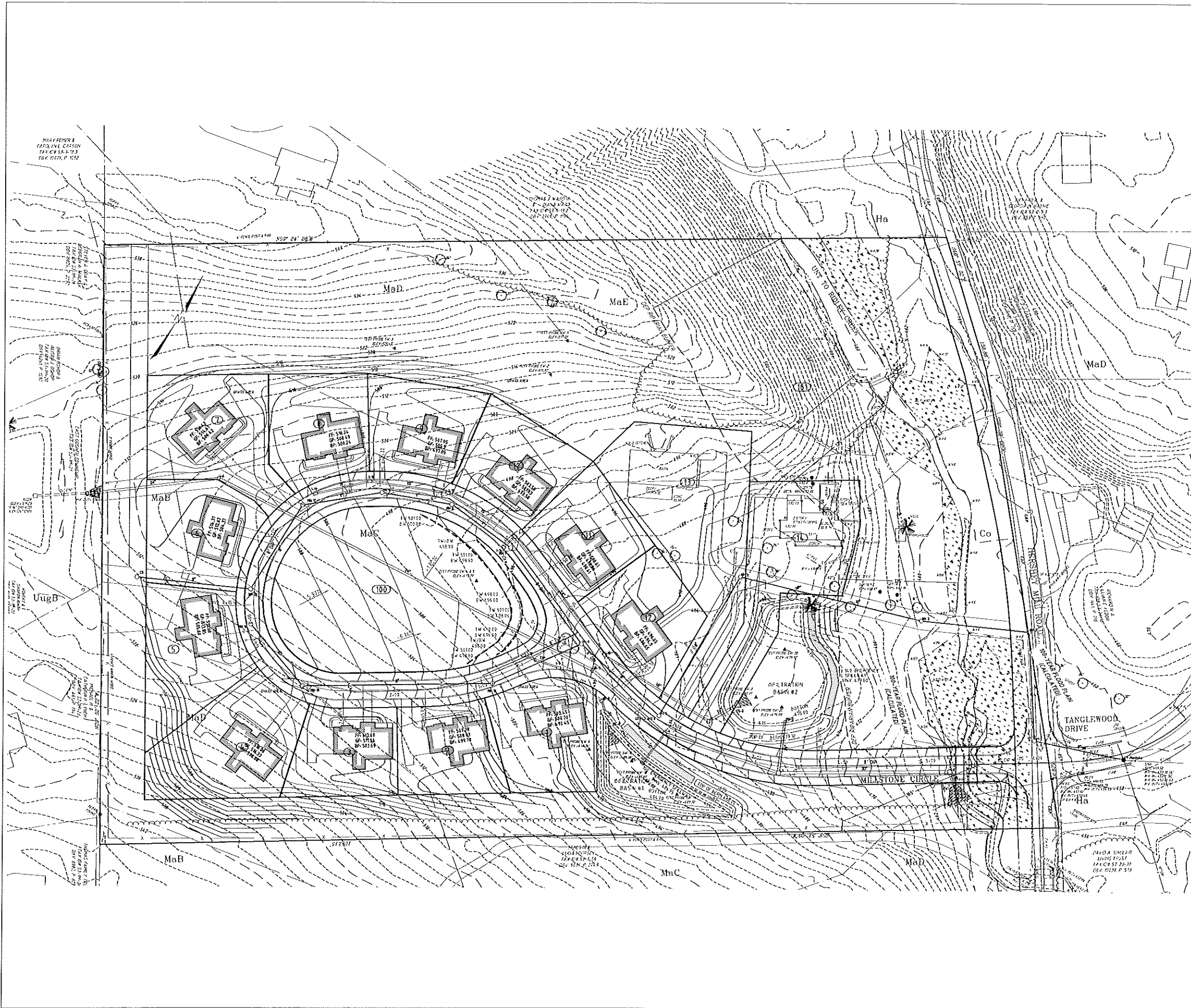
LEGEND

- EXISTING CURB
- PROPOSED CURB
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- SOIL LINE
- EXISTING STREET SIGN
- EXISTING FEATURES ARE LABELED WITH SLANTED TEXT
- TO BE REMOVED
- EXISTING DECIDUOUS TREE
- PROPOSED SANITARY SEWER MAIN/PIPE
- PROPOSED STORM SEWER / CATCH BASIN
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED PUMP
- PROPOSED WATER LATERAL
- PROPOSED CURB TAPER

GRAPHIC SCALE 1" = 50'

50 0 50 100 150

M.D. HARTMAN
M.D. HARTMAN
1" = 50'
5 OF 19
22-001-F-D-5.0



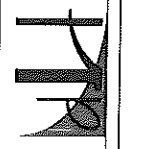
MARK FEMER &
TARA LYLE CASSON
TOWN ENGINEERS
P.O. BOX 100
GAY, PENN. P. 15222

- GENERAL CONSTRUCTION NOTES:**
- AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1586) IN THE BUILDING, PAVED AND SIDEWALK AREAS, AND 93% IN OTHER AREAS.
 - UNDERGROUND FACILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND PLANS OF OTHERS AND THEREFORE THEIR ELEVATIONS AND LOCATIONS MUST BE CONSIDERED AS APPROXIMATE ONLY. THE VERIFICATION OF EACH FACILITY SHOWN OR NOT SHOWN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR TO VERIFY LOCATION AND FLOW OF EXISTING UTILITIES PRIOR TO INSTALLATION OF FINISHING ALL SERVICES TO BE COMPLETED IN ACCORDANCE WITH LOCAL CODES AND/OR UTILITY COMPANY REQUIREMENTS.
 - PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH PENNSYLVANIA PUBLICATION 439, LATEST EDITION.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT NO WORK IS DONE WITHOUT THE PROPER INSPECTIONS BY LOCAL AUTHORITY OR GOVERNING AGENCY.
 - CONTRACTOR TO NOTIFY ENGINEER AS SOON AS POSSIBLE IF CONDITIONS ON GROUND DIFFER FROM THOSE SHOWN ON THE PLANS.
 - ALL AREAS OTHER THAN PAVED AREAS SHALL HAVE A MINIMUM DEPTH OF SIX INCHES (6") OF TOPSOIL PRIOR TO SEEDING. THE SURFACE SHALL BE SCARPED AND CLEARED OF ALL TRASH, DEBRIS, ROOTS AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTINGS, FERTILIZING OR MAINTENANCE OPERATIONS.
 - SEEDING AND MULCHING SHALL BE IN ACCORDANCE WITH PENNSYLVANIA PUBLICATION 434.
 - ALL SPOT ELEVATIONS SHOWN AT THE CURBLINE ARE THE BOTTOMS OF CURB, UNLESS OTHERWISE NOTED.

- CONSTRUCTION INSPECTION SCHEDULE:**
INSPECTIONS SHALL BE REQUIRED AS FOLLOWS:
- AT THE COMPLETION OF PRELIMINARY SITE PREPARATION.
 - AT THE COMPLETION OF HOUSE GRADING, BUT PRIOR TO PLACEMENT OF TOPSOIL.
 - DURING THE CONSTRUCTION OF PERMANENT STORMWATER FACILITIES, OR AS DEEMED NECESSARY BY THE PRINCIPAL ENGINEER.
 - UPON COMPLETION OF PERMANENT STORMWATER FACILITIES.
 - UPON COMPLETION OF FINAL GRADING AND PERMANENT VEGETATIVE CONTROLS.

Revision	Date	Description
1	5/19/24	REVISED PER COCD REVIEW COMMENTS
2	6/7/24	UPDATED PLAN FOR SUBMISSION TO TOWNSHIP

3818 PENN. AVENUE
WEST LAWN, PA
610-927-4242

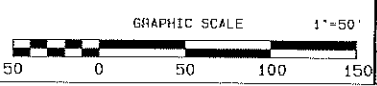


**"MILLSTONE MEADOWS"
FINAL PLAN
GRADING PLAN**

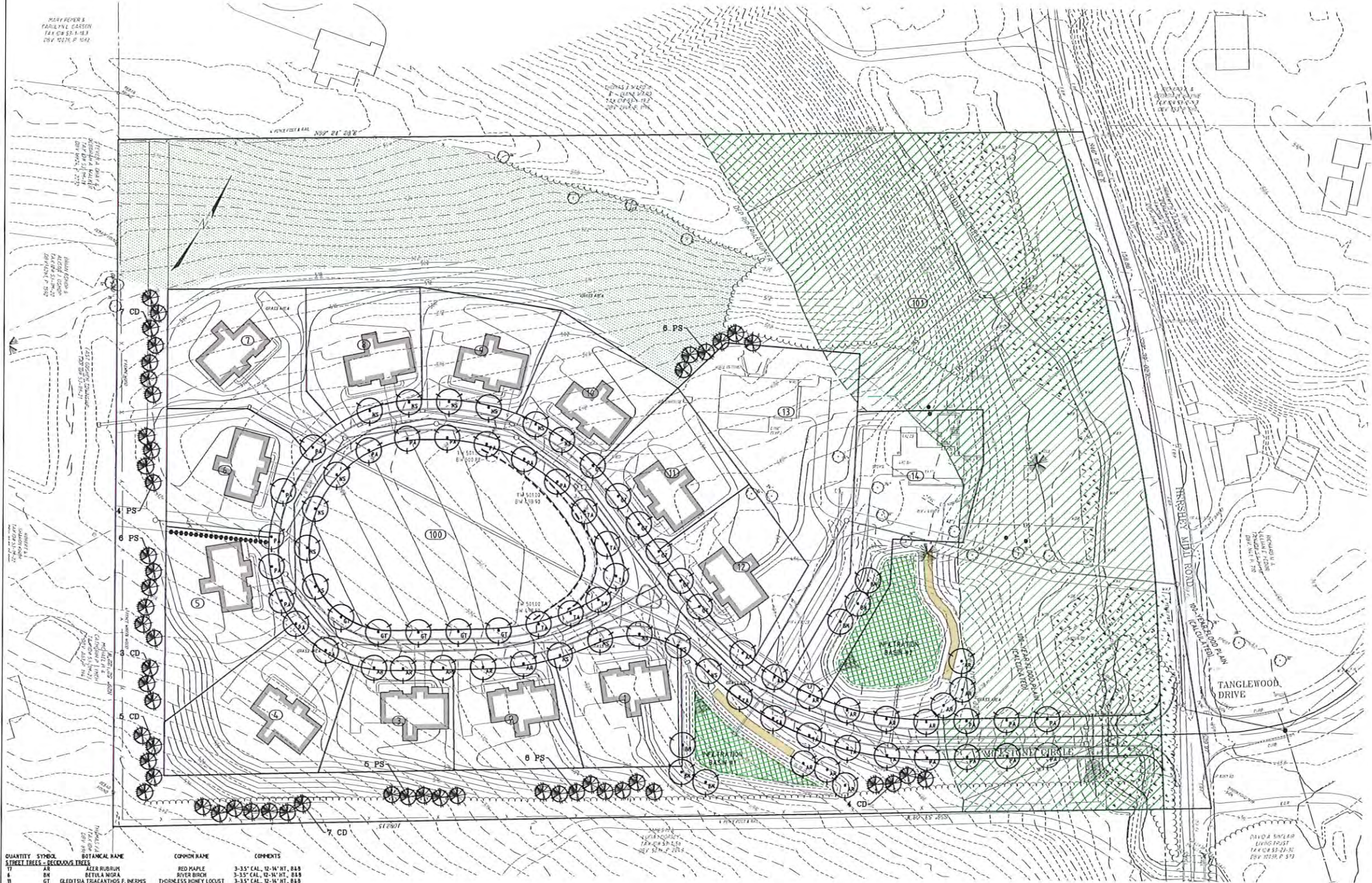
CLIENT: GROVE MEADOW DEVELOPERS LLC
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
DATE: APRIL 20, 2023

DESIGNED BY: M.D. HARTMAN
CHECKED BY: M.D. HARTMAN
SCALE: 1" = 50'
SHEET: 6 OF 19
PROJECT: 22-001-F-D-6.0

- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - SOIL LINE
 - EXISTING STREET SIGN
 - EXISTING FEATURES ARE LABELED WITH SLOTTED TEXT
 - TO BE REMOVED
 - EXISTING DECIDUOUS TREE
 - PROPOSED SANITARY SEWER & MANHOLE
 - PROPOSED STORM SEWER & CATCH BASIN
 - EXISTING WATER LINE & VALVE
 - PROPOSED WATER LINE & VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED SPRINKLER PUMP
 - PROPOSED WATER LATERAL
 - PROPOSED CURB FAZER

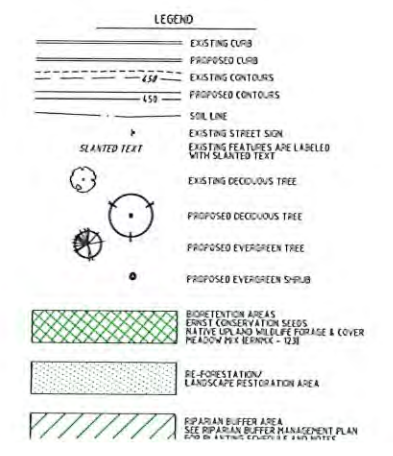


MARY REVER &
FAMILY INC. GARDEN
TAX ID# 52-1-183
257 5276 P. 184



QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	COMMENTS
STREET TREES - DECIDUOUS TREES				
4	AR	Acer rubrum	RED MAPLE	3-3.5" CAL, 12-14' HT, B&B
6	BK	Betula nigra	RIVER BIRCH	3-3.5" CAL, 12-14' HT, B&B
18	CT	Cleditia trichanthos f. inermis	THORNLESS HONEY LOCUST	3-3.5" CAL, 12-14' HT, B&B
15	NS	Rhus typhina	BLACK GLIM	3-3.5" CAL, 12-14' HT, B&B
20	PA	Platanus acerifolia	LONDON PLANE TREE	3-3.5" CAL, 12-14' HT, B&B
11	TA	Tilia americana	AMERICAN LINDEN	3-3.5" CAL, 12-14' HT, B&B
80	TOTAL			
PERMITTER BUFFER - EVERGREEN TREES				
28	CD	Cedrus deodard	DEODAR CEDAR	6-8' HT, 4-5' SP, B&B
23	PS	Pinus strobus	EASTERN WHITE PINE	6-8' HT, 4-5' SP, B&B
55	TOTAL			
REFORESTATION LANDSCAPE RESTORATION AREA - DECIDUOUS TREES				
64	CO	Cornus ovata	DOGWOOD	#3 CONTAINER
64	CA	Cercis canadensis	RED BUD	#5 CONTAINER
64	FL	Fraxinus floridana	FLORIDAN HICKORY	#1 CONTAINER
64	TL	Liriodendron tulipifera	TULIP POPLAR	#5 CONTAINER
64	SA	Sassafras albidum	SASSAPARILLA	#5 CONTAINER
320	TOTAL			
EVERGREEN SHRUB				
28	BU	Buxus sempervirens	AMERICAN BOXWOOD	#3 CONTAINER
28	TOTAL			

TREE PLANTING SUMMARY:
STREET TREE REQUIREMENTS
SECTION 205-62 STREET TREES SHALL BE PROVIDED AT A RATIO OF AT LEAST ONE TREE PER 40 LINEAR FEET, OR FRACTION THEREOF, OF RIGHT-OF-WAY LINE.
RIGHT-OF-WAY LENGTH = 2.97'
REQUIRED TREES = 73
PROVIDED TREES = 78
LANDSCAPING NOTES:
1. THE PERIPHERY OF THE PROPERTY SHALL CONTAIN A TRADITIONAL POST-AND-RAIL OR EQUIVALENT FENCE THAT PROTECTS THE EXISTING CONCRETE POSTS, WHERE POSSIBLE.
2. THE REQUIRED PLANTINGS SHALL BE GUARANTEED FOR 18 MONTHS FROM THE DATE OF DEDICATION OR CLOSURE OF THE ESCROW ACCOUNT.



Revision	Date	Description
1	5/19/24	REVISED PER CCDC REVIEW COMMENTS
2	6/7/24	UPDATED PLAN FOR SUBMISSION TO TOWNSHIP

2815 PENN AVENUE
WEST LAWN, PA
610-927-4242

FALCON DESIGN

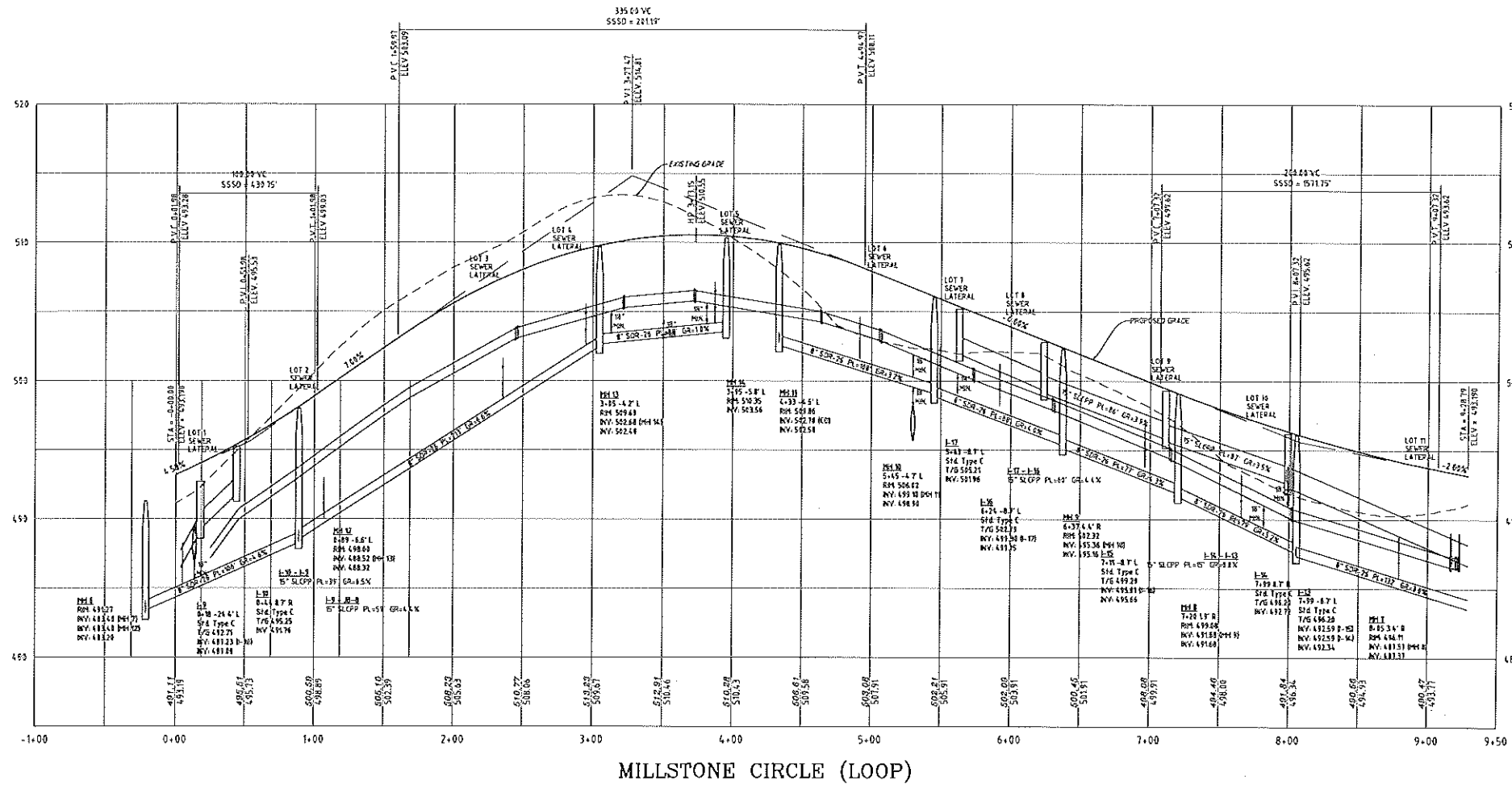
an engineering design & management firm

"MILLSTONE MEADOWS"
FINAL PLAN
LANDSCAPING PLAN

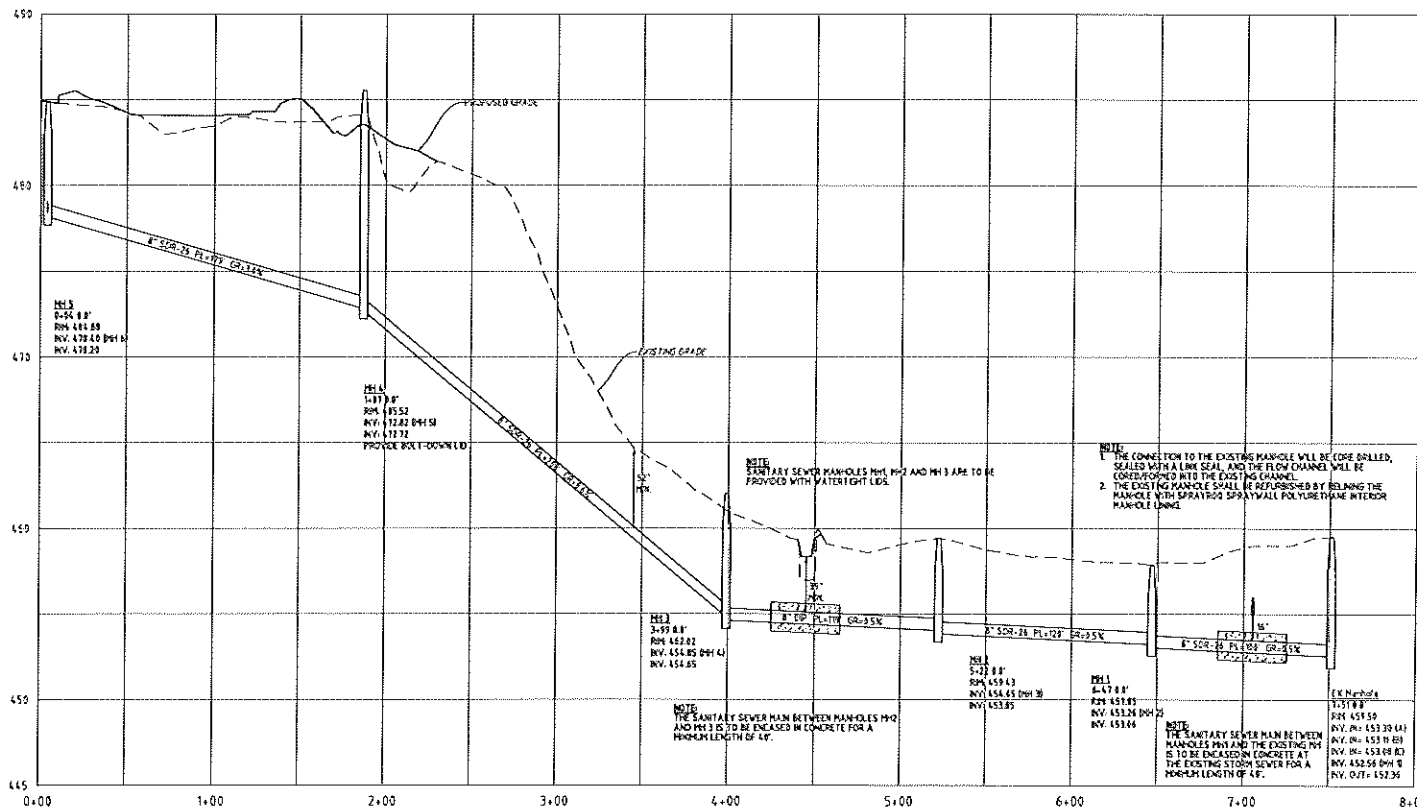
CLIENT: GROVE MEADOW DEVELOPERS LLC
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
DATE: APRIL 20, 2023

DESIGNED BY: M.D. HARTMAN
CHECKED BY: M.D. HARTMAN
SCALE: 1" = 50'
PAGE: 7 OF 19
FILE # 22-001-F-D-7.1

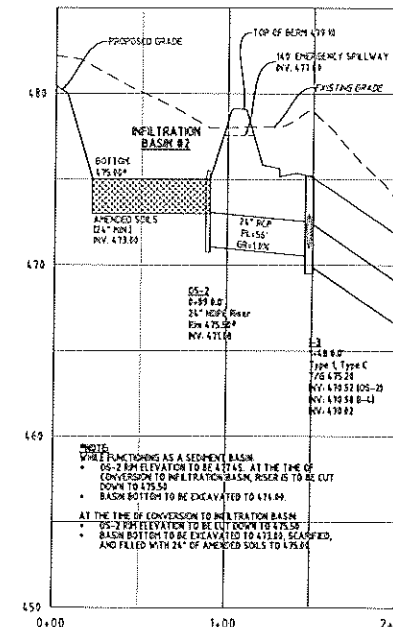
THIS DOCUMENT AND ALL INFORMATION AND WORK PRODUCT REPRESENTED BY AND CONTAINED HEREIN, IS THE SOLE AND EXCLUSIVE PROPERTY OF FALCON DESIGN AND SHALL REMAIN THE PROPERTY OF FALCON DESIGN. NO PART OF THIS DOCUMENT OR ANY INFORMATION CONTAINED HEREIN SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FALCON DESIGN. ALL RIGHTS RESERVED.



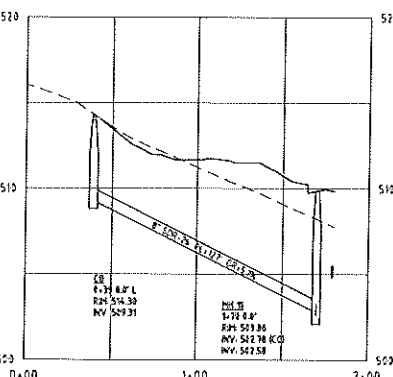
MILLSTONE CIRCLE (LOOP)



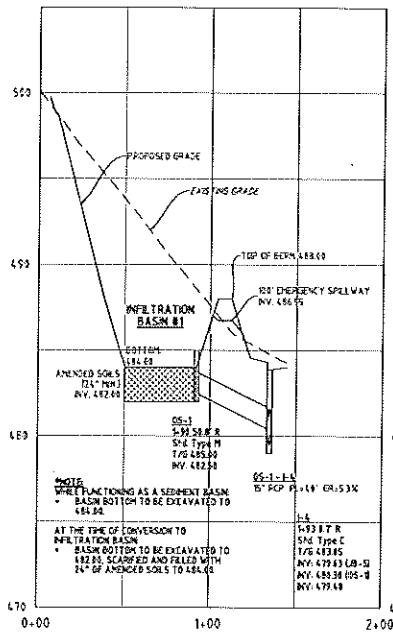
OFFSITE SANITARY SEWER



Basin #2 Cross-Section



CO - MH 11

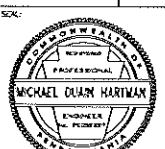
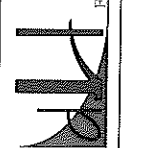


Basin #1 Cross-Section

STORM AND SANITARY SEWER NOTES:

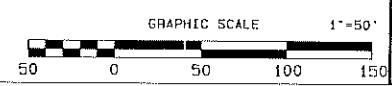
1. STORM SEWERS AND SANITARY SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND AUTHORITY DETAILS AND SPECIFICATIONS.
2. GRATE ELEVATIONS FOR INLETS ALONG CURBS ARE COMPUTED TO THE CENTER OF THE INLET AT THE CUTTERLINE.
3. GRATE ELEVATIONS FOR INLETS IN NON-CURBED AREAS ARE COMPUTED TO THE CENTER OF THE INLET IN BOTH DIMENSIONS.
4. SANITARY SEWER AND STORM SEWER MANHOLE RIM ELEVATIONS ARE COMPUTED TO CENTER OF THE I.D.
5. PROTECTION OF PIPES - THE CONTRACTOR MUST PROVIDE AND MAINTAIN A MINIMUM OF 18\"/>
- 6. DEPTH OF STORM SEWERS - ALL STORM SEWER PIPE MUST BE PLACED AT A SUFFICIENT DEPTH TO ALLOW FOR THE FULL DEPTH OF PAVING, INCLUDING THE BASE COURSE, TO BE PLACED ABOVE THE TOP OF PIPE.

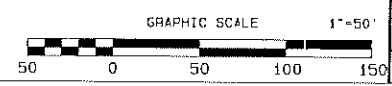
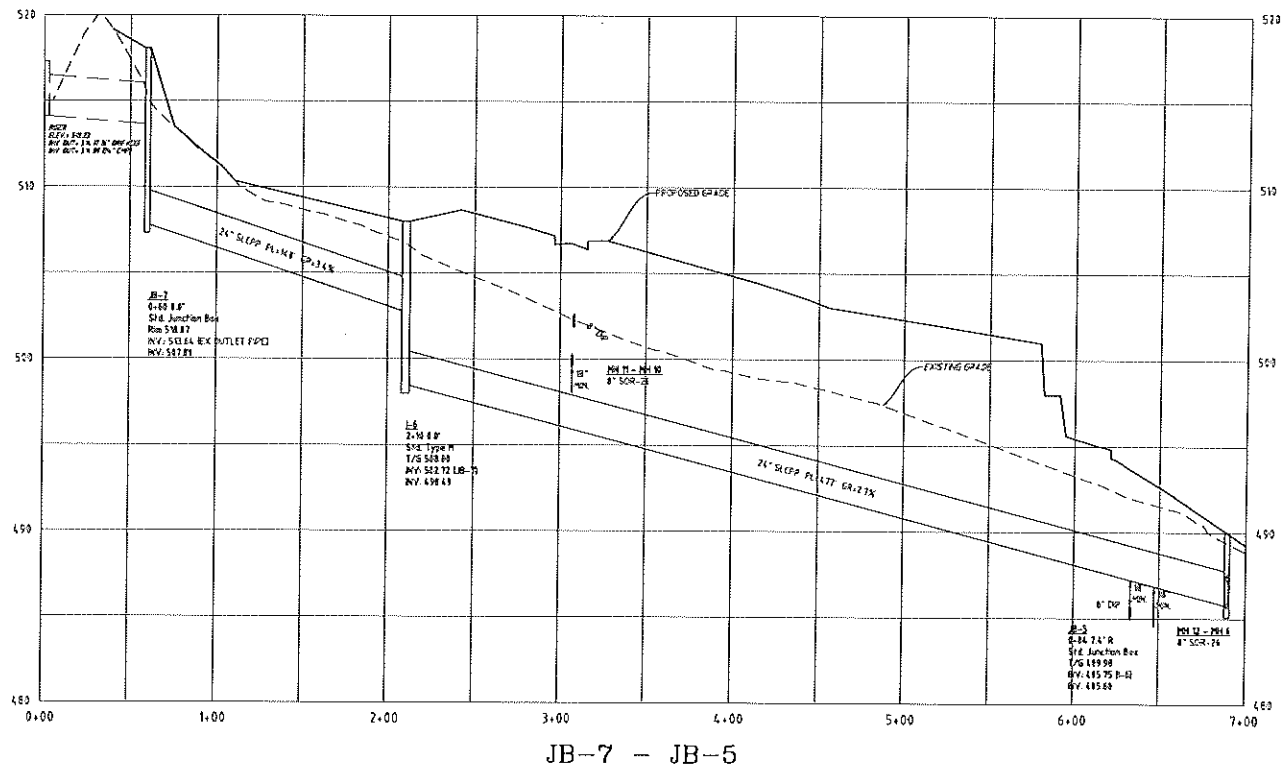
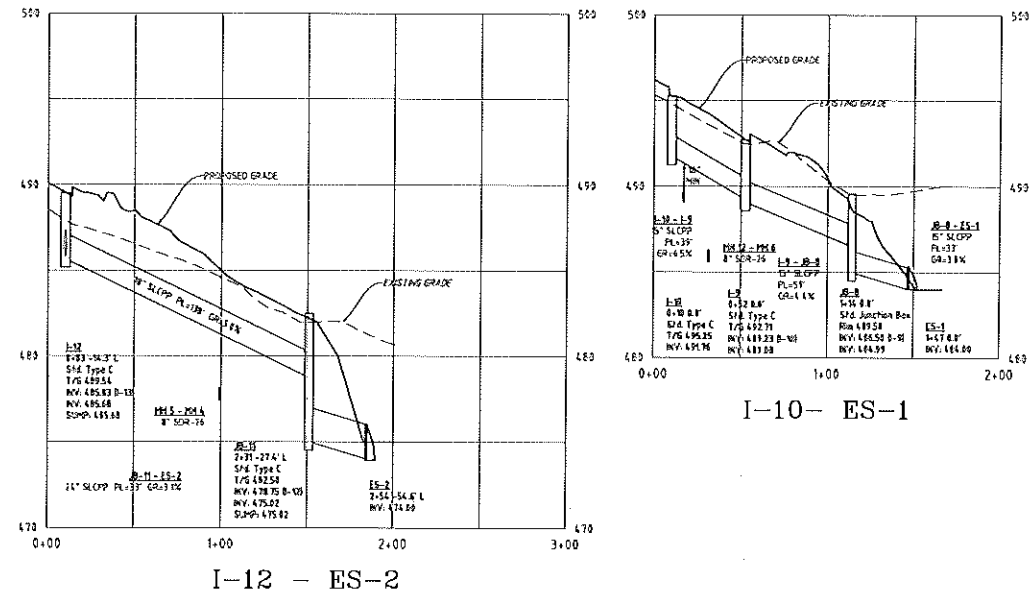
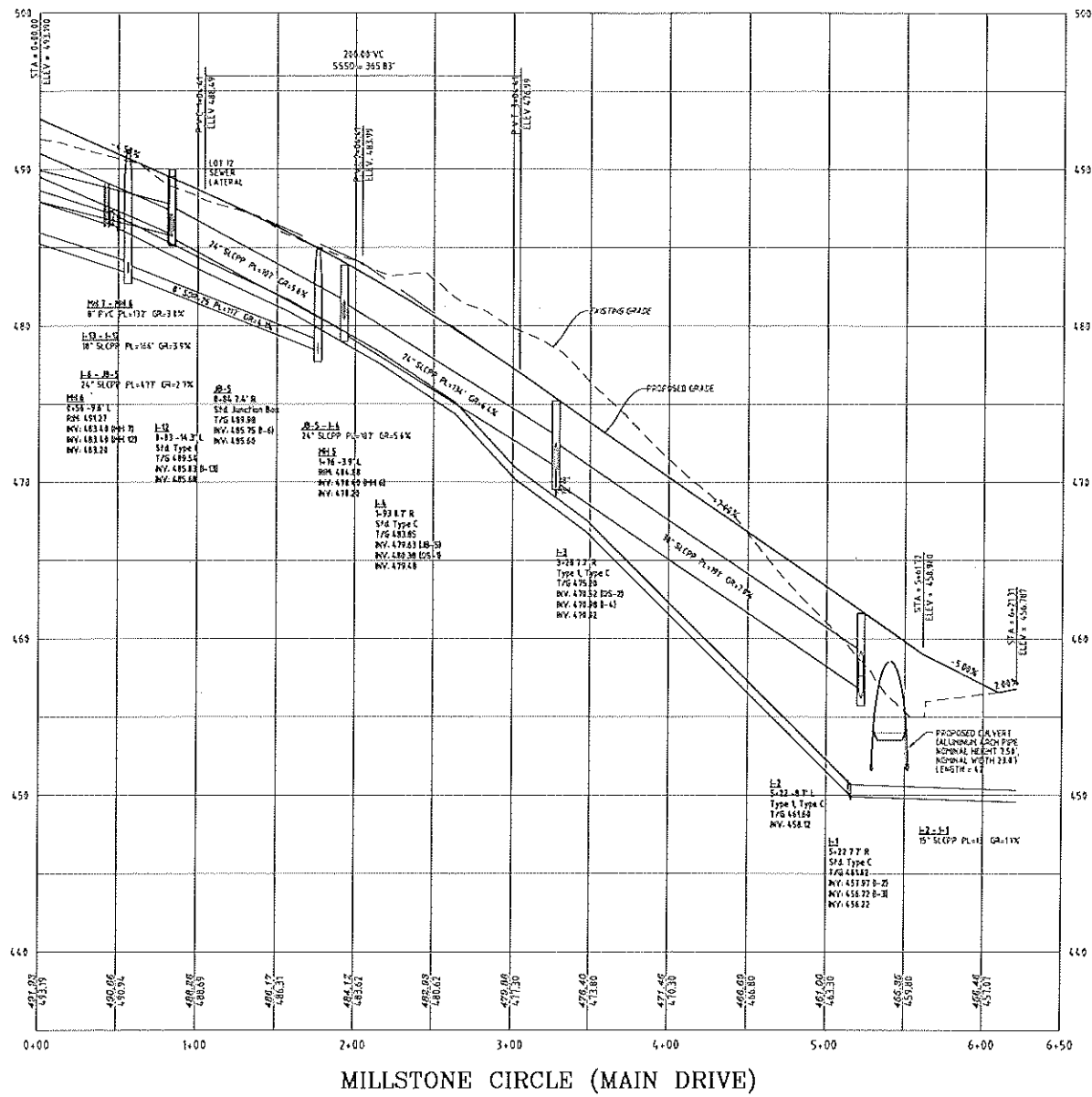
2815 PENN. AVENUE
WEST LAWN, PA
610-527-4242



"MILLSTONE MEADOWS"
FINAL PLAN
PROFILES

DATE: 4/11/24
DRAWN BY: M.D. HARTMAN
CHECKED BY: M.D. HARTMAN
SCALE: 1" = 50'
SHEET: 9 OF 19
PROJECT: 22-001-F-0-8.1





"MILLSTONE MEADOWS" FINAL PLAN PROFILES

GROVE MEADOW DEVELOPERS LLC
 1000 N. EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
 APRIL 20, 2023

2815 PENN AVENUE
 WEST LAWN, PA
 610-937-4292

PROFESSOR OF PRACTICE
MICHAEL DUAN HARTMAN
 ENGINEER IN CHARGE
 PENNSYLVANIA

DATE: 07/24
 REVISION: 1
 DESCRIPTION: UPDATED PLAN FOR SUBMISSION TO TOWNSHIP REVISED PER CCOD REVIEW COMMENTS

M.D. HARTMAN
 M.D. HARTMAN
 1" = 50'
 10 OF 19
 22-001-F-0-8.2



ACT 287 UNDERGROUND UTILITY PROTECTION ACT, AS AMENDED BY ACT 121

ACT 287 UNDERGROUND UTILITY PROTECTION ACT, AS AMENDED BY:
 ACT 172 OF 1995, ACT 38 OF 1971, ACT 807 OF 1916,
 ACT 193 OF 2004, ACT 181 OF 2016, ACT 121 OF 2018

PA ONE CALL SYSTEM INFORMATION
 PENNSYLVANIA ACT 287, AS AMENDED, REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND FIVE (5) WORKING DAYS NOTICE IN DESIGN STAGE.
 PA ONE CALL PHONE NUMBER: 1-800-343-1776

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY NAVE NEVELL, INC.
 DATE: 04/17/22
 ONE CALL SYSTEM SERIAL NUMBER: 2022303472

UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, ACT 287 OF 1976, AS AMENDED, UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION.

LIST OF RESPONDERS:
 ADVA PENNSYLVANIA INC. COXCAST CABLE COMMUNICATIONS INC.
 EAST GOSHEN TOWNSHIP TEO ENERGY
 TEXAS EASTERN TRANSMISSION LP VERIZON PENNSYLVANIA LLC

PROJECT SITE BOUNDARY AREA = 16.00 ACRES
 LIMIT OF DISTURBANCE AREA = 8.83 ACRES

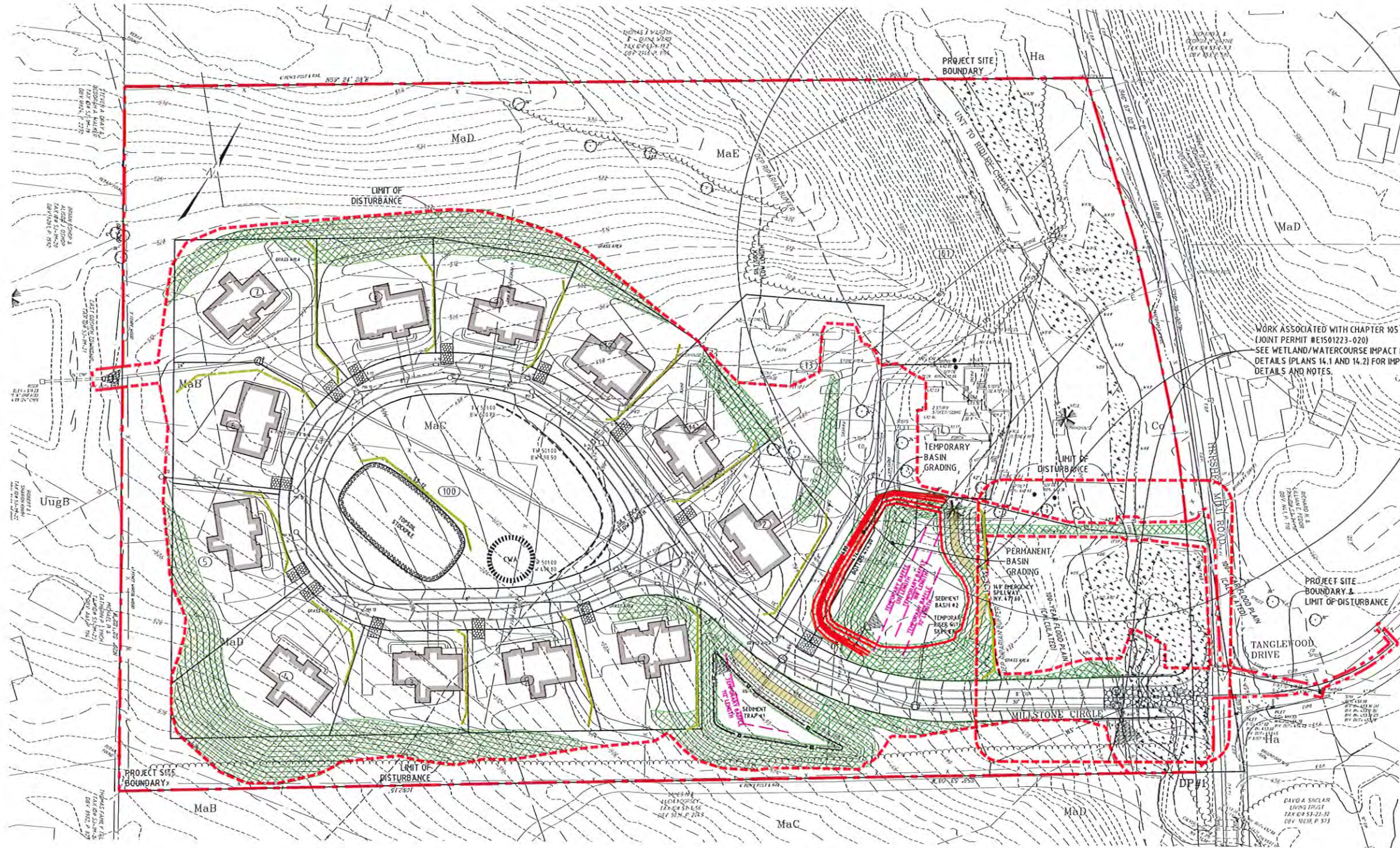


VICINITY MAP
 SCALE: 1"=800'

Revision	Date	Description
1	5/14/24	UPDATED PLAN FOR SUBMISSION TO TOWNSHIP
2	6/7/24	REVISED PER COCD REVIEW COMMENTS

2815 PENN. AVENUE
 WEST LAWN, PA
 610-927-4242

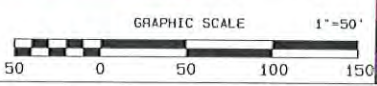
Professional Engineer
MICHAEL DUAN HARTMAN
 ENGINEER IN PENNSYLVANIA



WORK ASSOCIATED WITH CHAPTER 105 PERMITTING (JOINT PERMIT #E1510223-020)
 SEE WETLAND/WATERCOURSE IMPACT PLAN AND DETAILS (PLANS 14.1 AND 14.2) FOR IMPROVEMENTS, DETAILS AND NOTES.

- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - SOIL LINE
 - EXISTING STREET SIGN
 - EXISTING FEATURES ARE LABELED WITH SLANTED TEXT TO BE REMOVED
 - EXISTING DECIDUOUS TREE
 - PROPOSED SANITARY SEWER & MANHOLE
 - PROPOSED STORM SEWER & CATCH BASIN
 - EXISTING WATER LINE & VALVE
 - PROPOSED WATER LINE & VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED GRINDER PUMP
 - PROPOSED WATER LATERAL
 - PROPOSED CURB FAPER

- ES&SPC LEGEND**
- INLET FILTER PROTECTION
 - FILTREX SILT SOCK
 - FILTREX SILT SOCK WITH 1/2" SLOPE BREAKS SPECIFIED INDIVIDUAL LOT CONTROL
 - ROCK CONSTRUCTION ENTRANCE
 - POINTABLE STONE FILTER BERRS
 - ROCK CONSTRUCTION ENTRANCE INDIVIDUAL LOT CONTROL
 - TOPSOIL STOCKPILE WITH 1/2" SLOPE BREAKS SPECIFIED INDIVIDUAL LOT CONTROL
 - CONCRETE WASH AREA
 - EROSION CONTROL BLANKET BAG ST578 for approved equal
 - EROSION CONTROL BLANKET BAG P534E for approved equal
 - PIPARAN BUFFER
 - PROJECT SITE BOUNDARY
 - PROJECT SITE BOUNDARY & LIMIT OF DISTURBANCE
 - LIMIT OF DISTURBANCE
 - ORANGE CONSTRUCTION SAFETY FENCING
 - TEMPORARY PROPOSED CONTOURS

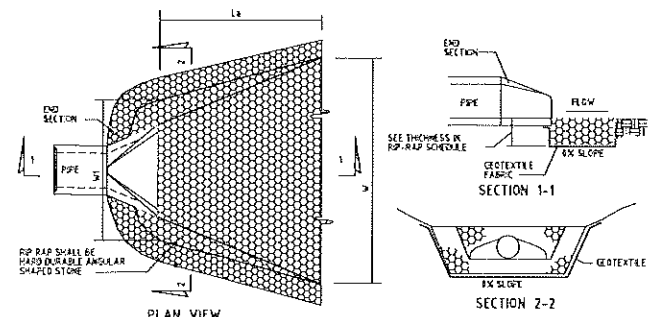


"MILLSTONE MEADOWS"
 FINAL PLAN
 EROSION AND SEDIMENT CONTROL PLAN

CLIENT: GROVE MEADOW DEVELOPERS LLC
 LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
 DATE: APRIL 20, 2023

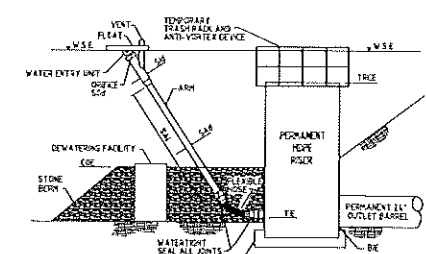
M.D. HARTMAN
 M.D. HARTMAN

11 OF 19
 22-001-F-D-9.1



PERCENT CLASSIFICATION CLASS SIZE NO	R-1	R-2	R-3	R-4	R-5	R-6
100	100+	100+	100+	100+	100+	100+
75	75-100	75-100	75-100	75-100	75-100	75-100
50	50-75	50-75	50-75	50-75	50-75	50-75
25	25-50	25-50	25-50	25-50	25-50	25-50
10	10-25	10-25	10-25	10-25	10-25	10-25
5	5-10	5-10	5-10	5-10	5-10	5-10
2	2-5	2-5	2-5	2-5	2-5	2-5

RIP RAP APRON DETAIL

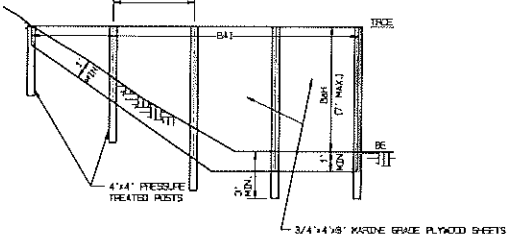


SEDIMENT BASIN TEMPORARY SKIMMER AND PERMANENT OUTLET STRUCTURE

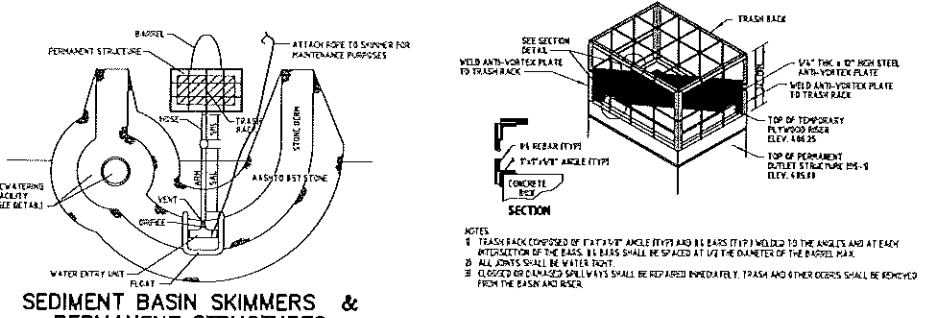
NOTES:
 1. ALL SKIMMERS ON PERMANENT RISER BELOW TEMPORARY RISER EXTENSION SHALL HAVE WATER-TIGHT TEMPORARY SEALS PROVIDED TEMPORARY STOP BY ELEVATION SHALL BE SET AT OR BELOW SKIMMER CLEAR-OUT ELEVATION.
 2. A ROPE SHALL BE ATTACHED TO THE SKIMMER AND FACILITATE ACCESS TO THE SKIMMER ONCE INSTALLED.
 3. SKIMMER SHALL BE INSPECTED VISUALLY AND AFTER EACH RAINFALL EVENT.
 4. ANY MALFUNCTIONING SKIMMER SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 5. SKIMMER SHALL BE REPAIRED IMMEDIATELY AND AFTER EACH RAINFALL EVENT.
 6. SKIMMER SHALL BE REPAIRED IMMEDIATELY AND AFTER EACH RAINFALL EVENT.
 7. APPROVAL OF THE USE OF A SKIMMER DOES NOT APPROVE OWNER OR OPERATOR USE OF ANY SKIMMER IN VIOLATION OF ANY PATENT, PATENT RIGHTS AND/OR PATENT LAWS.
 8. ALSO SEE SEDIMENT TRAP SKIMMERS & PERMANENT STRUCTURES DETAIL.
 9. SKIMMER MANUFACTURED BY J.W. FARGOTH & SON, P.O. BOX 191, MILLERSBURG, NC, TEL. 707/272-1044.

SEDIMENT BASIN TEMPORARY SKIMMER AND PERMANENT OUTLET STRUCTURE

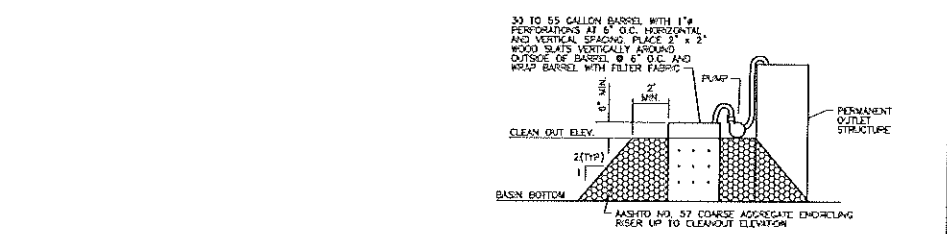
BASIN NO.	Z1 (FT)	Z2 (FT)	PLYWOOD BAFFLE		PERMANENT STRUCTURE		BOTTOM	
			LENGTH (FT)	HEIGHT (FT)	CREST ELEV. (FT)	BOTTOM ELEV. (FT)	LENGTH (FT)	HEIGHT (FT)
TRAP 1	112	2.3	496.20	494.00				
BASIN 1	130	4.7	477.57	474.00				
BASIN 2	109	4.7	477.57	474.00				
BASIN 3	92	4.7	477.57	474.00				



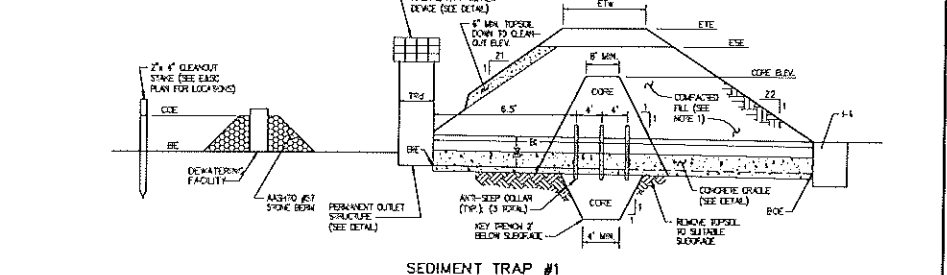
SEDIMENT BASIN PLYWOOD BAFFLE DETAIL



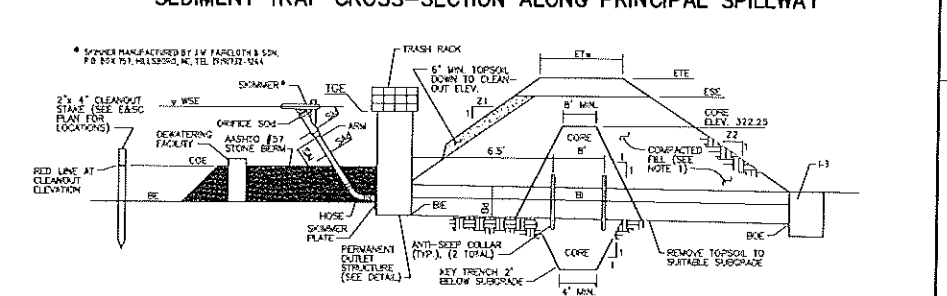
TEMPORARY TRASH RACK & ANTI-VORTEX FOR PERMANENT OUTLET STRUCTURE



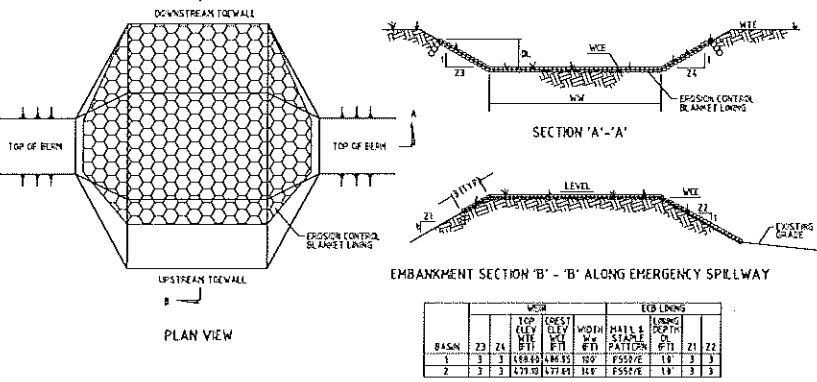
SEDIMENT TRAP DEAERATING FACILITY



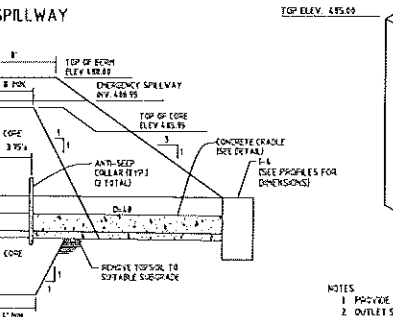
SEDIMENT TRAP CROSS-SECTION ALONG PRINCIPAL SPILLWAY



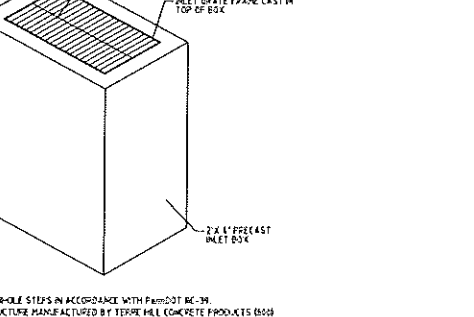
SEDIMENT BASIN CROSS-SECTION ALONG PRINCIPAL SPILLWAY



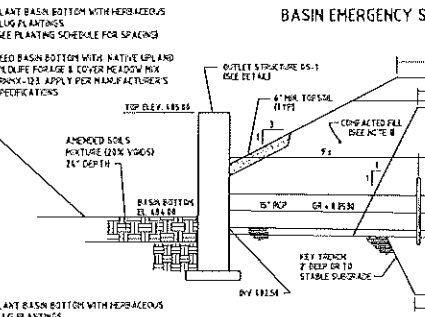
INFILTRATION BASIN CONSTRUCTION NOTES:
 1. EMBALLMENT MATERIAL SHALL CONSIST OF SUITABLE MATERIAL FREE OF ALL ROOTS, SOIL, FROZEN SOIL, ROCK OVER 4" DIAMETER, AND ANY OTHER MATERIAL NOT APPROVED BY THE ENGINEER. FILL SHALL BE COMPACTED IN 6" LIFTS TO AT LEAST 90% OF STANDARD MAXIMUM DRY DENSITY PER ASTM D1557, STANDARD PROCTOR PRIOR TO PLACEMENT OF A NEW LIFT. THE TOP 3" OF THE PREVIOUS LIFT SHALL BE SCARIFIED.
 2. CORE MATERIAL TO BE CLAYEY SOIL, LAMINATED GLASS (LGL), OR CL-MU COMPACTED TO 90% MAXIMUM DRY DENSITY.
 3. EMBALLMENT CORE MAY BE ELIMINATED IF THE ENTIRE EMBALLMENT CONFORMS TO NOTE 2. KEY TRENCH CORE IS STILL REQUIRED.
 4. AFTER SITE IS PERMANENTLY STABILIZED, REMOVE SEDIMENT, EXCAVATE TO FINAL SUBGRADE, SPREAD 4" OF TOPSOIL, INSIDE BASIN BELOW CLEANOUT ELEVATION AND PERMANENTLY STABILIZE PER SEEDING AND MULCHING SPECIFICATIONS.
 5. BASIN BOTTOM AND EMBALLMENT TO BE TOPSOILED AND PERMANENTLY SEEDED AND MULCHED PER SEEDING AND MULCHING SPECIFICATIONS.
 6. RIP OUTLET PIPE SHALL BE PROVIDED WITH WATER-TIGHT COUPLERS.
 7. DO NOT PROVIDE STONE BEDDING OR BACKFILL AROUND THE OUTLET PIPE.
 8. PIPE LENGTH IS MEASURED TO THE OUTLET END OF THE DSO SECTION, WHERE APPLICABLE.
 9. SEE INDIVIDUAL BID CONSTRUCTION SEQUENCE AND CRITICAL STAGES OF IMPLEMENTATION - "INFILTRATION BASIN" THIS PAGE.
 10. SEE GRADING & UTILITY PLAN, AND PROFILE SHEETS FOR ADDITIONAL DETAILED INFORMATION OF THE STORM SEWER PIPING AND STRUCTURES.



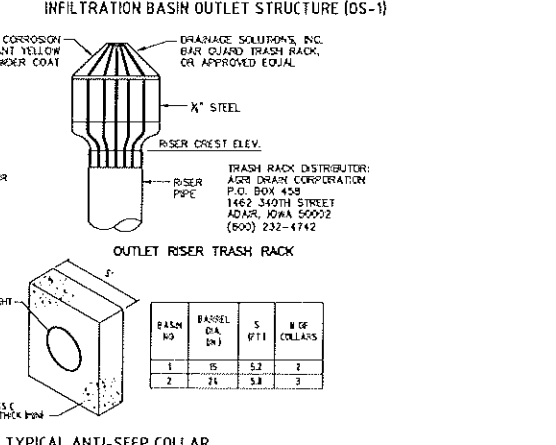
INFILTRATION BASIN #1 CROSS-SECTION



INFILTRATION BASIN OUTLET STRUCTURE (OS-1)



INFILTRATION BASIN #2 CROSS-SECTION



TYPICAL ANTI-SEEP COLLAR

2815 PENN. AVENUE
 WEST LAWN, PA
 610-927-4242

"MILLSTONE MEADOWS" FINAL PLAN
EROSION AND SEDIMENT CONTROL DETAILS

CLIENT: GROVE MEADOW DEVELOPERS LLC
 LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
 DATE: APRIL 20, 2023

NO.	DATE	DESCRIPTION
1	6/7/24	REVISED PLAN FOR SUBMISSION TO TOWNSHIP
2	5/14/24	UPDATED PER ECCO REVIEW COMMENTS

M.D. HARTMAN
 P.E.
 N.T.S.
 14 OF 19
 22-001-F-0-9.4



ACT 287 UNDERGROUND UTILITY PROTECTION ACT, AS AMENDED BY ACT 121

PA ONE CALL SYSTEM INFORMATION
PENNSYLVANIA ACT 287, AS AMENDED, REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND FIVE (5) WORKING DAYS NOTICE IN DESIGN STAGE.
PA ONE CALL PHONE NUMBER 1-800-244-1976

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY NAVE NEWELL, INC.
DATE: 11/17/22
ONE CALL SYSTEM SERIAL NUMBER: 2122103412

UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, ACT 287 OF 1974, AS AMENDED, UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION.

LIST OF RESPONDERS:
ATAA PENNSYLVANIA INC
EAST GOSHEN TOWNSHIP
TEXAS EASTERN TRANSMISSION LP

COMCAST CABLE COMMUNICATIONS INC
TECO ENERGY
VERIZON PENNSYLVANIA LLC

OWNER AND APPLICANT
GROVE MEADOW DEVELOPERS LLC
1011 LANCASTER AVE. SUITE 201
BERKIN PA 19312

RECEIVING WATERCOURSE
THE RECEIVING WATERCOURSE FROM THE PROJECT AREA IS A TRIBUTARY TO RILEY CREEK. THE WATERCOURSE IS LOCATED ON THE PROJECT TRACT BUT OUTSIDE OF THE LIMIT OF DISTURBANCE. THE WATERCOURSE HAS A CHAPTER 10 CLASSIFICATION OF HO-CWF, HIGH QUALITY - COLD WATER FISHES. THE RECEIVING STREAM IS LISTED AS HAVING A 30.0 WPA POINT DUE TO URBAN RUNOFF.

RIPIARIAN BUFFERS
RIPIARIAN BUFFERS MUST BE MEASURED HORIZONTALLY AND PERPENDICULARLY TO THE BANK WITH NO MORE THAN A 10% VARIATION BELOW THE HIGHEST POINT FROM THE NORMAL POOL ELEVATION FOR LAKE, POND OR RESERVOIR AND FROM TOP OF STREAMBANK.

PROPOSED TREE PLANTINGS
THE PROPOSED TREE PLANTINGS AND REFORESTATION AREAS AS SHOWN ON THE LANDSCAPING PLAN ARE TO BE CONSIDERED PART OF THE STORM WATER MANAGEMENT SYSTEM FOR THE PROPOSED DEVELOPMENT AND ARE NOT TO BE REMOVED WITHOUT PRIOR APPROVAL FROM EAST GOSHEN TOWNSHIP, CHESTER COUNTY CONSERVATION DISTRICT AND DEP.

SOIL LEGEND
G1 - COORSUM S LT LOAM
H1 - MATBORD S LT LOAM
G2 - GLENELG S LT LOAM, 3 TO 8 PERCENT SLOPES
MaB - MANOR LOAM, 3 TO 8 PERCENT SLOPES
MaC - MANOR LOAM, 8 TO 15 PERCENT SLOPES
MaD - MANOR LOAM, 15 TO 25 PERCENT SLOPES
MaE - MANOR LOAM, 25 TO 35 PERCENT SLOPES
UgB - URBAN LOAM - UOATENTS SCVSST AND GRESX COMPLEX, 0 TO 8 PERCENT SLOPES

STORM WATER NOTES
1. THE STORM WATER MANAGEMENT FACILITIES HAVE BEEN DESIGNED ASSUMING AN AMOUNT OF IMPERVIOUS COVERAGE BASED ON THE IMPROVEMENTS SHOWN PLUS AN ADDITIONAL 2,000 SQUARE FEET PER LOT TO ACCOUNT FOR FUTURE IMPROVEMENTS BY THE HOMEOWNERS.
2. THE PROPOSED TREE PLANTINGS ARE PART OF THE OVERALL SITE STORM WATER MANAGEMENT SYSTEM.
3. ROOF LEAVES SHALL BE DISCHARGED INTO SPLASH BLOCKS AND DIRECTED TOWARDS VEGETATED SURFACES (AS PRACTICABLE).
4. ALL STORM CONVEYANCE PIPE SHALL BE SMOOTH LINED DOUBLE WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE), UNLESS OTHERWISE SPECIFIED.
5. END WALLS AND END SECTIONS SHALL BE REQUIRED ON ALL OPEN PIPES, SHALL BE OF CONCRETE CONSTRUCTION, AND SHALL BE SET ON A MINIMUM OF TWELVE (12) INCHES OF #4 S40 NO. 51 (EQUIV) 280 GRADE AGGREGATE.

INFILTRATION TEST RESULTS

TEST AREA	DEPTH TO BEDROCK	DEPTH TO GROUNDWATER	INFILTRATION RATE (IN/HR)	EXISTING GRADE ELEVATION	TEST ELEVATION	PROBE ELEVATION
SW-1	24"	+70"	N/A	517.71	N/A	511.88
SW-2	+90"	+90"	2.05	511.92	509.92	504.42
SW-3	+103"	+103"	56.38	521.47	517.47	512.89
SW-4	+110"	+110"	1.5	493.29	491.29	484.12
SW-5	+110"	+110"	0.63	493.29	492.29	484.12
SW-6	+90"	+90"	1.13	494.36	492.36	486.86
	+90"	+90"	1.13		490.36	
SW-7	+58"	35"	2.13	489.71	489.04	475.88
	+58"	35"	3.88		479.54	
SW-1A	+56"	+56"	0.88	489.39	484.30	481.30
SW-1B	+58"	+58"	0.63	489.61	484.61	481.44
SW-1C	+94"	+94"	0.25	489.38	484.38	489.38
SW-2B	+81"	+81"	0.63	479.92	475.92	473.17
SW-2C	+81"	+81"	0.25	479.09	475.09	472.34

PROJECT SITE BOUNDARY AREA = 16.00 ACRES
LIMIT OF DISTURBANCE AREA = 8.83 ACRES

NO WORK CAN BEGIN WITHIN THE FLOODWAY/ WETLANDS AREA UNTIL CHAPTER 105 AND USACE AUTHORIZATIONS ARE OBTAINED.

ENGINEER'S CERTIFICATE

I, MICHAEL DUAN HARTMAN, P.E., ON THIS DATE _____, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE EAST GOSHEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE (ORDINANCE NO. 129-F-2013)

DATE: _____

OWNER'S ACKNOWLEDGEMENT

I ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

DATE: _____



VICINITY MAP
SCALE: 1"=800'

PCS# HATCH LEGEND

- INFILTRATION BASINS (BPP #1 & #2)
- RESTORATION/LANDSCAPE RESTORATION (BPP #1)
- RIPIARIAN BUFFER
- FORESTED RIPIARIAN BUFFER CONVERSION AREA
- RIPIARIAN BUFFER DISTURBANCE
- AMENDED SOILS (BPP #5)
- DISCONNECTED IMPERVIOUS ALLOCATED AREA PER LOT (BPP #5)
- PROPOSED DECIDUOUS TREE (BPP #3)
- PROPOSED EVERGREEN TREE (BPP #3)

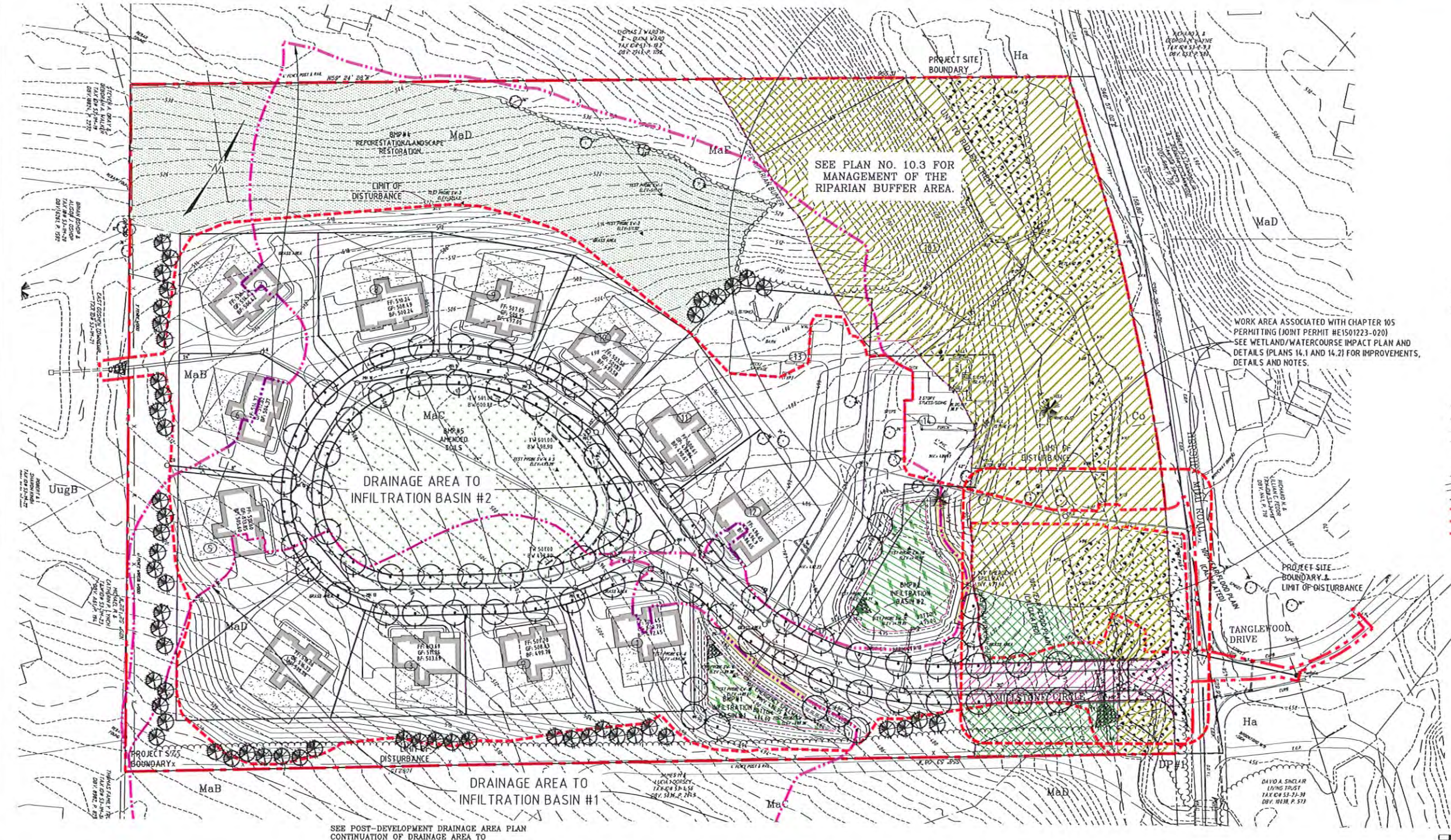
LEGEND

- EXISTING CURB
- PROPOSED CURB
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- SOIL LINE
- EXISTING STREET SIGN
- EXISTING FEATURES ARE LABELED WITH SLANTED TEXT TO BE REMOVED
- EXISTING DECIDUOUS TREE
- PROPOSED SANITARY SEWER & MANHOLE
- PROPOSED STORM SEWER & CATCH BASIN
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED GRINDER PUMP
- PROPOSED WATER LATERAL
- PROPOSED TRAIL NETWORK (PAVED)
- RIPIARIAN BUFFER
- PROJECT SITE BOUNDARY
- PROJECT SITE BOUNDARY & LIMIT OF DISTURBANCE
- LIMIT OF DISTURBANCE
- DRAINAGE AREA TO BPP

ALLOWABLE IMPERVIOUS COVERAGE

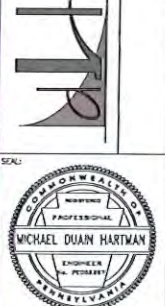
LOT#	ALLOCATED AREA
1	6,312
2	6,351
3	6,367
4	6,800
5	6,484
6	6,399
7	7,564
8	6,432
9	6,373
10	6,373
11	6,300
12	6,269
13	8,657
14	7,608
BASIN #1	39,978
BASIN #2	66,983
UN-DETAINED	21,669

GRAPHIC SCALE 1"=50'
50 0 50 100 150



SEE POST-DEVELOPMENT DRAINAGE AREA PLAN CONTINUATION OF DRAINAGE AREA TO INFILTRATION BASIN #1

2815 PENN. AVENUE
WEST LAWN, PA
610-927-4242

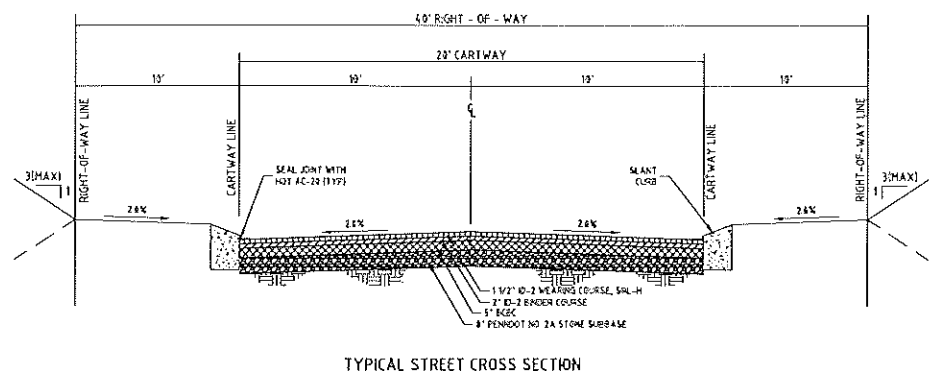


**"MILLSTONE MEADOWS"
FINAL PLAN
POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN**

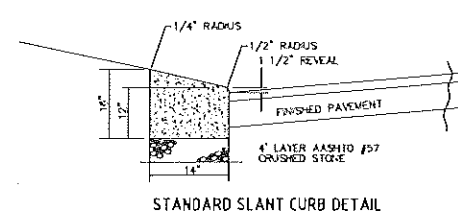
CLIENT: GROVE MEADOW DEVELOPERS LLC
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
DATE: APRIL 20, 2023

PREPARED BY: M.D. HARTMAN

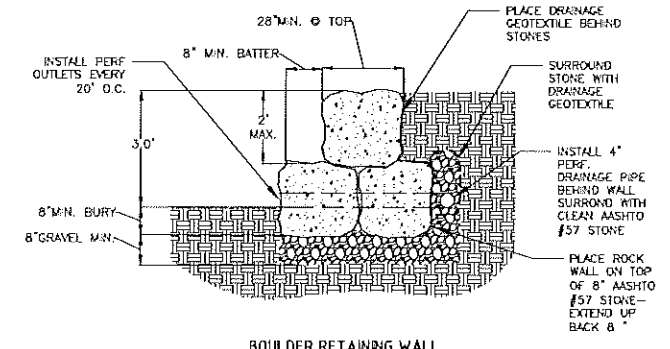
SCALE: 1" = 50'
SHEET: 15 OF 19
PROJECT: 22-001-F-D-10.1



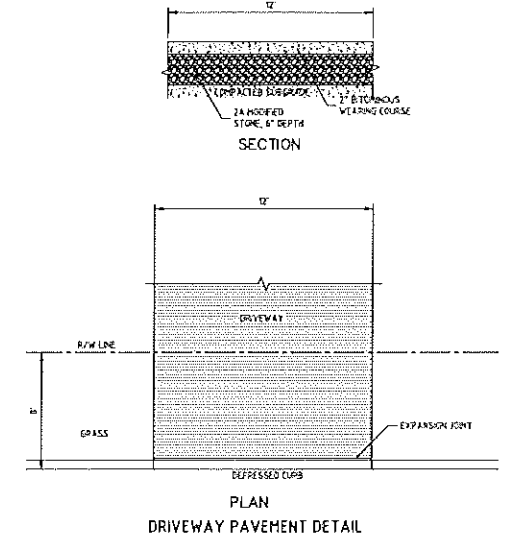
TYPICAL STREET CROSS SECTION



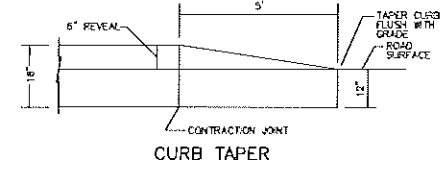
STANDARD SLANT CURB DETAIL



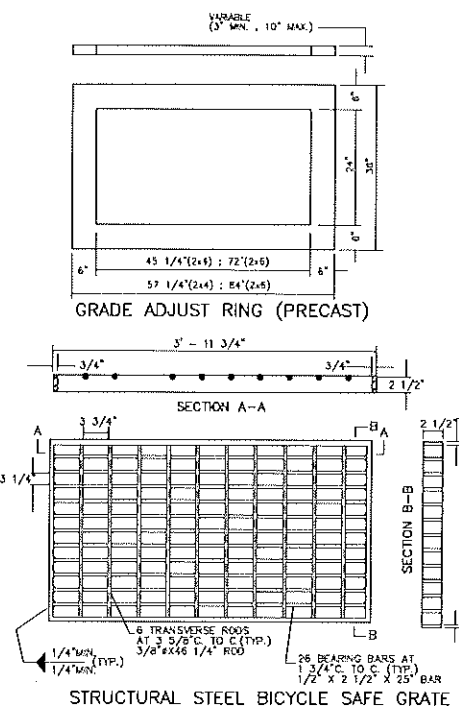
BOULDER RETAINING WALL



DRIVEWAY PAVEMENT DETAIL



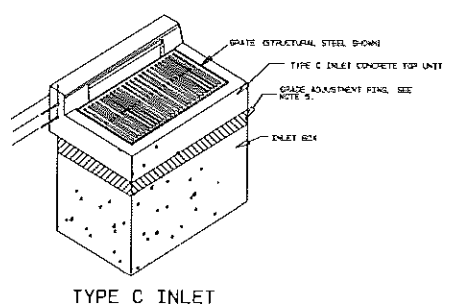
CURB TAPER



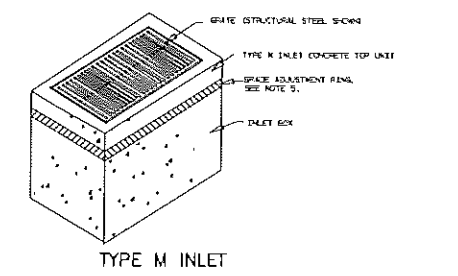
GRADE ADJUST RING (PRECAST)



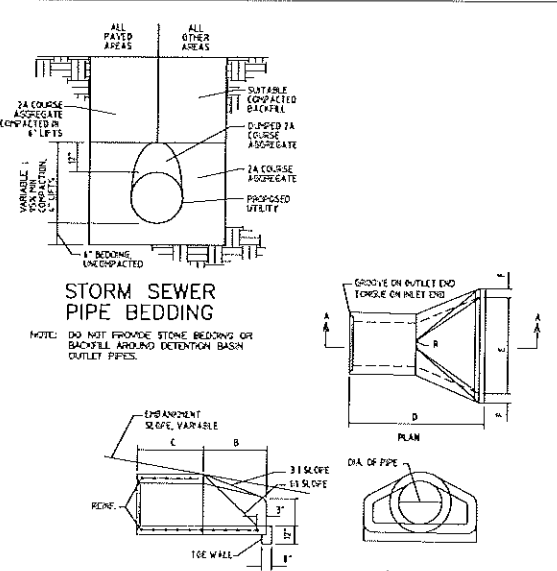
STRUCTURAL STEEL BICYCLE SAFE GRATE



TYPE C INLET



TYPE M INLET

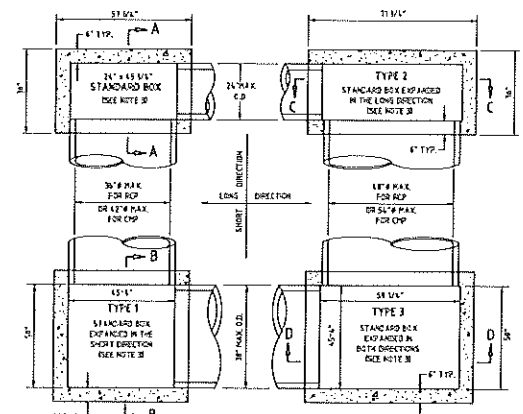


STORM SEWER PIPE BEDDING

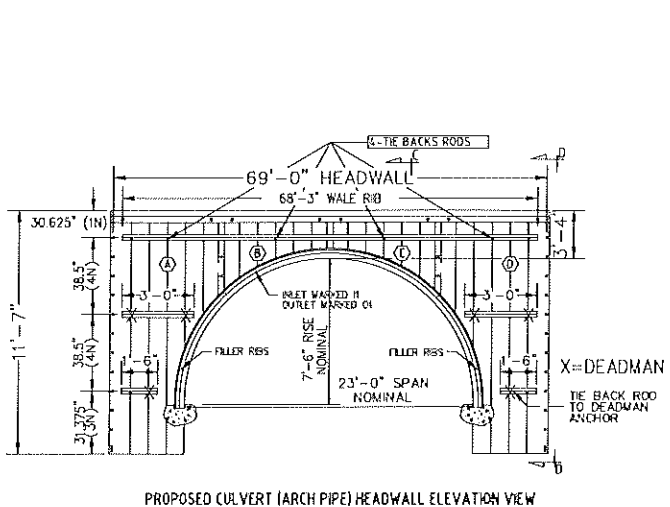
NOTE: DO NOT PROVIDE STONE BEDDING OR BACKFILL AROUND DETENTION BASIN OUTLET PIPES.

CONCRETE END SECTION

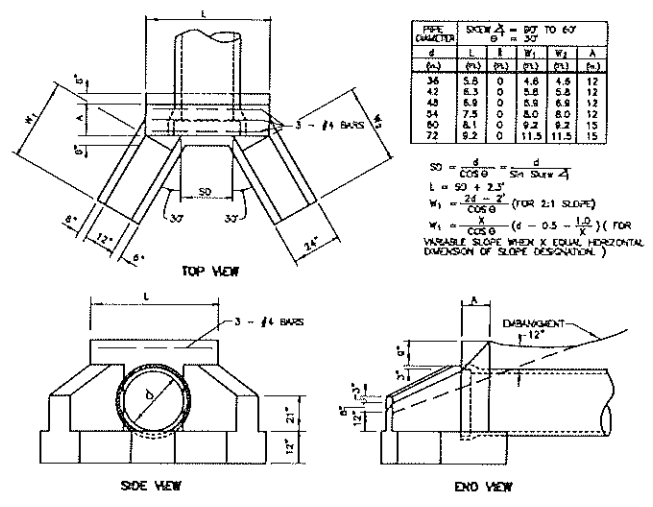
PIPE DIA.	A	B	C	D	E	F	G	H
18"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
24"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"
30"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
36"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"
42"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"
48"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"
54"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"
60"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"
66"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"
72"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"



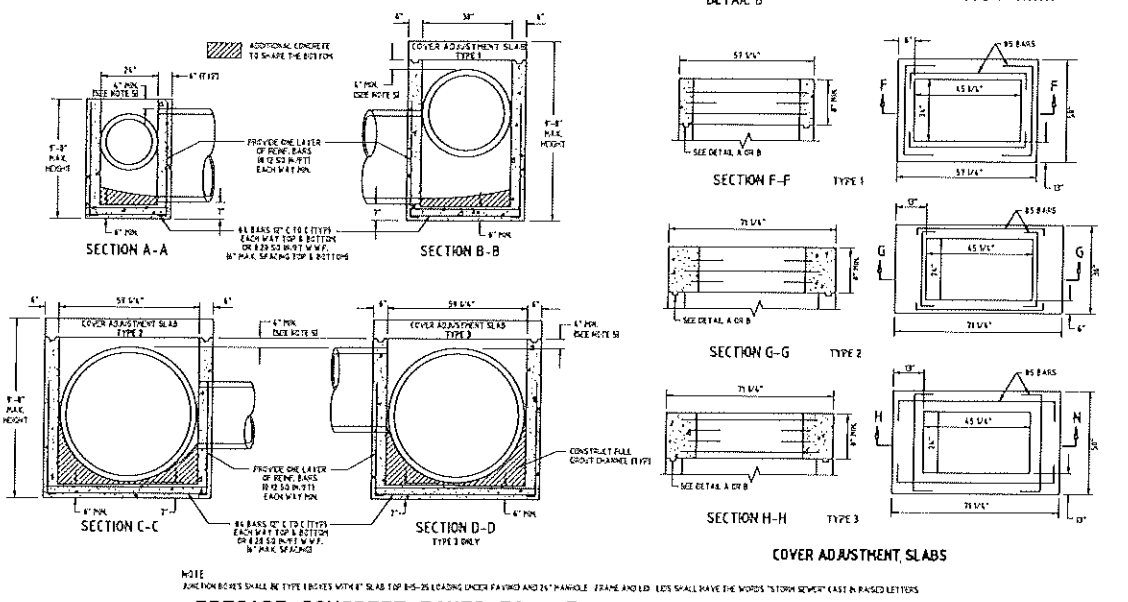
- NOTES:
- CONSTRUCT INLETS IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLICATION 448, SECTION 114.
 - PERMIT ONLY PRECAST INLET BOXES SUPPLIED BY A MANUFACTURER LISTED IN PUBLICATION 448, SECTION 114. USE CLASS A CONCRETE FOR PRECAST BOXES. FOR DIMENSIONS OR MODIFICATIONS OF THE STANDARDS, SUBMIT SHOP DRAWINGS FOR APPROVAL.
 - PROVIDE STANDARD INLET BOXES AND COVER ADJUSTMENT SLABS WITH A 2 1/4" x 1/4" REINFORCING ACCORDING TO STANDARD TOP COMPONENTS.
 - FOR INLETS THAT DEVIATE FROM THE STANDARD SUBMIT SPECIAL DETAILS AND DESIGN FOR THE INLET WALLS AND BASE BY THE BUREAU OF CONSTRUCTION FOR REVIEW AND APPROVAL. CONSTRUCT INLETS THAT EXCEED 5' IN HEIGHT WITH STEPS SIMILAR TO MANHOLES PER AC-308. FOR INLETS OTHER THAN AS SHOWN ON THE STANDARDS, PROVIDE REINFORCEMENT BY BARS ON 12" SPACING AND IN ACCORDANCE WITH PUBLICATION 448.
 - LOCATE PIPE OR PIPES, AS INDICATED, WITH THE INLET BOTTOM SHAPED TO CHANNEL THE FLOW TOWARD THE OUTLET PIPE. WHEN PIPE-BED CONDITIONS REQUIRE PIPE SLOPES TO BE FORCED WITHIN 1" FROM THE TOP OF THE INLET BASE, FULL WIDTH ALONG THE INLET FACE. REMOVE ANY USABLE PORTION OF THE 1/4" IF REQUIRED DURING INSTALLATION AND PROCEED TO JOINING THE PIPE TO THE INLET. IF REINFORCED CONCRETE PIPE IS USED, THE PIPE JOINTS MAY BE FORCED FLUSH WITH THE INLET BASE. LIMIT PIPE JOINTS TO 10'.
 - PLACE SUBBASE MATERIAL MEETING THE REQUIREMENTS OF PUBLICATION 448, SECTION 102.2 IN LAYERS 4" THICK, COMPACTED TO A DENSITY SATISFACTORY TO THE ENGINEER AND INCIDENTAL TO THE INLET PAY ITEM.
 - FOR PIPE DIAMETERS LARGER THAN 48" USE A PROVIDED INLET BOX.
 - INLETS MAY BE PROVIDED IN METAL PAGES OF PRECAST INLET BOXES TO FACILITATE FORM STRIPPING. TAPERS WILL RESULT IN INTERNAL BOTTOM DIMENSIONS THAT VARY TO A MAXIMUM OF 1".
 - PROVIDE SURFACE LIFTING DEVICES FOR HANDLING AND INSTALLATION. GALVANIZED METAL DEVICES AS SHOWN IN PUBLICATION 448 SECTION 114. TAPERS MAY BE PROVIDED ON INSIDE VERTICAL FACES OF PRECAST INLET TOPS TO FACILITATE FORM STRIPPING. TAPERS WILL RESULT IN INTERNAL BOTTOM DIMENSIONS THAT VARY TO A MAXIMUM OF 1".



PROPOSED CULVERT (ARCH PIPE) HEADWALL ELEVATION VIEW



TYPE D-W ENDWALL



COVER ADJUSTMENT SLABS

2815 PENN AVENUE
WEST LAWN, PA
610-977-4312

2815 PENN AVENUE
WEST LAWN, PA
610-977-4312

PROFESSIONAL ENGINEER

MICHAEL DUAN HARTMAN

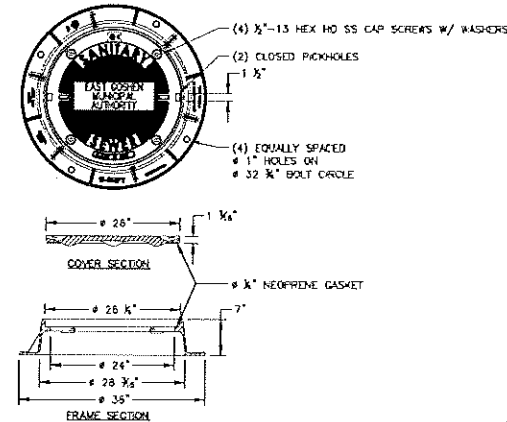
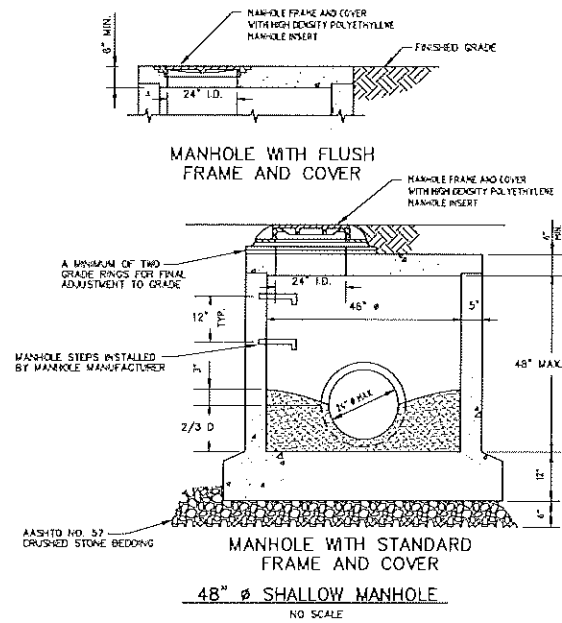
"MILLSTONE MEADOWS"
FINAL PLAN
CONSTRUCTION DETAIL & NOTES - SITE

GROVE MEADOW DEVELOPERS LLC
LOCATION: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
DATE: APRIL 20, 2023

M.D. HARTMAN
M.D. HARTMAN
N.T.S.
18 OF 19
22-001-F-D-11.1

NOTES:

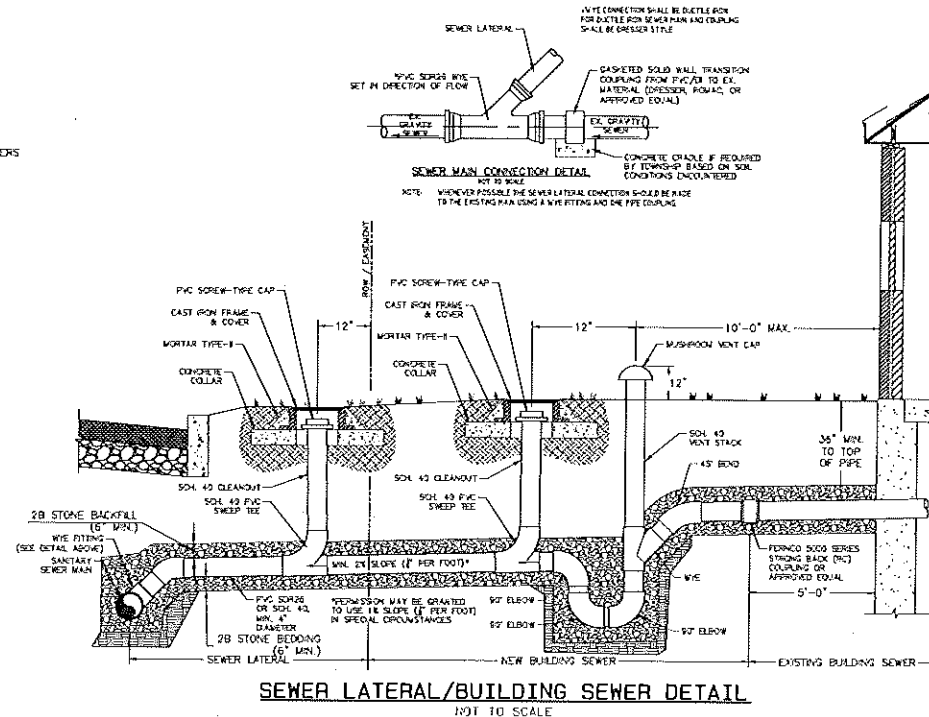
1. MANHOLE FRAME SHALL BE SET IN A BED OF MORTAR SO THAT THE TOP OF THE FRAME CONFORMS WITH THE SLOPE OF PAVED STREET SURFACES.
2. MANHOLE SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER RING GASKETS OR APPROVED EQUAL.
3. AFTER MANHOLE IS SET, THE ENTIRE OUTER SURFACE SHALL BE COATED WITH BITUMASTIC.
4. ALL SEWER LINE CONNECTIONS TO MANHOLES SHALL BE MADE USING RUBBER GASKET SEALS.



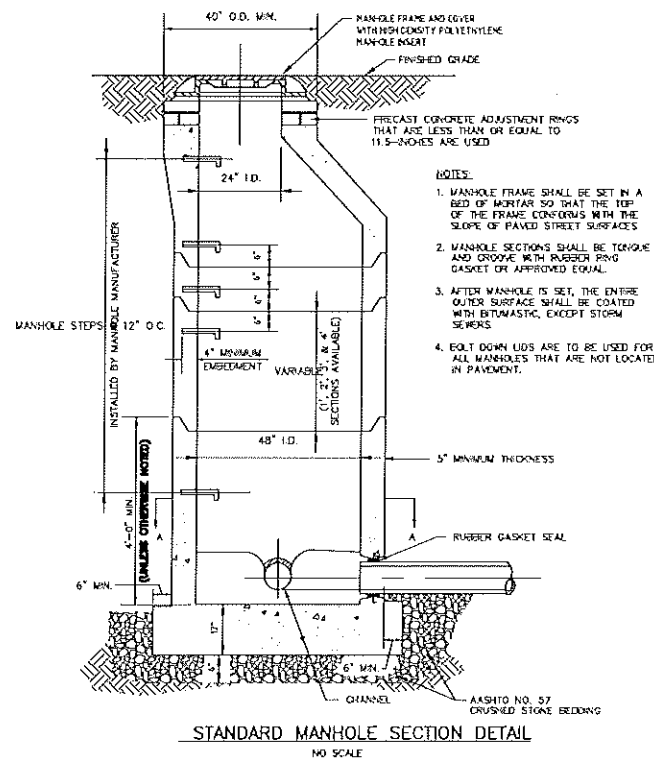
NOTES:

1. WATERTIGHT MANHOLE FRAME AND COVER ASSEMBLY TO BE EAST JORDAN IRON WORKS PRODUCT NUMBER 00104509 OR APPROVED EQUAL AND BE LABELED 'EAST GOSHEN MUNICIPAL AUTHORITY SANITARY SEWER.'

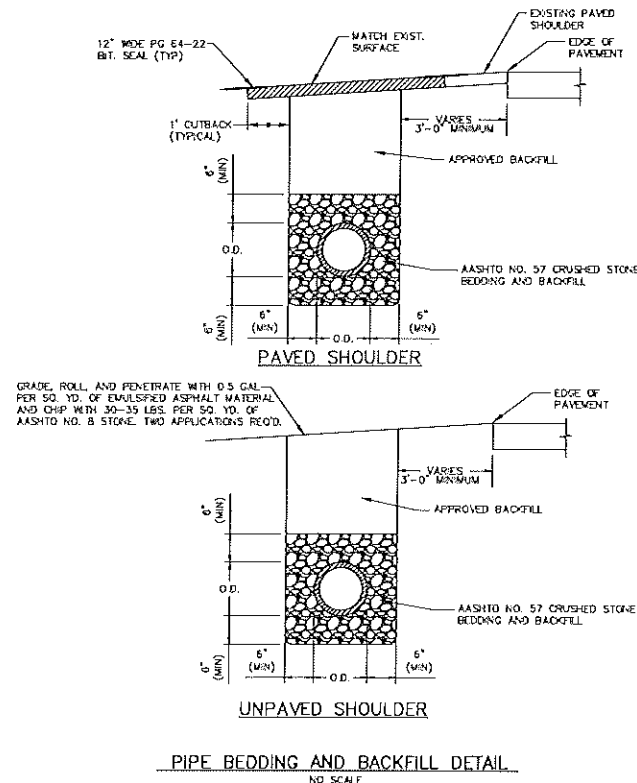
WATERTIGHT MANHOLE FRAME AND COVER ASSEMBLY DETAIL
NOT TO SCALE



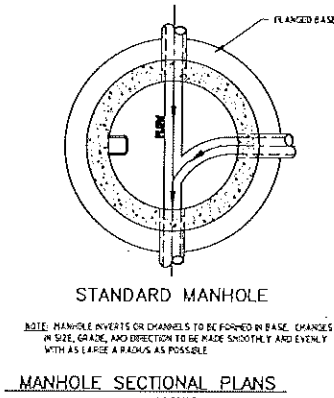
SEWER LATERAL/BUILDING SEWER DETAIL
NOT TO SCALE



STANDARD MANHOLE SECTION DETAIL
NO SCALE

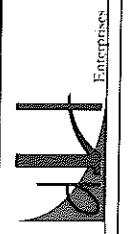


PIPE BEDDING AND BACKFILL DETAIL
NO SCALE



CONCRETE ENCASEMENT DETAIL
NO SCALE

2815 PENN. AVENUE
WEST LAWN, PA
610-927-4242



**MILLSTONE MEADOWS"
FINAL PLAN
CONSTRUCTION DETAILS - SANITARY**

GROVE MEADOW DEVELOPERS, LLC
LOCALITY: EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA
DATE: APRIL 20, 2023

DATE:	07/14/24
REVISION:	1
BY:	M.D. HARTMAN
CHECKED BY:	M.D. HARTMAN
SCALE:	N.T.S.
SHEET:	19 OF 19
PROJECT:	22-001-F-D-11.2

Duane Brady

From: Planning Commission
Sent: Wednesday, July 24, 2024 9:29 AM
To: Duane Brady; ejharkness@ejharkness.com
Subject: FW: Planning Commission and ESAC

Follow Up Flag: Follow up
Flag Status: Completed

Hi,

Received the below message to the PC email from the new chair for ESAC.

Thanks,

Ashley Nowak
Office Administrator
East Goshen Township
anowak@eastgoshen.org
610-692-7171

From: Anthony Natale LAST_NAME <nataleag@comcast.net>
Sent: Tuesday, July 23, 2024 11:04 AM
To: Planning Commission <pcchair@eastgoshen.org>
Subject: Planning Commission and ESAC

I have recently become the Chair of ESAC. We are working to revise our mission and create a revitalized strategic plan for ESAC. According to the ordinance that created ESAC, whenever possible a member of the Council should also be a member of the Planning Commission. We have openings and would welcome someone from the Planning Commission to join our Council. ESAC also has a member who would like to attend the Planning Commission meetings so that ESAC is better informed and can offer assistance where needed. We would like to work together with the Planning Commission and other EGT committees to better our community. Please let me know your thoughts on this and if there would be someone who would like to join ESAC. If you would like to discuss, I can be reached at 215-620-2489.

Thanks,
Tony Natale