

**EAST GOSHEN TOWNSHIP
PLANNING COMMISSION
Meeting Agenda
Tuesday, September 24, 2024
7:00 PM**

- A. Call to Order / Pledge of Allegiance and Moment of Silence
- B. Chairman will ask if anyone is going to record the meeting.
- C. Review of Tracking Log / Determine need for Workshop Meeting
- D. Public Comment on Non-Agenda Items
- E. Approval of Minutes
 - 1. August 27, 2024**
- F. Acknowledge Receipt of New Applications (Initial Submission)
- G. Subdivision and Land Development Applications
 - 1. 1365/1373 Enterprise Drive/CTDI Land Development**
 - 2. 1338 Morstein Road SD – Act 537 Component 4A, Municipal Planning Commission Review**
- H. Conditional Uses and Variances
- I. Zoning Hearing Board Variances
- J. Ordinance Amendments
- K. Old Business
 - 1. The Malvern Institute – Update – (No Action Required)
- L. New Business
- M. Liaison Reports
- N. Correspondence
- O. Announcements
- P. Next Meeting – **October 22, 2024, at 7:00 pm.**

Bold Items indicate new information to review or discuss.

**East Goshen Township Planning Commission
Application Tracking Log
September 24, 2024**

Application Name	Application (CU,LD,ZO, SD, SE, CA)	Type (Sk, P, F)	Date Filed	Start Date	Date to Township Engineer	Date to CCPC	Date to Abutting Prop. / ABC's	Extension	PC MUST Act Date (70-Days)	BOS Must Act Date (90-Days)	Hearing Date	Drop Dead date	Comments
Bold = New Application or PC action required													
1338 Morstein Road SD	SD	P	2/5/2024	2/27/2024				11/3/2024	5/3/2024 8-3-2024 11/3/2024	5/3/2024 11/3/2024		5/3/2024 8-3-2024 11/3/2024	16 lot subdivision in West Whiteland with 3 lots located in EGT. Plan went to PC on 2-27-2024 for the initial submission with no action. Applicant has requested completion of the sewer module application- Component 4A
CTDI	LD	P	5/7/2024	5/7/2024	7/9/2024			10/1/2024	9/24/2024	10/1/2024		10/1/2024	Review letters received by Township Engineer (9/6) & Solicitor (8/29)
Malvern Institute	LD	P	6/28/2021	7/1/2021	6/30/2021	6/29/2021	8/13/2021		2/2/2022	2/15/2022	NA	2/28/2022	ZHB condition of approval for barn renovations expires 11/2024
PROJECTS COMPLETED IN 2024													
1306 West Chester Pike	CU	NA	3/15/2024	3/15/2024	NA	NA	NA	NA	4/30/2024	5/15/2024	4/16/2024	5/15/2024	Conditional use for an automotive repair business. An automotive repair business is an existing use for this property. Board of Superviors approved the CU application on 4-16-2024.
1344 Morstein Road Sketch Plan Review	SD	SK	2/16/2024	2/27/2024	NA	NA	NA	NA	NA	NA	NA	NA	Sketch Plan Review Application, Plan went to PC on 2-27-2024 as initial submission. Applicant will attend 3-26-2024 meet for discussion. Sketch Plan Review is closed and the Applicant is working on formal plans.
Timbermill SD 301 Reservoir Road	SD	P	1/29/2024	2/27/2024				4/11/2024	5/3/2024 7-3-2024	5/27/2024 7-3-2024		5-27-2024 7-3-2024	SD Application for a 5 lots subdivision. One lot has existing historic farm house and accessory building and a second lot has existing historic barn, 3 new lots will be created. Plan went ot PC on 2-27-2024 for initial submission and presentation at applicants request. Preliminary Plan approval was granted by the BOS at the 6-18-24 meeting. Preliminary Plan Review is completed.
Millstone Meadows SD 1010 Hershey Mill Road	SD	P	5/16/2023	5/16/2023		5/5/2023		7/15/2023 10/12/2023 1/24/2024 4-11-2024 6-28-2024	10/25/2023 1/25/2024 4/25/2024 7-25-2024	10/25/2023 1/25/2024 4/25/2024 7-25-2024		4/25/2024 1/25/2024 7-25-2024 9-25-2024	Approved at BoS meeting: 9/3/24
Timbermill SD 301 Reservoir Road	SD	F											Approved at BoS meeting: 9/3/24
14 Reservoir Raod	SD	F	9/28/2022	9/28/2022	10/12/2022	10/19/2022		3/14/2023 5-28-2023 8-28-2023 10-12-2023 2-17-2024 5-13-2024	2/28/2024 5/28/2024 8/28/2024	2/28/2024 5/28/2024 8/28/2024		2/28/2024 5/28/2024 8/28/2024	Approved at BoS meeting: 9/17/24

DRAFT
EAST GOSHEN TOWNSHIP
PLANNING COMMISSION MEETING
August 27, 2024

The East Goshen Township Planning Commission held their regular monthly meeting on Tuesday, August 27, 2024 at 7:00 pm in the Township Building.

Members present are highlighted:

Chair – Ernest Harkness

Vice Chair – John Stipe

Dan Daley

Michael Koza

Michael Pagnanelli

Fred Pioggia

Dan Truitt

Also present was:

Duane Brady, Fire Marshall

Kelly A. Krause, Zoning Officer

John Hertzog , BOS Liaison

Nathan Cline, Township Engineer

COMMON ACRONYMS:

BOS – Board of Supervisors

BC – Brandywine Conservancy

CB – Conservancy Board

CCPC – Chester Co Planning Commission

CPTF – Comprehensive Plan Task Force

CVS – Community Visioning Session

SWM – Storm Water Management

ZHB – Zoning Hearing Board

FORMAL MEETING – 7 p.m.

1. Ernest called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and asked for a moment of silence to remember our first responders, police, military, and all who protect us.
2. Ernest asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
3. The tracking log was checked and no need for a workshop meeting.
4. The minutes of the July 30, 2024 meeting were approved as amended.

CHAIRMAN’S REPORT – None

SUBDIVISION AND LAND DEVELOPMENT APPLICATIONS

1. 14 Reservoir Road, Glossen – Preliminary/Final Subdivision Plan - Jeff Glossen, Property Owner and Jose Grande, Yerkes Engineer were present. Jeff commented that most issues on the Township Engineer’s letter are okay. They met with the Conservancy Board and answered their questions about landscaping. John made a motion to recommend approval of the Preliminary/Final Subdivision Plan for 14 Reservoir Road to the Board of Supervisors, subject to the developer addressing all outstanding items to the satisfaction of the Township Engineer and staff. Dan Truitt seconded the motion. The motion passed unanimously.

2. 301 Reservoir Road, Timbermill LLC – Final Subdivision Plan – Mike Cowen, Commonwealth Engineers, and Mike Zappitelli, Tinbermill LLC were present. Mike Cowen commented that they received the review letter from Pennoni and are working on it. Duane’s letter is clear. They are putting the HOA documents together. There will be a sewer easement on Lot 2. Landscaping was discussed.

1 Dan Daley made a motion to recommend approval of the Timbermill LLC Final Subdivision Plan to the
2 Board of Supervisors for the property located at 301 Reservoir Road, subject to the developer addressing
3 all outstanding items to the satisfaction of the Township Engineer and staff. Mike Koza seconded the
4 motion. The motion passed unanimously.
5

6
7 **CONDITIONAL USES AND VARIANCES - None**
8

9
10 **ZONING HEARING BOARD VARIANCES - None**
11

12 **ORDINANCE AMENDMENTS - None**
13

14
15 **OLD BUSINESS**

16 **1. Environmental & Sustainability Advisory Council/Planning Commission membership** – There was no
17 representative from the ESAC. Ernest mentioned that he reviewed the ordinance for the ESAC and it says
18 whenever possible someone can join. If anyone on the PC wants to attend a meeting, they can.
19

20
21 **NEW BUSINESS – None**
22 .
23

24 **LIAISON REPORTS**

25 **1. Board of Supervisors** – John mentioned that they are starting the budget process.
26
27

28 **ANY OTHER MATTER – None**
29

30
31 **CORRESPONDENCE - None**
32

33
34 **ADJOURNMENT**

35 There being no further business, Dan T. made a motion to adjourn the meeting. Fred seconded the
36 motion. The meeting was adjourned at 7:30 pm.

37 The next meeting will be held on Tuesday September 24, 2024 at 7 p.m.
38

39 Respectfully submitted,
40
41

42
43 _____
44 *Ruth Kiefer, Recording Secretary*

Memorandum



East Goshen Township
1580 Paoli Pike
West Chester, PA 19380
610-692-7171 ext. 3103
kkrause@eastgoshen.org

Date: September 18, 2024
To: East Goshen Township Planning Commission
From: Kelly A. Krause, Zoning Officer
Re: **1365/1373 Enterprise Drive**
Communications Test Design, Inc & Parsons 1365, LLC
Preliminary Land Development Plan

Dear Commissioners,

A recommendation is sought by the applicant for the Preliminary Land Development Plan of 1365/1373 Enterprise Drive, owned by Communications Test Design, Inc & Parsons 1365, LLC to construct a new building to serve as a reception area to visitors of the existing business (CTDI). The project also includes an outdoor amenity space, parking and circulation improvements, stormwater management and associated site improvements. The property is located within the Business Park Zoning District (§240-21 of the East Goshen Township Code) and proposed to be completed as a Declaration of Condominium agreement.

Background information:

- Lots 1365 and 1373 Enterprise Drive are approximately 12.5 acres.
- The property is in the BP Business Park District.
- The application notes a total of 5 lots and 30.60 acres to be part of the Condominium Agreement.
- The start date for the project is May 7, 2024. (Day 1).
- ~~The must act date for the Planning Commission is July 17, 2024 (Day 70).~~
- ~~The must act date for the Board of Supervisors is August 7, 2024 (Day 90).~~
- **The applicant has granted a waiver of the time constraints imposed by the PA MPC for the Board of Supervisors to take action on the plans, to expire on October 1, 2024.**

Zoning Information:

- The property is in the BP Business Park District (240-21).
- The minimum lot area is 4 acres.
- Building setback line 400 feet.
- Street line 300 feet.
- The front yard is 100 feet, the side yard is 50 feet, and the rear yard is 50 feet.
- The minimum building height is 35 feet (3 stories).
- Total impervious cover is 50%.
- Total building cover is 30%.
- The property is outside the flood area.
- The property has a pipeline located on it and does require a pipeline awareness study.

Memorandum

The applicant has requested that a recommendation of the Preliminary Land Development Plan be made by the Planning Commission at their meeting of September 18, 2024, to seek a final decision from the Board of Supervisors at their meeting of October 1, 2024.

Pursuant to the comments of the Township Solicitor's letter, dated August 29, 2024, the Condominium Plan and Declaration requires additional documentation prior to final plan approval. Final Land Development Plans are also subject to review by additional agencies prior to approval.

Draft Motion:

Mr. Chairman, I move that we recommend approval of the Preliminary Land Development Plan of Communications Test Design, Inc & Parsons 1365, LLC for the property located at 1365/1373 Enterprise Drive to the Board of Supervisors, upon addressing all outstanding items to the satisfaction of Township consultants and staff.



Incorporated 1817
Chester County, Pennsylvania



September 6, 2024

EGOST 00142

Attn: Kelly Krause, Dir. Of Codes & Zoning
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

**RE: CTDI, Enterprise Drive
Preliminary Land Development**

Dear Kelly:

As requested, we have reviewed the following information, prepared by Chester Valley Engineers, Inc. unless otherwise specified, regarding the referenced submission:

- "Preliminary Land Development Plans for One CTDI Place" (17 sheets) dated April 29, 2024;
- "Hardscape/Landscape Plan" (2 sheets), prepared by Bernardon, dated January 1, 2024;
- "Post Construction Stormwater Management Report" dated April 29, 2024; and
- Application and supporting documents.

The applicant/equitable owner, Communications Test Design, Inc. ("CTDI"), proposes to remove an existing parking lot and develop a new entrance building, landscaping/hardscaping and courtyard/outdoor area on UPI's 53-4-161 (± 10.6 acres) and 53-4-162 (± 1.9 acres) with associated stormwater management and access/parking modifications. The site is located on Enterprise Drive within the Goshen Business Park and the BP *Business Park Zoning District*. Access is proposed via Enterprise Drive. The site is served by public water and sanitary sewer.

All easements and rights for the proposed non-residential condominium are outlined in the "*Declaration of Condominium of One CTDI Place Condominium*".

We offer the following comments:

ZONING (§240)

1. This appears to be an accessory use within the Business Park Zoning District for the use of "*Cafeteria or recreational facilities for employees only*". (§240-21.E(2))
2. The plans note that UPI's 53-4-162, 53-4-163, 53-4-164 & 53-4-165 are "*deemed merged into one lot for all purposes*" according to a 1986 Conditional Use approval. We recommend this approval be added to the plans and that the Township Solicitor review this issue further.
3. Minimum side yard setbacks shall be 50 feet. (§240-21.G) While the proposed building is located on the common property line, it appears the proposed condominium between the parcels negates the side yard setback requirement. Defer to Township Solicitor.
4. Minimum front yard setbacks shall be 100 feet. (§240-21.G) The proposed fountain is within the 100 yard front yard setback. Further discussion may be required regarding this feature.
5. Where two or more nonresidential principal buildings are proposed to be built on a lot in one ownership, each such building shall be separated from another such building by at least twice the minimum side yard requirement for each respective building in the zoning district. (§240-23.D(5)(a)) It appears the proposed condominium between the parcels negates this requirement. Defer to Township Solicitor.

6. The parking, loading, ingress and egress areas of any zoning district shall be provided with sufficient lighting for security purposes. (§240-27.C(7)(a) & §240-27.E(15)). A lighting plan shall be provided.
7. The exterior facades of all buildings shall be finished in decorative masonry, brick, stone, glass or equivalent construction. (§240-27.E(5)) Renderings of the proposed building and features shall be provided.
8. Fences and walls which are erected within the required front yard shall not exceed four feet in height and shall maintain a minimum one to one ratio of open to structural areas (such as a picket-style or split-rail fence). (§240-32.E(2)) There appears to be a proposed wall within the required front yard. Further discussion may be required regarding this feature.
9. Except as otherwise permitted by the Board of Supervisors pursuant to § 240-33B(8), required off-street parking spaces shall be on the same lot or premises with the principal use served except where this requirement cannot be met, in which case the parking shall be provided within 200 feet walking distance of the principal use. (§240-33.B(5)(a)) We recommend the Township Solicitor confirm the referenced Declaration adequately addresses parking on multiple parcels.

SUBDIVISION AND LAND DEVELOPMENT (§205)

10. Signature blocks shall be provided on the right-hand side, if possible, following the format established by the Township. (§205-30.A(3)) Required signature blocks for the Township Engineer, Board of Supervisors, Planning Commission, and Chester County Recorder of Deeds.
11. Street curb intersections shall be rounded by a tangent arc with a minimum radius of 35 feet. (§205-48.F)
12. It appears the proposed improvements are over 660 feet from the nearest pipeline (Sunoco/Energy Transfer) to the east, therefore a pipeline awareness study is not required.
13. A minimum clear sight triangle of 75 feet (as measured from the center-line intersections of two streets) shall be provided at all intersections. (§205-49.A) Clear sight triangles should be added to the plans.

STORMWATER MANAGEMENT

14. NPDES permit No. PAC15093 has been issued by the Chester Conty Conservation District. (§195-17.A(1)(b))
15. Provide an easement a minimum of twenty-foot around all BMPs and conveyances; alternatively, a blanket easement is acceptable. (§195-27.B(18)(c))
16. A stormwater management operations and maintenance agreement shall be recorded; a sample agreement is available as Appendix E of Chapter 195.

LANDSCAPING

17. Tree species indicated mostly conform to the Township approved tree list. In place of Gleditsia, consider an alternative such as Maple, Oak, or Linden species.
18. Plans should indicate if built-in irrigation will be provided for plaza planting areas.
19. There is an existing vegetated buffer to the rear which appears to adequately screen adjacent residential properties. Plans should accurately depict this buffer and specifically indicated for this to remain and be protected. The applicant should consider supplementing it with additional trees such as evergreen; the thuja plicata indicated on the planting plan tends to be narrow in form and may be inadequate.

GENERAL

20. Please clarify if the proposed building will have any sanitary sewer facilities; additional review and/or permitting may be required.
21. Submission is subject to additional reviews, including but not limited to the Township Conservancy Board, Chester County Planning Commission, Dir. of Codes & Zoning and Emergency Management Coordinator/Fire Marshall.
22. We will defer to the Township Solicitor regarding the *Declaration of Condominium of One CTDI Place Condominium* and the exceptions per the Title Commitment (Sheet 2, Note 10).
23. It's unclear, due to the proposed condominium, if the application should also be considered a subdivision; the Township Solicitor should review further.

Please additionally see August 29, 2024 comments from the Township Solicitor.

Should you have any further questions or comments, please contact the undersigned.

Sincerely,

PENNONI ASSOCIATES INC.



Nathan M. Cline, PE
Township Engineer

cc (via e-mail): Derek Davis, Township Manager
Mark Miller, Public Works
Mark Thompson, Township Solicitor
Duane Brady, Emergency Management Coordinator/Fire Marshall
Toby Booker, CTDI
Jeremy Maziarz, PE, Chester Valley Engineers

LAMB | M c E R L A N E PC
ATTORNEYS AT LAW

Mark P. Thompson
West Chester Office
Direct 610-701-4407
Voice 610-430-8000
mthompson@lambmcerlane.com

August 29, 2024

Kelly Krause
Director of Codes & Zoning
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Re: East Goshen Township – Application of Communications Test Design, Inc. -
Preliminary Land Development Plans for One CTDI Place, dated April 29, 2024

Dear Ms. Krause:

I have been asked to review the above referenced Plan Application. Along with the Plans, the Applicant proposes to record a Condominium Declaration against six existing tax parcels that comprise the Property. Four of the parcels (Tax Parcels 53-4-161, 53-4-162, 53-4-163 and 53-4-164) are contiguous and located on the north and west side of Enterprise Drive. Tax Parcel 53-4-174 is improved with a parking lot and is located on the east side of Enterprise Drive. The Condominium Declaration and Plan identify two condominium units. The existing commercial building identified as Condominium Unit 1 is located partially on Tax Parcel 53-4-161 and partially on Tax Parcel 53-4-162. The existing commercial building identified as Condominium Unit 2 is located Tax Parcel 53-4-163. Parking for Unit 2 is located on Tax Parcel 53-4-164. A stormwater basin and areas for additional parking are also located on Tax Parcel 53-4-164.

Recording the Condominium Plan (Sheets 4 and 5 of 17 of the Plans) and Declaration will precede the recording of the subdivision and land development plan and therefore these documents will need to be in their final form and approved as part of the Application's approval. Filing the Condominium Declaration creates a single condominium from the six parcels and eliminates the existing tax parcel numbers in favor of that form of ownership. All owners of the six parcels must sign the Declaration. A legal analysis of the Condominium Act and comments to the Declaration are set forth below.

1. Application of the Pennsylvania Uniform Condominium Act, 68 Pa.C.S. §§ 3101 *et seq.* (the "Condominium Act" or the "Act").

The Condominium Act sets forth the general rule that a municipality may not discriminate against the condominium form of ownership:

- (a) General rule.--A zoning, subdivision, building code or other real estate use law, ordinance or regulation may not prohibit the condominium form of ownership or

impose any requirement upon a condominium which it would not impose upon a physically identical development under a different form of ownership.

68 Pa.C.S. § 3106(a).

Further the Condominium Act explicitly addresses the creation of a condominium and whether it constitutes a subdivision or land development:

(c) Status.--The creation of a condominium pursuant to section 3201 (relating to creation of condominium) out of an entire lot, parcel or tract of real estate which has previously received approval for land development or subdivision, as those terms are defined in section 107 of the act of July 31, 1968 (P.L. 805, No. 247), known as the Pennsylvania Municipalities Planning Code, or the conveyance of units in the condominium, shall not, in and of itself, constitute a subdivision or land development, for the purposes of subdivision, land development or other laws, ordinances and regulations.

68 Pa.C.S. § 3106(c). In this case, the existing improvements on the properties previously received approval by the Township. The Applicant has applied for land development approval to merge the properties into a single condominium parcel by eliminating existing lot lines and creating two condominium "Units" out of the existing two buildings on the properties. The filing of the land development Plans and the proposed Declaration would eliminate the individual parcel boundaries which are currently running through buildings and improvements. The Plans must show the elimination of the existing lot lines of the properties that will be subject to the proposed condominium. Further, the Condominium Act requires that all condominiums in Pennsylvania must comply with municipal zoning regulations as follows:

(d) Compliance with zoning regulations.—

(1) Use of the condominium shall comply with zoning regulations applicable to the parcel of land or tract of real estate on which the condominium is created.

(3) Construction of any structure or building on any unit or common facility shall be subject to the provisions of any zoning, subdivision, land development, building code or other real estate law, ordinance or regulation.

68 Pa.C.S. § 3106(d).

Based on the above provisions of the Condominium Act, specifically § 3106(a) of the Act, assuming there is a single lot containing the existing and proposed improvements, the owners of the subject properties may record a condominium declaration and plan that creates a single condominium lot containing the proposed improvements and identifying the two commercial buildings on the property as individual condominium units with common elements and limited common elements.

The Township may not prohibit this form of ownership or impose any requirement upon a condominium, which it would not impose upon a physically identical development under a different form of ownership. Most importantly, the use of any proposed condominium shall comply with zoning regulations applicable to the property on which the condominium is created and moreover, the construction of any structure or building on any unit or common facility shall be subject to the provisions of any zoning, subdivision, land development, building code or other real estate law, ordinance or regulation.

2. Review Comments to the Declaration of Condominium for One CTDI Place Condominium and the Condominium Plan (Sheets 4 and 5 of 17)
 - a. The Condominium Plan refers to the Property as Tax Parcels 53-4-161, 53-4-162, 53-4-163 and 53-4-164 and the Declaration refers to those parcels as well as Tax Parcel 53-4-174. The Property subject to the condominium should be consistently identified on Plan and Declaration. Exhibit A, which is blank, should identify the Property.
 - b. All easements, licenses and agreements identified to be part of Exhibit C should be submitted for review before approval of the Plan.
 - c. Identify and describe each individual Unit in Section 3.2 of the Declaration by number. Section 3210 of the he Condominium Act provides that the dimensions of the units must be shown on the Plan.
 - d. Provide that approval of the Township must be obtained for the relocation of boundaries and/or subdivision of units in Section 3.4 of the Declaration.
 - e. Identify the Limited Common Elements for Units 1 and 2 shown on the Plan in Section 5.2 of the Declaration.
 - f. Provide that approval of the Township must be obtained for changes to Limited Common Elements.
 - g. Section 6.1 provides for the creation of easements associated with the utilities, access, and structural support. Please provide details as to whether Section 6.1 creates these easements based on this language and whether these easements will be included in Exhibit C.
 - h. Section 7.1 must be revised to provide that approval of the Township must be obtained for an amendment to the Declaration.
 - i. The Plans refer to a 1986 Conditional Use approval that merged the properties. This approval should be provided for review and inclusion on the Plan.

Please let me know if you have any questions concerning the comment to the application set forth in this letter.

Very truly yours,

LAMB MCERLANE PC

By: 

Mark P. Thompson

cc: Derek Davis
Nathan M. Cline, P.E.



112 Moores Road, Suite 200
Malvern, PA 19355
610-644-4623
www.chesterv.com

September 18, 2024

Ms. Kelly Krause, Director of Codes & Zoning
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380-6199

**RE: PRELIMINARY LAND DEVELOPMENT PLANS (REVISED)
COMMUNICATIONS TEST DESIGN, INC. (CTDI)
1373 ENTERPRISE DRIVE, WEST CHESTER, PA 19380
EAST GOSHEN TOWNSHIP, CHESTER COUNTY, PA
CVE PROJECT # 22024-1000
PENNONI # EGOST 00142**

Dear Ms. Krause:

We have received the Township Engineer's review letter dated 9/6/24. We plan to address the comments as follows. Please note each review comment is listed below, and CVE's response is noted in bold italics.

PENNONI – TOWNSHIP ENGINEER'S REVIEW LETTER – SEPTEMBER 6, 2024

ZONING (§240)

1. This appear to be an accessory use within the Business Park Zoning District for the use of "Cafeteria or recreational facilities for employees only". (§240-21.E(2))
CVE Response: No response required.
2. The plans note that UPI's 53-4-162, 53-4-163, 53-4-164 & 53-4-165 are "deemed merged into one lot for all purposes" according to a 1986 Conditional Use approval. We recommend this approval be added to the plans and that the Township Solicitor review this issue further.
CVE Response: The 1986 Conditional Use approval will be added to the Land Development plan set on sheet 18.
3. Minimum side yard setbacks shall be 50 feet. (§240-21.G) While the proposed building is located on the common property line, it appears the proposed condominium between the parcels negates the side yard setback requirement. Defer to Township Solicitor.
CVE Response: We agree that the proposed condominium negates the side yard setback requirement.
4. Minimum front yard setbacks shall be 100 feet. (§240-21.G) The proposed fountain is within the 100 yard front yard setback. Further discussion may be required regarding this feature.
CVE Response: The proposed fountain is essentially a relocation of the existing fountain in front of the 1373 building to a new location in front of the proposed building addition. The existing fountain is currently located within the front yard setback and is being replaced with a proposed parking and driveway connection to Enterprise Drive. The relocated fountain will continue the existing legal non-

conformity and will maintain, if not increase the existing non-conforming setback of the existing fountain within the front yard.

5. Where two or more nonresidential principal buildings are proposed to be built on a lot in one ownership, each such building shall be separated from another such building by at least twice the minimum side yard requirement for each respective building in the zoning district. (§240-23.D(5)(a)) It appears the proposed condominium between the parcels negates this requirement. Defer to Township Solicitor.

CVE Response: We agree that the proposed condominium negates this requirement.

6. The parking, loading, ingress and egress areas of any zoning district shall be provided with sufficient lighting for security purposes. (§240-27.C(7)(a) & §240-27.E(15)). A lighting plan shall be provided.

CVE Response: The lighting plan for the site parking and improvements will be provided with revised plans to comply with the township ordinance requirements.

7. The exterior facades of all buildings shall be finished in decorative masonry, brick, stone, glass or equivalent construction. (§240-27.E(5)) Renderings of the proposed building and features shall be provided.

CVE Response: Building renderings were reviewed with the Township Planning Commission. Copies of the building renderings will be provided with revised plans.

8. Fences and walls which are erected within the required front yard shall not exceed four feet in height and shall maintain a minimum one to one ratio of open to structural areas (such as a picket-style or split-rail fence). (§240-32.E(2)) There appears to be a proposed wall within the required front yard. Further discussion may be required regarding this feature.

CVE Response: The proposed wall shall not exceed four (4') feet in height and the signage shall be subject to a separate permit from the Township Codes Department.

9. Except as otherwise permitted by the Board of Supervisors pursuant to § 240-33B(8), required off-street parking spaces shall be on the same lot or premises with the principal use served except where this requirement cannot be met, in which case the parking shall be provided within 200 feet walking distance of the principal use. (§240-33.B(5)(a)) We recommend the Township Solicitor confirm the referenced Declaration adequately addresses parking on multiple parcels.

CVE Response: All parking is included in the overall Condominium.

SUBDIVISION AND LAND DEVELOPMENT (§205)

10. Signature blocks shall be provided on the right-hand side, if possible, following the format established by the Township. (§205-30.A(3)) Required signature blocks for the Township Engineer, Board of Supervisors, Planning Commission, and Chester County Recorder of Deeds.

CVE Response: The signature blocks will be provided with revised plans, as required.

11. Street curb intersections shall be rounded by a tangent arc with a minimum radius of 35 feet. (§205-48.F)

CVE Response: The curb radii have been revised.

12. It appears the proposed improvements are over 660 feet from the nearest pipeline (Sunoco/Energy Transfer) to the east, therefore a pipeline awareness study is not required.

CVE Response: No response required.

13. A minimum clear sight triangle of 75 feet (as measured from the center-line intersections of two streets) shall be provided at all intersections. (§205-49.A) Clear sight triangles should be added to the plans.

CVE Response: Clear sight triangles have been added to the plan set.

STORMWATER MANAGEMENT

14. NPDES permit No. PAC15093 has been issued by the Chester County Conservation District. (§195-17.A(1)(b))

CVE Response: No response required.

15. Provide an easement a minimum of twenty-foot around all BMPs and conveyances; alternatively, a blanket easement is acceptable. (§195-27.B(18)(c))

CVE Response: The required 20' wide easements will be provided with revised plans.

16. A stormwater management operations and maintenance agreement shall be recorded; a sample agreement is available as Appendix E of Chapter 195.

CVE Response: The required SWM Operations and Maintenance Agreement will be provided for recording, in accordance with Township/NPDES requirements.

LANDSCAPING

17. Tree species indicated mostly conform to the Township approved tree list. In place of Gleditsia, consider an alternative such as Maple, Oak, or Linden species.

CVE Response: This item will be addressed by Bernardon Associates with revised plans.

18. Plans should indicate if built-in irrigation will be provided for plaza planting areas.

CVE Response: This item will be addressed by Bernardon Associates with revised plans.

19. There is an existing vegetated buffer to the rear which appears to adequately screen adjacent residential properties. Plans should accurately depict this buffer and specifically indicated for this to remain and be protected. The applicant should consider supplementing it with additional trees such as evergreen; the thuja plicata indicated on the planting plan tends to be narrow in form and may be inadequate.

CVE Response: This item will be addressed by Bernardon Associates with revised plans.

GENERAL

20. Please clarify if the proposed building will have any sanitary sewer facilities; additional review and/or permitting may be required.

CVE Response: The proposed building addition will include new bathrooms that will be connected to the existing sanitary sewer facilities. There is no increase in employees/staffing proposed as part of the project.

21. Submission is subject to additional reviews, including but not limited to the Township Conservancy Board, Chester County Planning Commission, Dir. of Codes & Zoning and Emergency Management Coordinator/Fire Marshall.

CVE Response: Will address all other agency reviews, as required.

22. We will defer to the Township Solicitor regarding the Declaration of Condominium of One CTDI Place Condominium and the exceptions per the Title Commitment (Sheet 2, Note 10).

CVE Response: We defer to legal counsel for the Township and the Applicant on this matter.

23. It's unclear, due to the proposed condominium, if the application should also be considered a subdivision; the Township Solicitor should review further.

CVE Response: It is our understanding that per the Township Solicitor and Applicant's Counsel that there is no subdivision due to the creation of the proposed condominium.

If you have any questions on this plan submission, please contact me at 610-308-6573, or jmaziarz@chesterv.com. Thank you.

Regards,
CHESTER VALLEY ENGINEERS, INC.

A handwritten signature in blue ink that reads 'Jeremy R. Maziarz'.

Jeremy R. Maziarz, PE
President & CEO

cc: Brian L. Nagle, Esq.

August 27, 2024

Via Electronic Mail Only: kkrause@eastgoshen.org

Board of Supervisors
c/o Kelly Krause
East Goshen Township
1580 Paoli Pike
West Chester, PA 19380

Re: Land Development Application for Communications Test Design, Inc. & Parsons 1365, LLC

Dear Members of the Board:

I am writing to grant at the request of the Township, with authorization to do so, an extension of the timeframe within which the Board of Supervisors must consider and/or act upon the above-captioned land development application. This extension is granted through October 1, 2024. The Board's review and/or action upon the application within that timeframe shall be deemed timely under all applicable timeframes set forth in the Pennsylvania Municipalities Planning Code.

This extension is unconditional. That being said, we have not received any review letters as of today and we are relying on receiving those this week so we can work through any comments with the Township and its consultants prior to the September Planning Commission meeting so that the plan can be ready for a recommendation to move to the Board of Supervisors.

Very truly yours,



Brian L. Nagle

/cfg

cc: Mark Thompson, Esquire [*via Electronic Mail Only: mthompson@lambmcerlane.com*]
Jeremy R. Maziarz, PE [*via Electronic Mail Only*]
CTDI [*via Electronic Mail Only*]

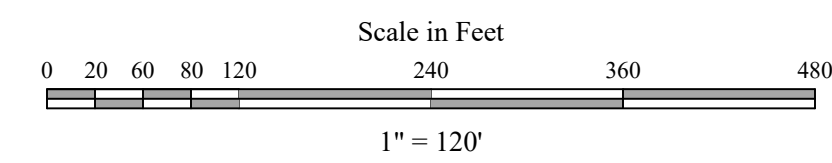
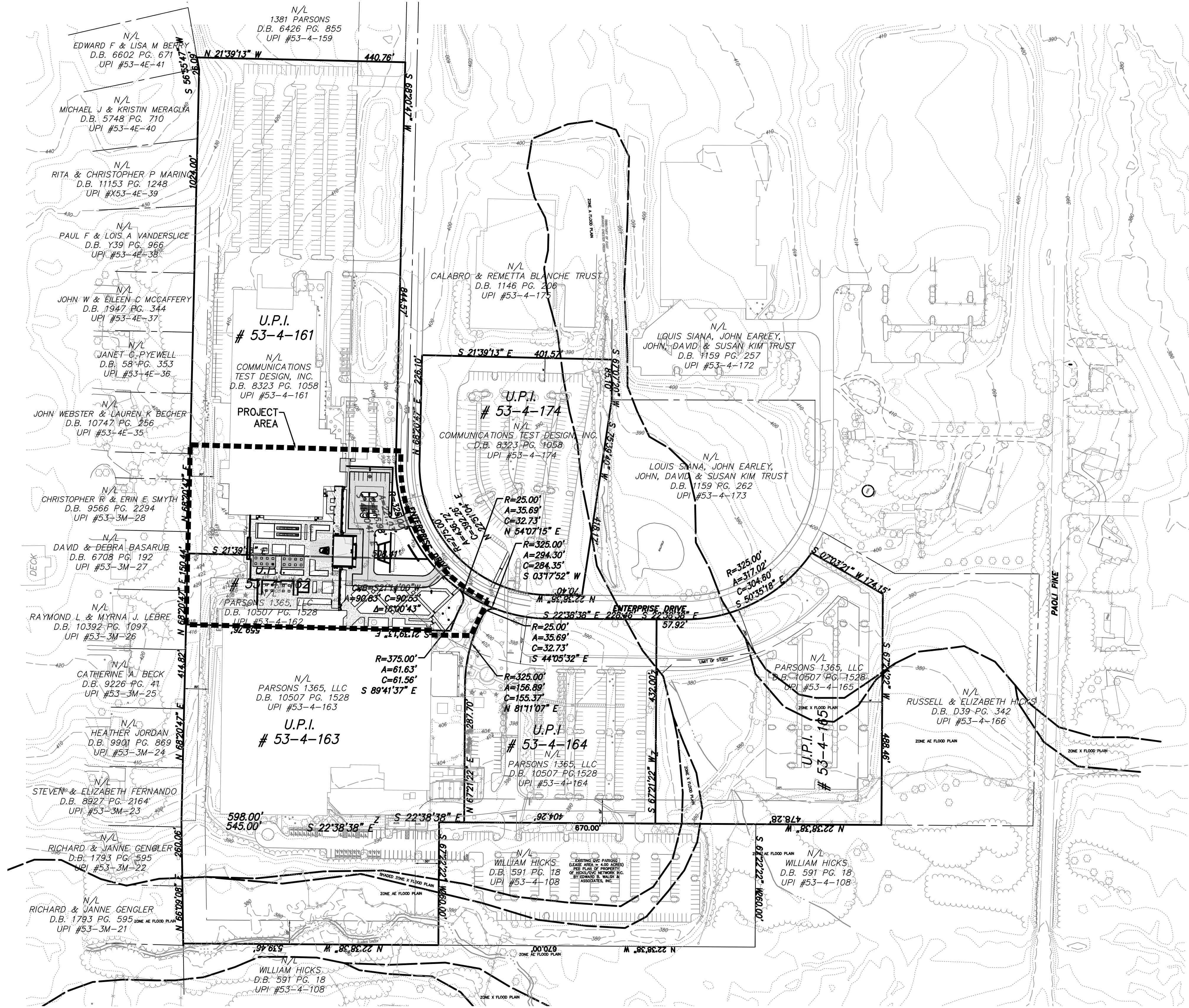
PRELIMINARY LAND DEVELOPMENT PLANS ONE CTDI PLACE FOR COMMUNICATIONS TEST DESIGN, INC. (CTDI)

SHEET INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	DEMOLITION PLAN
4, 5	CONDOMINIUM PLAN
6	SITE PLAN
7, 8	GRADING & UTILITIES PLANS
9	CONSTRUCTION DETAILS
10	PROFILES
11	EROSION & SEDIMENTATION CONTROL PLAN
12	EROSION & SEDIMENTATION CONTROL NOTES
13	EROSION & SEDIMENTATION CONTROL DETAILS
14	POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN
15	POST-CONSTRUCTION STORMWATER MANAGEMENT NOTES & DETAILS
16	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS
17	VEHICLE TRACKING PLAN

EAST GOSHEN TOWNSHIP UTILITY LIST

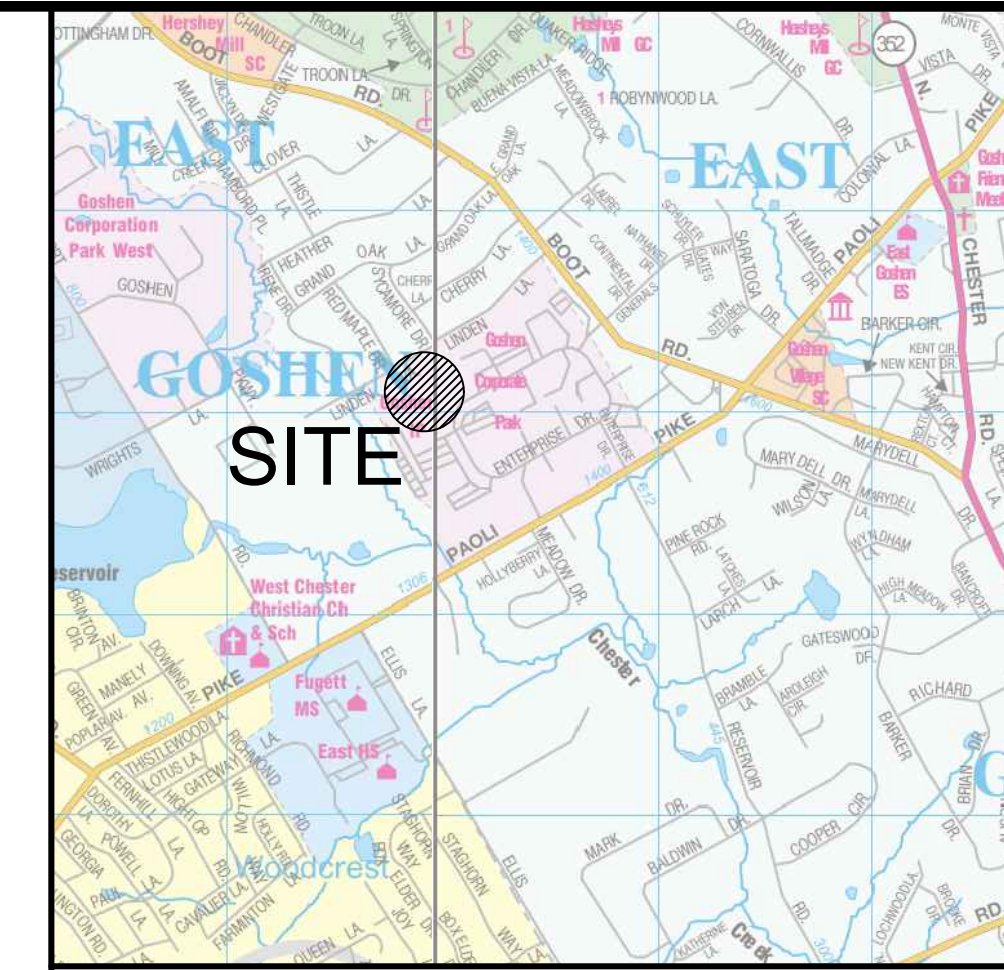
COMPANY: AT&T ADDRESS: 1100 3RD AVE ALTOONA, PA 16602 CONTACT: PAT SUITON EMAIL: ps4364@att.com PHONE: (814) 321-6470	COMPANY: PECO ENERGY C/O USIC ADDRESS: 450 S. HENDERSON RD. SUITE B KING OF PRUSSIA, PA 19406 CONTACT: MIKIKIA SIMPKINS EMAIL: mikiasimpkins@usidlc.com PHONE: (484) 681-5720
COMPANY: COMCAST ADDRESS: 190 SHOEMAKER RD POTTSTOWN, PA 19464 CONTACT: MIKE KIMBERLY EMAIL: mike_kimberly@cable.comcast.com PHONE: (215) 285-8786	COMPANY: LUMEN FORMERLY LEVEL 3 ADDRESS: 1025 ELDORADO BLVD BROOMFIELD, CO 80021 CONTACT: LUMEN OPERATOR PERSONNEL EMAIL: RELOCATIONS@LUMEN.COM PHONE: (877) 366-8344 EXT. 3
COMPANY: EAST GOSHEN TOWNSHIP ADDRESS: 1580 PAOLI PIKE WEST CHESTER, PA 19380 CONTACT: MARK MILLER EMAIL: mmiller@eastgoshen.org PHONE: (610) 692-7171 EXT. 3402	COMPANY: ENERGY TRANSFER ADDRESS: 1300 MAIN ST HOUSTON, TX 77002 CONTACT: KEVIN OSHEA EMAIL: KEVIN.OSHEA@ENERGYTRANSFER.COM PHONE: (713) 989-7987
COMPANY: AQUA PENNSYLVANIA ADDRESS: 762 LANCASTER AVE BRYN MAWR, PA 19010 CONTACT: THOMAS WADDY EMAIL: TWADDY@AQUAAMERICA.COM PHONE: (610) 525-1400 EXT. 52105	COMPANY: TRANSCONTINENTAL GAS/WILLIAMS GAS ADDRESS: 99 FARBUR RD PRINCETON, NJ 08540 CONTACT: JUSTIN ADAMS EMAIL: justin.adams@williams.com PHONE: (609) 285-2425
COMPANY: COMCAST ADDRESS: 1004 CORNERSTONE BLVD DOWNTOWNTOWN, PA 19335 CONTACT: TOM RUSSO EMAIL: tom_russo@cable.comcast.com PHONE: (610) 842-2501	COMPANY: VERIZON BUSINESS FORMERLY MCI ADDRESS: 7000 WESTON PKWY CARY, NC 27513 CONTACT: VICTOR WOOD EMAIL: victor.s.wood@verizon.com PHONE: (919) 414-2782



112 Moores Road, Suite 200, Malvern, PA 19355
610-644-4623
www.chesterv.com

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

PRELIMINARY LAND DEVELOPMENT
ONE CTDI PLACE
ISSUED: APRIL 29, 2024
REVISED:
CVE PROJECT #: 20204



LOCATION MAP SCALE 1"=2000'

LEGEND

EXISTING FEATURES

	EXISTING PROPERTY BOUNDARY
	EXISTING ADJOINING PROP. LINE
	EXISTING RIGHT-OF-WAY LINE
	EXISTING EASEMENT
	EXISTING SETBACK BOUNDARY
	EXISTING BUILDING
	EXISTING 1' CONTOURS
	EXISTING 5' CONTOURS
	EXISTING SPOT ELEVATION
	EXISTING SOIL TYPE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING STORM INLET AND PIPE
	EXISTING MANHOLE AND PIPE
	EXISTING U/G FIRE LINE
	EXISTING U/G WATER LINE
	EXISTING U/G ELECTRIC LINE
	EXISTING U/G GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING CONIFEROUS TREE
	EXISTING DECIDUOUS TREE
	EXISTING TREE & SHRUB LINE

- GENERAL NOTES:**
- BEING: CHESTER COUNTY UNIFORM PARCEL IDENTIFIERS: 53-4-161, 162, 163, 164, & 165.
 - BOUNDARY INFORMATION SHOWN FROM EXISTING PLANS AND DEEDS OF RECORD.
 - GROSS TRACT AREAS:
 U.P.I. # 53-4-161 - 10.606 ACRES
 U.P.I. # 53-4-162 - 8.933 ACRES
 U.P.I. # 53-4-163 - 4.000 ACRES
 U.P.I. # 53-4-164 - 5.300 ACRES
 - THE TOPOGRAPHY AND IMPROVEMENTS SHOWN WAS PHOTOGRAMMETRICALLY COMPILED BY AERO-METRIC FROM PHOTOGRAPHY TAKEN DECEMBER 24, 2010 SUPPLEMENTED AND CONTROLLED BY FIELD SURVEYS PERFORMED JANUARY 4, 5, & 10, 2011 AND JULY 14, 2023 BY CHESTER VALLEY ENGINEERS, INC.
 - ELEVATION DATUM = REFERENCE MARK DISK AT SOUTHWEST CORNER OF CONCRETE ABUTMENT OF PAOLI PIKE BRIDGE OVER EAST BRANCH OF CHESTER CREEK. ELEVATION = 360.204 NGVD 1929. BENCHMARK TAKEN FROM FLOOD INSURANCE RATE MAP 42029C0252 D DATED NOVEMBER 20, 1996 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - GRAPHIC PLOTTING ONLY. PARCELS #53-4-163, #54-4-164 & #54-4-165 LIE WITHIN AREAS IDENTIFIED AS "ZONE A, ZONE AE & ZONE X" ON FLOOD INSURANCE RATE MAPS 42029C0210G & 42029C0215G DATED SEPTEMBER 29, 2017 FOR CHESTER COUNTY, PENNSYLVANIA BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - SOILS INFORMATION TAKEN FROM USDA NRCS WEB SOIL SURVEY MAP.
 - WETLANDS LOCATIONS SHOWN ON PARCELS #53-4-163 & #53-4-165 FROM PHYSICAL FIELD SURVEY BY CHESTER VALLEY ENGINEERS, INC. OF POINTS MARKED BY DEL VAL SOIL & ENVIRONMENTAL CONSULTANTS, INC., DOYLESTOWN, PA.
 - THE LOCATION OF EXISTING EASEMENTS WAS TAKEN FROM EXISTING PLANS. THE EASEMENTS WERE NOT DESCRIBED WITH BEARINGS AND DISTANCES, THE EASEMENT LOCATIONS ARE TO BE CONSIDERED APPROXIMATE.
 - SCHEDULE B - PART 2 OF TITLE COMMITMENT NO.PAFN23-2478 KW, NOT DATED, ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, INCLUDES THE FOLLOWING EXCEPTIONS:
 9. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 203 PAGE 715. [LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE]. (AS TO TRACTS I AND II)
 10. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 248 PAGE 296. [LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE]. (AS TO TRACTS I AND II)
 11. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 563 PAGE 230. [LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE]. (AS TO TRACTS I AND II)
 12. INSTRUMENT ESTABLISHING PROTECTIVE COVENANTS FOR GOSHEN CORPORATE PARK RECORDED IN MISCELLANEOUS DEED BOOK 541 PAGE 88, [EXPIRED JANUARY 1, 2010] FIRST AMENDMENT THERETO AS IN RECORD BOOK 4489 PAGE 1731. [EXPIRED BY EXPIRATION CLAUSE IN 541/88] (AS TO TRACTS I AND II)
 13. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 586 PAGE 401. [BLANKET RIGHT OF WAY - NOT PLOTTABLE]. (AS TO TRACTS I AND II)
 14. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 1045 PAGE 82. [NOT PLOTTABLE FROM SCHEMATIC DIAGRAM SUPPLIED] (AS TO TRACT I)
 15. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 2612 PAGE 16. [BLANKET EASEMENT - NOT PLOTTABLE] (AS TO TRACT I)
 16. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 3272 PAGE 259. [DOCUMENT NOT PROVIDED - NOT PLOTTABLE]. (AS TO TRACT I)
 17. CONDITIONS AS SHOWN ON PLAN #3852 AS FOLLOWS: (A) TEMPORARY CUL-DE-SAC EASEMENT (LOT 7) [DOES NOT AFFECT PREMISES]; (B) REQUIREMENT OF BUILDING SETBACK LINES: [PLOTTED] (C) 30 FEET WIDE BUFFER PLANNING STRIP THROUGH REAR OF LOT. [PLOTTED] (AS TO TRACTS I AND II)
 18. CONDITIONS AS SHOWN ON PLAN #4193 AS FOLLOWS: (A) REQUIREMENT OF BUILDING SETBACK LINES; [PLOTTED] (B) 20 FEET WIDE UTILITY EASEMENT FOR WATER EXTENDS THROUGH REAR OF LOTS 19 AND 19; [PLOTTED] (C) 30 FEET WIDE BUFFER PLANNING STRIP THROUGH REAR OF LOTS 18 AND 19. [PLOTTED] (AS TO TRACT I)
 19. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #3853. [30 FEET WIDE BUFFER STRIP PLOTTED] (AS TO TRACT I)
 20. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #1951. [ADDITIONAL 3.236 ACRES CONVEYANCE AREA INCLUDED IN U.P.I., 53-4-163] (AS TO TRACT I)
 21. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #2114. [IMPROVEMENTS FOR PARKING LOT EXPANSION FOR Q.V.C. AS SHOWN ON PLAN] (AS TO TRACT I)

EXISTING CONDITIONS PLAN

NO.	DATE	REVISION

PRELIMINARY LAND DEVELOPMENT PLAN
 FOR
ONE CTDI PLACE
 EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

PROJECT NO. 22024

112 Moores Road, Suite 200, Malvern, PA 19355
 610-644-4623
 www.chestervalley.com

SCALE: 1" = 30'

DATE: 4/29/2024

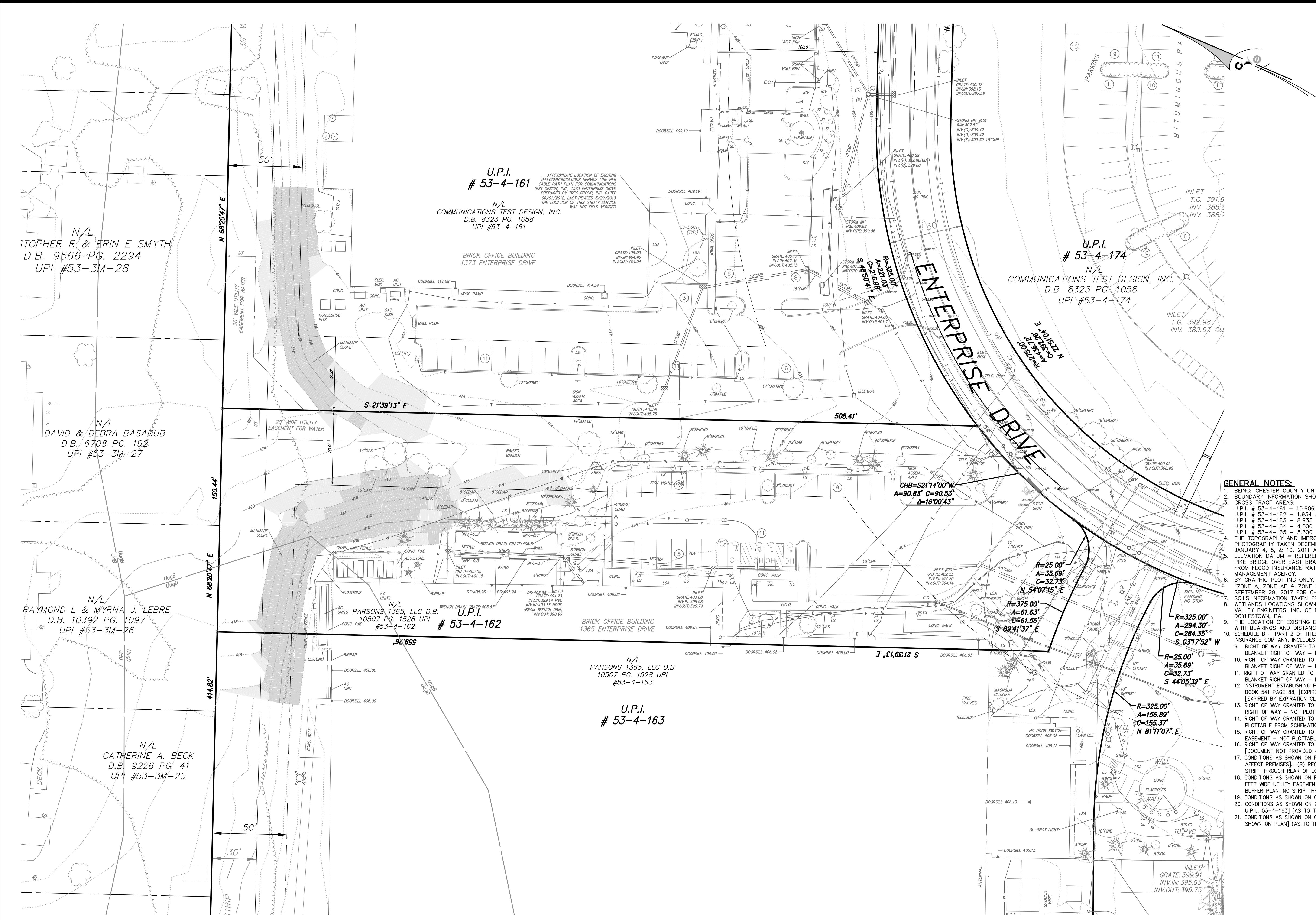
DRAWN BY: RRB

CHECKED BY: JRM

DRAWING: 22024

REGISTERED PROFESSIONAL ENGINEER
 JEREMY R. MAZURZ
 ENGINEER 50502-E
 PENNSYLVANIA

Scale in Feet
 0 10 20 30 60 90 120
 1" = 30'



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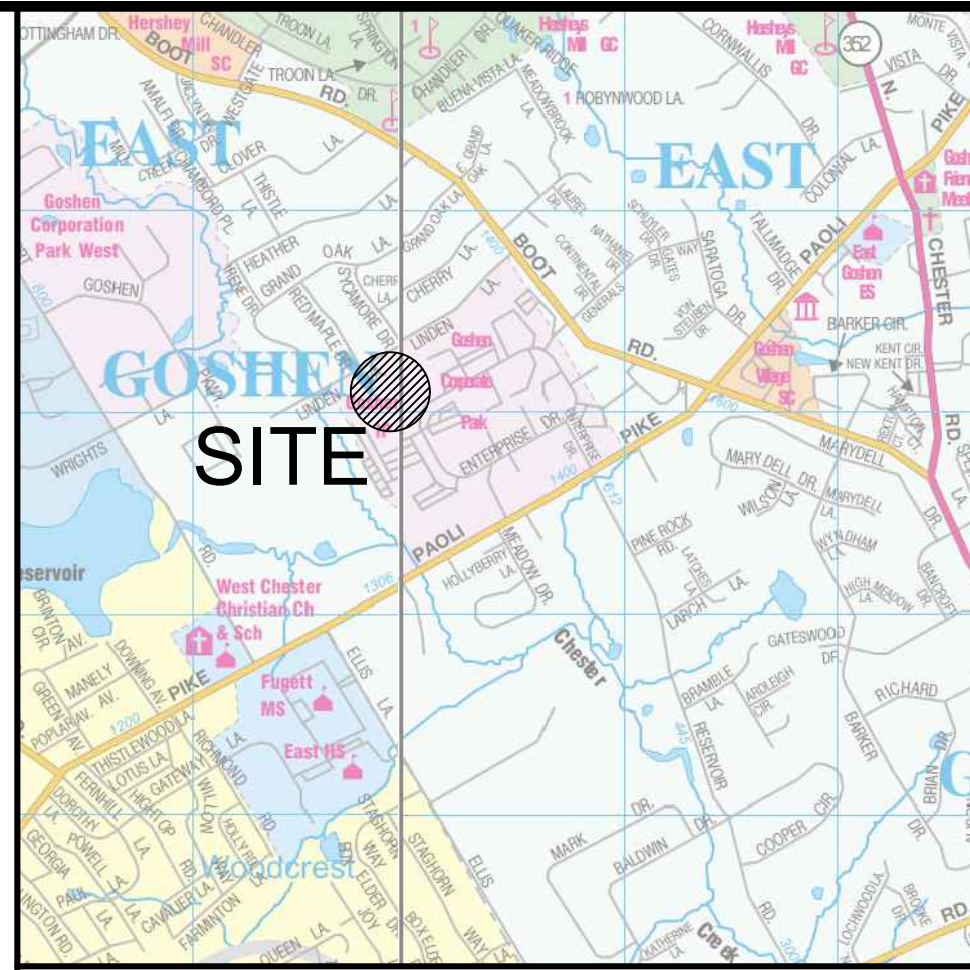
PENNSYLVANIA ACT 187 REQUIREMENTS
 UNDERGROUND UTILITIES SERIAL NO. 20232130344
 CHESTER VALLEY ENGINEERS, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATION FOR EXISTING SURFACE UTILITY STRUCTURES SHOWN ON THE PLANS. NOR DOES CHESTER VALLEY ENGINEERS, INC. GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
 EXCAVATIONS, TRENCHING, AND SHORING
 ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING STATE DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION PUBLICATIONS OF THE LATEST REVISIONS THEREOF:
 (1) CONSTRUCTION INDUSTRY CONSENSUS DOCS AND INTERPRETATIONS (CSM 2001) SUBPART "T", PART 1926/1910 - "EXCAVATIONS, TRENCHING AND SHORING";
 (2) "EXCAVATIONS AND TRENCHING OPERATIONS" (OSHA 2226) DATED 1985 (REVISED).

SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

PENNSYLVANIA ONE CALL SYSTEM, INC.
 CALL 3 WORKING DAYS BEFORE YOU DIG
 1-800-242-1776
 POC'S SERIAL NUMBER: 20232130344

SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO SEASONALLY HIGH WATER TABLE	DEPTH TO BEDROCK	FREQUENCY OF FLOODING	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING
UgB	OK TO 8% SLOPES	60"	20"-70"	NONE	NONE	C NO
UgD	8% TO 25% SLOPES	60"	20"-70"	NONE	NONE	C NO



LOCATION MAP SCALE 1"=2000'

LEGEND

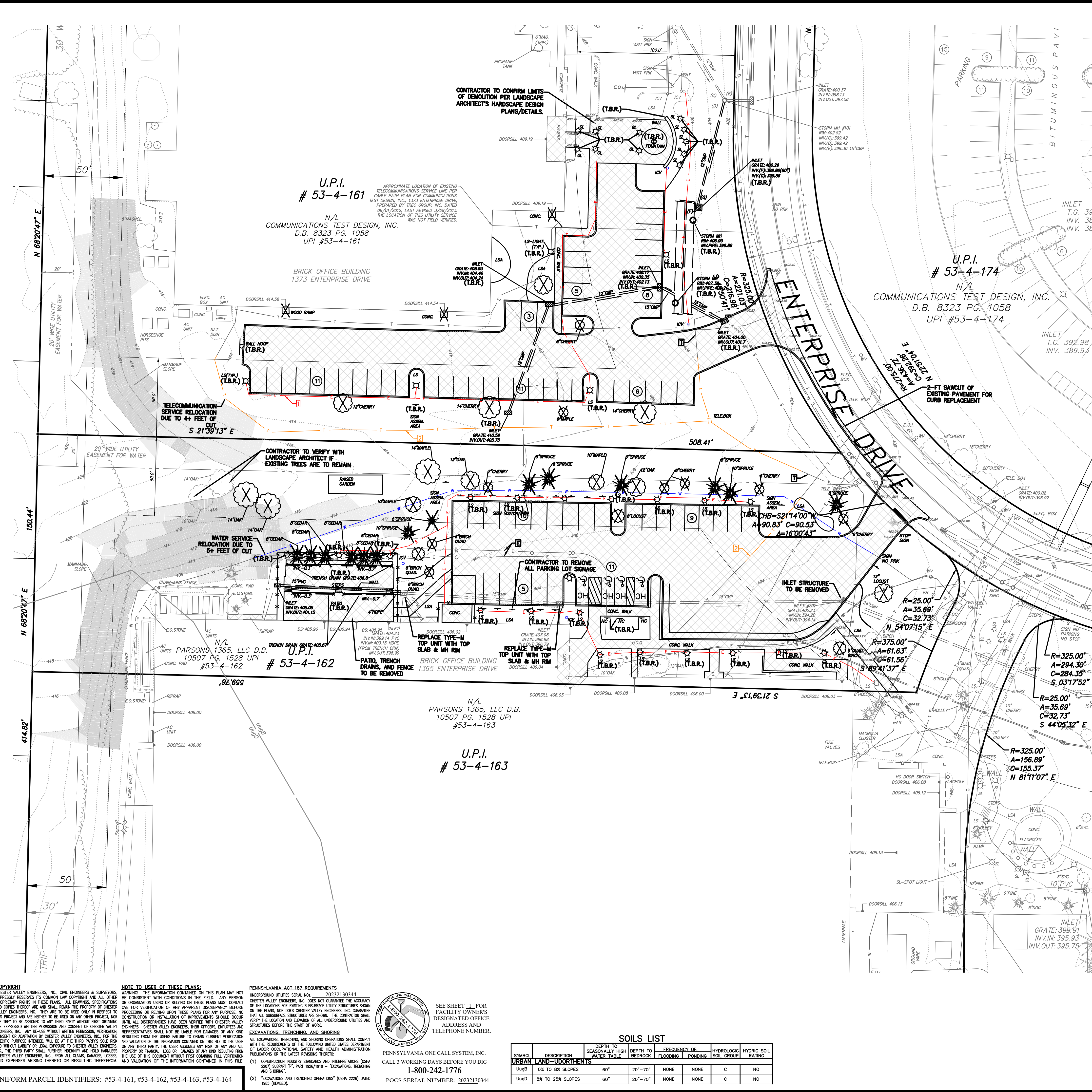
- EXISTING FEATURES**
- EXISTING PROPERTY BOUNDARY
 - EXISTING ADJOINING PROP. LINE
 - EXISTING RIGHT-OF-WAY LINE
 - EXISTING EASEMENT
 - EXISTING SETBACK BOUNDARY
 - EXISTING BUILDING
 - EXISTING 1' CONTOURS
 - EXISTING 5' CONTOURS
 - EXISTING SPOT ELEVATION
 - EXISTING SOIL TYPE
 - EXISTING CURB
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE
 - EXISTING STORM INLET AND PIPE
 - EXISTING MAN-HOLE AND PIPE
 - EXISTING U/G FIRE LINE
 - EXISTING U/G WATER LINE
 - EXISTING U/G ELECTRIC LINE
 - EXISTING U/G TELEPHONE LINE
 - EXISTING U/G GAS LINE
 - EXISTING OVERHEAD WIRES
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING UTILITY POLE
 - EXISTING CONIFEROUS TREE
 - EXISTING DECIDUOUS TREE
 - EXISTING TREE & SHRUB LINE
- DEMOLITION FEATURES**
- TO BE REMOVED
 - EXISTING FEATURE TO BE REMOVED
 - EXISTING FEATURE TO BE REMOVED
 - EXISTING PAVEMENT / CONCRETE / STRUCTURE TO BE REMOVED

DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES WITHIN THE WORK AREA BEFORE THE START OF CONSTRUCTION. IF A CONFLICT EXISTS, CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL/DEMOLITION OF ALL ANCILLARY FEATURES WHICH ARE LOCATED ON THE PROPERTY AND CONFLICT WITH PROPOSED GRADING INCLUDING, BUT NOT LIMITED TO, POSTS, VEGETATION, PADS, STEPS, SIGNS, SHRUBS, CURBS, LIGHT AND LAMP POSTS, MAILBOXES, MECHANICAL, ELECTRICAL AND HVAC EQUIPMENT, WALLS, ROOF DRAIN PIPING, ETC.
- IF REQUIRED, CONTRACTOR IS RESPONSIBLE FOR GRADE ADJUSTMENT OF ALL SURFACE UTILITIES, INCLUDING BUT NOT LIMITED TO VALVES, LIDS, GRATES, RIMS, CAPS, STORM AND SANITARY STRUCTURES WITHIN THE LIMITS OF WORK. GRADE ADJUSTMENTS SHALL BE MADE PRIOR TO THE INSTALLATION OF PAVEMENT WEARING COURSE OR PLACEMENT OF TOPSOIL IN UNPAVED AREAS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY OWNERS TO DISCONNECT AND CAP ALL EXISTING UTILITY SERVICES SCHEDULED FOR DEMOLITION IN ACCORDANCE WITH THE UTILITY COMPANIES REQUIREMENTS.
 - A. AQUA PA: CAP EXISTING WATER SERVICE BEYOND THE LIMITS OF THE PROPOSED DEMOLITION AND REMOVE SERVICE LINE. SITE CONTRACTOR TO COORDINATE WITH THE OWNER AND AQUA PA FOR EXACT LOCATION OF CAPPING AND REMOVAL OF EXISTING WATERLINE, IF REQUIRED.
 - B. PECO ENERGY CO.: CAP EXISTING ELECTRIC SERVICE BEYOND THE LIMITS OF PROPOSED DEMOLITION AND REMOVE SERVICE LINE. SITE CONTRACTOR TO COORDINATE WITH THE OWNER AND PECO FOR REMOVAL OF ELECTRIC SERVICE.
 - C. TELECOMMUNICATIONS SERVICES: CAP EXISTING TELECOMMUNICATIONS SERVICES (PHONE, CABLE, ETC.) BEYOND THE LIMITS OF PROPOSED DEMOLITION AND REMOVE SERVICE LINES. SITE CONTRACTOR TO COORDINATE WITH THE OWNER AND UTILITY COMPANIES FOR REMOVAL OF TELECOMMUNICATIONS SERVICES.
 - D. NOTE: ALL EXISTING UTILITIES THAT SERVICE THE EXISTING BUILDING ON SITE AND ARE LOCATED WITHIN THE PROPOSED BUILDING FOOTPRINT ARE TO BE RE-ROUTED BEYOND THE PROPOSED BUILDING PRIOR TO DEMOLITION. IF REQUIRED, TEMPORARY UTILITY SERVICES SHALL BE PROVIDED TO ENSURE THAT ALL UTILITY SERVICES ARE NOT INTERRUPTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL EXISTING FEATURES WHICH ARE DAMAGED DURING CONSTRUCTION AND ARE INDICATED TO REMAIN.
- REMOVAL OF EXISTING PAVED SURFACES INCLUDES THE REMOVAL OF CRUSHED STONE BASE MATERIALS.
- REMOVAL OF EXISTING STRUCTURES INCLUDES THE REMOVAL OF ALL FOOTINGS, FOUNDATION WALLS AND OTHER STRUCTURAL SUPPORT ELEMENTS.
- REMOVAL OF ALL FENCES, POSTS AND OTHER SIMILAR FEATURES INCLUDES THE REMOVAL OF CONCRETE FOOTINGS AND BASES.
- ALL EXISTING SHRUBS LOCATED AROUND THE PERIMETER OF THE BUILDING SHALL BE REMOVED. CONTRACTOR IS RESPONSIBLE FOR ALL TREE REMOVAL WITHIN THE PROPOSED LIMITS OF WORK, PER THE OWNER'S DISCRETION.
- DEMOLITION OF TREES AND OTHER VEGETATION INCLUDES REMOVAL OF ALL STUMPS AND ROOT SYSTEMS WITHIN 24" OF EXISTING GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL ELECTRICAL, MECHANICAL, AND HVAC EQUIPMENT AS REQUIRED PER THE MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- WHERE PROPOSED CURB AND SIDEWALK ARE TO MATCH EXISTING, THE CONTRACTOR IS TO PROVIDE A CLEAN TRANSITION AND REMOVE/REPLACE ANY EXISTING CURB AND/OR SIDEWALK THAT IS DAMAGED, PER THE OWNER'S DISCRETION.
- BITUMINOUS PAVING SHALL BE SAWCUT PRIOR TO APPLICATION OF THE NEW PAVING, INCLUDING PATCHING IN AREAS OF CURB REPLACEMENT, IF REQUIRED.
- CONTRACTOR IS TO VERIFY WITH OWNER AND LANDSCAPE ARCHITECT WHICH EXISTING TREES ARE TO BE REMOVED OR REQUIRE SELECTIVE PRUNING DUE TO THE CLOSE PROXIMITY TO THE PROPOSED CONSTRUCTION.
- CONTRACTOR IS TO VERIFY WITH OWNER IF EXISTING LIGHT POLES/FIXTURES TO BE REMOVED ARE TO BE RE-INSTALLED OR REPLACED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL LIGHTS, BASES, WIRING AND CONDUITS FOR ALL LIGHTS TO BE REMOVED.
- CONTRACTOR SHALL PROVIDE SAFE PEDESTRIAN ACCESS TO BUILDING ENTRANCES DURING SITE CONSTRUCTION PER OWNER'S BUILDING ACCESS REQUIREMENTS.
- CONTRACTOR TO VERIFY IF EXISTING PARKING LOT AND DRIVEWAY SIGNAGE TO BE REMOVED ARE TO BE RE-INSTALLED OR REPLACED WITH NEW SIGNAGE (STOP SIGNS, ADA PARKING SIGNS, DIRECTIONAL SIGNS, ETC.)

UTILITY LEGEND/NOTES

- E** CONTRACTOR TO VERIFY EXISTING ELECTRICAL SERVICE LIMITS TO REMAIN.
- T** CONTRACTOR TO VERIFY EXISTING TELECOMMUNICATION SERVICE LIMITS TO REMAIN.
- 1** EXISTING ELECTRIC LINE SERVICES, LIGHT STANDARDS, ETC. TO BE REMOVED (CONTRACTOR TO VERIFY REMOVAL LIMITS).
- 2** EXISTING TELECOMMUNICATION SERVICES TO BE REMOVED (CONTRACTOR TO VERIFY REMOVAL LIMITS).
- W** EXISTING WATER SERVICE LINE TO BE REMOVED
- E** EXISTING ELECTRIC SERVICE LINE TO BE REMOVED
- T** EXISTING TELECOMMUNICATION SERVICE LINE TO BE REMOVED



DEMOLITION PLAN

NO.	DATE	REVISION

PRELIMINARY LAND DEVELOPMENT PLAN
FOR
ONE CTDI PLACE
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

CVE ChesterValley ENGINEERS, INC. 22024

112 Moores Road, Suite 200, Malvern, PA 19355
610-644-4623
www.chestervalley.com

SCALE: 1" = 30'
DATE: 4/29/2024
DRAWN BY: RRB
CHECKED BY: JRM
DRAWING: F.B.

JEREMY R. MAZIARZ
REGISTERED PROFESSIONAL ENGINEER
50507-E
PENNSYLVANIA

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UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

NOTE TO USER OF THESE PLANS:
THE INFORMATION CONTAINED ON THIS PLAN WAS NOT EXPRESSLY PREPARED BY CHESTER VALLEY ENGINEERS, INC. AND IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE USER ASSUMES ALL RISK OF ANY AND ALL DAMAGES, LOSSES, AND EXPENSES ARISING FROM THE USE OF THIS DOCUMENT WITHOUT FIRST OBTAINING FULL VERIFICATION AND VALIDATION OF THE INFORMATION CONTAINED IN THIS FILE.

PENNSYLVANIA ACT 187 REQUIREMENTS
UNDERGROUND UTILITIES SERIAL NO. 20232130344
CHESTER VALLEY ENGINEERS, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATION FOR EXISTING SURFACE UTILITY STRUCTURES SHOWN ON THE PLANS. NOR DOES CHESTER VALLEY ENGINEERS, INC. GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.

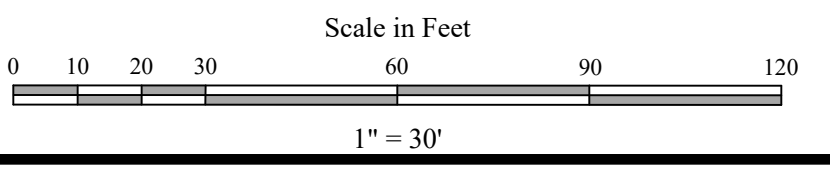
EXCAVATIONS, TRENCHING, AND SHORING
ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION PUBLICATIONS OF THE LATEST REVISIONS THEREOF:
(1) CONSTRUCTION INDUSTRY CONSENSUS DOCS AND INTERPRETATIONS (CSMA 2001) SUBPART "F", PART 1926/1910 - "EXCAVATIONS, TRENCHING AND SHORING";
(2) "EXCAVATIONS AND TRENCHING OPERATIONS" (OSHA 2226) DATED 1985 (REVISED).

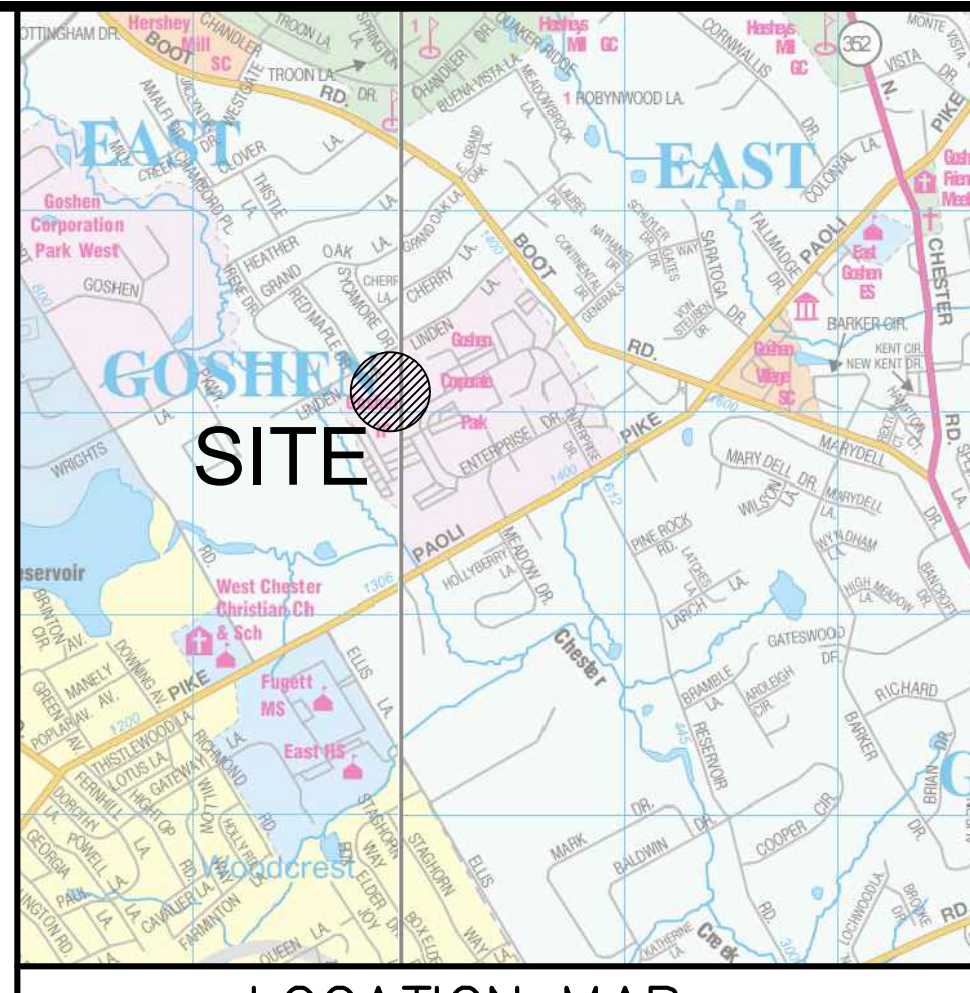
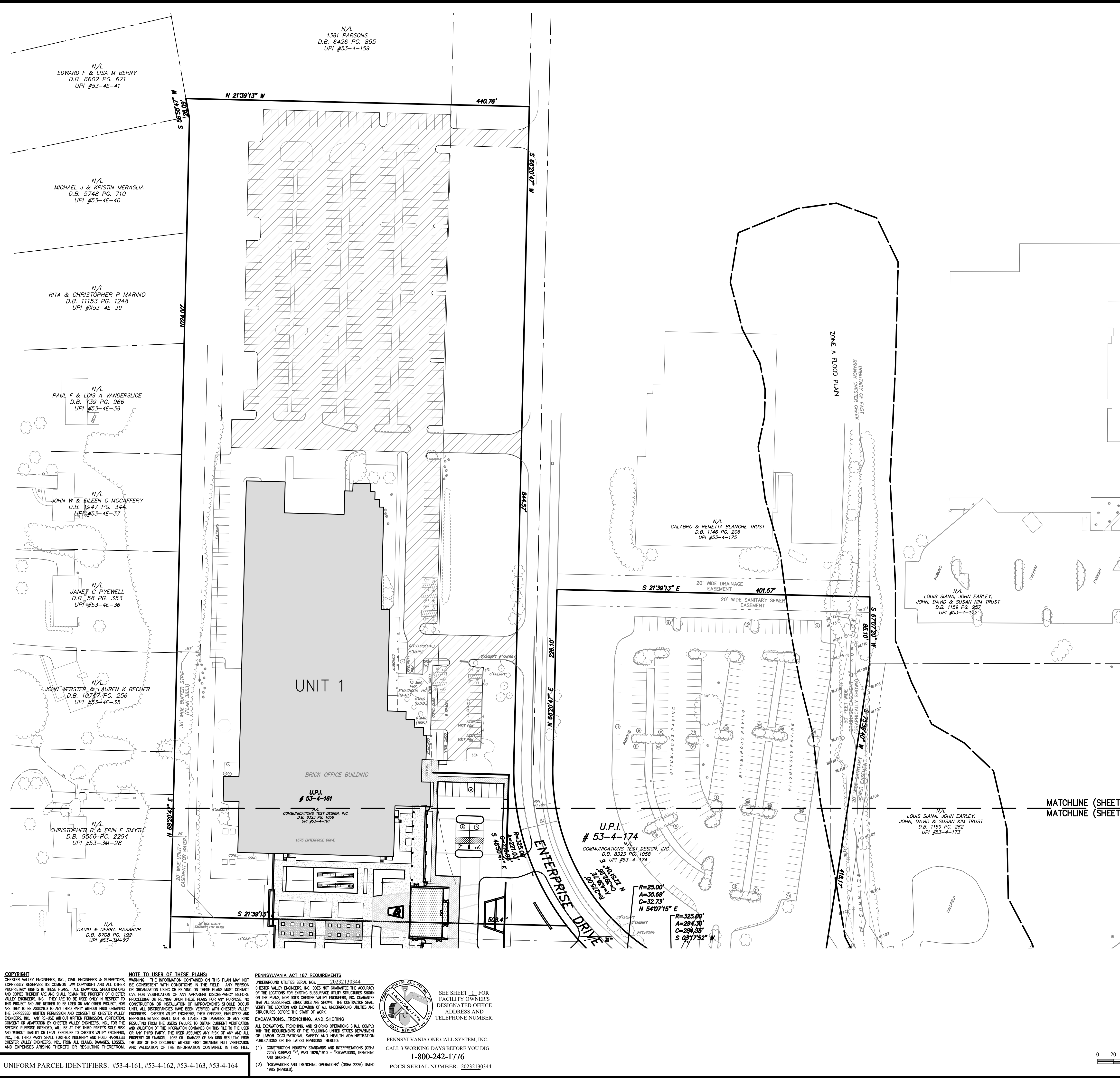
SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

PENNSYLVANIA ONE CALL SYSTEM, INC.
CALL 3 WORKING DAYS BEFORE YOU DIG
1-800-242-1776
POCS SERIAL NUMBER: 20232130344

SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO SEASONALLY HIGH WATER TABLE	DEPTH TO BEDROCK	FREQUENCY OF FLOODING	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING
UspR	OK TO 8% SLOPES	60"	20"-70"	NONE	NONE	C NO
UspD	8% TO 25% SLOPES	60"	20"-70"	NONE	NONE	C NO





LOCATION MAP SCALE 1"=2000'

LEGEND

EXISTING FEATURES

[Symbol]	EXISTING PROPERTY BOUNDARY
[Symbol]	EXISTING ADJOINING PROP. LINE
[Symbol]	EXISTING RIGHT-OF-WAY LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	EXISTING SETBACK BOUNDARY
[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING CURB
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING CONIFEROUS TREE
[Symbol]	EXISTING DECIDUOUS TREE
[Symbol]	EXISTING TREE & SHRUB LINE

CONDOMINIUM LEGEND

[Symbol]	UNIT
[Symbol]	LIMITED COMMON ELEMENT
[Symbol]	LIMITED COMMON ELEMENT TO UNIT 1
[Symbol]	LIMITED COMMON ELEMENT TO UNIT 2
[Symbol]	COMMON ELEMENT

NOTE:
LANDSCAPE AREAS AS COMMON ELEMENT OR LIMITED COMMON ELEMENT TO BE DETERMINED.

- GENERAL NOTES:**
- PROPERTY ADDRESS: 1365 AND 1373 ENTERPRISE DRIVE, WEST CHESTER, PA 19380.
 - APPLICANT: COMMUNICATIONS TEST DESIGN, INC. (CTDI) 1373 ENTERPRISE DRIVE WEST CHESTER, PA 19380
 - OWNER: (PARCEL #53-4-161) - COMMUNICATIONS TEST DESIGN, INC. (CTDI) (PARCELS #53-4-162, 163, 164, 165) - PARSONS 1365, LLC
 - BOUNDARY INFORMATION SHOWN FROM EXISTING PLANS AND DEEDS OF RECORD.
 - GROSS TRACT AREAS:
U.P.I. # 53-4-161 - 10.606 ACRES
U.P.I. # 53-4-162 - 1.934 ACRES
U.P.I. # 53-4-163 - 8.933 ACRES
U.P.I. # 53-4-164 - 4.000 ACRES
U.P.I. # 53-4-165 - 5.300 ACRES
 - THE TOPOGRAPHY AND IMPROVEMENTS SHOWN WAS PHOTOGRAMMETRICALLY COMPILED BY AERO-METRIC FROM PHOTOGRAPHY TAKEN DECEMBER 24, 2010 SUPPLEMENTED AND CONTROLLED BY FIELD SURVEYS PERFORMED JANUARY 4, 5, & 10, 2011 AND JULY 14, 2023 BY CHESTER VALLEY ENGINEERS, INC.
 - ELEVATION DATUM = REFERENCE MARK #235 - PENNDOT DISK AT SOUTHWEST CONCRETE ABUTMENT OF PAULI PIKE BRIDGE OVER EAST BRANCH OF CHESTER CREEK. ELEVATION = 380.204 NGVD 1929. BENCHMARK TAKEN FROM FLOOD INSURANCE RATE MAP 42029C0352 D DATED NOVEMBER 20, 1996 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - BY GRAPHIC PLOTTING ONLY, PARCELS #53-4-163, #54-4-164 & #54-4-165 LIE WITHIN AREAS IDENTIFIED AS "ZONE A, ZONE AE & ZONE X" ON FLOOD INSURANCE RATE MAPS 42029C0210C & 42029C0215G DATED SEPTEMBER 29, 2017 FOR CHESTER COUNTY, PENNSYLVANIA BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - SOILS INFORMATION TAKEN FROM USDA NRCS WEB SOIL SURVEY MAP.
 - WETLANDS LOCATIONS SHOWN ON PARCELS #53-4-163 & #53-4-165 FROM PHYSICAL FIELD SURVEY BY CHESTER VALLEY ENGINEERS, INC. OF POINTS MARKED BY DEL VAL SOIL & ENVIRONMENTAL CONSULTANTS, INC., DOYLESTOWN, PA.
 - THE LOCATION OF EXISTING EASEMENTS WAS TAKEN FROM EXISTING PLANS. THE EASEMENTS WERE NOT DESCRIBED WITH BEARINGS AND DISTANCES, THE EASEMENT LOCATIONS ARE TO BE CONSIDERED APPROXIMATE.
 - SCHEDULE B - PART 2 OF TITLE COMMITMENT NO.PAFN23-2478 KW, NOT DATED, ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, INCLUDES THE FOLLOWING EXCEPTIONS:
9. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 203 PAGE 715. [LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE] (AS TO TRACTS I AND II)
10. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 248 PAGE 296. [LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE] (AS TO TRACTS I AND II)
11. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 563 PAGE 230. [LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE] (AS TO TRACTS I AND II)
12. INSTRUMENT ESTABLISHING PROTECTIVE COVENANTS FOR GOSHEN CORPORATE PARK RECORDED IN MISCELLANEOUS DEED BOOK 541 PAGE 88, [EXPIRED JANUARY 1, 2010], FIRST AMENDMENT THERETO IN RECORD BOOK 4489 PAGE 1731. [EXPIRED BY EXPIRATION CLAUSE IN 541/88] (AS TO TRACTS I AND II)
13. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 586 PAGE 401. [BLANKET RIGHT OF WAY - NOT PLOTTABLE] (AS TO TRACTS I AND II)
14. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 1045 PAGE 82. [NOT PLOTTABLE FROM SCHEMATIC DIAGRAM SUPPLIED] (AS TO TRACT I)
15. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 2612 PAGE 16. [BLANKET EASEMENT - NOT PLOTTABLE] (AS TO TRACT I)
16. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 3272 PAGE 259. [DOCUMENT NOT PROVIDED - NOT PLOTTABLE] (AS TO TRACT II)
17. CONDITIONS AS SHOWN ON PLAN #3852 AS FOLLOWS: (A) TEMPORARY CUL-DE-SAC EASEMENT (LOT 7) [DOES NOT AFFECT PREMISES]; (B) REQUIREMENT OF BUILDING SETBACK LINES; [PLOTTED] (C) 30 FEET WIDE BUFFER PLANTING STRIP THROUGH REAR OF LOT; [PLOTTED] (AS TO TRACTS I AND II)
18. CONDITIONS AS SHOWN ON PLAN #1193 AS FOLLOWS: (A) REQUIREMENT OF BUILDING SETBACK LINES; [PLOTTED] (B) 20 FEET WIDE UTILITY EASEMENT FOR WATER EXTENDS THROUGH REAR OF LOTS 18 AND 19; [PLOTTED] (C) 30 FEET WIDE BUFFER PLANTING STRIP THROUGH REAR OF LOTS 18 AND 19. [PLOTTED] (AS TO TRACT I)
19. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #3853. [30 FEET WIDE BUFFER STRIP PLOTTED] (AS TO TRACT I)
20. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #11951. [ADDITIONAL 3.236 ACRES CONVEYANCE AREA INCLUDED IN U.P.I., 53-4-163] (AS TO TRACT I)
21. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #12114. [IMPROVEMENTS FOR PARKING LOT EXPANSION FOR Q.V.C. AS SHOWN ON PLAN] (AS TO TRACT I)

PARKING SUMMARY

REQUIRED PARKING: (PARCELS 53-4-162, 53-4-163, 53-4-164, 53-4-165, 53-4-174); 1365 ENTERPRISE DRIVE PROPERTIES

1365 ENTERPRISE DRIVE PROPERTIES IS 348,000 SF OF GROSS FLOOR AREA OF THE BUILDING. APPROXIMATELY 54,000 SF OF THIS BUILDING IS DEVOTED TO OFFICE USE. APPROXIMATELY 140,000 SF OF THIS BUILDING IS DESIGNATED FOR REPAIR, LAB, MANUFACTURING AND WAREHOUSE USES.

OFFICE USE: REQUIRES 4 SPACES PER 1,000 SF OF GROSS FLOOR AREA OR 1 SPACE PER EMPLOYEE ON THE LARGEST SHIFT, WHICHEVER IS GREATER.

4 X (54,000/1,000) = 216 SPACES

WAREHOUSE/DISTRIBUTION: 1 SPACE PER 1,000 SF GROSS FLOOR AREA OR 1 SPACE PER EMPLOYEE ON THE LARGEST SHIFT, WHICHEVER IS GREATER.

1 X (140,000/1,000) = 140 SPACES

VISITORS: 4 SPACES PER PRINCIPAL BUILDING = 4 SPACES

ACCESSIBLE (ADA) SPACES: 9 SPACES

TOTAL REQUIRED SPACES = 369 SPACES

TOTAL PROVIDED SPACES = 827 SPACES

REQUIRED PARKING: (PARCEL 53-4-161); 1373 ENTERPRISE DRIVE PROPERTY

1373 ENTERPRISE DRIVE PROPERTY IS APPROXIMATELY 91,000 SF OF GROSS FLOOR AREA OF THE BUILDING.

OFFICE USE: REQUIRES 4 SPACES PER 1,000 SF OF GROSS FLOOR AREA OR 1 SPACE PER EMPLOYEE ON THE LARGEST SHIFT, WHICHEVER IS GREATER.

4 X (38,220/1,000) = 153 SPACES

WAREHOUSE/OTHER: 1 SPACE PER 1,000 SF GROSS FLOOR AREA OR 1 SPACE PER EMPLOYEE ON THE LARGEST SHIFT, WHICHEVER IS GREATER.

1 X (52,780/1,000) = 53 SPACES

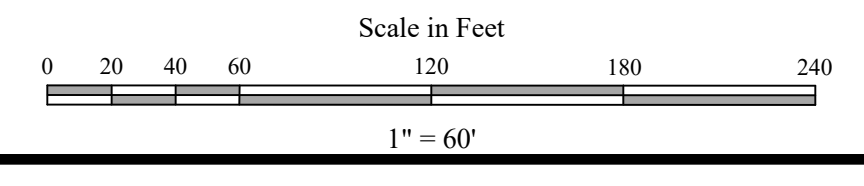
VISITORS: 4 SPACES PER PRINCIPAL BUILDING = 4 SPACES

ACCESSIBLE (ADA) SPACES: 7 SPACES

TOTAL REQUIRED SPACES = 217 SPACES

TOTAL PROVIDED SPACES = 403 SPACES

MATCHLINE (SHEET 4)
MATCHLINE (SHEET 5)



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(2) "EXCAVATIONS AND TRENCHING OPERATIONS" (OSHA 2226) DATED 1985 (REVISED).

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

PENNSYLVANIA ONE CALL SYSTEM, INC.
CALL 3 WORKING DAYS BEFORE YOU DIG
1-800-242-1776
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CONDOMINIUM PLAN

NO.	DATE	REVISION

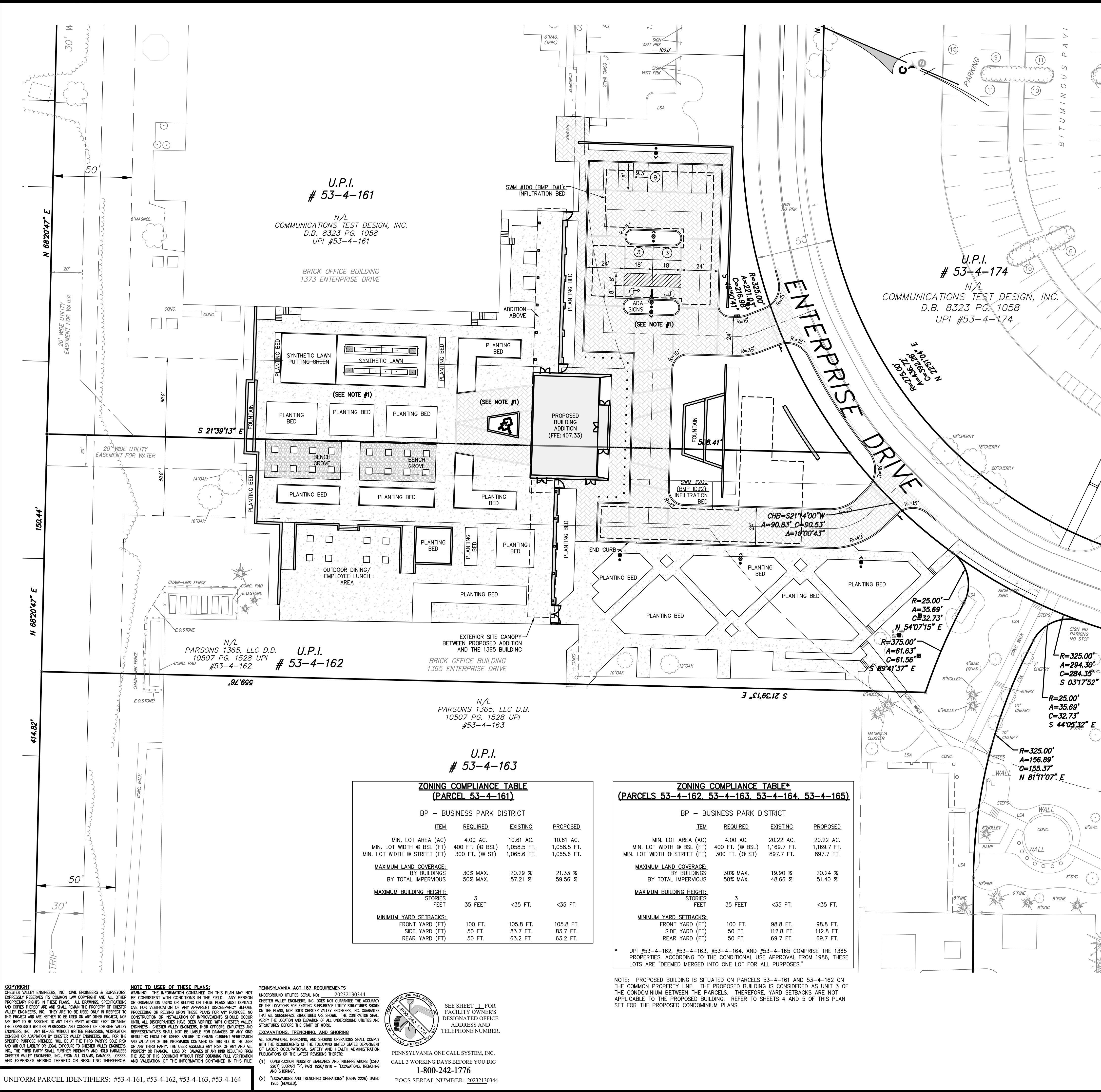
PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC. 22024
112 Moores Road, Suite 200, Malvern, PA 19355
610-644-4623
www.chestervalley.com

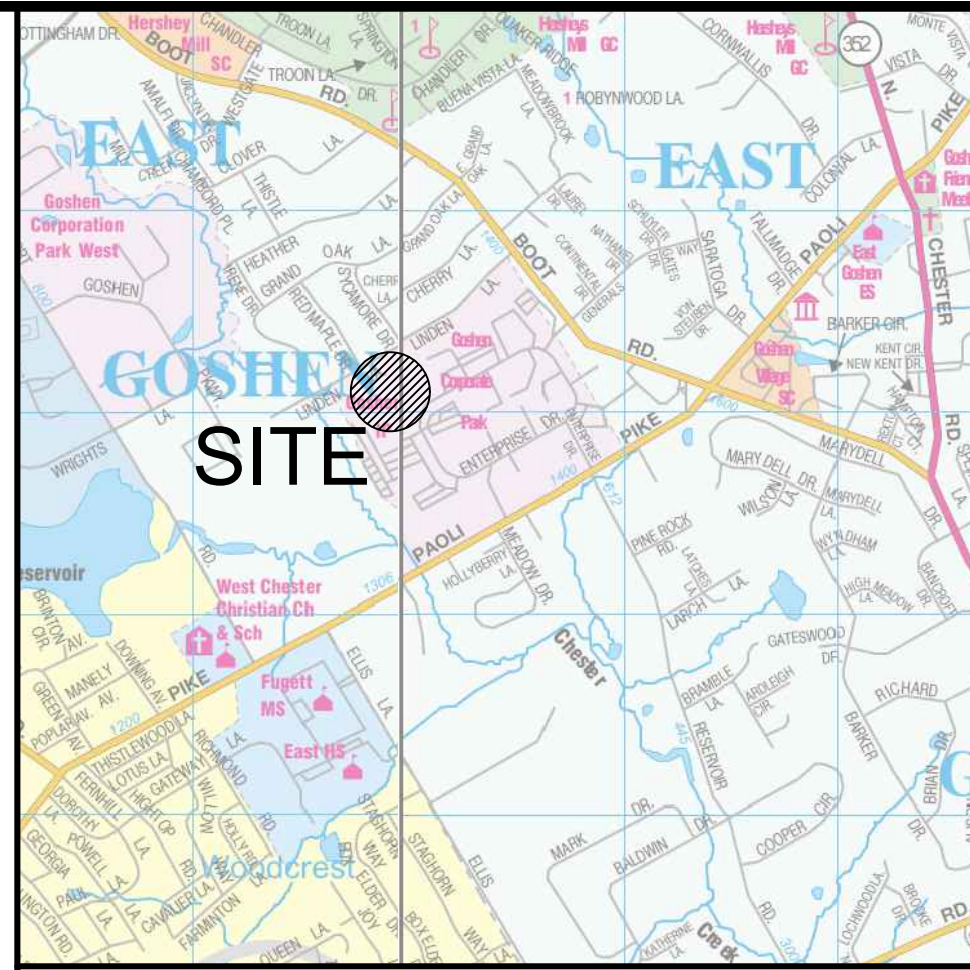
JEREMY R. MAZIARZ
REGISTERED PROFESSIONAL ENGINEER
5050-4-0
PENNSYLVANIA

SCALE	DATE	DRAWN BY	CHECKED BY	DRAWING
1" = 60'	4/29/2024	RRB	JRM	

F.B. No. 112 Moores Road, Suite 200, Malvern, PA 19355



- GENERAL NOTES:**
1. PROPERTY ADDRESS: 1365 AND 1373 ENTERPRISE DRIVE, WEST CHESTER, PA 19380.
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 4. BOUNDARY INFORMATION SHOWN FROM EXISTING PLANS AND DEEDS OF RECORD.
 5. GROSS TRACT AREAS:
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U.P.I. # 53-4-162 - 1,934 ACRES
U.P.I. # 53-4-163 - 8,933 ACRES
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10. RIGHT OF WAY GRANTED TO PHILADELPHIA ELECTRIC COMPANY AS IN MISCELLANEOUS DEED BOOK 248 PAGE 298. [LIMITED BLANKET RIGHT OF WAY - NOT PLOTTABLE]. (AS TO TRACTS I AND II)
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15. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 2612 PAGE 16. [BLANKET EASEMENT - NOT PLOTTABLE] (AS TO TRACT I)
16. RIGHT OF WAY GRANTED TO THE BELL TELEPHONE COMPANY AS IN MISCELLANEOUS DEED BOOK 3272 PAGE 259. [DOCUMENT NOT PROVIDED - NOT PLOTTABLE]. (AS TO TRACT I)
17. CONDITIONS AS SHOWN ON PLAN #3852 AS FOLLOWS: (A) TEMPORARY CUL-DE-SAC EASEMENT (LOT 7) [DOES NOT AFFECT PREMISES]; (B) REQUIREMENT OF BUILDING SETBACK LINES: [PLOTTED] (C) 30 FEET WIDE BUFFER THROUGH REAR OF LOT. [PLOTTED] (AS TO TRACTS I AND II)
18. CONDITIONS AS SHOWN ON PLAN #4193 AS FOLLOWS: (A) REQUIREMENT OF BUILDING SETBACK LINES: [PLOTTED] (B) 20 FEET WIDE UTILITY EASEMENT FOR WATER EXTENDS THROUGH REAR OF LOTS 18 AND 19. [PLOTTED] (C) 30 FEET WIDE BUFFER PLANTING STRIP THROUGH REAR OF LOTS 18 AND 19. [PLOTTED] (AS TO TRACT I)
19. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #3853. [30 FEET WIDE BUFFER STRIP PLOTTED] (AS TO TRACT I)
20. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #11951. [ADDITIONAL 3.236 ACRES CONVEYANCE AREA INCLUDED IN U.P.I., 53-4-163] (AS TO TRACT I)
21. CONDITIONS AS SHOWN ON CHESTER COUNTY PLAN #2114. [IMPROVEMENTS FOR PARKING LOT EXPANSION FOR C.V.C. AS SHOWN ON PLAN] (AS TO TRACT I)
 11. THIS PLAN PROPOSES TO CONSTRUCT A BUILDING WITH THE NECESSARY PARKING, AND ASSOCIATED UTILITIES AND INFRASTRUCTURE.
 12. THIS SITE IS SERVED BY PUBLIC SEWER AND WATER.
 13. ENTERPRISE DRIVE IS A TOWNSHIP ROAD. NO WORK IS PROPOSED WITHIN PENNDOT RIGHT OF WAY.
 14. SPOT ELEVATIONS ALONG THE PROPOSED CURB EDGE SIGNIFIES FINISHED PAVEMENT AT THE FACE OF CURB. SPOT ELEVATIONS REFERRED TO AS BOTH CURB AND SIDEWALK.
 15. SPOT ELEVATIONS NOT SHOWN ALONG CURB EDGE SIGNIFIES FINISHED GRADE OR PAVEMENT ELEVATIONS.
 16. SPOT ELEVATIONS SHOWN AT DRAINAGE STRUCTURES REPRESENT THE TOP OF UNIT ELEVATION AT THE CENTER OF THE STRUCTURE.
 17. ALL SITE PLAN DIMENSIONS ARE FROM FACE-OF-CURB TO FACE-OF-CURB AND ALL CURB RADI ARE MEASURED AT FACE OF CURB.
 18. ALL DETAILS AND SPECIFICATIONS SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH EAST GOSHEN TOWNSHIP STANDARDS AND SPECIFICATIONS AND/OR PADOT PUBL. 40B.
 19. ALL EXISTING IMPROVEMENTS WITHIN OR ADJACENT TO THE PROJECT AREA INCLUDING BUT NOT LIMITED TO SIGNAGE, BIKE RACKS, TRASH CANS, LIGHTS, GUIDE RAIL, ETC. THAT MAY BE DISTURBED DURING CONSTRUCTION ARE TO BE MAINTAINED AND/OR REMOVED/RELOCATED BY THE SITE CONTRACTOR PER THE OWNER'S DISCRETION.
 20. ALL BUILDING ADDITIONS, ENTRANCES, RAMPS, STAIRS AND PATIO RAILINGS/FALL PROTECTION DESIGN AND DETAILS ARE TO BE PER THE ARCHITECTURAL PLANS.
 21. WHERE PROPOSED CURBS AND SIDEWALKS ARE TO MATCH EXISTING, THE CONTRACTOR IS TO PROVIDE A CLEAN TRANSITION AND REMOVE/REPLACE ANY EXISTING CURB AND/OR SIDEWALK THAT IS DAMAGED AT THE OWNER'S DISCRETION.
 22. ALL CURB RADI SHALL BE 5- FEET UNLESS NOTED OTHERWISE.
 23. ALL CURB SHALL BE 6" REVEAL UNLESS NOTED OTHERWISE.
 24. THE FOLLOWING PENNDOT ROADWAY CONSTRUCTION STANDARD DETAILS SHALL BE UTILIZED FOR THIS PROJECT:
RC-39M STANDARD MANHOLES
RC-45M INLET TOPS, GRATES, AND FRAME
RC-46M INLET BOXES
RC-64M CURBS AND GUTTERS
RC-67M CURB RAMPS AND SIDEWALKS
25. BITUMINOUS PAVING SHALL BE SAWCUT PRIOR TO APPLICATION OF NEW PAVING, INCLUDING PATCHING IN AREAS OF CURB REPLACEMENT, IF REQUIRED.
 26. ALL PAVED/NON-PAVED SURFACES SHALL SLOPE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1/4" FOOT.
 27. SITE CONTRACTOR IS RESPONSIBLE FOR ALL TREE AND/OR SHRUB REMOVAL WITHIN THE PROPOSED LIMITS OF WORK.
 28. SITE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL LANDSCAPING AND SITE STABILIZATION IN ACCORDANCE WITH L&S AND LANDSCAPE PLANS. ALL STABILIZATION & LANDSCAPE INSTALLATION SHALL BE DONE DURING ACCEPTABLE PLANTING SEASONS.
 29. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES WITHIN THE WORK AREA BEFORE THE START OF CONSTRUCTION. IF A CONFLICT EXISTS, CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY FOR RESOLUTION.
 30. IF REQUIRED, THE SITE CONTRACTOR IS RESPONSIBLE FOR GRADE ADJUSTMENT OF ALL SURFACE UTILITIES, INCLUDING BUT NOT LIMITED TO VALVES, LIDS, GRATES, RIMS, CAPS, STORM AND SANITARY STRUCTURES WITHIN THE LIMITS OF WORK. GRADE ADJUSTMENTS SHALL BE MADE PRIOR TO THE INSTALLATION OF PAVEMENT WEARING COURSE OR PLACEMENT OF TOPSOIL IN UNPAVED AREAS.
 31. UNLESS NOTED OTHERWISE, SITE CONTRACTOR RESPONSIBLE FOR ALL SITE UTILITY INSTALLATION UP TO 6" OUTSIDE OF BUILDING. RESPECTIVE UTILITY CONTRACTOR (ELECTRICAL, PLUMBING, ETC.) SHALL ASSUME RESPONSIBILITY AT THIS POINT.
 32. ALL UTILITY TRENCHES SHALL BE MECHANICALLY BACKFILLED IN EIGHT (8) LAYERS AND COMPACTED TO NINETY FIVE PERCENT (95%) OF THE MAXIMUM DRY WEIGHT DENSITY OF THE FILL OR BACKFILL MATERIAL.
 33. SITE CONTRACTOR IS TO COORDINATE THE PROPOSED CONDUIT INSTALLATION (FOR LIGHTING AND SECURITY) WITH THE ELECTRICAL CONTRACTOR AND THE OWNER.
 34. PROPOSED UTILITY SERVICE CONNECTIONS TO SERVICE THE PROPOSED BUILDING (WATER, DOMESTIC AND FIRE), SEWER, ELECTRIC, GAS, TELECOMMUNICATIONS, ETC.) ARE TO BE PROVIDED IN ACCORDANCE WITH THE APPROPRIATE UTILITY SERVICE PROVIDER. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL REQUIRED UTILITY SERVICES TO THE BUILDING, ALL ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICES SHALL BE PROVIDED BY UNDERGROUND CABLES.
 35. ALL MANHOLES OR CLEANOUTS SHALL BE STAMPED WITH ONE OF THE FOLLOWING UTILITY CALLOUTS WHICH MAY INCLUDE BUT IS NOT LIMITED TO, "SANITARY", "STORM", "WATER", "ELECTRIC", "GAS" OR "TELE".
 36. ALL INLETS SHALL BE SET FLUSH WITH THE WEARING COURSE.
 37. ALL HOPE PIPES SHALL BE ADS N-12 SMOOTH-BORE PIPE OR EQUIVALENT, UNLESS OTHERWISE NOTED.
 38. ALL STORM DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT PENNDOT STANDARDS, DETAILS AND SPECIFICATIONS.
 39. WATER TIGHT PIPE CONNECTIONS ARE REQUIRED FOR ALL STORM DRAINAGE PIPING.
 40. FOR ALL EXISTING STORM PIPE CONNECTIONS TO PROPOSED STRUCTURES (MANHOLES AND/OR INLETS), THE CONTRACTOR IS TO PROVIDE A CLEAN, SEALED AND WATER TIGHT CONNECTION. IF A PIPE EXTENSION OF EXISTING STORM PIPE IS REQUIRED FOR PROPER CONNECTION, THE CONTRACTOR IS TO PROVIDE AS REQUIRED.
 41. THE TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO ACCESS EVERY BMP AND CONVEYANCE FROM A PUBLIC RIGHT-OF-WAY OR PUBLIC ROADWAY TO CONDUCT PERIODIC INSPECTIONS AND TO UNDERTAKE OTHER ACTIONS THAT MAY BE NECESSARY TO ENFORCE THE REQUIREMENTS OF THIS CHAPTER, OR OF ANY APPLICABLE O&M PLAN OR O&M AGREEMENT. WHERE ROADWAYS WILL NOT BE DEDICATED TO THE TOWNSHIP, THE TOWNSHIP SHALL BE GRANTED ACCESS TO THE PRIVATE ROADWAYS AS NECESSARY TO ACCESS EVERY BMP AND CONVEYANCE.



LEGEND

EXISTING FEATURES

- EXISTING PROPERTY BOUNDARY
- EXISTING ADJOINING PROP. LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING EASEMENT
- EXISTING SETBACK BOUNDARY
- EXISTING BUILDING
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING TREE & SHRUB LINE

PROPOSED FEATURES

- PROPOSED BUILDING
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED CONCRETE PAD/SIDEWALK
- PROPOSED PAVERS
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE CURB
- NUMBER OF PROPOSED PARKING SPACES
- PROPOSED SIGN
- PROPOSED STORMWATER MANAGEMENT FACILITY

ZONING COMPLIANCE TABLE* (PARCEL 53-4-161)

BP - BUSINESS PARK DISTRICT

ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (AC)	4.00 AC.	10.61 AC.	10.61 AC.
MIN. LOT WIDTH @ BSL (FT)	400 FT. (Ø BSL)	1,058.5 FT.	1,058.5 FT.
MIN. LOT WIDTH @ STREET (FT)	300 FT. (Ø ST)	1,065.6 FT.	1,065.6 FT.
MAXIMUM LAND COVERAGE:			
BY BUILDINGS	30% MAX.	20.29 %	21.33 %
BY TOTAL IMPERVIOUS	50% MAX.	57.21 %	59.56 %
MAXIMUM BUILDING HEIGHT:			
STORIES	3	<35 FT.	<35 FT.
FEET	35 FEET	<35 FT.	<35 FT.
MINIMUM YARD SETBACKS:			
FRONT YARD (FT)	100 FT.	105.8 FT.	105.8 FT.
SIDE YARD (FT)	50 FT.	83.7 FT.	83.7 FT.
REAR YARD (FT)	50 FT.	63.2 FT.	63.2 FT.

ZONING COMPLIANCE TABLE* (PARCELS 53-4-162, 53-4-163, 53-4-164, 53-4-165)

BP - BUSINESS PARK DISTRICT

ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (AC)	4.00 AC.	20.22 AC.	20.22 AC.
MIN. LOT WIDTH @ BSL (FT)	400 FT. (Ø BSL)	1,169.7 FT.	1,169.7 FT.
MIN. LOT WIDTH @ STREET (FT)	300 FT. (Ø ST)	897.7 FT.	897.7 FT.
MAXIMUM LAND COVERAGE:			
BY BUILDINGS	30% MAX.	19.90 %	20.24 %
BY TOTAL IMPERVIOUS	50% MAX.	48.66 %	51.40 %
MAXIMUM BUILDING HEIGHT:			
STORIES	3	<35 FT.	<35 FT.
FEET	35 FEET	<35 FT.	<35 FT.
MINIMUM YARD SETBACKS:			
FRONT YARD (FT)	100 FT.	98.8 FT.	98.8 FT.
SIDE YARD (FT)	50 FT.	112.8 FT.	112.8 FT.
REAR YARD (FT)	50 FT.	69.7 FT.	69.7 FT.

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PENNSYLVANIA ACT 187 REQUIREMENTS
UNDERGROUND UTILITIES SERIAL NO. 20232130344
CHESTER VALLEY ENGINEERS, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATION FOR EXISTING SURFACE UTILITY STRUCTURES SHOWN ON THE PLANS. NOR DOES CHESTER VALLEY ENGINEERS, INC. GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE DOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
EXCAVATIONS, TRENCHING, AND SHORING
ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING UNITS STATES REFERENCED ON THE PLANS: OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION PUBLICATIONS OF THE LATEST REVISIONS THERETO.
(1) CONSTRUCTION INDUSTRY ENGINEERS AND ARCHITECTS (CIEA) (201) SUBMIT "P", PART 1026/1910 - "EXCAVATIONS, TRENCHING AND SHORING".
(2) "EXCAVATIONS AND TRENCHING OPERATIONS" (OSHA 2226) DATED 1985 (REVISED).

SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.
PENNSYLVANIA ONE CALL SYSTEM, INC. CALL 3 WORKING DAYS BEFORE YOU DIG
1-800-242-1776
POCS SERIAL NUMBER: 20232130344

NOTE: PROPOSED BUILDING IS SITUATED ON PARCELS 53-4-161 AND 53-4-162 ON THE COMMON PROPERTY LINE. THE PROPOSED BUILDING IS CONSIDERED AS UNIT 3 OF THE CONDOMINIUM BETWEEN THE PARCELS. THEREFORE, YARD SETBACKS ARE NOT APPLICABLE TO THE PROPOSED BUILDING. REFER TO SHEETS 4 AND 5 OF THIS PLAN SET FOR THE PROPOSED CONDOMINIUM PLANS.

- NOTES:**
1. CONTRACTOR TO REFER TO LANDSCAPE ARCHITECT'S PLANS AND DETAILS FOR ALL PAVEMENT/PAVER/HARDSCAPE LIMITS, TYPES AND PATTERNS.
- Scale in Feet
0 10 20 30 60 90 120
1" = 30'

SITE PLAN

NO.	DATE	REVISION

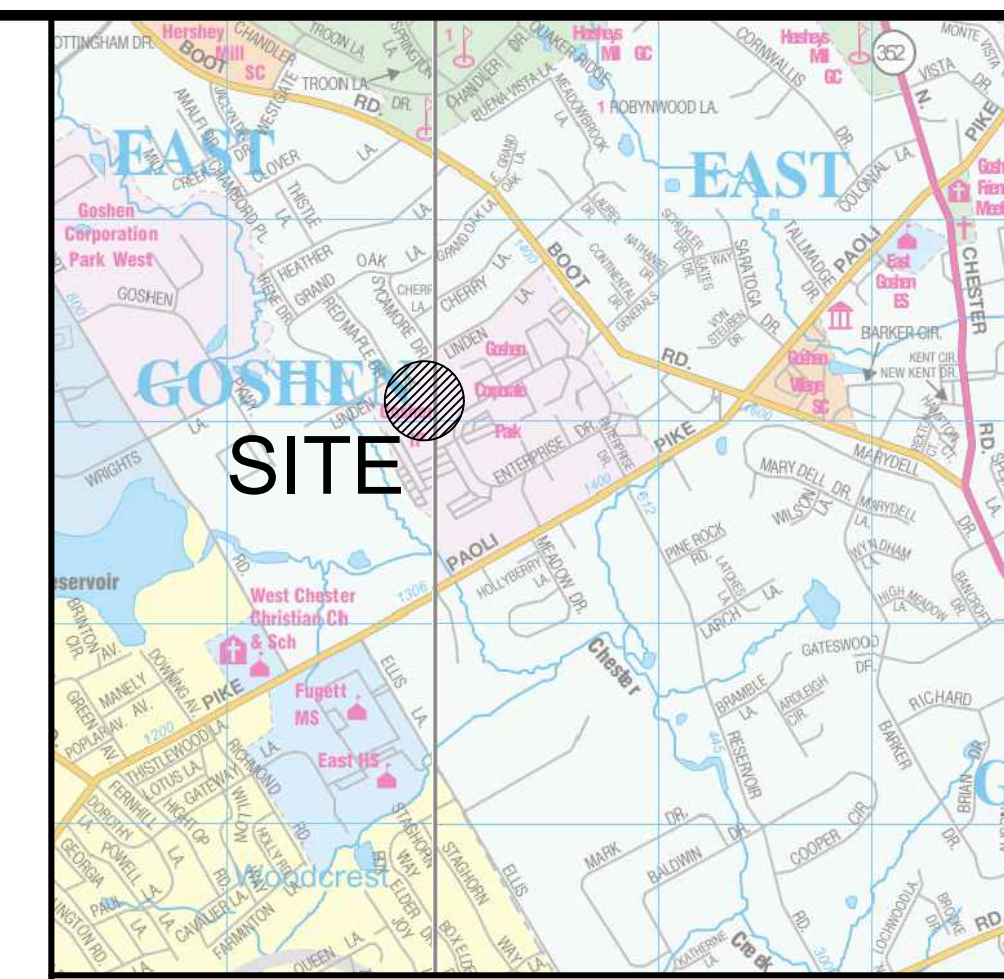
PRELIMINARY LAND DEVELOPMENT PLAN
FOR
ONE CTDI PLACE
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC. 22024
112 Moores Road, Suite 200, Malvern, PA 19355
610-644-4623
www.chester.com

PROJECT NO. 22024
DATE: 4/29/2024
DRAWN BY: RRB
CHECKED BY: JRM
DRAWING

Scale in Feet
0 10 20 30 60 90 120
1" = 30'

Jeremy R. Maziarz



LOCATION MAP SCALE 1"=2000'

- LEGEND**
- EXISTING FEATURES**
- EXISTING PROPERTY BOUNDARY
 - EXISTING ADJOINING PROP. LINE
 - EXISTING RIGHT-OF-WAY LINE
 - EXISTING EASEMENT
 - EXISTING SETBACK BOUNDARY
 - EXISTING BUILDING
 - EXISTING 1' CONTOURS
 - EXISTING 5' CONTOURS
 - EXISTING SPOT ELEVATION
 - EXISTING SOIL TYPE
 - EXISTING CURB
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE
 - EXISTING STORM INLET AND PIPE
 - EXISTING MANHOLE AND PIPE
 - EXISTING U/G FIRE LINE
 - EXISTING U/G WATER LINE
 - EXISTING U/G ELECTRIC LINE
 - EXISTING U/G GAS LINE
 - EXISTING OVERHEAD WIRES
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING UTILITY POLE
 - EXISTING CONIFEROUS TREE
 - EXISTING DECIDUOUS TREE
 - EXISTING TREE & SHRUB LINE
- PROPOSED FEATURES**
- PROPOSED BUILDING
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 - PROPOSED 1' CONTOURS
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 - PROPOSED SPOT ELEVATION
 - PROPOSED STORMWATER MANAGEMENT FACILITY
 - PROPOSED STORM PIPE AND INLET
 - PROPOSED STORM PIPE AND MANHOLE
 - PROPOSED STORM PIPE AND CLEANOUT
 - PROPOSED PIPE FLOW ARROW

NOTES:

- CONTRACTOR TO REFER TO LANDSCAPE ARCHITECT'S PLANS AND DETAILS FOR ALL PAVEMENT/PAVER/HARDSCAPE LIMITS, TYPES AND PATTERNS.

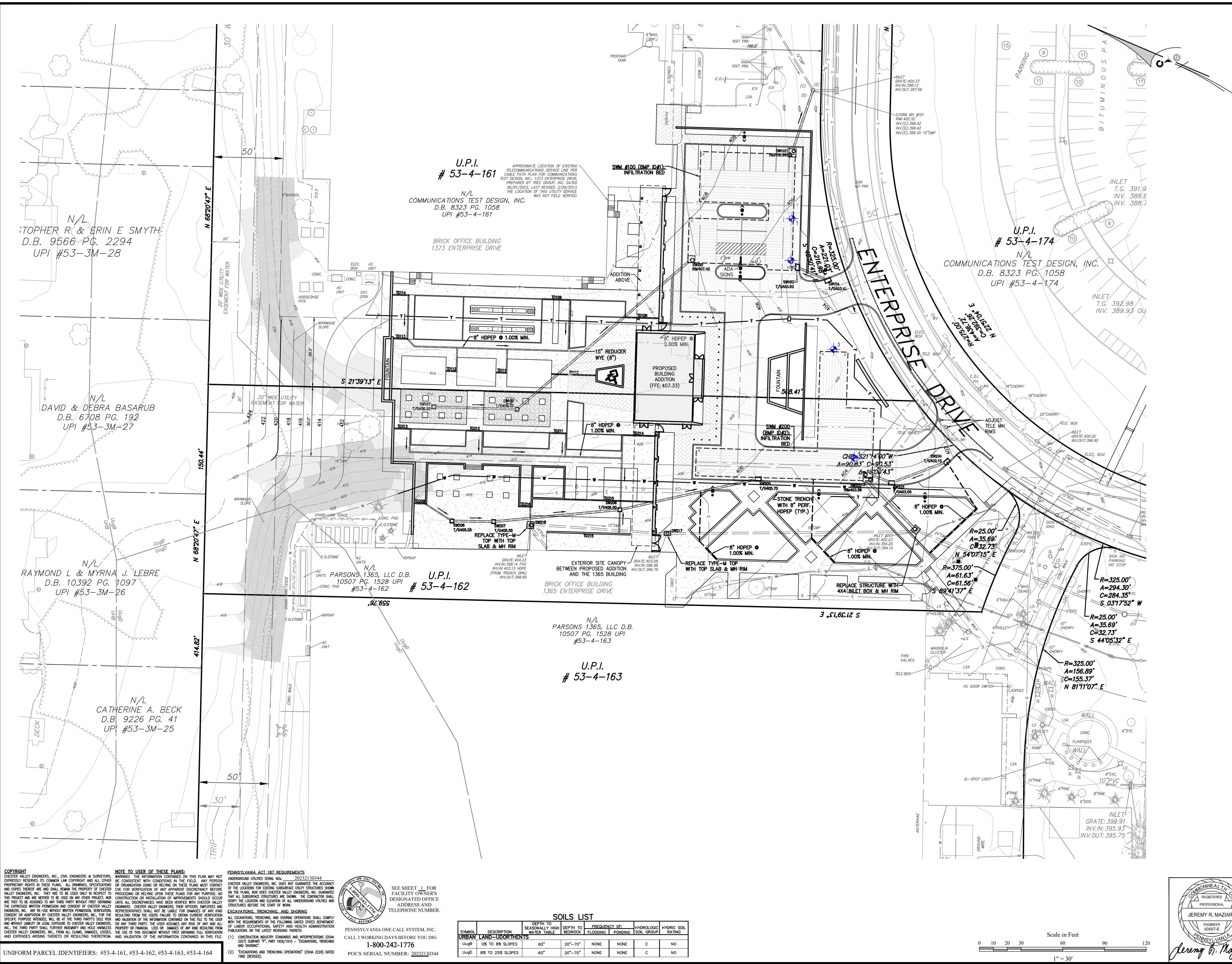
GRADING & UTILITY PLAN

NO.	DATE	REVISION

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FOR
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PROJECT NO. 22024
DATE: 4/29/2024
DRAWN BY: RRB
CHECKED BY: JRM
DRAWING: 7



UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

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SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO SEASONALLY HIGH WATER TABLE	DEPTH TO BEDROCK	FREQUENCY OF FLOODING	PONDING	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING
Usgd	OK TO 8% SLOPES	60"	20"-70"	NONE	NONE	C	NO
Usgd	8% TO 25% SLOPES	60"	20"-70"	NONE	NONE	C	NO

EXCAVATIONS AND TRENCHING OPERATIONS (89A 2226) DATED 1/85 (REVISED).

PARSONS 1365, LLC D.B. 10507 PG. 1528 UPI #53-4-162

PARSONS 1365, LLC D.B. 10507 PG. 1528 UPI #53-4-163

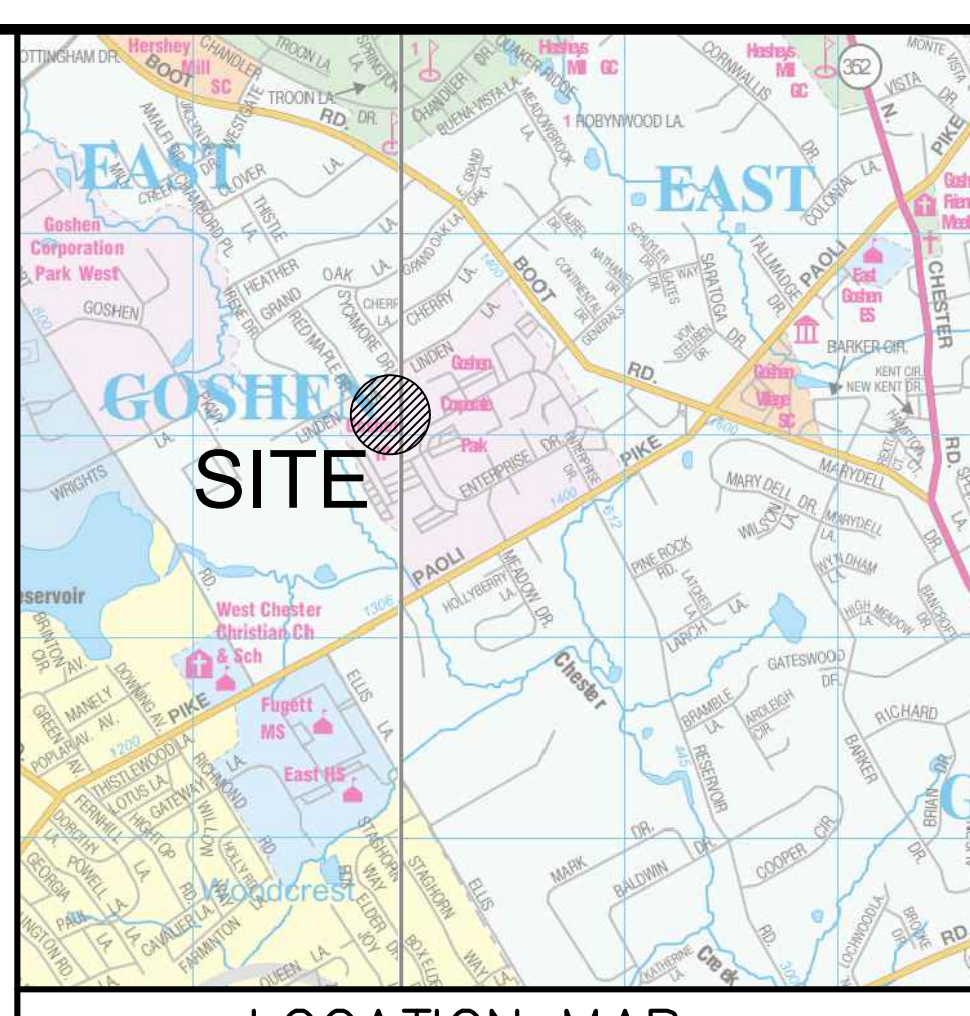
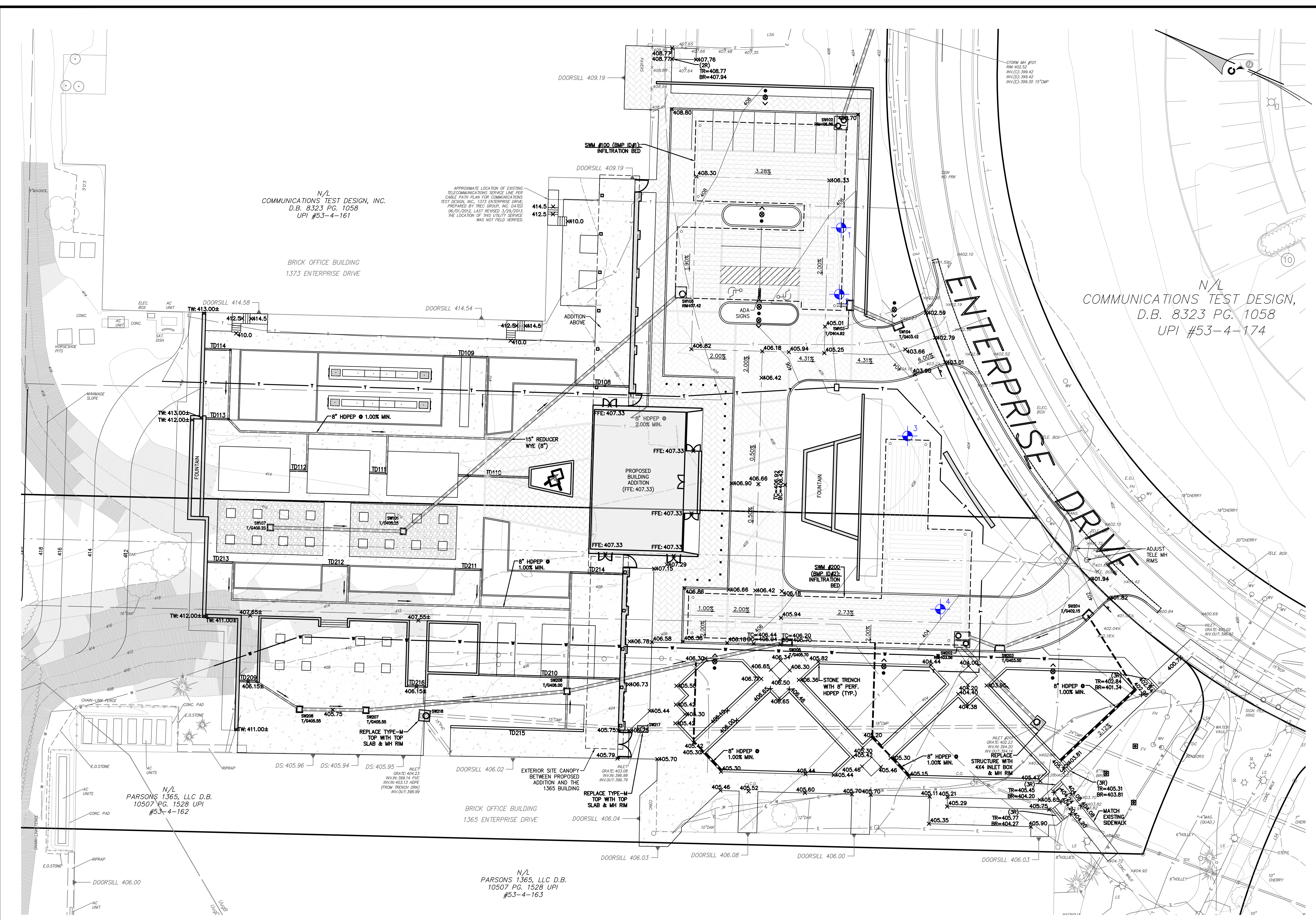
PARSONS 1365, LLC D.B. 10507 PG. 1528 UPI #53-4-164

DAVID & DEBRA BASARUB D.B. 6708 PG. 192 UPI #53-3M-27

RAYMOND L & MYRNA J. LEBRE D.B. 10392 PG. 1097 UPI #53-3M-26

CATHERINE A. BECK D.B. 9226 PG. 41 UPI #53-3M-25

TOPHER R & ERIN E SMYTH D.B. 9566 PG. 2294 UPI #53-3M-28



LOCATION MAP SCALE 1"=2000'

LEGEND

EXISTING FEATURES	
[Symbol]	EXISTING PROPERTY BOUNDARY
[Symbol]	EXISTING ADJOINING PROP. LINE
[Symbol]	EXISTING RIGHT-OF-WAY LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	EXISTING SETBACK BOUNDARY
[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING 1' CONTOURS
[Symbol]	EXISTING 5' CONTOURS
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	EXISTING SOIL TYPE
[Symbol]	EXISTING CURB
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING STORM INLET AND PIPE
[Symbol]	EXISTING MANHOLE AND PIPE
[Symbol]	EXISTING U/G FIRE LINE
[Symbol]	EXISTING U/G WATER LINE
[Symbol]	EXISTING U/G ELECTRIC LINE
[Symbol]	EXISTING U/G TELEPHONE LINE
[Symbol]	EXISTING U/G GAS LINE
[Symbol]	EXISTING OVERHEAD WIRES
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING CONIFEROUS TREE
[Symbol]	EXISTING DECIDUOUS TREE
[Symbol]	EXISTING TREE & SHRUB LINE
PROPOSED FEATURES	
[Symbol]	PROPOSED BUILDING
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[Symbol]	PROPOSED STORMWATER MANAGEMENT FACILITY
[Symbol]	PROPOSED STORM PIPE AND INLET
[Symbol]	PROPOSED STORM PIPE AND MANHOLE
[Symbol]	PROPOSED STORM PIPE AND CLEANOUT
[Symbol]	PROPOSED PIPE FLOW ARROW

NOTES:
 1. CONTRACTOR TO REFER TO LANDSCAPE ARCHITECT'S PLANS AND DETAILS FOR ALL PAVEMENT/PAVER/HARDSCAPE LIMITS, TYPES AND PATTERNS.

GRADING & UTILITY PLAN

NO.	DATE	REVISION

PRELIMINARY LAND DEVELOPMENT PLAN
 FOR
ONE CTDI PLACE
 EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC. 22024
 112 Moores Road, Suite 200, Malvern, PA 19355
 610-644-4623
 www.chestervalley.com

PROJECT NO. 22024
 DATE: 4/29/2024
 DRAWN BY: RRB
 CHECKED BY: JRM
 DRAWING: SHEET 8 OF 17

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SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO SEASONALLY HIGH WATER TABLE	DEPTH TO BEDROCK	FREQUENCY OF FLOODING	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING
Usgd	OK TO 8% SLOPES	60"	20"-70"	NONE	C	NO
Usgd	8% TO 25% SLOPES	60"	20"-70"	NONE	C	NO

UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

BRICK OFFICE BUILDING
 1373 ENTERPRISE DRIVE

BRICK OFFICE BUILDING
 1365 ENTERPRISE DRIVE

PARSONS 1365, LLC D.B.
 10507 PG. 1528 UPI
 #53-4-163

PARSONS 1365, LLC D.B.
 10507 PG. 1528 UPI
 #53-4-163

PARSONS 1365, LLC D.B.
 10507 PG. 1528 UPI
 #53-4-163

COMMUNICATIONS TEST DESIGN, D.B. 8323 PG. 1058
 UPI #53-4-174

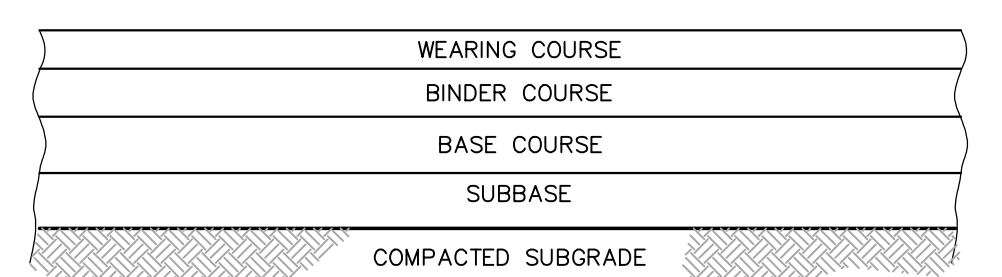
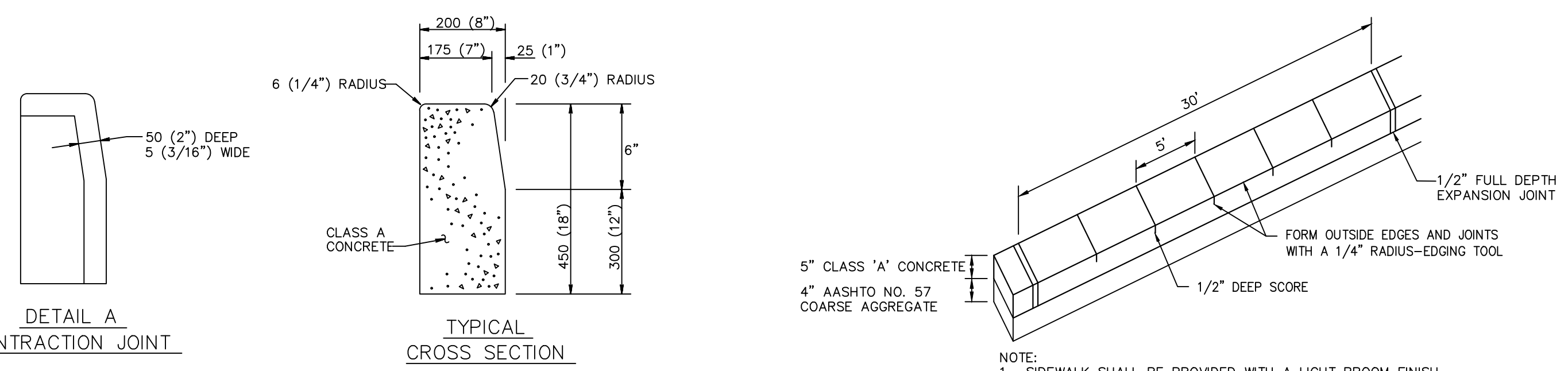
COMMUNICATIONS TEST DESIGN, D.B. 8323 PG. 1058
 UPI #53-4-174

ENTERPRISE DRIVE

ENTERPRISE DRIVE

ENTERPRISE DRIVE

ENTERPRISE DRIVE



DEPTH	LOCATION
WEARING:	1-1/2"
BINDER:	NONE
BASE (AS NOTED):	5" BCBC
SUBBASE: PA DOT 2A COARSE AGGREGATE	8"

NOTE:
 FOR PAVEMENT WHERE UNCURBED, EXTEND SUBBASE AND/OR BASE COURSE EIGHT INCHES BEYOND EACH REQUIRED EDGE OF THE BINDER AND SURFACE COURSES.

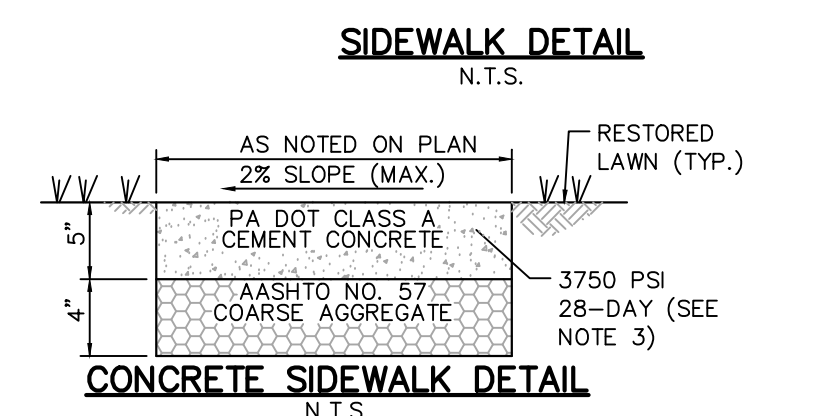
BITUMINOUS PAVEMENT SPECIFICATIONS, ALL SECTIONS, AS APPLICABLE

WEARING COURSE	SUPERPAVE ASPHALT MIXTURE DESIGN, HMA WEARING COURSE, PG 64-22, 10 TO <30 MILLION ESALS, 9.5 MM MIX, SLR-H
BINDER COURSE	SUPERPAVE ASPHALT MIXTURE DESIGN, HMA BINDER COURSE (LEVELING), PG 64-22, 10 TO <30 MILLION ESALS, 19.0 MM MIX
BITUMINOUS CONCRETE BASE COURSE:	SUPERPAVE ASPHALT MIXTURE DESIGN, HMA BASE COURSE, PG 64-22, 10 TO <30 MILLION ESALS, 25.0 MM MIX

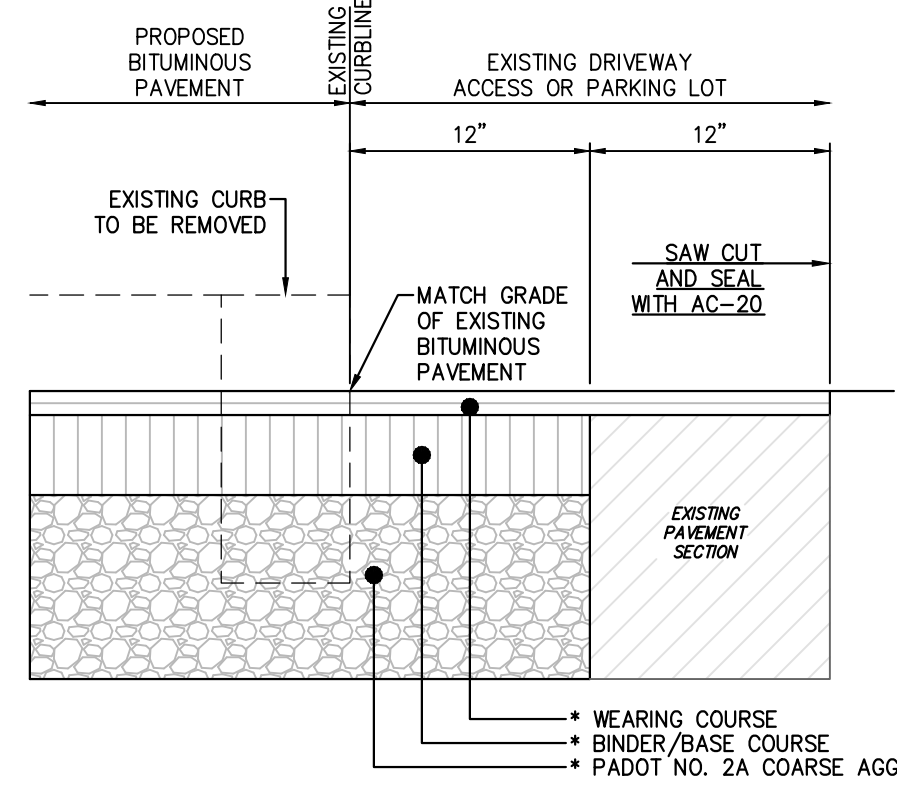
- NOTE:**
- PAVEMENT SHOULD BE INSTALLED LATE IN CONSTRUCTION WHEN MOST HEAVY CONSTRUCTION TRAFFIC WILL NO LONGER BE ON-SITE. PRIOR TO PAVING, THE SITE SHOULD BE PROOFROLLED AGAIN, NEW SOFT AREAS TREATED IN ACCORDANCE WITH SOIL REMEDIATION NOTES, THE BASE LEVELLED AND THICKENED AS REQUIRED, AND THE SITE PAVED AT THE END OF CONSTRUCTION.
 - FOR PAVEMENT WHERE UNCURBED, EXTEND SUBBASE AND/OR BASE COURSE EIGHT INCHES BEYOND EACH REQUIRED EDGE OF THE BINDER AND SURFACE COURSES.
 - FLEXIBLE (AGGREGATE) BASE SHOULD BE COMPACTED TO 100% OF THE MATERIAL'S MAXIMUM DRY DENSITY AS PER MODIFIED PROCTOR (ASTM D-1557).
 - PAVEMENT MUST BE PLACED OVER WELL PREPARED SUBGRADE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR (ASTM D-698) DENSITY IN THE UPPER 2' BELOW SUBGRADE AND TO AT LEAST 95% OF THE STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY ELSEWHERE.
 - SEALING MATERIAL FOR FILLING PAVEMENT JOINTS SHALL MEET THE REQUIREMENTS OF ASTM D3405 OR D1190. ALTERNATIVELY, LOW MODULUS MATERIALS SUCH AS SILICONE, HOT OR COLD-POURED RUBBERIZED ASPHALT OR NITRILE RUBBER MEETING THE MANUFACTURER'S SPECIFICATIONS MAY BE USED.
 - CAR TRAFFIC SHOULD NOT BE ALLOWED ON THE NEW PAVEMENT FOR AT LEAST 3-DAYS; SIMILARLY NO TRUCK TRAFFIC FOR 7-DAYS.

PAVEMENT MARKING NOTES:

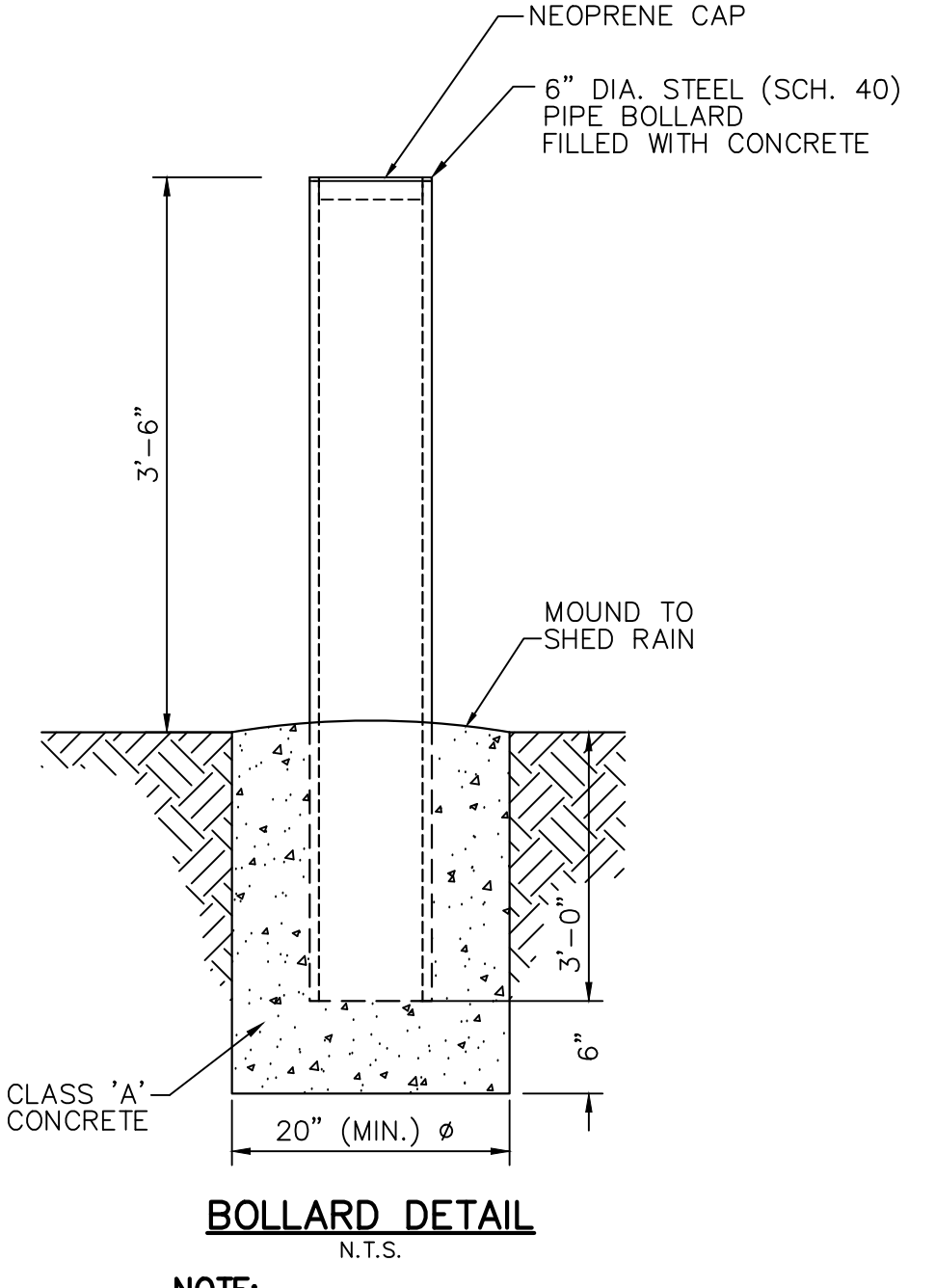
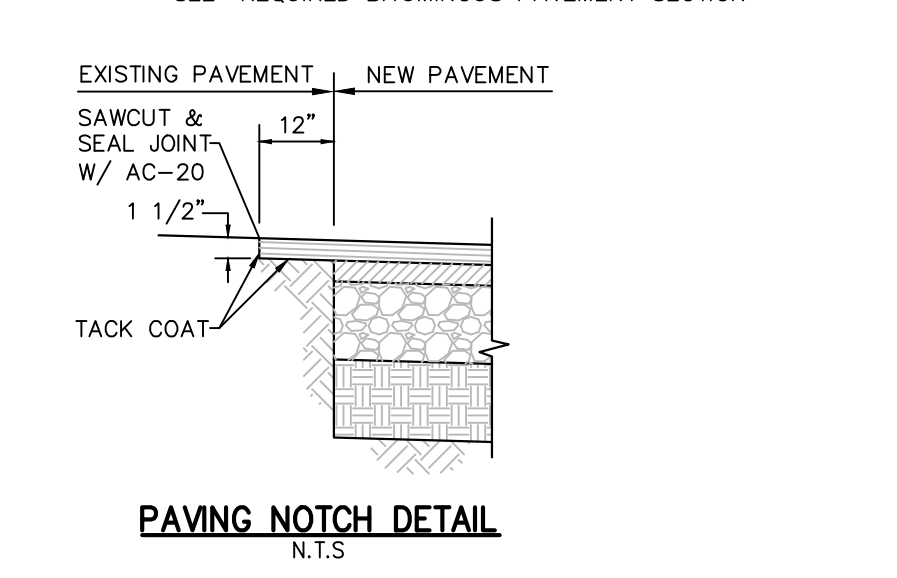
- MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DEPARTMENT'S SPECIFICATIONS, PUBLICATION 40B.
- THESE PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS GOVERNING THE DESIGN, LOCATION, AND OPERATION OF ALL OFFICIAL TRAFFIC SIGNS, SIGNALS, AND MARKINGS ON AND ALONG HIGHWAYS WITHIN THE COMMONWEALTH OF PENNSYLVANIA.
- ALL PAVEMENT MARKING SHALL BE REFLECTORIZED.
- THE CONTRACTOR SHALL PREPARE THE PAVEMENT SURFACE FOR THE PROPER ADHESION. ANY SWEEPING OR REMOVAL OF DEBRIS, GRAVEL, DIRT, OR OTHER FOREIGN MATERIALS SHALL BE CONSIDERED INCIDENTAL TO THE INSTALLATION OF THE NEW PAVEMENT MARKINGS, AND NO SEPARATE PAYMENT SHALL BE MADE THEREFOR.
- THE CONTRACTOR SHALL REMOVE ALL PREVIOUS PAVEMENT MARKINGS, WHICH IN THE OPINION OF THE ENGINEER CONFLICT WITH THE NEW PAVEMENT MARKINGS. UNLESS SPECIFICALLY STATED OTHERWISE THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE INSTALLATION OF THE NEW PAVEMENT MARKINGS, AND NO SEPARATE PAYMENT WILL BE MADE THEREFOR.
- PRIOR TO THE APPLICATION, THE CONTRACTOR SHALL FIELD CHECK AND LOCATE ALL PAVEMENT MARKINGS TO THE SATISFACTION OF THE INSPECTOR.
- ALL MARKING IMPROPERLY APPLIED OR LOCATED SHALL BE COMPLETELY REMOVED AND CORRECTLY RE-APPLIED AT THE SOLE EXPENSE OF THE CONTRACTOR.
- WHERE BITUMINOUS SEALANTS PREVENTS OR MAKES IMPRACTICAL THE EXTENDING OF LINES TO THE FACE OF CURB, THE CONTRACTOR SHALL EXTEND LINES TO EDGE OF SEALANT OR WITHIN ONE FOOT OF THE FACE OF CURB, WHICHEVER IS LESS.
- ALL PROPOSED PAVEMENT MARKINGS (ARROWS, STOP BARS, CROSSWALKS, ETC.) MUST BE HOT THERMOPLASTIC ON BITUMINOUS PAVEMENT, INCLUDING LONG AND SHORT LINES AND PAVEMENT MARKING LEGENDS. ALL PROPOSED PAVEMENT MARKINGS MUST BE EPOXY ON CONCRETE PAVEMENT, INCLUDING LONG AND SHORT LINES AND PAVEMENT MARKING LEGENDS.



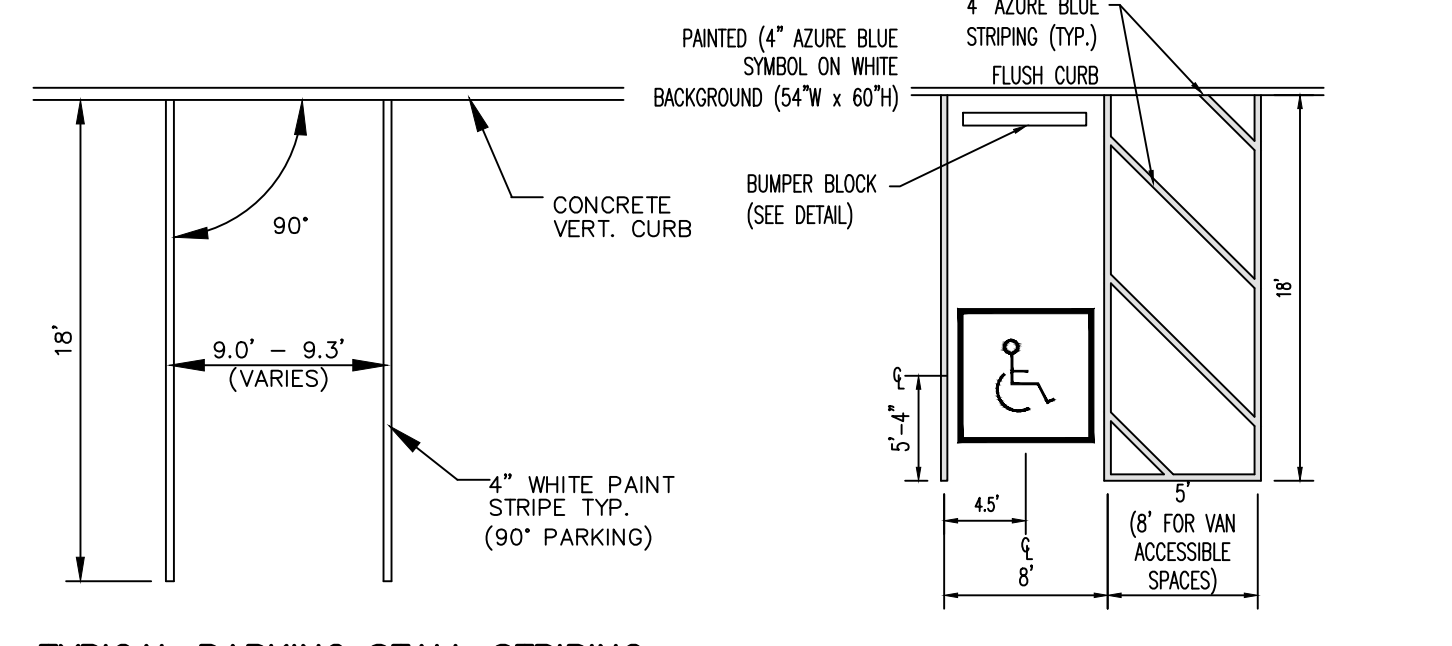
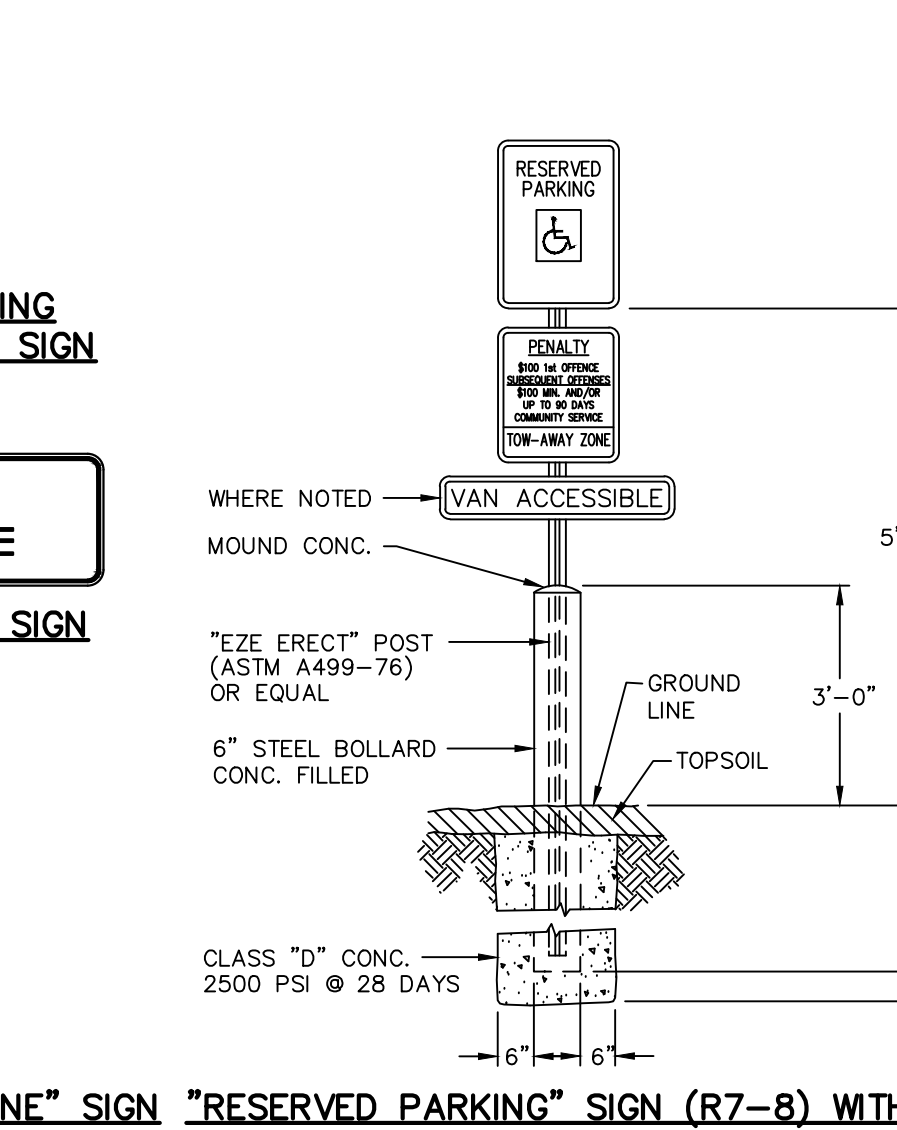
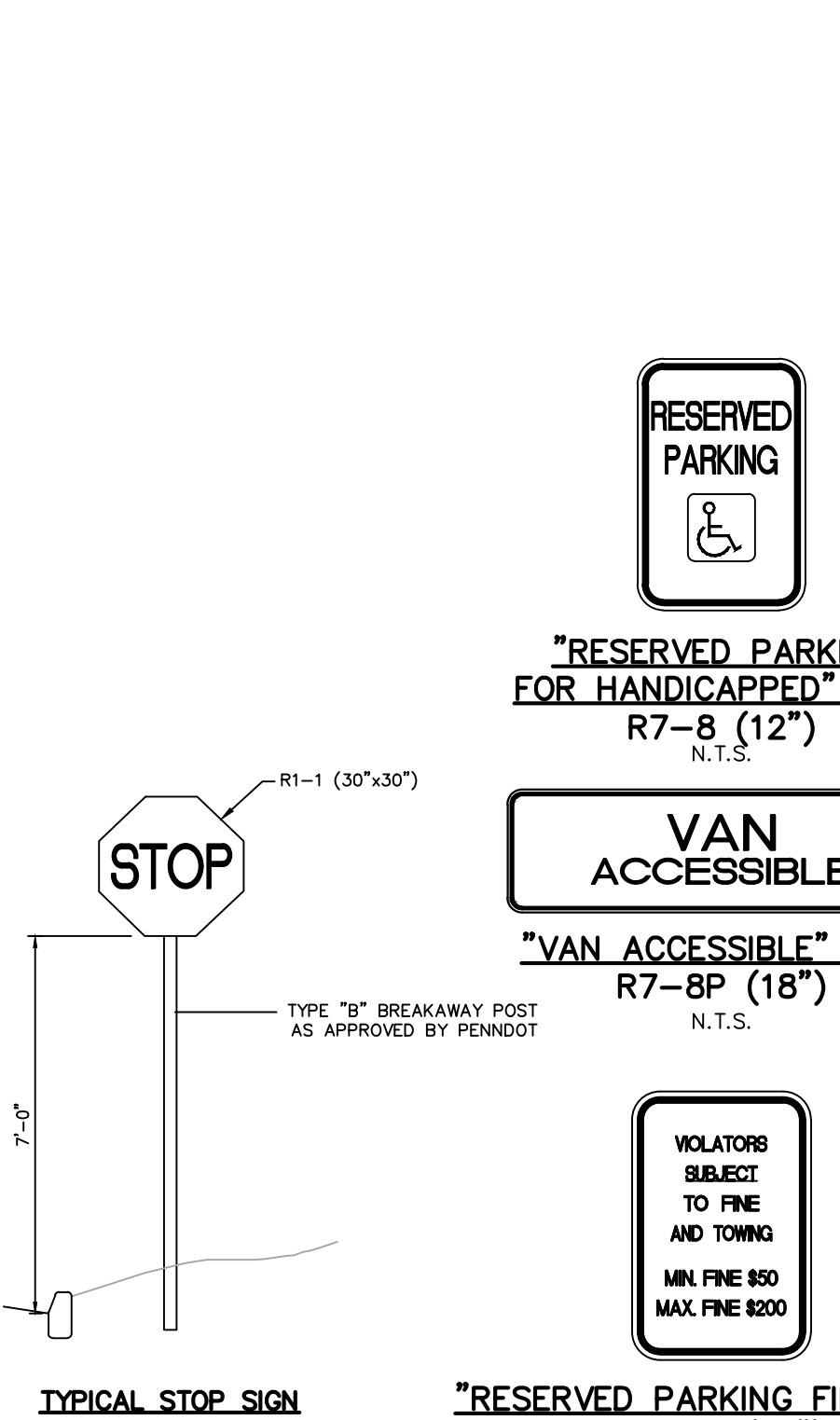
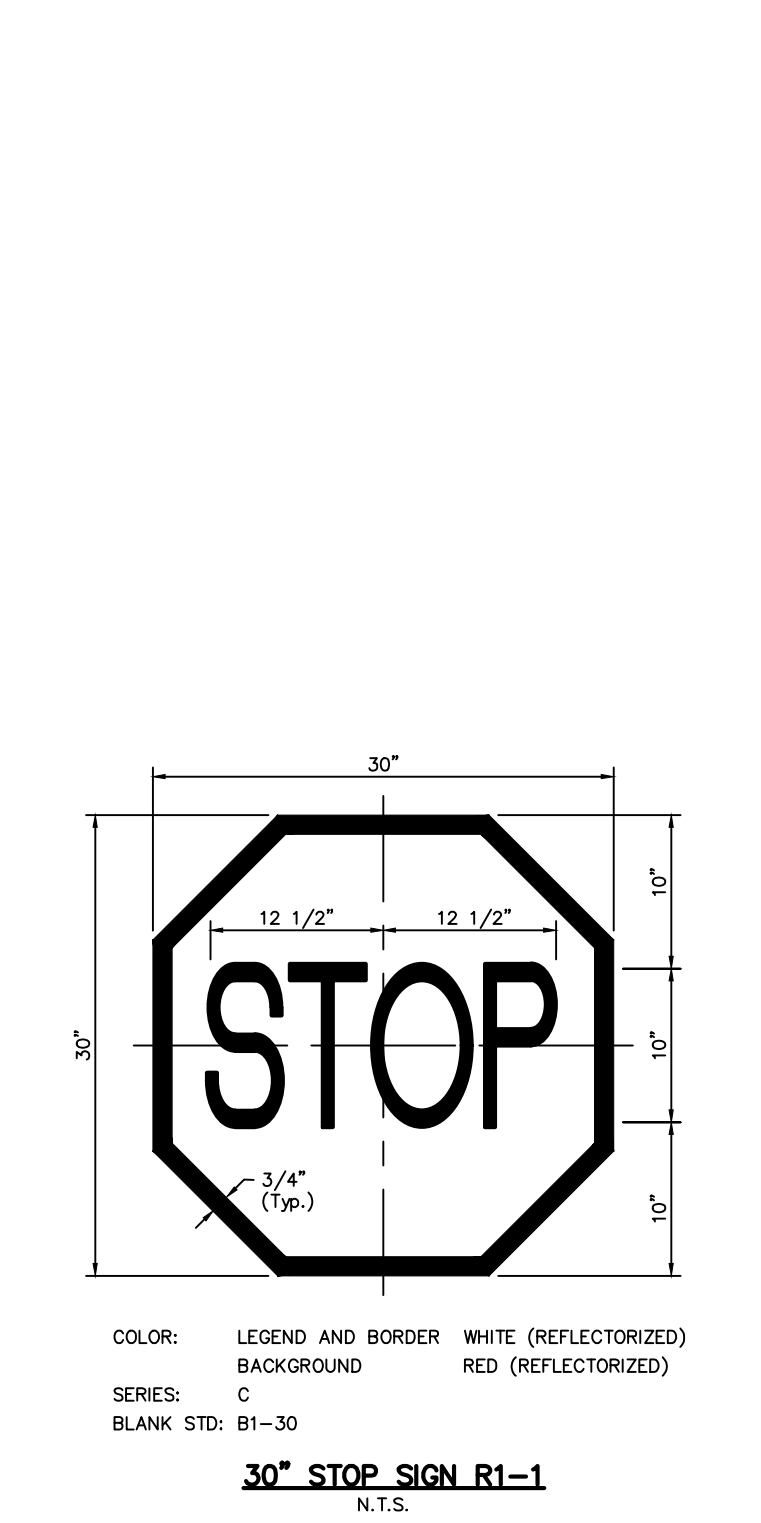
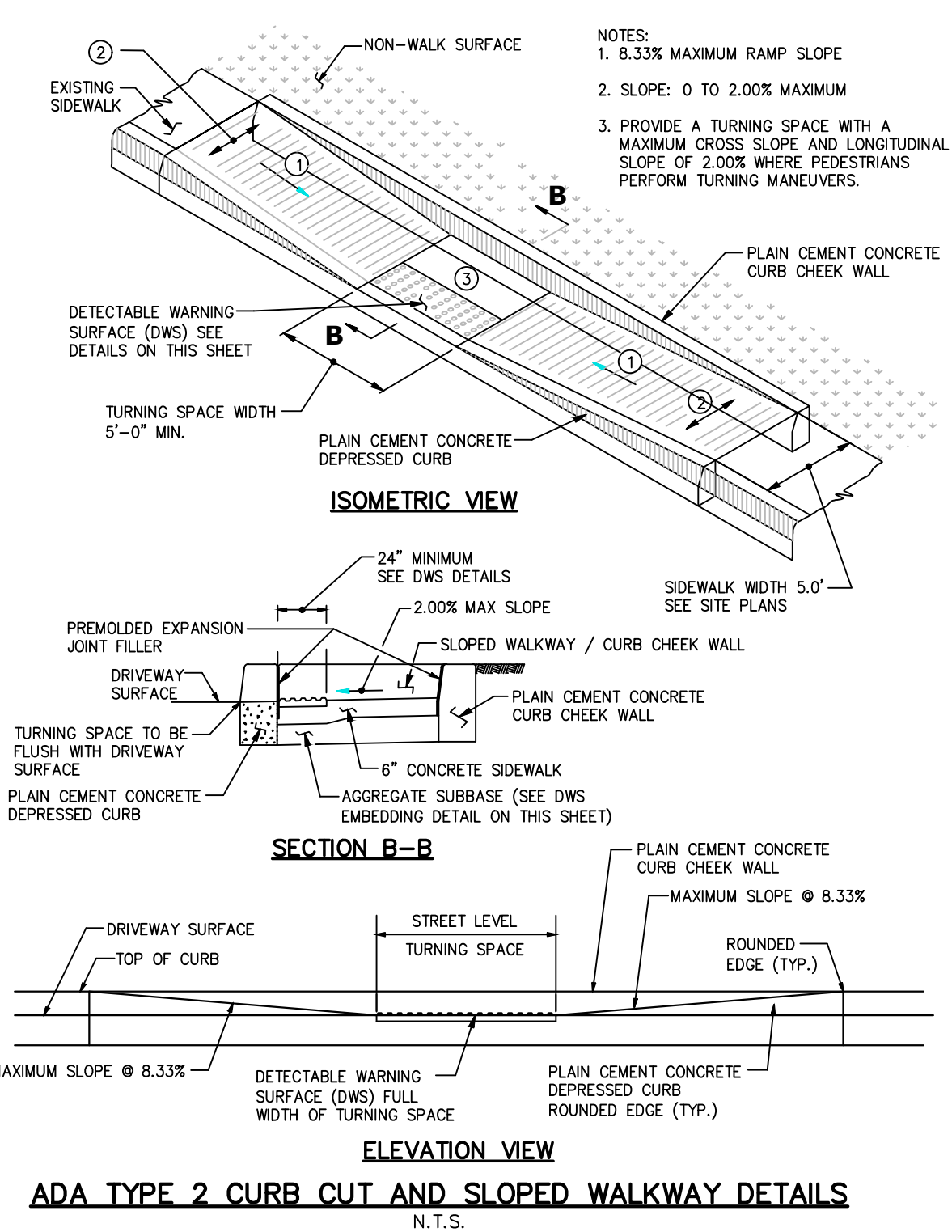
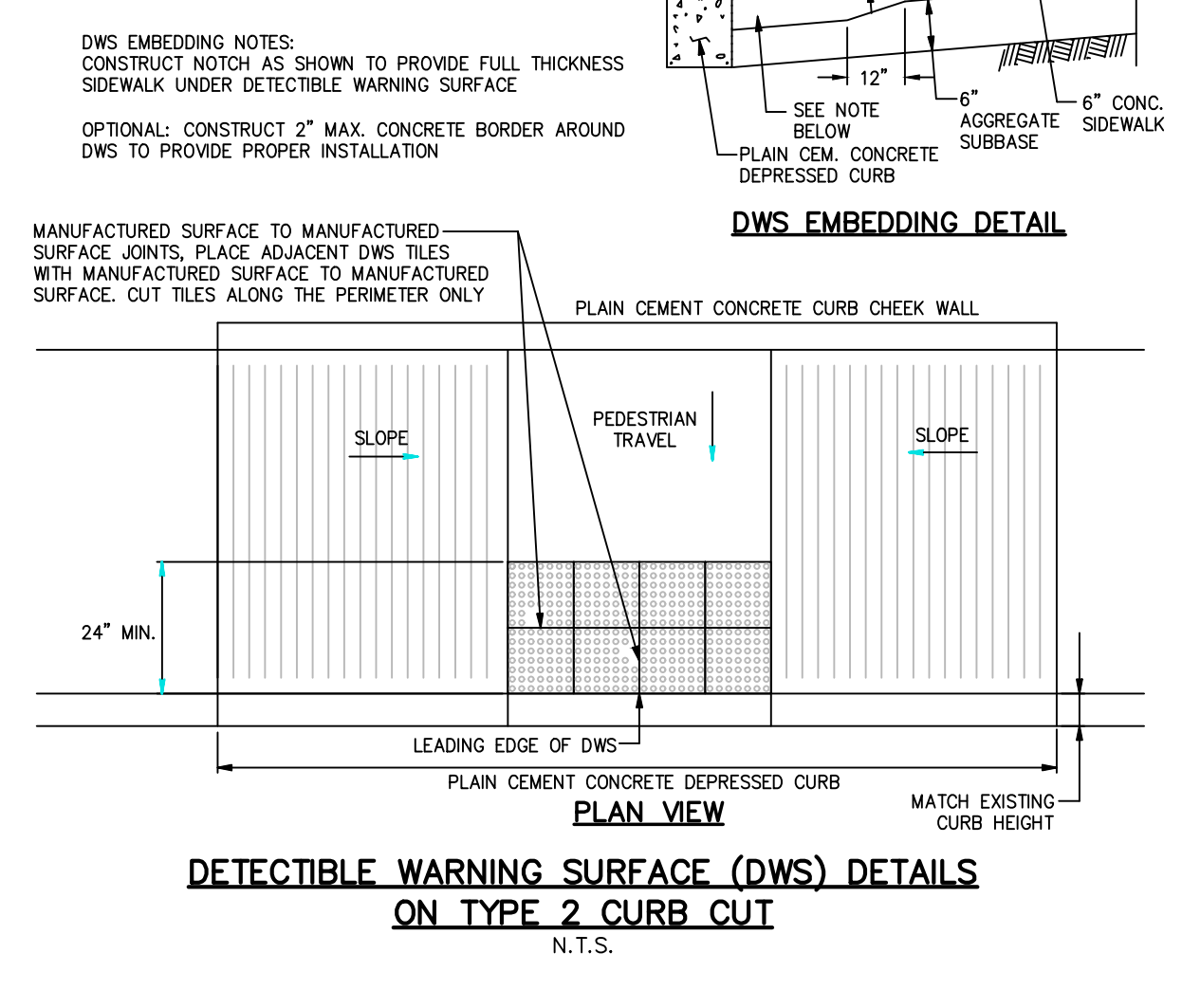
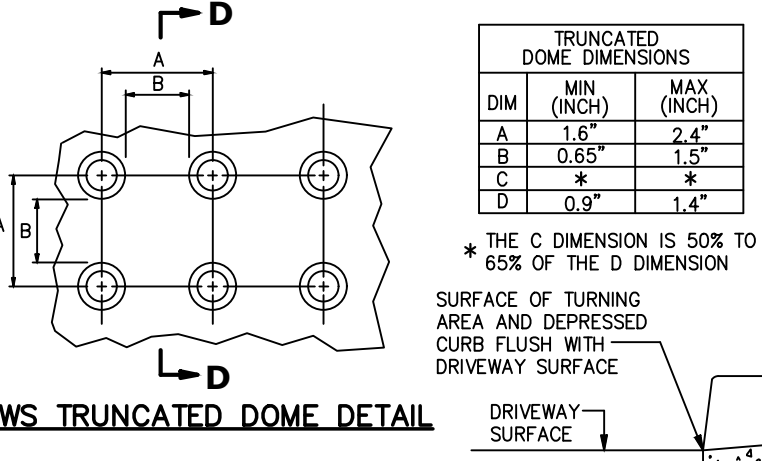
- NOTES:**
- PLACE 1/4" THICK PREMOLED EXPANSION JOINT FILLER WHERE SIDEWALK ABUTS CURBS.
 - CONSTRUCT SIDEWALK IN 30' LENGTHS, EXCEPT FOR CLOSURES. SEPARATE SLABS W/ A TRANSVERSE 1/4" THICK PREMOLED EXPANSION JOINT FILLER. DIVIDE SLABS BETWEEN EXPANSION JOINTS W/ TRANSVERSE SCORES AT 5' SPACING.
 - PADOT CLASS "AA" CEMENT CONCRETE (3750 PSI) SHALL BE USED FOR ALL SIDEWALKS CONSTRUCTED WITHIN THE RIGHT-OF-WAY OF TOWNSHIP STREETS.
 - LAWN RESTORATION TO CONSIST OF (4") (MIN.) TOPSOIL AND PERMANENT SEED MIXTURE AND MULCH.
 - CONCRETE CURING COMPOUND TO BE APPLIED IN ACCORDANCE WITH PENNDOT PUB. 40B, SECTION 711.



PROPOSED BITUMINOUS PAVEMENT ADJACENT TO EXISTING BITUMINOUS PAVEMENT



NOTE:
 BOLLARD TO BE PAINTED WITH EXTERIOR PAINT, COLOR PER OWNER.



A.D.A. ACCESSIBLE PARKING STRIPING
 N.T.S.

CONSTRUCTION DETAILS

DETAIL 1 WHITE STOP BARS

NO. DATE REVISION

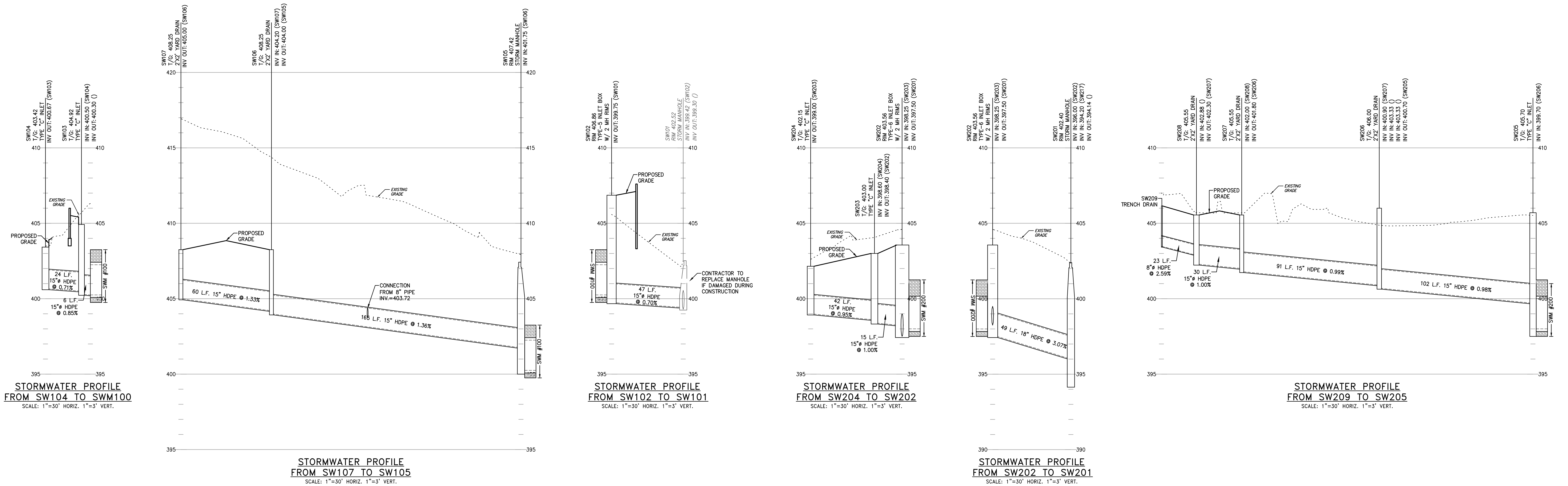
PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE
 EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

CVE ChesterValley ENGINEERS, INC.
 112 Moores Road, Suite 200, Malvern, PA 19355
 610-644-4623
 www.cve-engineers.com

JEREMY R. MAZIARZ
 REGISTERED PROFESSIONAL ENGINEER
 50507-E
 PENNSYLVANIA

PROJECT NO. **22024**
 F.B.
 SCALE AS NOTED DATE 4/29/2024 DRAWN BY RRB CHECKED BY JRM DRAWING

Jeremy R. Maziarz



ASTM D2321 SOIL CLASSIFICATIONS

Soil classifications are grouped by typical soil stiffness when compacted. Class I indicates a soil that generally provides the highest soil stiffness at any given percent compaction, and provides a given soil stiffness with the least compactive effort. Each higher-number soil class provides successively less soil stiffness at a given percent compaction and requires greater compactive effort to provide a given level of soil stiffness.

Thermoplastic pipe installations develop structural stability from the strength and relative stiffness of the embedment material. It is the resulting soil-pipe interaction system that defines the ability of a flexible pipe to withstand service loads. Using the stiffer pipe embedment materials is key to minimizing pipe deflection and the need for detailed installation inspection and compaction testing. For these reasons only soil classifications I and II are presented here.

Succeeding soil classifications (III through V) may be appropriate for use but will require a more thorough analysis to determine suitability and optimum water content for compaction. Although reasonable levels of pipe support are provided when properly placed and compacted, these materials may not be suitable under the deeper fills, shallower covers, and instances where water conditions in the trench may prevent proper placement and compaction. Since these materials may represent native soils that bring an economy to the installation, the user is advised to consult ASTM D2321 directly as a guide to their appropriate use.

Class I materials provide maximum stability and pipe support for a given percent compaction. With minimum effort, these materials can be installed at relatively high stiffnesses over a wide range of moisture contents. Suitable compaction is typically achieved with a dumped placement provided material is worked into the haunch zone. Vibration or impact compaction methods will ensure the highest levels of stiffness for the deeper fills.

The high permeability of Class I materials may aid in the control of water, and these materials are often desirable for embedment in rock cuts where water is frequently encountered. However, when groundwater flow is anticipated, consideration should be given to the potential for migration of fines from adjacent materials into the open-graded Class I materials.

CLASS I MATERIALS ADDENDUM

Densely-graded manufactured/processed aggregates were included as Class I materials in former editions of ASTM D2321 due to the high stiffnesses of these materials when compacted. The stone-sand mixtures of these materials are graded to minimize migration of adjacent soils and contain little or no fines. Since these materials do not flow as readily into the haunch region and require moderate compactive effort, these materials are now relegated to Class II. It should be noted that when properly placed and compacted, this material can provide an equivalent strength to Class I materials provided soil migration into adjacent soils is not a concern or has been addressed.

Class II materials provide a relatively high level of pipe support when moderately compacted with either vibration or impact compaction methods.

Class I materials have more stiffness than Class II materials, but data indicates that the stiffness of uncompacted Class I materials can be taken equivalent to Class II materials compacted to 95%, and the stiffness of compacted Class I materials can be taken equivalent to Class II materials compacted to 100%.

The open-graded groups within this classification may allow migration, and the particle size distributions should be reviewed for compatibility with adjacent material.

Uniform fine sands (SP) with more than 50% passing the #100 sieve behave like silts and are not considered Class II materials.

ASTM D2321 Soil Class I Manufactured Aggregates
Crushed rock with angular, fractured particle faces.
100% passing the 1 1/2" sieve
15% or less passing the #4 sieve
25% or less passing the #10 sieve
12% or less passing the #20 sieve
Open graded, high permeability
AASHTO No. 57 stone commonly used

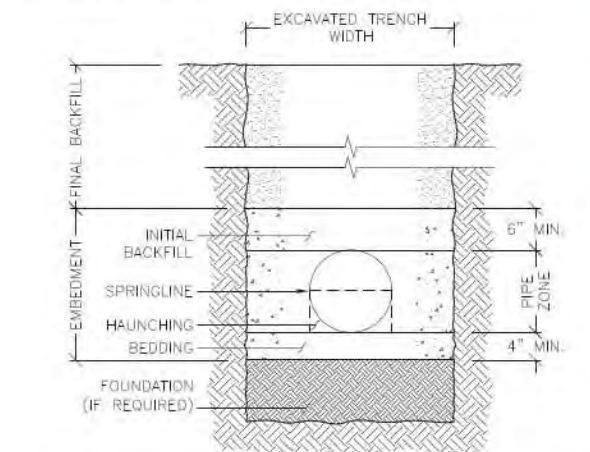
ASTM D2321 Soil Class II Clean, Coarse-Grained Soils
Sands and gravels with 12% or less fines.
ASTM D2487 Soil Group
GW Well-graded gravels and gravel-sand mixtures
GP Poorly-graded gravels and gravel-sand mixtures
SW Well-graded sands and gravelly sands
SP Poorly-graded sands and gravelly sands
AASHTO M145 Soil Groups A1 and A3

EXCAVATED TRENCH WIDTH

Trench width should be sufficient to allow proper placement and compaction of the backfill. Narrower trench widths normally provide better pipe support and it is generally recommended to maintain the minimum width unless more clearance is needed to accommodate compaction equipment in use on the project. If the native soils forming the trench wall are unstable but can sustain a vertical cut, the trench width should be increased to provide one-half diameter width of structural backfill on either side of the pipe; otherwise, a full diameter should be provided on either side of the pipe.

Minimum Trench Width (T _{min})					
ID (in)	OD (in)	T _{min} (in)	ID (in)	OD (in)	T _{min} (in)
6	7.05	24	24	28.00	47
8	9.40	26	30	34.50	56
10	12.00	28	36	41.00	64
12	14.50	31	42	47.50	72
15	17.50	34	48	54.50	81
18	21.50	39	60	66.85	96

Minimum trench width per ASTM D2321 for stable trench walls is taken as the greater of the OD plus 16 inches or 1.25 times the OD plus 12 inches.



Embankment installations are typically conducted in the same manner as trench installations except that the embankment is constructed to a height corresponding to one foot above the top of the pipe before the trench is cut. The trench width is then managed as if cut in unstable native soils.

TRENCH BOTTOM

The trench bottom should be firm and stable. Rock or unyielding material should be removed and replaced to provide at least a 6-inch cushion of bedding below the bottom of the pipe. An unstable foundation should be over-excavated and replaced with a suitable foundation or bedding material and compacted as necessary to ensure a firm and stable trench bottom.

BEDDING

Bedding under the pipe for the central one-third of the OD should be left uncompacted for a depth of 3 inches to cushion the pipe and mitigate the effects of poor haunching.

PIPE EMBEDMENT

Trenches must be free of water when placing and compacting backfill.

Use of trench boxes in the backfill zone at the side of the pipe should be avoided unless measures are taken to ensure the backfill is not disrupted or left with a void when the trench box is advanced.

Maximum stone size for embedment is generally limited to 1 1/2". Smaller maximum sizes may be required to enhance placement around small diameter pipe and to prevent damage to the pipe wall.

Haunch filling is carried out on both sides simultaneously to avoid rolling the pipe, and controlling the compaction force will prevent the pipe from lifting off grade. Filling adjacent sidefill zones will provide lateral support for the haunch material during the process.

Material cannot be properly worked into the haunch zone and compacted if the pipe is backfilled to the springline on the first lift. Smaller lift thicknesses may therefore be necessary initially depending on the diameter of the pipe.

Lift thickness and compaction must be done evenly on each side of the pipe. The maximum difference in the sidefill surface elevations at any given time is generally limited to one lift thickness.

While 6-inch lifts are commonly specified, 12-inch lifts can produce good results with coarse-grained backfills provided placement and compaction practices are appropriate.

It may be beneficial to require a minimum number of compaction passes and to specify a minimum density. If the specified density is 95% of maximum standard Proctor density, then good pipe performance will result even if the compaction is slightly less than specified. An additional 6 inches of structural backfill over the top of the pipe provides a complete envelope that better locks underlying material together and protects the pipe from any damaging impacts from the final backfill.

FINAL BACKFILL

Final backfill does not directly support the pipe and is more appropriately dealt with in connection with the intended use at the surface. Selection, placement and compaction of final backfill is therefore directed by the design engineer. However, when final backfill contains large fragments or cobbles, the initial backfill cover levels may need to be increased accordingly to protect the pipe from any potential impact or point loading.

MAXIMUM COVER HEIGHTS

Maximum burial depths corresponding to the soil classification system of ASTM D2321 are shown in the table below, with the best results obtained using manufactured or processed aggregates (i.e. crushed rock).

Diameter (in)	Lane HD100/HD100EC Pipe - Allowable Burial Depths (ft)					
	Class I		Class II		Class III	
	Compacted	Dumped	95%	90%	95%	90%
12	38	20	26	18	19	11
15	45	22	30	21	21	12
18	30	17	20	14	14	9
24	28	17	19	13	14	9
30	27	17	19	13	13	9
36	38	19	25	17	17	10
42	37	19	24	16	17	10
48	30	17	20	13	14	9
60	28	16	19	12	13	8

- Installation in accordance with ASTM D2321.
- Class I indicates a soil that generally provides the highest soil stiffness at any given percent compaction, and provides a given soil stiffness with the least compactive effort. Each higher-number soil class provides successively less soil stiffness at a given compaction and requires greater compactive effort to provide a given level of soil stiffness.
- All acceptable backfill materials are not presented here. See ASTM D2321 for a complete listing of classifications.
- Results based on the AASHTO LRFD design method using zero hydrostatic pressure and a soil density of 120 pcf. Greater cover heights are attainable with appropriate modifications to the design method - Contact Lane for further details.
- Dumped Class I material is estimated at 90% maximum standard Proctor density.

MINIMUM COVER HEIGHTS FOR LIVE LOADS	
Truck Loadings (H20, H25 or HL93), 6 thru 48 inch dia., 12 inches	24 inches
Truck Loadings (H20, H25 or HL93), 60 inch dia., 24 inches	24 inches
Minimum Cover for E-80 (Ball Road) Loads, 24 inches	24 inches
Temporary Cover for Construction Loads, 2 to 4 feet	2 to 4 feet

MINIMUM COVER FOR CONSTRUCTION LOADS (ft)			
Nominal Pipe Diameter (in)	Adequate Loads (Pipe)		
	18-50	50-75	75-110
24	30.0	36.0	36.0
36	36.0	42.0	42.0

NOTE: Information contained herein is meant as a discretionary guide and is not intended to supersede any governing specifications or requirements of record.

About Lane

As a full-line manufacturer of metal and plastic drainage products, Lane Enterprises, Inc., operates multiple plants in the Mid-Atlantic and Northeastern regions of the United States, producing corrugated metal and plastic drainage pipe for the construction industry.

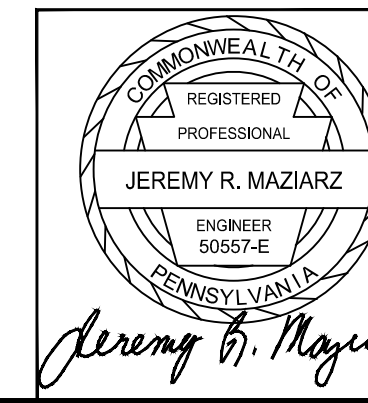
For more than 75 years, Lane has partnered with contractors, engineers and municipalities to supply reliable products that provide the highest service life, strength, versatility and economy. Our focus on quality products, responsive customer service and technical expertise has established a long, proven history of successful partnerships within the industries we serve.



Lane Enterprises, Inc.
Corporate Headquarters
3905 Harzdale Drive, Suite 514 • Camp Hill, PA 17011
P: 717-761-8175 • F: 717-761-5055
lane-enterprises.com



NOTE:
PIPE INSTALLATION AND TRENCH BACKFILL PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.



PROFILES

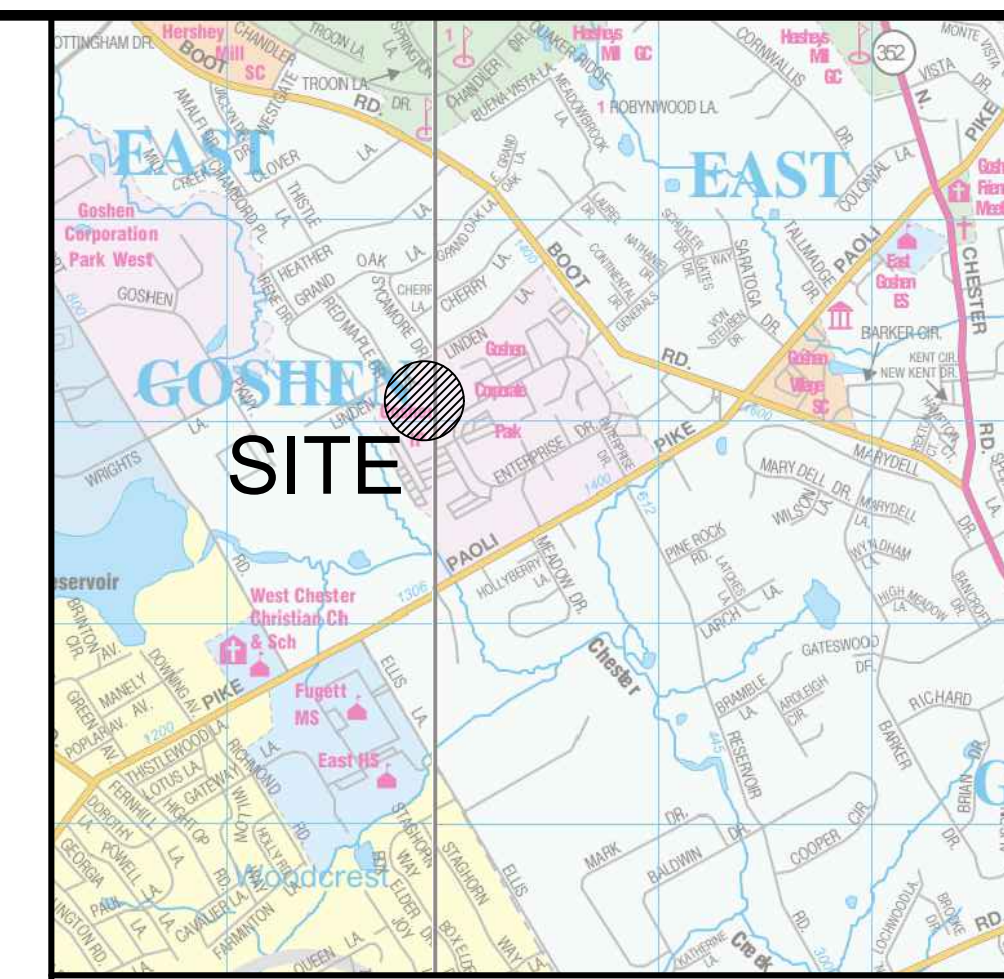
PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

PROJECT NO. 22024

ChesterValley ENGINEERS, INC.

112 Moores Road, Suite 200, Malvern, PA 19355
610-644-4623
www.chester-valley.com

SCALE: AS NOTED DATE: 4/29/2024 DRAWN BY: RRB CHECKED BY: JRM DRAWING:



LOCATION MAP SCALE 1"=2000'

LEGEND

- EXISTING FEATURES**
- EXISTING PROPERTY BOUNDARY
 - EXISTING ADJOINING PROP. LINE
 - EXISTING RIGHT-OF-WAY LINE
 - EXISTING EASEMENT
 - EXISTING SETBACK BOUNDARY
 - EXISTING BUILDING
 - EXISTING 1' CONTOURS
 - EXISTING 5' CONTOURS
 - EXISTING SPOT ELEVATION
 - EXISTING SOIL TYPE
 - EXISTING CURB
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE
 - EXISTING STORM INLET AND PIPE
 - EXISTING MANHOLE AND PIPE
 - EXISTING U/G FIRE LINE
 - EXISTING U/G WATER LINE
 - EXISTING U/G ELECTRIC LINE
 - EXISTING U/G TELEPHONE LINE
 - EXISTING U/G GAS LINE
 - EXISTING OVERHEAD WIRES
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING UTILITY POLE
 - EXISTING CONIFEROUS TREE
 - EXISTING DECIDUOUS TREE
 - EXISTING TREE & SHRUB LINE
- PROPOSED FEATURES**
- PROPOSED BUILDING
 - PROPOSED HEAVY DUTY PAVEMENT
 - PROPOSED CONCRETE PAD/SIDEWALK
 - PROPOSED PAVERS
 - PROPOSED RETAINING WALL
 - PROPOSED CONCRETE CURB
 - NUMBER OF PROPOSED PARKING SPACES
 - PROPOSED SIGN
 - PROPOSED 1' CONTOURS
 - PROPOSED 5' CONTOURS
 - PROPOSED SPOT ELEVATION
 - PROPOSED STORMWATER MANAGEMENT FACILITY
 - PROPOSED STORM PIPE AND INLET
 - PROPOSED STORM PIPE AND MANHOLE
 - PROPOSED STORM PIPE AND CLEANOUT
 - PROPOSED PIPE FLOW ARROW
- EROSION CONTROL FEATURES**
- PROJECT (NPDES) SITE BOUNDARY
 - LIMIT OF DISTURBANCE (2.81 ACRES)
 - ROCK CONSTRUCTION ENTRANCE WITH WASH RACK
 - EROSION CONTROL BLANKET
 - COMPOST FILTER SOCK
 - TREE PROTECTION FENCE
 - TEMPORARY INLET PROTECTION
 - TEMPORARY INLET/PIPE BLOCK
 - DISCHARGE POINT

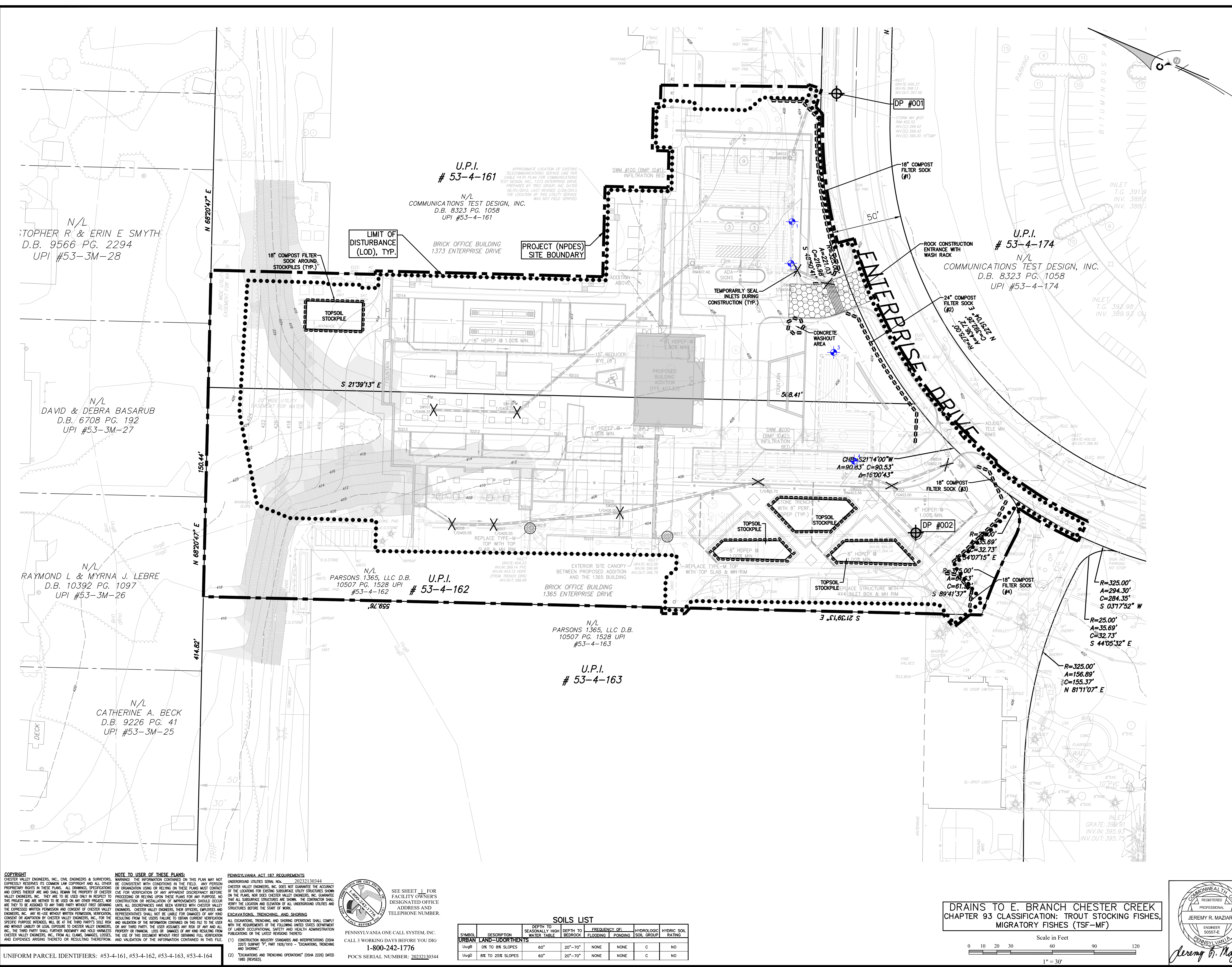
EROSION & SEDIMENTATION CONTROL PLAN

NO.	DATE	REVISION

PRELIMINARY LAND DEVELOPMENT PLAN
FOR
ONE CTDI PLACE
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC. 22024
112 Moores Road, Suite 200, Malvern, PA 19355
610-644-4623
www.chestervalley.com

SCALE: 1" = 30'
DATE: 4/29/2024
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(2) "EXCAVATIONS AND TRENCHING OPERATIONS" (OSHA 2226) DATED 1985 (REVISED).

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PENNSYLVANIA ACT 187 REQUIREMENTS
UNDERGROUND UTILITIES SERIAL NO. 20232130344
CHESTER VALLEY ENGINEERS, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATION FOR EXISTING SURFACE UTILITY STRUCTURES SHOWN ON THE PLANS, NOR DOES CHESTER VALLEY ENGINEERS, INC. GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.

EXCAVATIONS, TRENCHING, AND SHORING
ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION PUBLICATIONS OF THE LATEST REVISIONS THEREOF:
(1) CONSTRUCTION INDUSTRY ENGINEERS AND INSPECTORS (OSHA 2001) SUBPART "F", PART 1926/1910 - "EXCAVATIONS, TRENCHING AND SHORING"
(2) "EXCAVATIONS AND TRENCHING OPERATIONS" (OSHA 2226) DATED 1985 (REVISED).

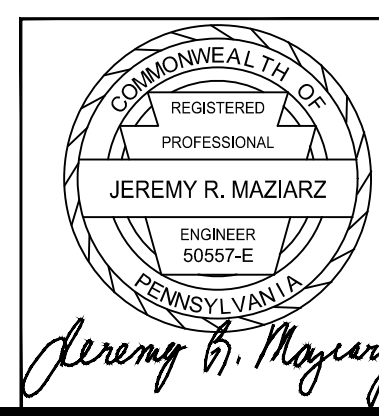
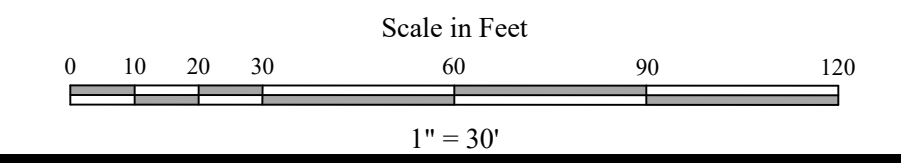
SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

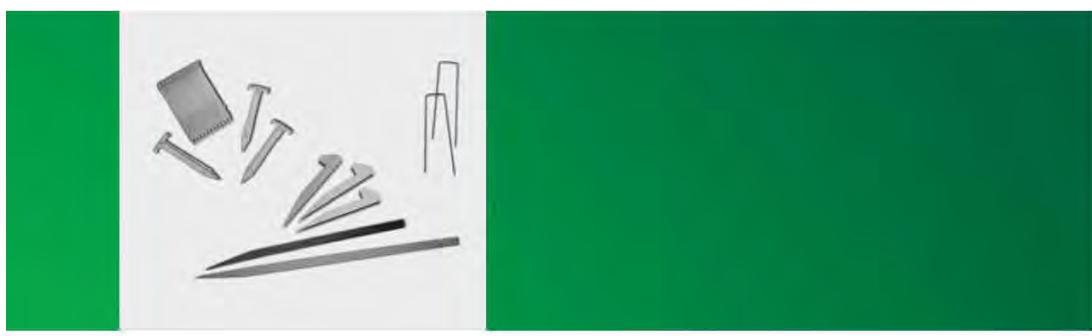
PENNSYLVANIA ONE CALL SYSTEM, INC.
CALL 3 WORKING DAYS BEFORE YOU DIG
1-800-242-1776
POCS SERIAL NUMBER: 20232130344

SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO SEASONALLY HIGH WATER TABLE	DEPTH TO BEDROCK	FREQUENCY OF FLOODING	PONDING	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING
UspH	0% TO 8% SLOPES	60"	20"-70"	NONE	NONE	C	NO
UspD	8% TO 25% SLOPES	60"	20"-70"	NONE	NONE	C	NO

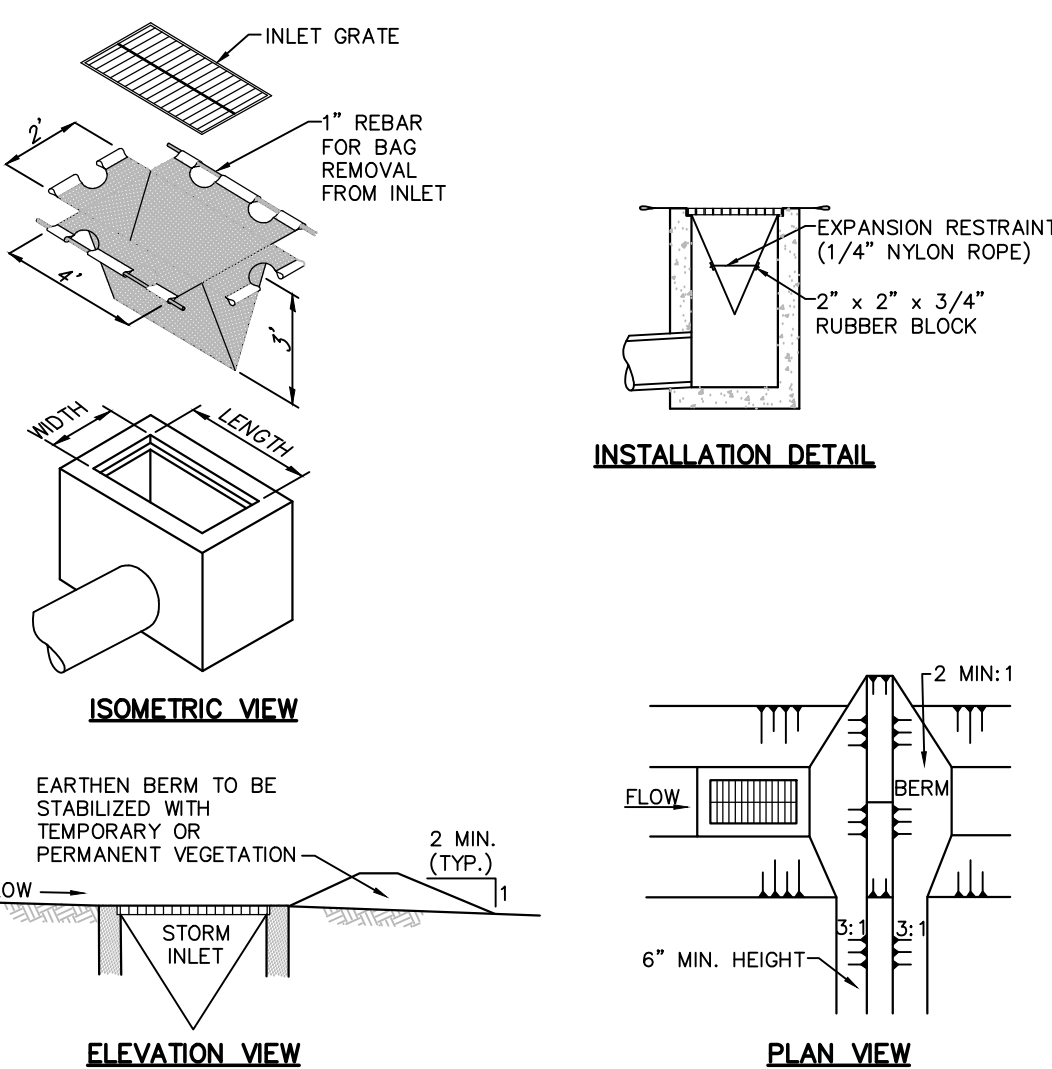
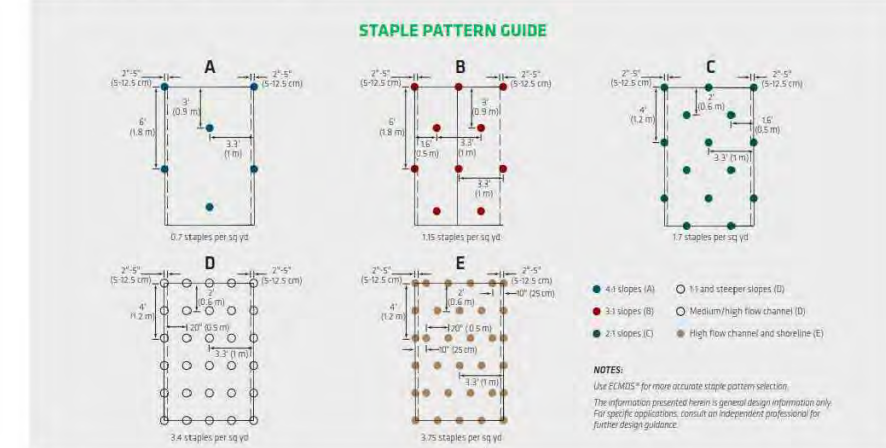
DRAINS TO E. BRANCH CHESTER CREEK
CHAPTER 93 CLASSIFICATION: TROUT STOCKING FISHES,
MIGRATORY FISHES (TSF-MF)





Installation Made Easy

When under the pressure of severe conditions, even the best erosion control products can't function to their full potential without proper installation and anchoring. North American Green supplies a wide variety of fastener options for nearly every application and soil type.

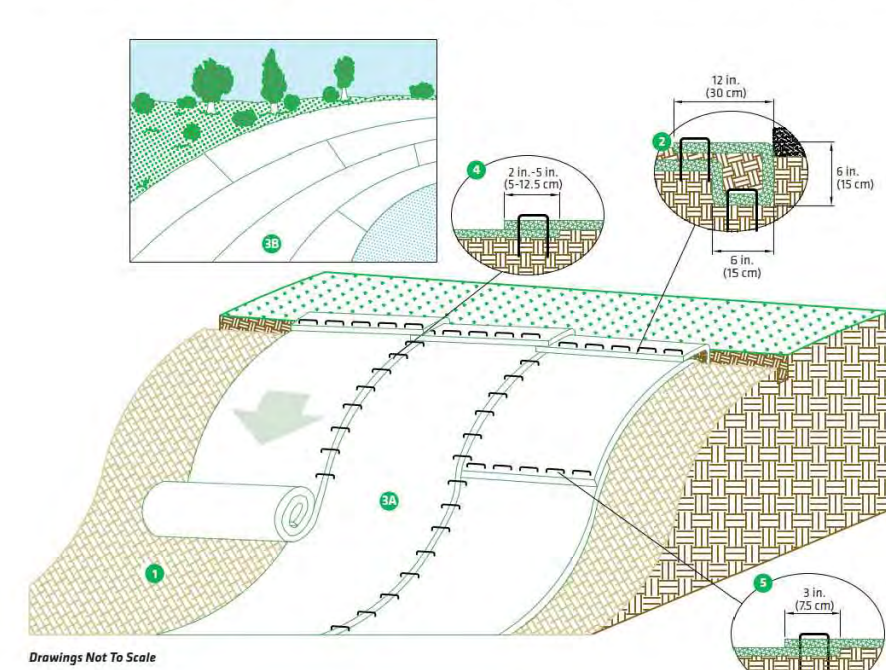


FILTER BAG INLET PROTECTION - TYPE M INLET DETAIL

NOTES:
1. MAXIMUM DRAINAGE AREA = 1/4 ACRE.
2. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

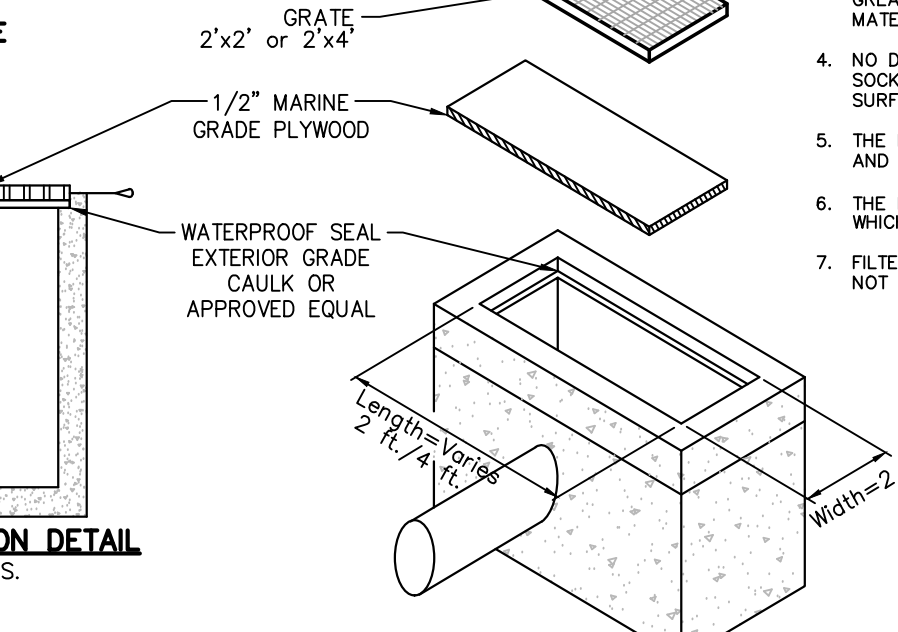
Slope Installation

The following slope guide outlines general recommendations for installing ReoMax™ System temporary and/or permanent RECPs on sloping applications. Consult the slope pattern guide (Figure 1) for fastener spacing recommendations based on the slope severity.

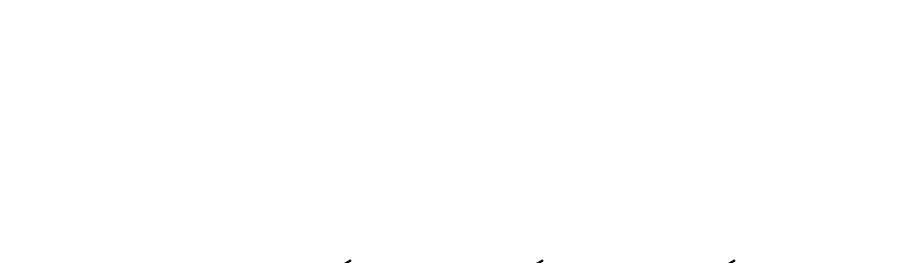


SLOPE INSTALLATION STEPS
1. Prepare soil before installing RECPs, including any necessary application of lime, fertilizer and seed.
2. Begin at the top of the slope by anchoring the RECPs in a 6 in. (15 cm) deep 6 in. (15 cm) wide trench with approx. 100 lb. (45 kg) of RECPs extended beyond the upslope portion of the trench.

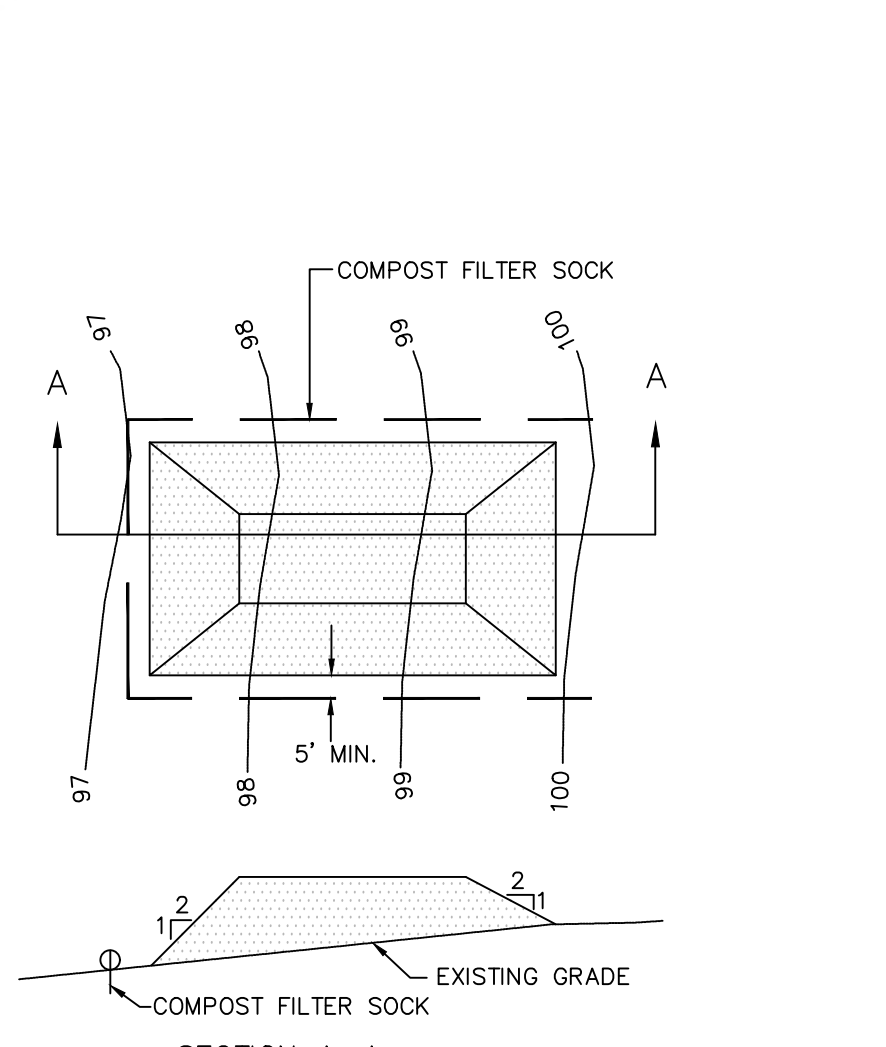
DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.



INLET TEMPORARY SEAL DETAIL



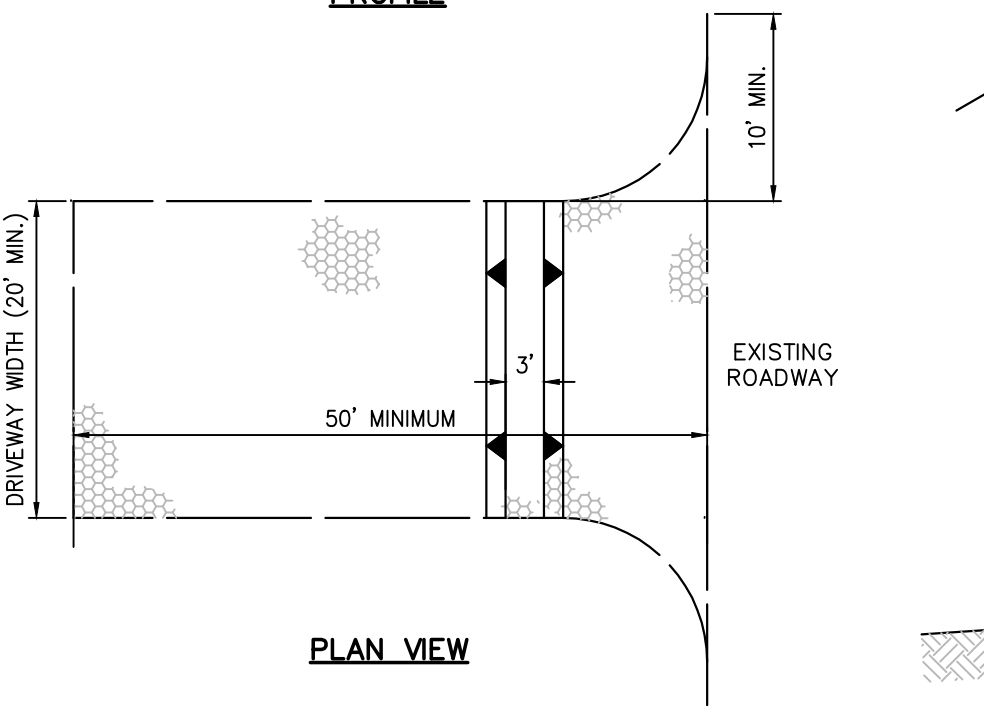
IF SLOPES EXCEED 4:1, USE NAG S75 WITH STAPLE PATTERN "C"



NOTES:
1. PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN.
2. ALL SIDE SLOPES SHALL BE 2 TO 1 OR FLATTER.

STOCKPILE DETAIL

PROFILE

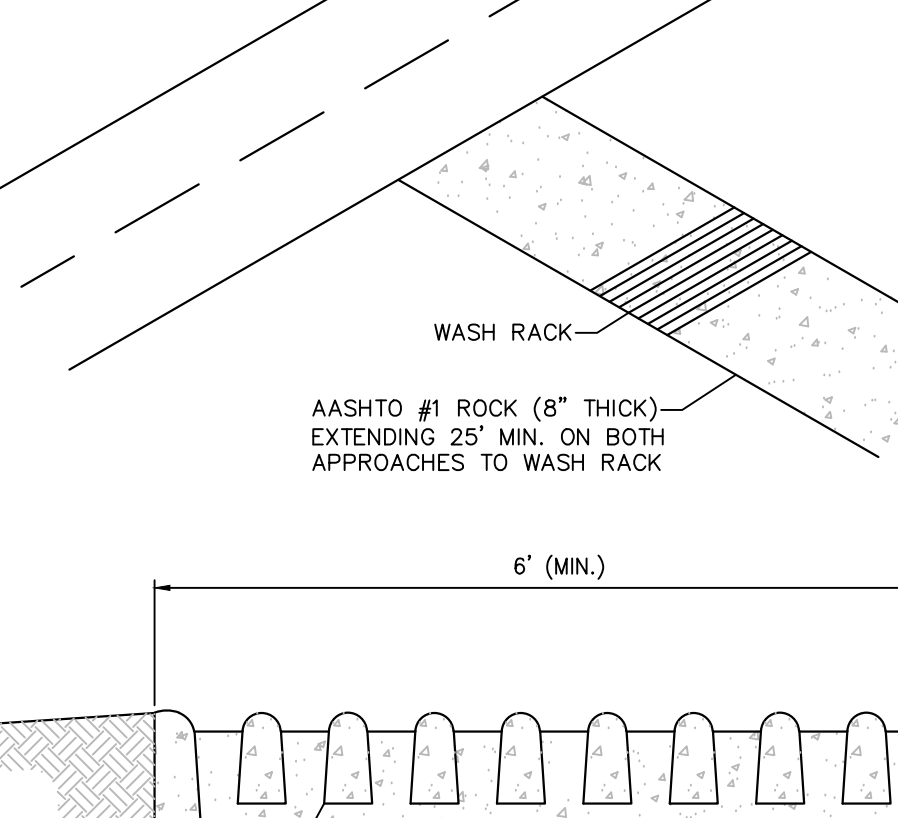


ROCK CONSTRUCTION ENTRANCE WITH WASH RACK DETAIL

NOTES:
1. WASH RACK SHALL BE 20 FEET (MIN.) WIDE OR TOTAL WIDTH OF ACCESS.
2. WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTICIPATED CONSTRUCTION VEHICULAR TRAFFIC.

MAINTENANCE:
ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE.

ROCK CONSTRUCTION ENTRANCE DETAIL

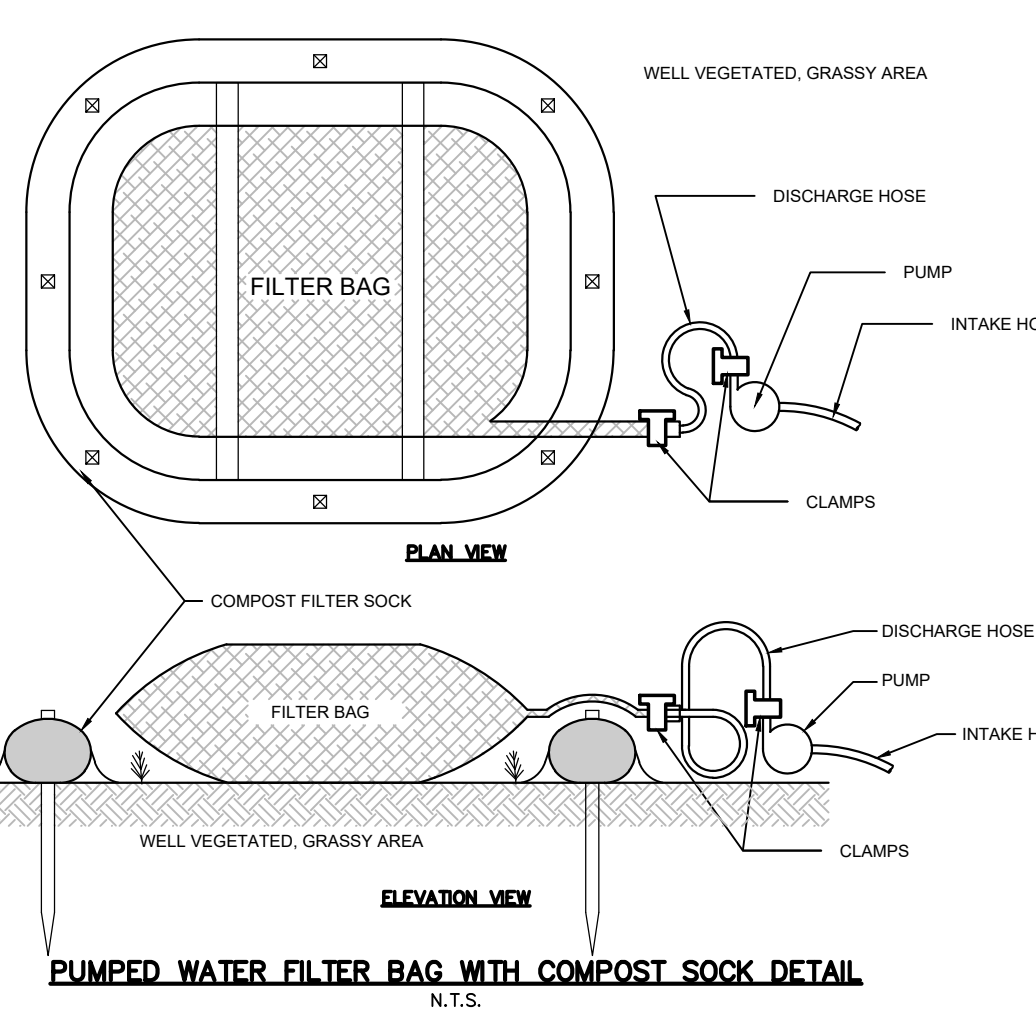


TREE PROTECTION FENCE DETAIL

ROCK CONSTRUCTION ENTRANCE WITH WASH RACK DETAIL

NOTES:
1. WASH RACK SHALL BE 20 FEET (MIN.) WIDE OR TOTAL WIDTH OF ACCESS.
2. WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTICIPATED CONSTRUCTION VEHICULAR TRAFFIC.

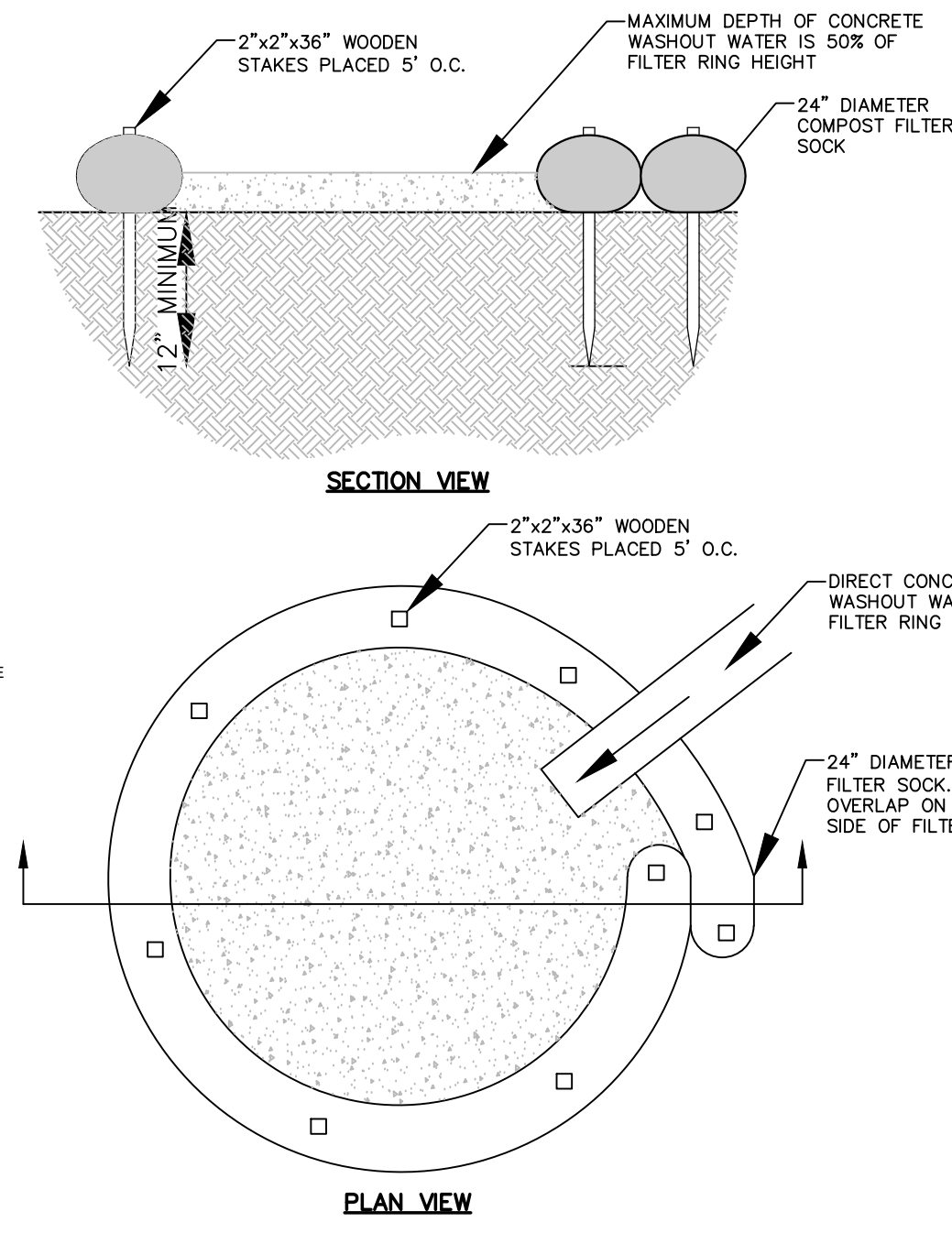
MAINTENANCE:
ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE.



PUMPED WATER FILTER BAG WITH COMPOST SOCK DETAIL

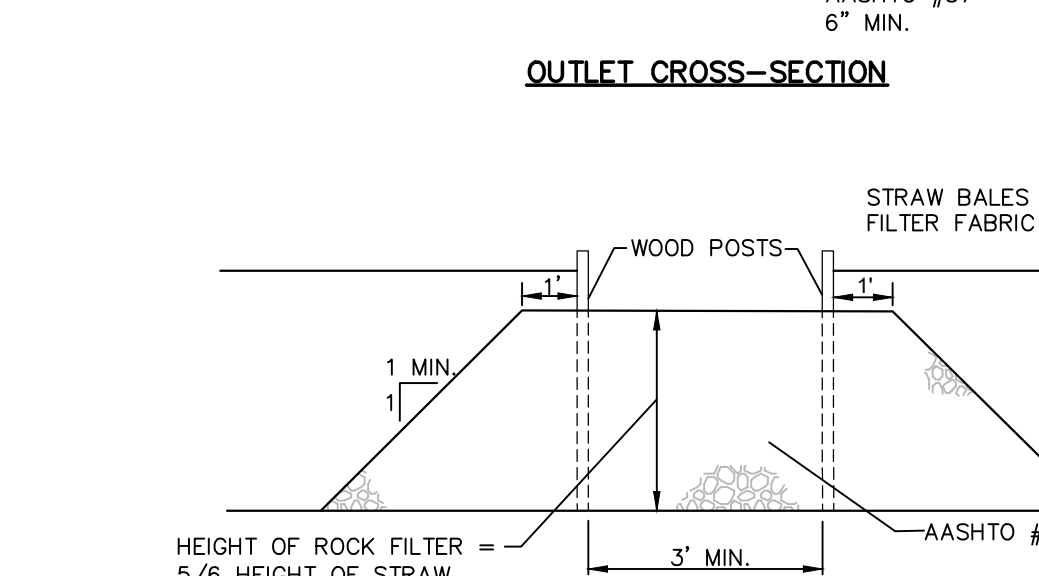
Table with 3 columns: PROPERTY, TEST METHOD, MINIMUM STANDARD. Rows include Avg. Wide Width Strength, Grab Tensile, Puncture, Mullen Burst, UV Resistance, and AOS % Retained.

NOTES:
1. LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED 1/2" TYPE SEAMS.



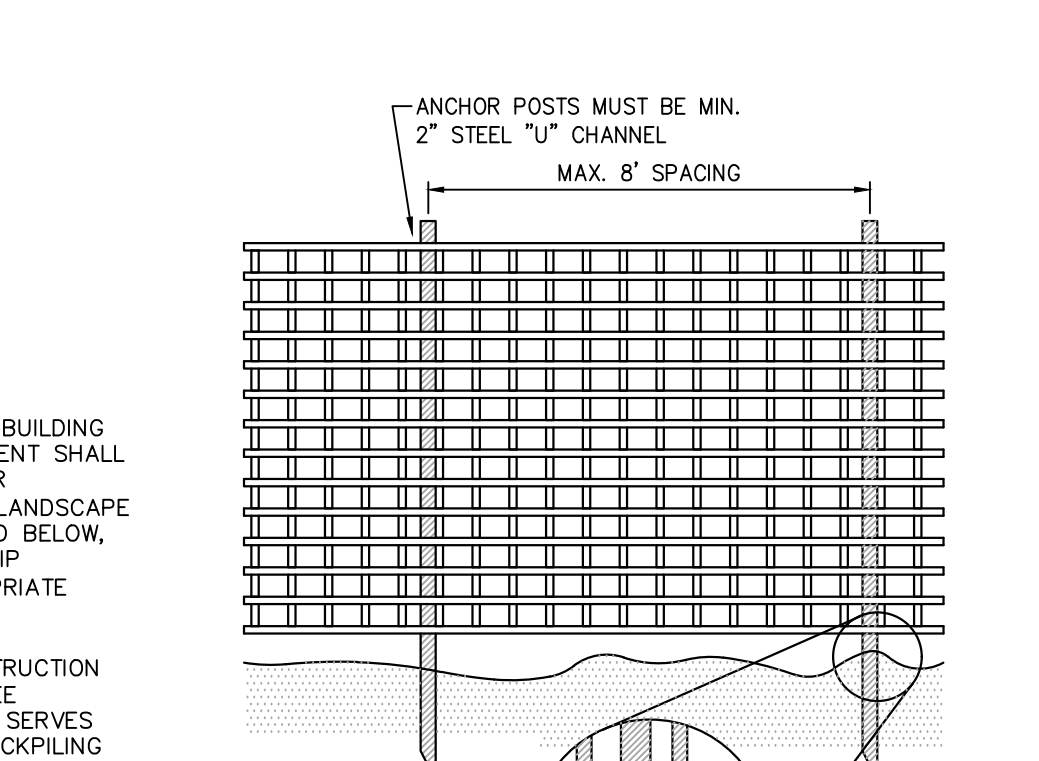
COMPOST FILTER SOCK CONCRETE WASHOUT DETAIL

NOTES:
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. 18" DIAMETER SILT SOCK MAY BE STACKED ON DOUBLE 24" DIAMETER SILT SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.



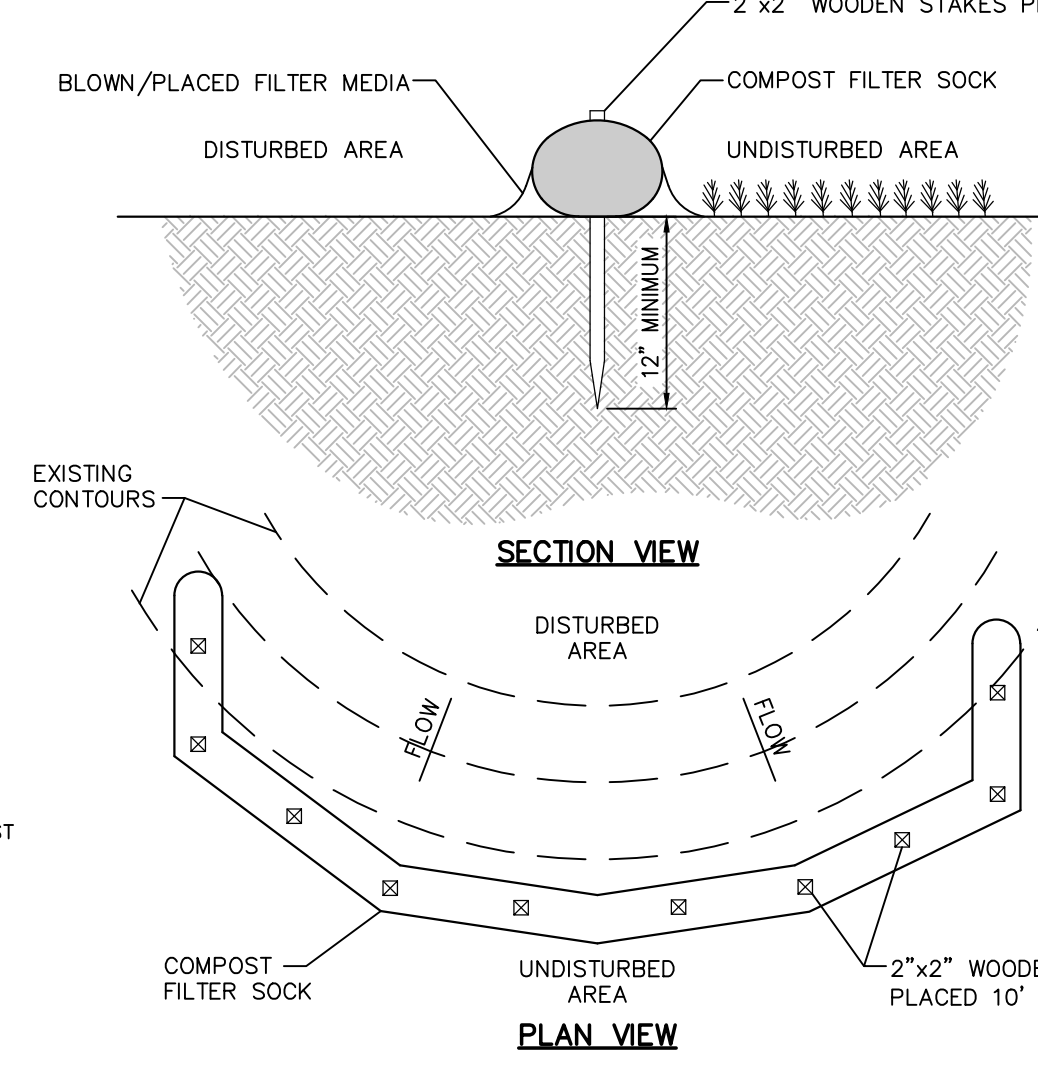
ROCK FILTER OUTLET DETAIL

NOTES:
1. A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW.



TREE PROTECTION BARRIER FENCE DETAIL

NOTES:
1. PROTECTION BARRIER SHALL BE 4 FEET HIGH, CONSTRUCTED OF DURABLE AND HIGHLY VISIBLE MATERIAL (PLASTIC ORANGE CONSTRUCTION FENCE AND/OR SNOW-FENCE MAY BE USED).



COMPOST FILTER SOCK DETAIL

NOTES:
1. SOCK FABRIC SHALL MEET THE STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.

TABLE 4.1 - COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

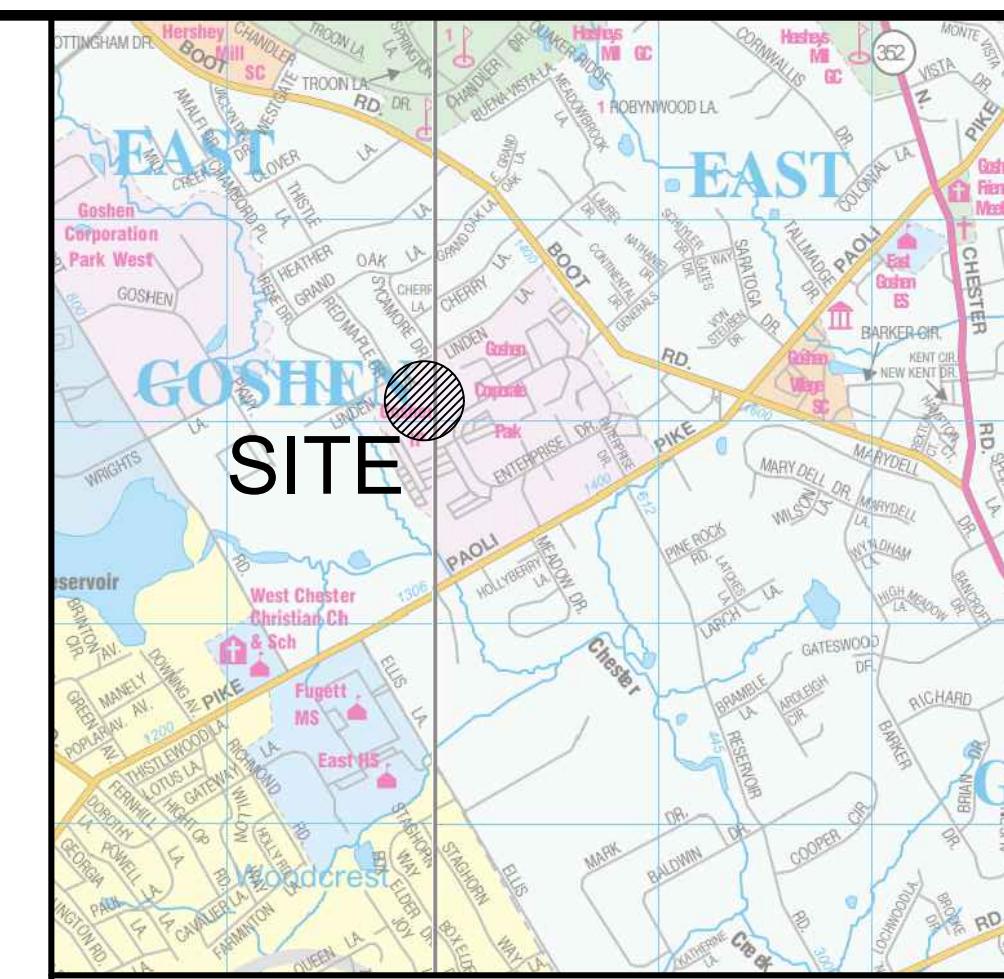
Table with 5 columns: MATERIAL TYPE, 3 MIL HDPE, 5 MIL HDPE, 5 MIL HDPE, MULTI-FILAMENT POLYPROPYLENE (MPP), HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMPFP). Rows include characteristics, soc diameters, mesh opening, tensile strength, ultraviolet stability, and minimum functional longevity.

TABLE 4.2 - COMPOST STANDARDS

Table with 2 columns: ORGANIC MATTER CONTENT, ORGANIC PORTION, pH, MOISTURE CONTENT, PARTICLE SIZE, SOLUBLE SALT CONCENTRATION. Rows include values for organic matter, pH, moisture, particle size, and soluble salt concentration.

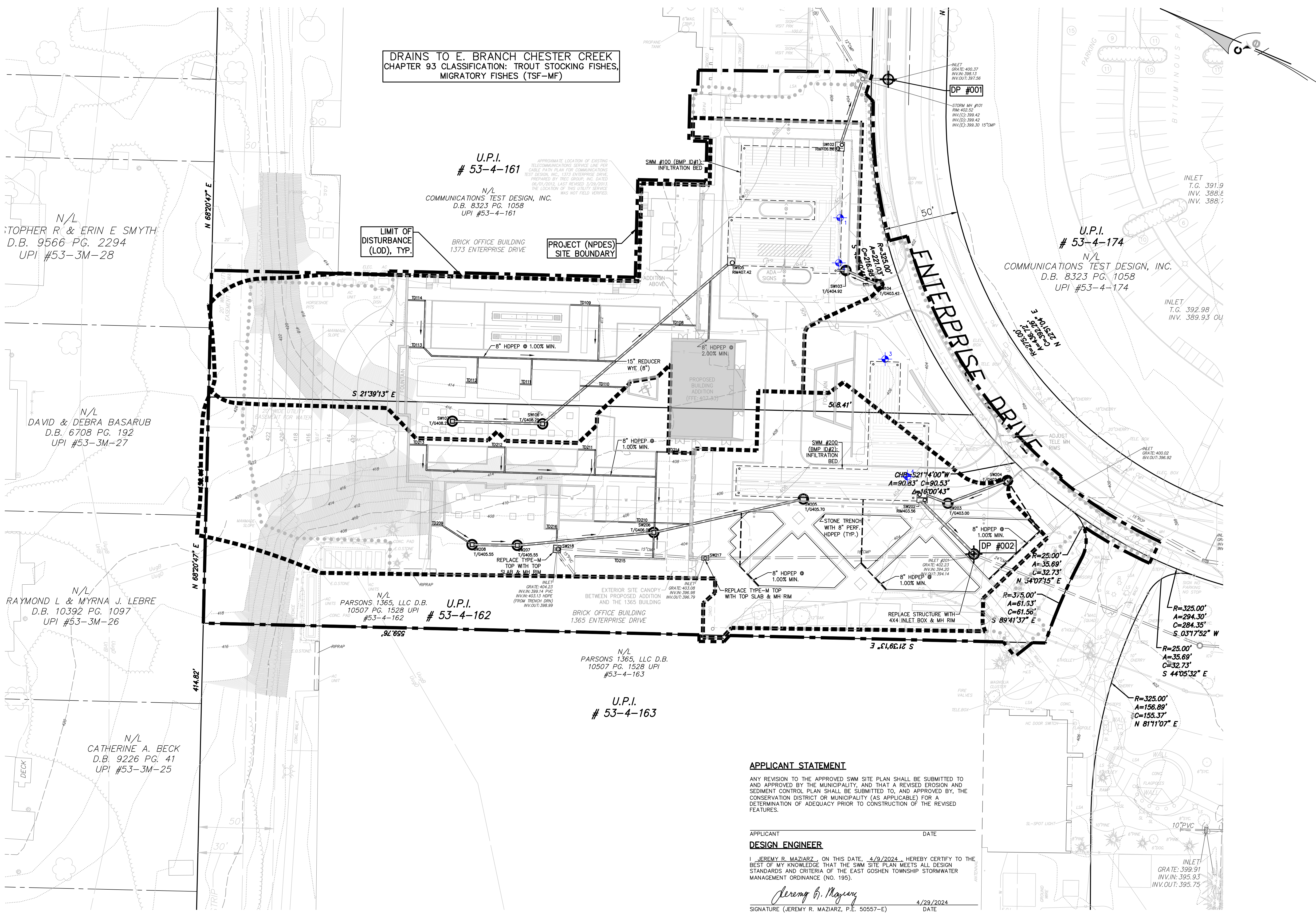
EROSION & SEDIMENTATION CONTROL DETAILS

PRELIMINARY LAND DEVELOPMENT PLAN FOR ONE CTDI PLACE EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA. Includes project information, scale, date, and drawing details.



LOCATION MAP SCALE 1"=2000'

- LEGEND**
- EXISTING FEATURES**
- EXISTING PROPERTY BOUNDARY
 - EXISTING ADJOINING PROP. LINE
 - EXISTING RIGHT-OF-WAY LINE
 - EXISTING EASEMENT
 - EXISTING SETBACK BOUNDARY
 - EXISTING BUILDING
 - EXISTING 1' CONTOURS
 - EXISTING 5' CONTOURS
 - EXISTING SPOT ELEVATION
 - EXISTING SOIL TYPE
 - EXISTING CURB
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE
 - EXISTING STORM INLET AND PIPE
 - EXISTING MANHOLE AND PIPE
 - EXISTING U/G FIRE LINE
 - EXISTING U/G WATER LINE
 - EXISTING U/G ELECTRIC LINE
 - EXISTING U/G TELEPHONE LINE
 - EXISTING U/G GAS LINE
 - EXISTING OVERHEAD WIRES
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING UTILITY POLE
 - EXISTING CONIFEROUS TREE
 - EXISTING DECIDUOUS TREE
 - EXISTING TREE & SHRUB LINE
- PROPOSED FEATURES**
- PROPOSED BUILDING
 - PROPOSED HEAVY DUTY PAVEMENT
 - PROPOSED CONCRETE PAD/SIDEWALK
 - PROPOSED PAVERS
 - PROPOSED RETAINING WALL
 - PROPOSED CONCRETE CURB
 - NUMBER OF PROPOSED PARKING SPACES
 - PROPOSED SIGN
 - PROPOSED 1' CONTOURS
 - PROPOSED 5' CONTOURS
 - PROPOSED SPOT ELEVATION
 - PROPOSED STORMWATER MANAGEMENT FACILITY
 - PROPOSED STORM PIPE AND INLET
 - PROPOSED STORM PIPE AND MANHOLE
 - PROPOSED STORM PIPE AND CLEANOUT
 - PROPOSED PIPE FLOW ARROW
- PCSM FEATURES**
- PROJECT (NPDES) SITE BOUNDARY
 - LIMIT OF DISTURBANCE (2.81 ACRES)
 - DRAINAGE AREA TO PCSM BMPs
 - DISCHARGE POINT
 - WATER QUALITY INSERT



DRAINS TO E. BRANCH CHESTER CREEK
CHAPTER 93 CLASSIFICATION: TROUT STOCKING FISHES,
MIGRATORY FISHES (TSF-MF)

U.P.I.
53-4-161

N/L
COMMUNICATIONS TEST DESIGN, INC.
D.B. 8323 PG. 1058
UPI #53-4-161

LIMIT OF DISTURBANCE (LOD), TYP.

BRICK OFFICE BUILDING
1373 ENTERPRISE DRIVE

PROJECT (NPDES)
SITE BOUNDARY

U.P.I.
53-4-174

N/L
COMMUNICATIONS TEST DESIGN, INC.
D.B. 8323 PG. 1058
UPI #53-4-174

N/L
TOPHER R & ERIN E SMYTH
D.B. 9566 PG. 2294
UPI #53-3M-28

N/L
DAVID & DEBRA BASARUB
D.B. 6708 PG. 192
UPI #53-3M-27

N/L
RAYMOND L & MYRNA J. LEBRE
D.B. 10392 PG. 1097
UPI #53-3M-26

N/L
CATHERINE A. BECK
D.B. 9226 PG. 41
UPI #53-3M-25

N/L
PARSONS 1365, LLC D.B.
10507 PG. 1528 UPI
#53-4-162

U.P.I.
53-4-162

N/L
PARSONS 1365, LLC D.B.
10507 PG. 1528 UPI
#53-4-163

U.P.I.
53-4-163

APPLICANT STATEMENT

ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

APPLICANT _____ DATE _____

DESIGN ENGINEER _____

I, JEREMY R. MAZIARZ, ON THIS DATE, 4/29/2024, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE EAST GOSHEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE (NO. 195).

Jeremy R. Maziarz 4/29/2024
SIGNATURE (JEREMY R. MAZIARZ, P.E. 50557-E) DATE

INFILTRATION TESTING RESULTS

TEST ID	EX. GROUND ELEVATION (DEPTH FT)	TEST ELEVATION	MEASURED INF. RATE	LIMITING ZONE	LIMITING ZONE ELEVATION	BMP NAME	BMP BOTTOM ELEVATION
TP-1	406.00	6.00	400.00	0.31 IN/HR	NOT ENCOUNTERED	N/A	SWM #100 399.75
TP-2	406.00	6.00	400.00	0.22 IN/HR	NOT ENCOUNTERED	N/A	SWM #100 399.75
TP-3	406.00	8.50	397.50	0.25 IN/HR	NOT ENCOUNTERED	N/A	SWM #200 397.50
TP-4	406.00	8.00	398.00	0.25 IN/HR	NOT ENCOUNTERED	N/A	SWM #200 397.50

Scale in Feet

1" = 30'

SOILS LIST

SYMBOL	DESCRIPTION	DEPTH TO SEASONALLY HIGH WATER TABLE	DEPTH TO BEDROCK	FREQUENCY OF FLOODING	PONDING	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING
Usgd	OK TO 8% SLOPES	60"	20"-70"	NONE	NONE	C	NO
Usgd	8% TO 25% SLOPES	60"	20"-70"	NONE	NONE	C	NO

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(1) CONSTRUCTION INDUSTRY ENGINEERS AND INSPECTORS (OSHA 2001) SUBPART "F", PART 1926/1910 - "EXCAVATIONS, TRENCHING AND SHORING"
(2) "EXCAVATIONS AND TRENCHING OPERATIONS" (OSHA 2226) DATED 1985 (REVISED).

PENNSYLVANIA ACT 187 REQUIREMENTS
UNDERGROUND UTILITIES SERIAL NO. 20232130344
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EXCAVATIONS, TRENCHING, AND SHORING
ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION PUBLICATIONS OF THE LATEST REVISIONS THEREOF:
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UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164

SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

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POCS SERIAL NUMBER: 20232130344

POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN

NO. _____ DATE _____ REVISION _____

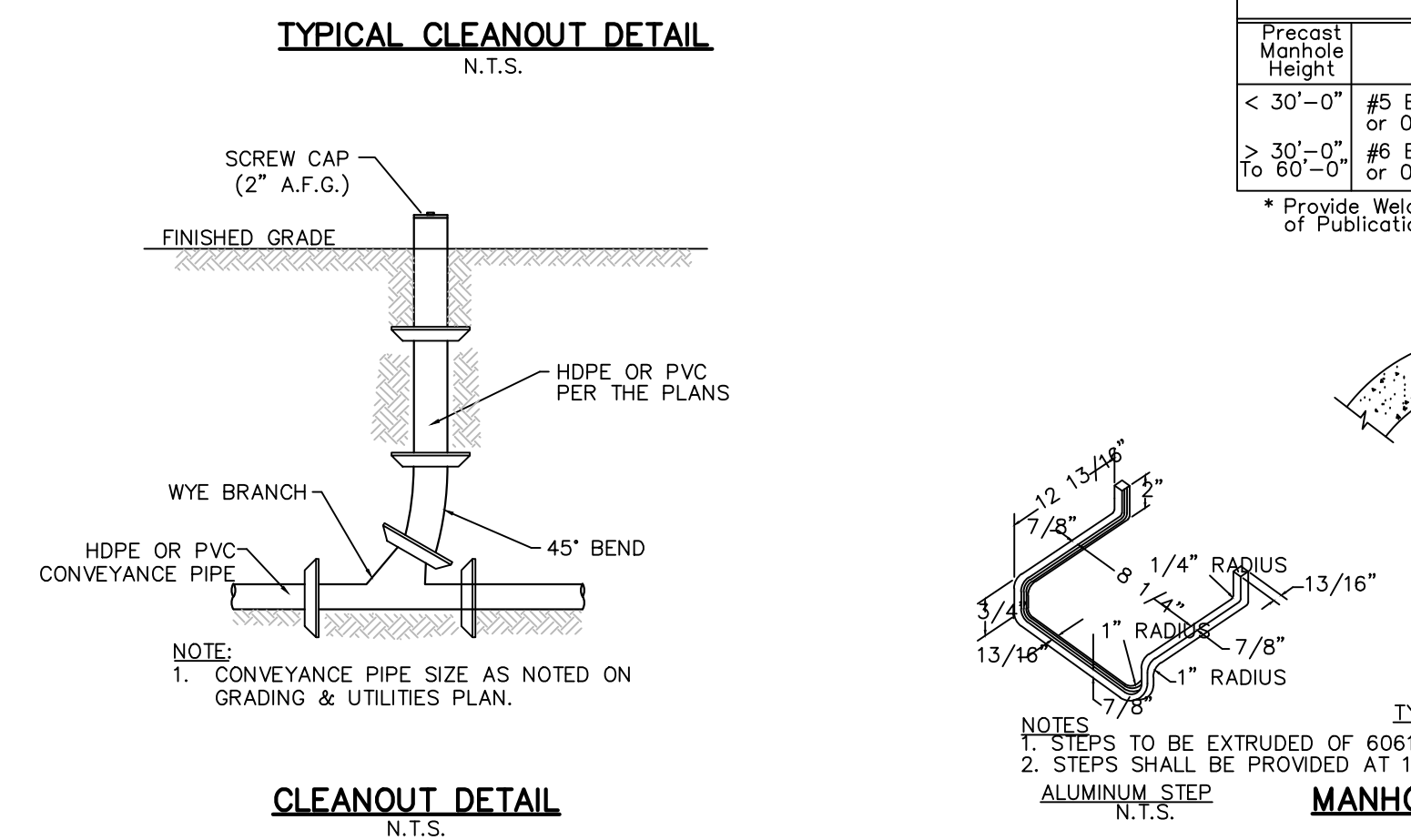
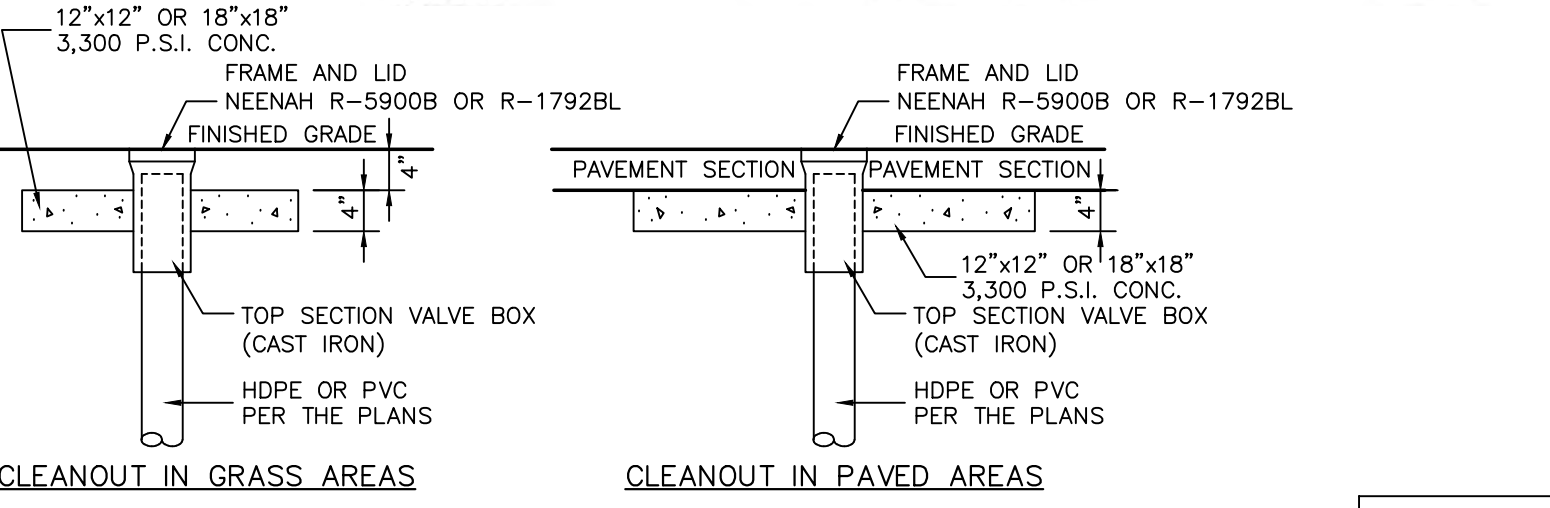
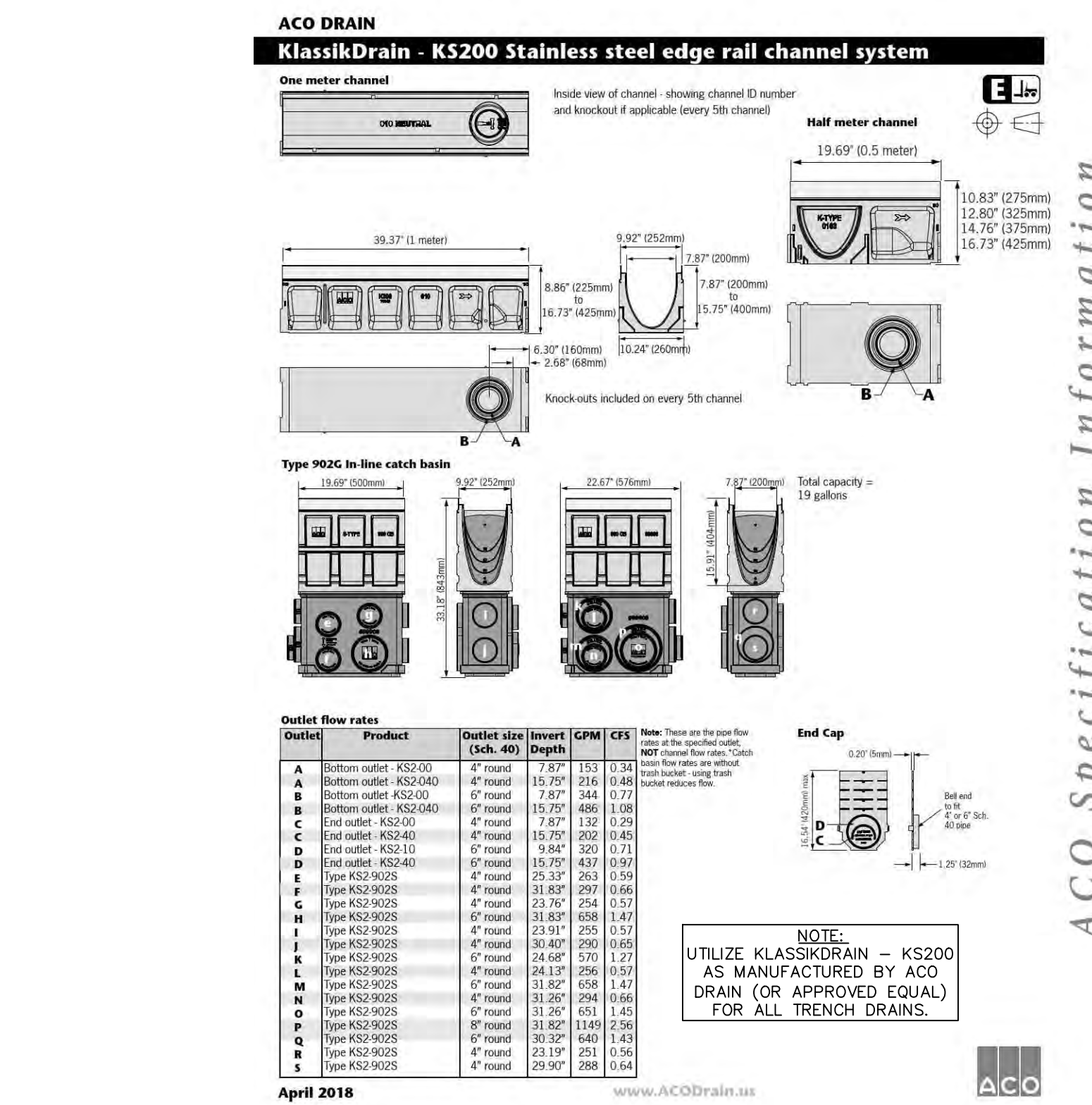
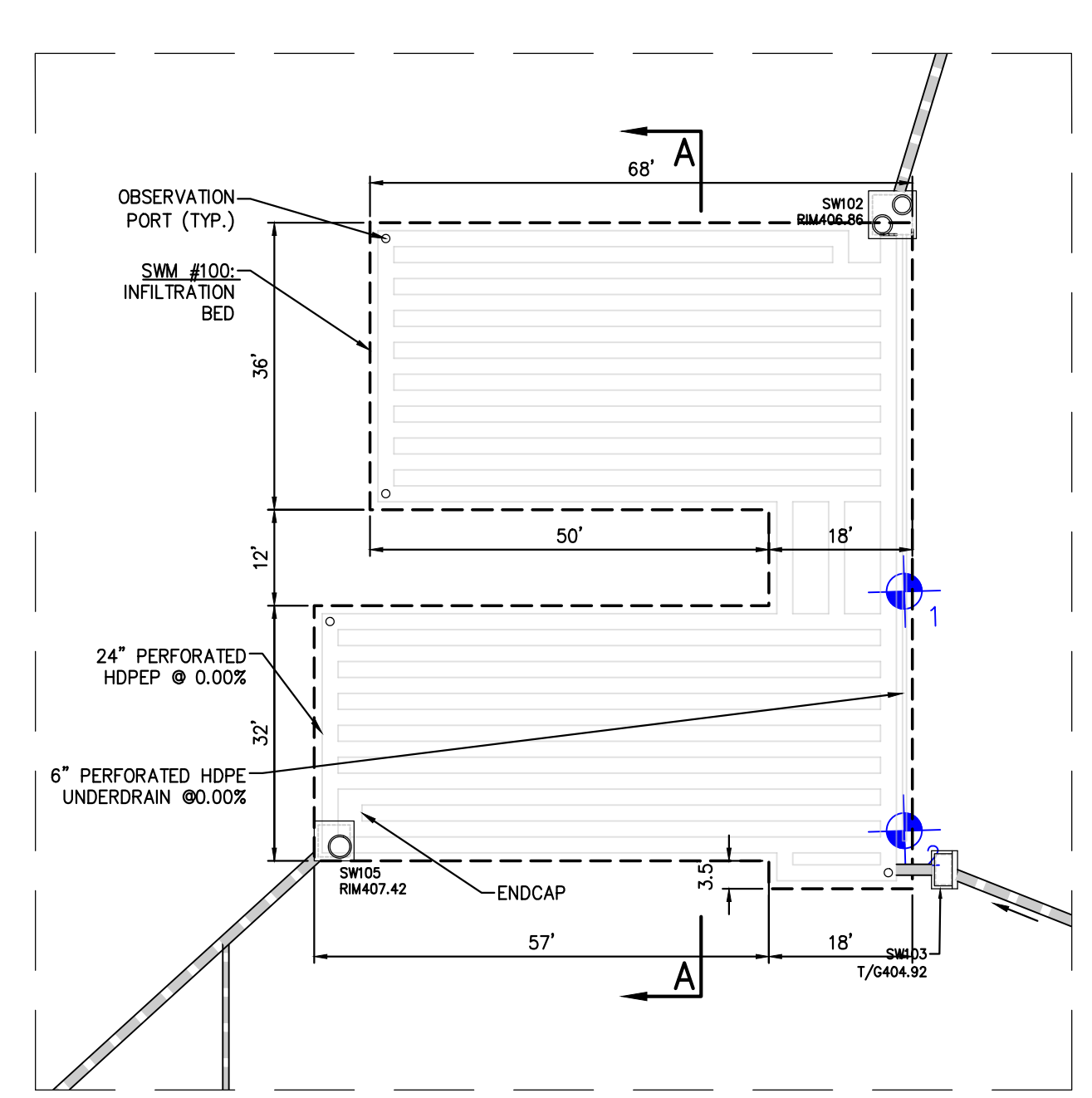
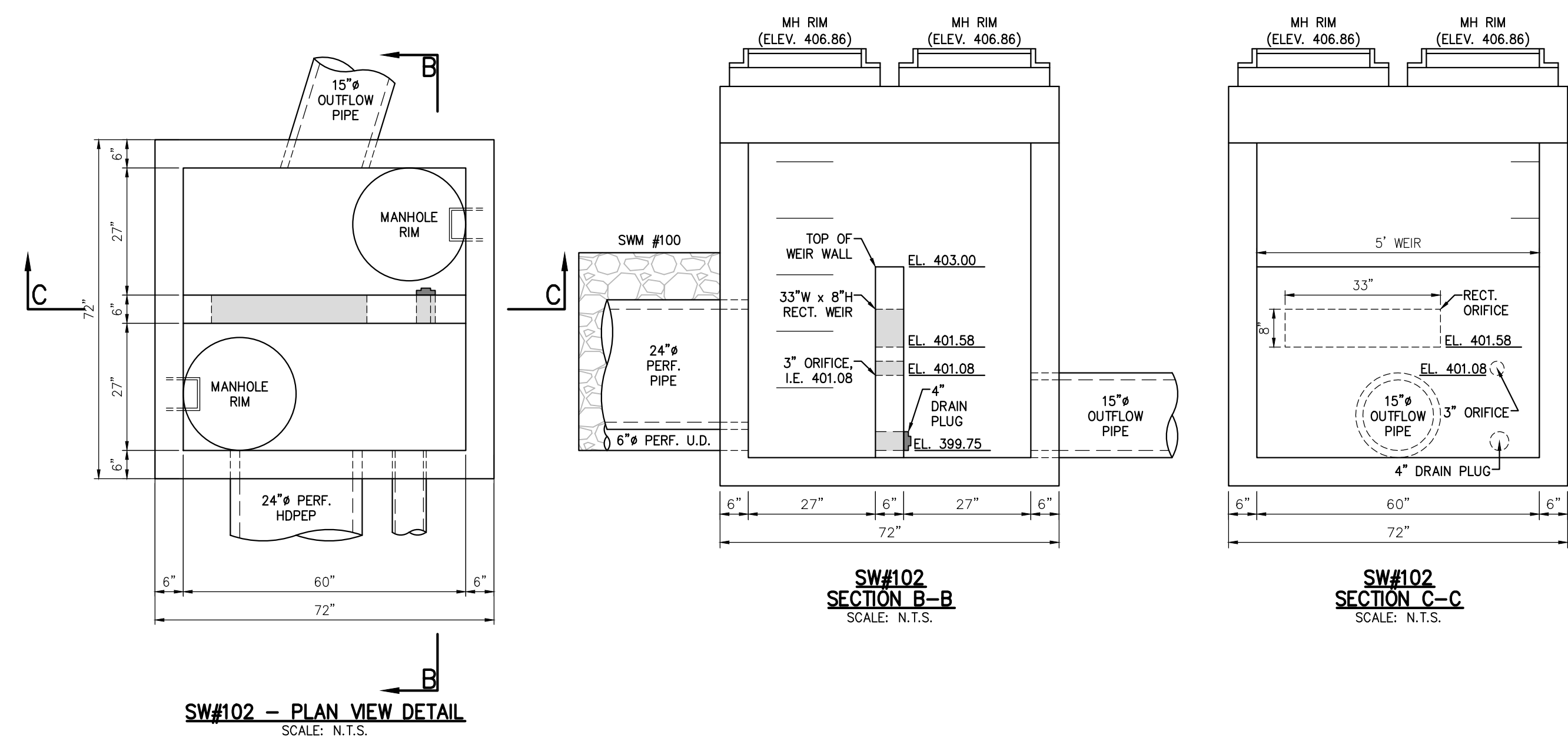
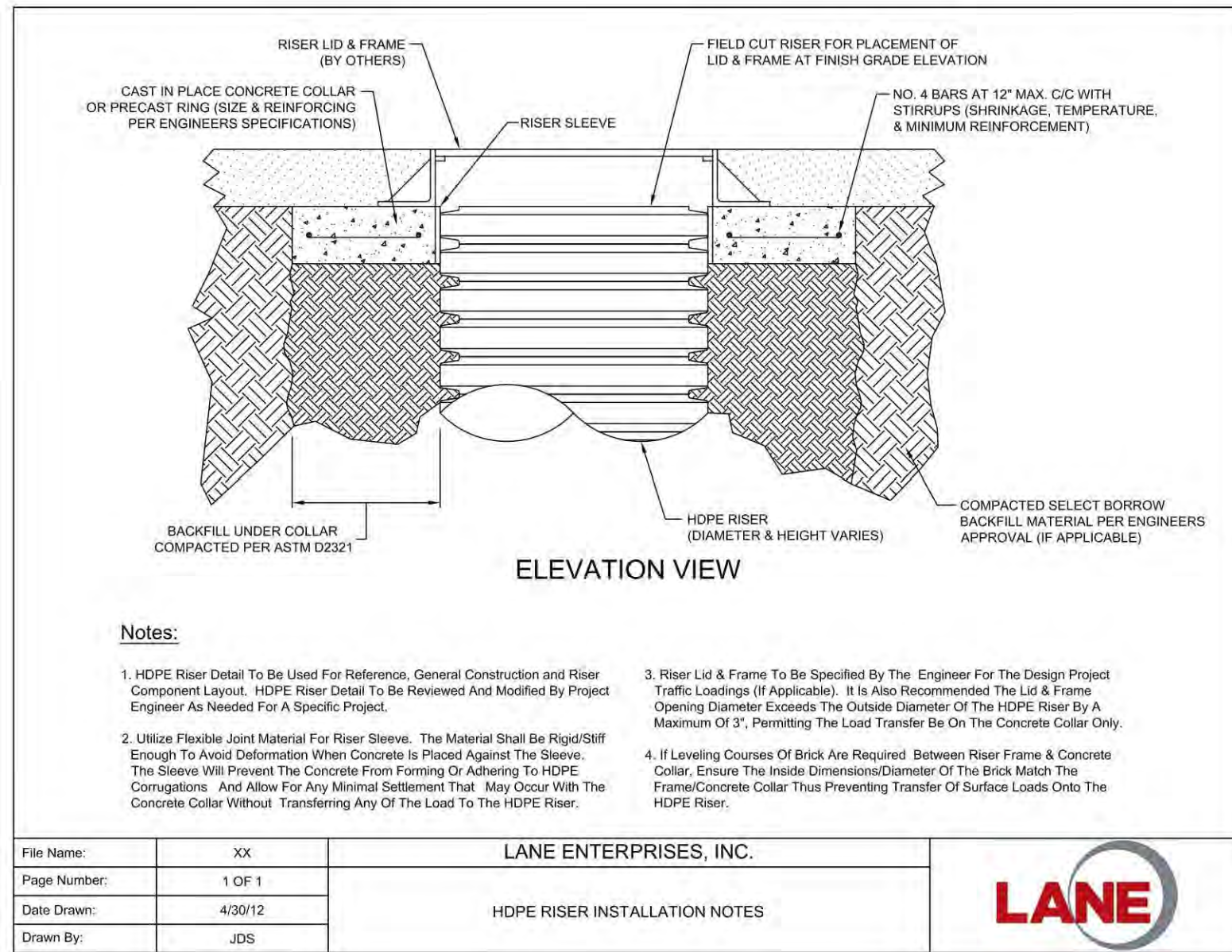
PRELIMINARY LAND DEVELOPMENT PLAN
FOR
ONE CTDI PLACE
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

ChesterValley ENGINEERS, INC. 22024
112 Moores Road, Suite 200, Malvern, PA 19355
610-644-4623
www.chestervalley.com

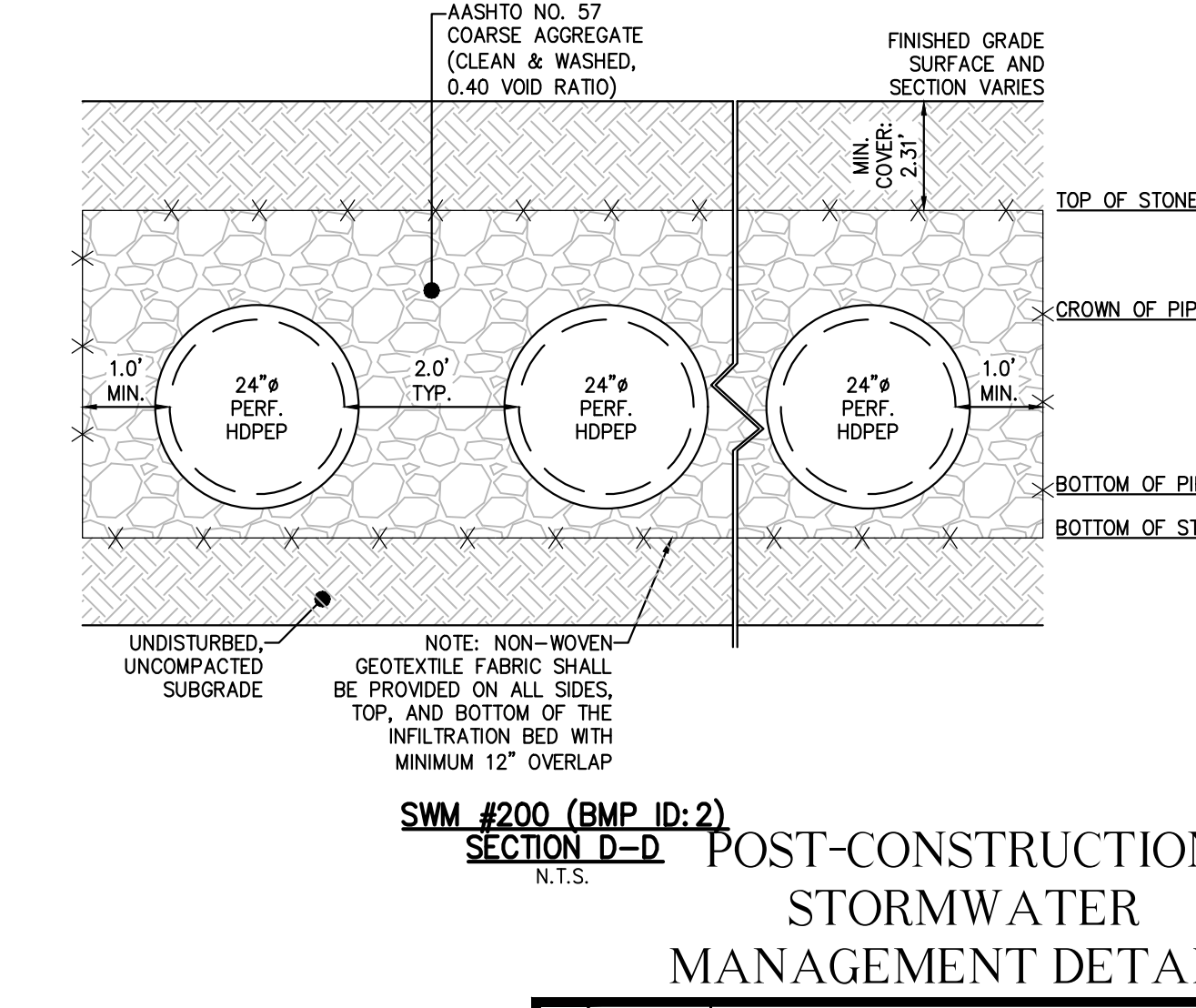
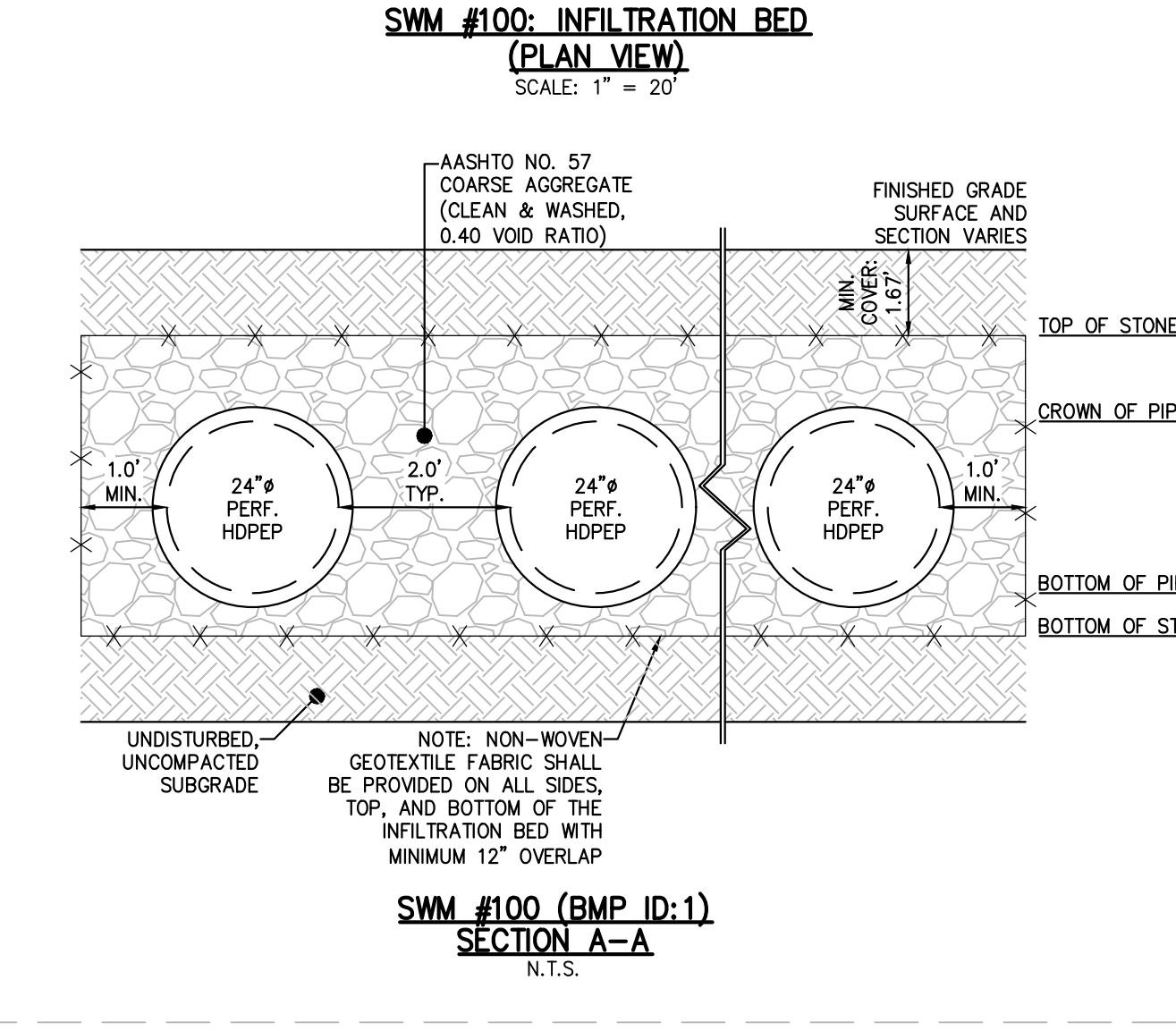
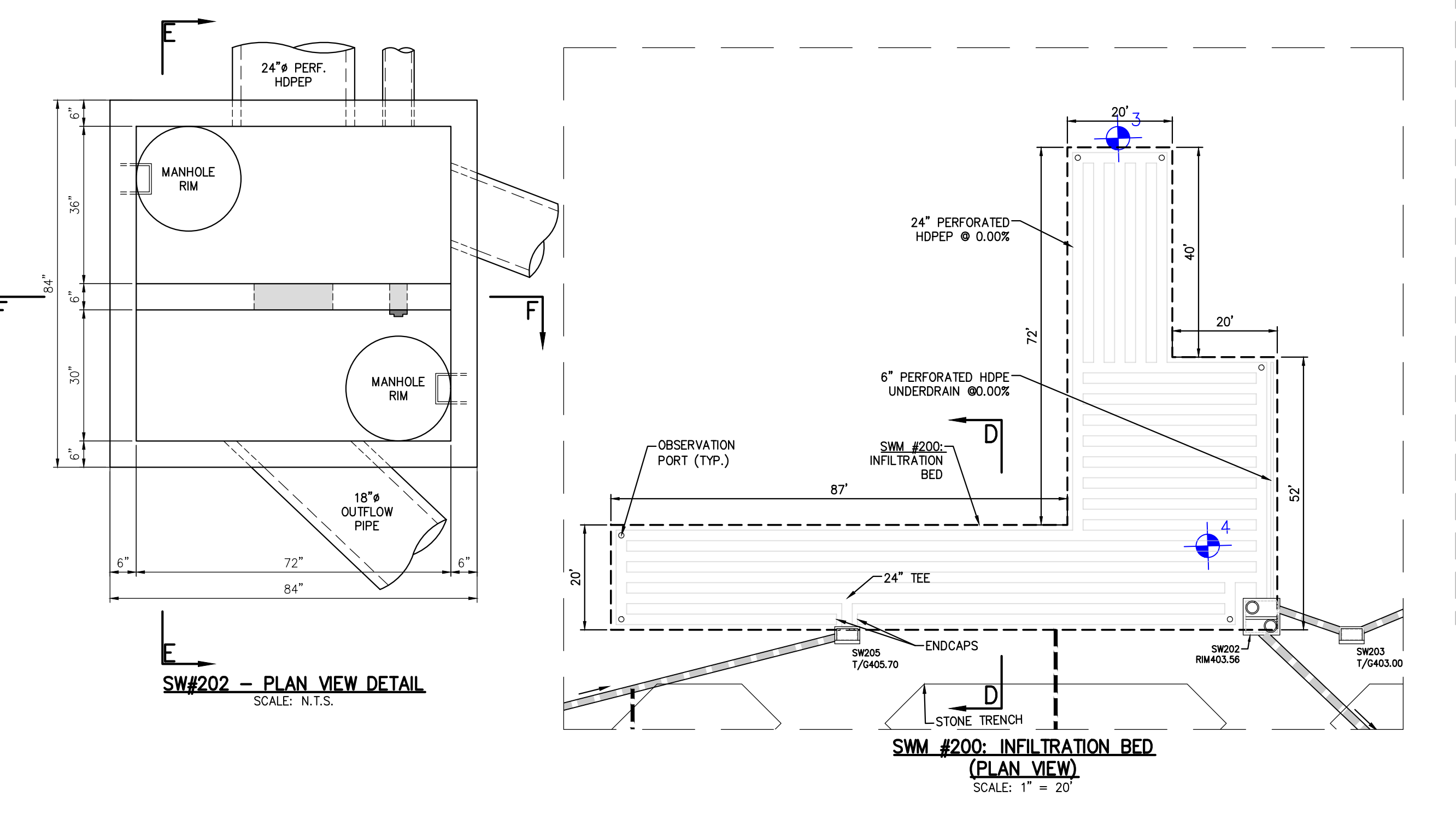
SCALE 1" = 30' DATE 4/29/2024 DRAWN BY RRB CHECKED BY JRM DRAWING

JEREMY R. MAZIARZ
REGISTERED PROFESSIONAL ENGINEER
50557-E
PENNSYLVANIA

Jeremy R. Maziarz



UNIFORM PARCEL IDENTIFIERS: #53-4-161, #53-4-162, #53-4-163, #53-4-164



PRELIMINARY LAND DEVELOPMENT PLAN FOR **ONE CTDI PLACE**

EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

PROJECT NO. 22024

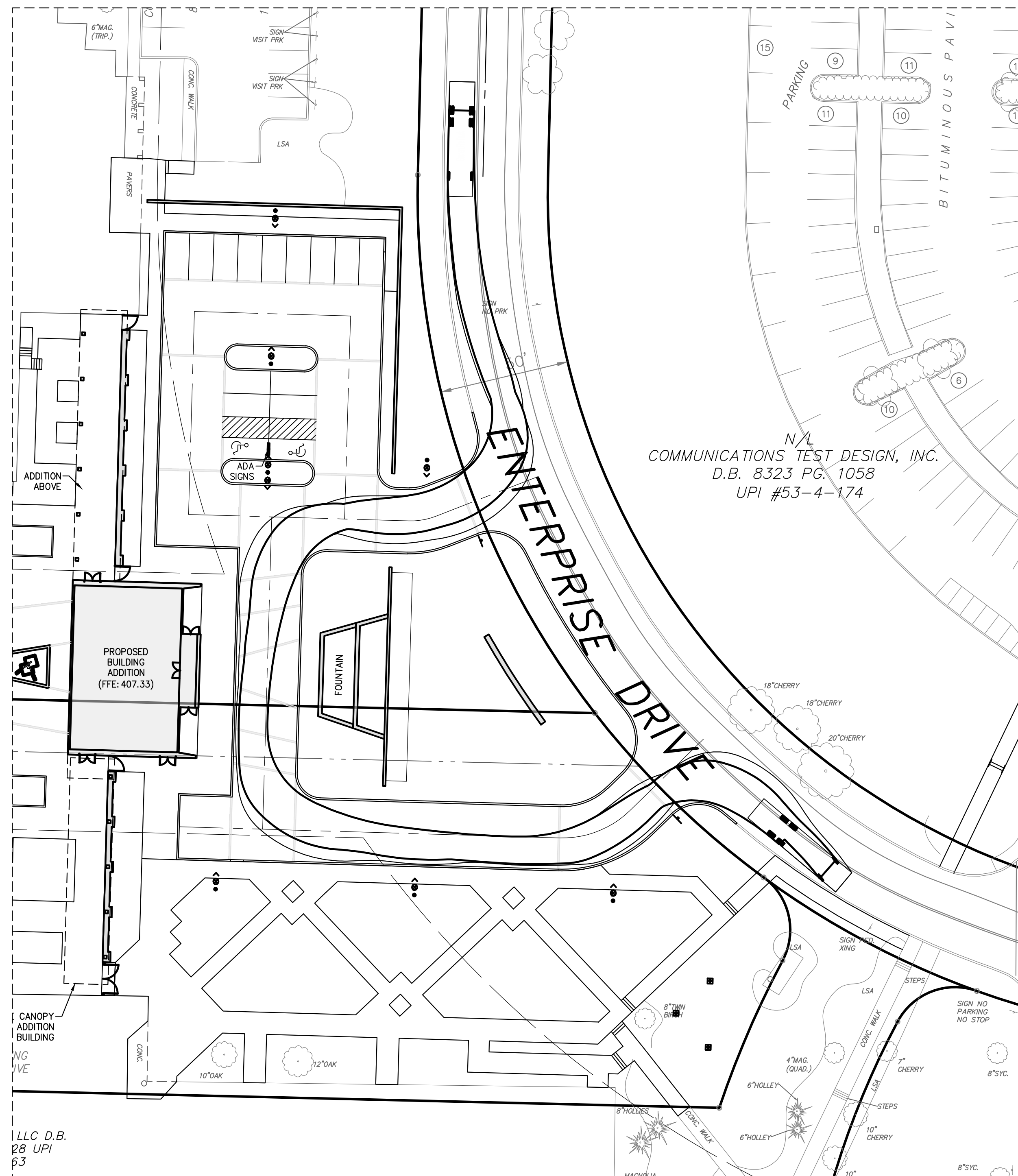
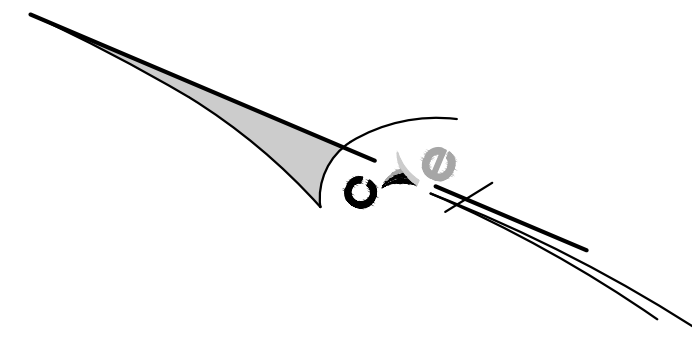
REGISTERED PROFESSIONAL ENGINEER JEREMY R. MAZURZ

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112 Moores Road, Suite 200, Malvern, PA 19355

610-644-4623 www.chestervalley.com

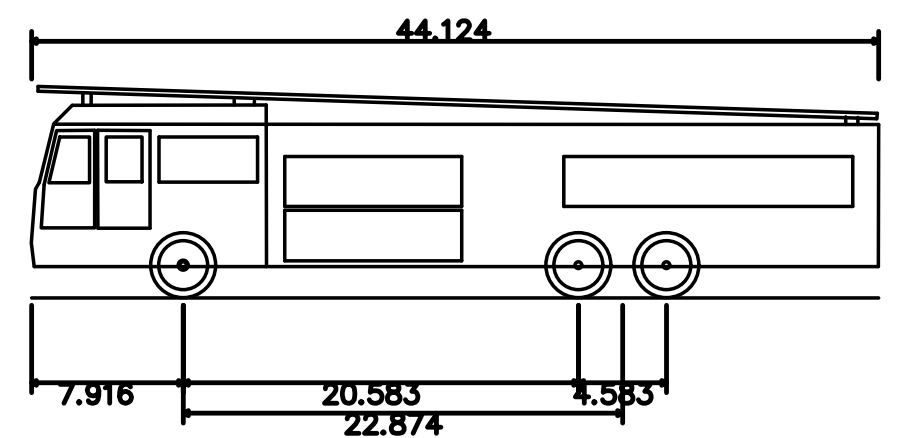
SCALE: AS NOTED DATE: 4/29/2024 DRAWN BY: RRB CHECKED BY: JRM DRAWING: SHEET 16 OF 17



N/A
COMMUNICATIONS TEST DESIGN, INC.
D.B. 8323 PG. 1058
UPI #53-4-174

1 LLC D.B.
28 UPI
93

VEHICLE TRACKING EXHIBIT #2
(FIRE TRUCK)
SCALE: 1" = 30'



Goshen Fire Truck
Overall Length 44.124ft
Overall Width 9.670ft
Overall Body Height 11.000ft
Min Body Ground Clearance 1.627ft
Track Width 9.670ft
Lock-to-lock time 6.00s
Max Wheel Angle 40.00°



LOCATION MAP SCALE 1"=2000'

LEGEND

EXISTING FEATURES	
[Symbol]	EXISTING PROPERTY BOUNDARY
[Symbol]	EXISTING ADJOINING PROP. LINE
[Symbol]	EXISTING RIGHT-OF-WAY LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	EXISTING SETBACK BOUNDARY
[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING CURB
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING CONIFEROUS TREE
[Symbol]	EXISTING DECIDUOUS TREE
[Symbol]	EXISTING TREE & SHRUB LINE

PROPOSED FEATURES	
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED HEAVY DUTY PAVEMENT
[Symbol]	PROPOSED STANDARD PAVEMENT
[Symbol]	PROPOSED CONCRETE PAD/SIDEWALK
[Symbol]	PROPOSED PAVERS
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED CONCRETE CURB
[Symbol]	NUMBER OF PROPOSED PARKING SPACES
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED STORMWATER MANAGEMENT FACILITY

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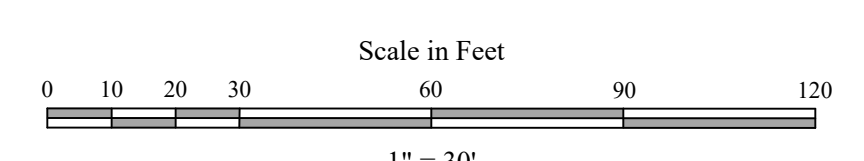
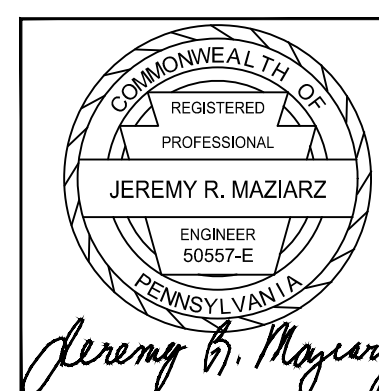
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PENNSYLVANIA ACT 187 REQUIREMENTS
UNDERGROUND UTILITIES SERIAL NO. 20232130344
CHESTER VALLEY ENGINEERS, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATION FOR EXISTING SURFACE UTILITY STRUCTURES SHOWN ON THESE PLANS. THE USER ASSUMES ANY RISK OF ANY AND ALL DAMAGES, LOSSES, FROM ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES ARISING THEREFROM, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF LITIGATION, IN CONNECTION WITH THE USE OF THESE PLANS.

EXCAVATIONS, TRENCHING, AND SHORING
ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION PUBLICATIONS OF THE LATEST REVISIONS THEREOF:
(1) CONSTRUCTION INDUSTRY CONSENSUS DOCS (CIC) 310 (REV. 2007) SUBPART "F", PART 1026/1010 - EXCAVATIONS, TRENCHING AND SHORING;
(2) EXCAVATIONS AND TRENCHING OPERATIONS (OSHA 2226) DATED 1985 (REVISED).

SEE SHEET 1 FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.

PENNSYLVANIA ONE CALL SYSTEM, INC.
CALL 3 WORKING DAYS BEFORE YOU DIG
1-800-242-1776
POCS SERIAL NUMBER: 20232130344



VEHICLE TRACKING PLAN

NO.	DATE	REVISION

PRELIMINARY LAND DEVELOPMENT PLAN
FOR
ONE CTDI PLACE
EAST GOSHEN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

PROJECT NO. 22024
F.B.
112 Moores Road, Suite 200, Malvern, PA 19355
610-644-4623
www.chestervalleyengineers.com

SCALE	DATE	DRAWN BY	CHECKED BY	DRAWING
1" = 30'	4/29/2024	RRB	JRM	

Memorandum



East Goshen Township
1580 Paoli Pike
West Chester, PA 19380
610-692-7171 ext. 3103
kkrause@eastgoshen.org

Date: September 18, 2024
To: East Goshen Township Planning Commission
From: Kelly A. Krause, Zoning Officer
Re: **1338 Morstein Road - Schiffer Tract Subdivision**
Act 537 Sewer Facilities Planning Module Application
Component 4A- Municipal Planning Agency Review

The applicant has requested that the Planning Commission complete the Municipal Planning Agency Review form (Component 4A) for the submission of the Sewer Facilities Planning Module for the above-referenced subdivision.

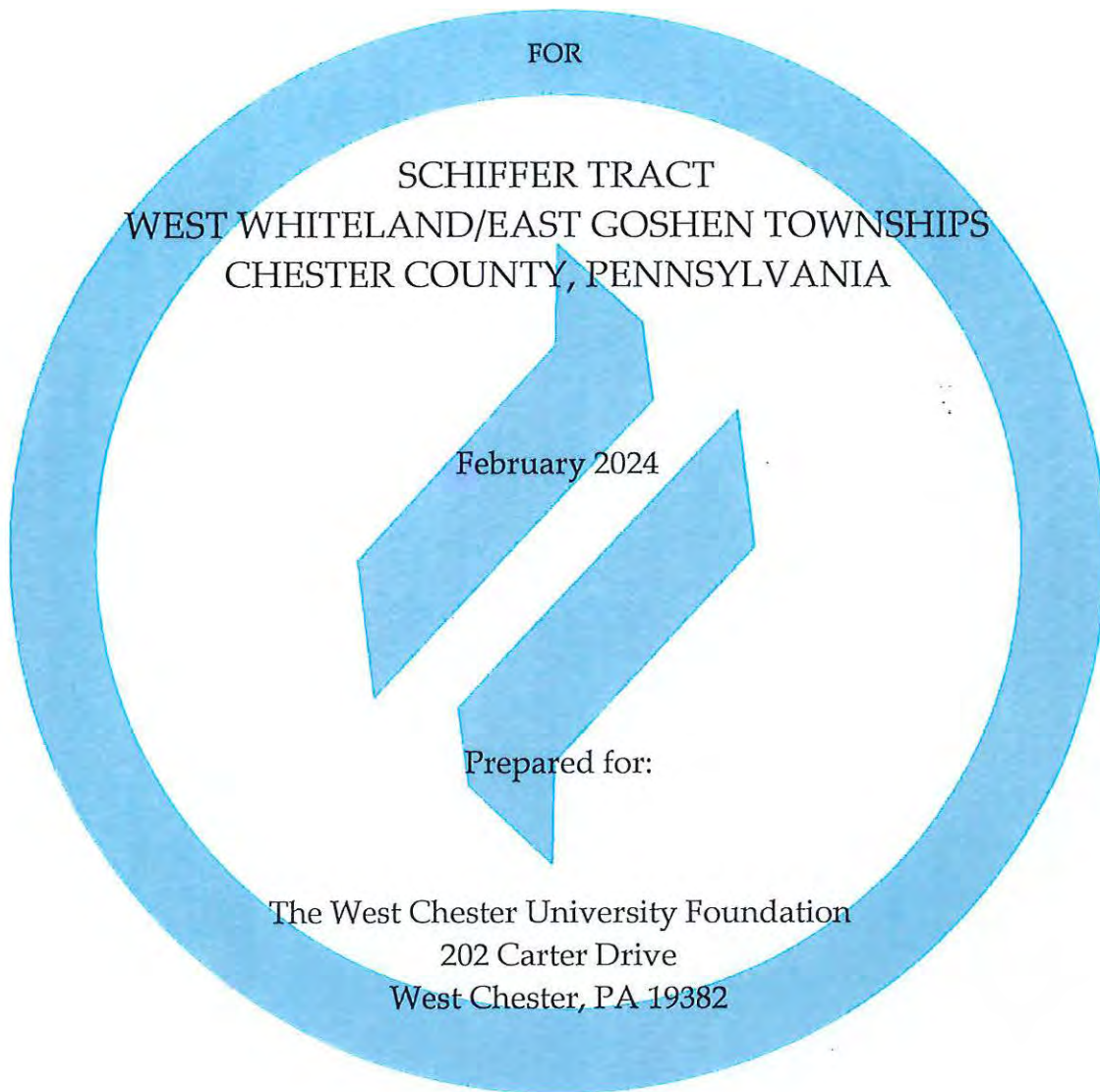
This plan proposes the creation of sixteen residential lots to be served by a connection to public sewer. Three of the sixteen lots associated with the project are located at 1338 Morstein Road in East Goshen Township, with the remaining thirteen lots located at 1375 Old Phoenixville Pike in West Whiteland Township.

Draft Motion:

Mr. Chairman, I move that we authorize the completion of Component 4A of the Sewer Facilities Planning Module for the project located at 1338 Morstein Road, and forward to the applicant's engineer for submission to the Department of Environmental Protection.

RECEIVED
FEB 14 2024

SEWAGE FACILITIES PLANNING MODULE
DEP CODE # 1-15919-254-3



Prepared by:

HOWELL ENGINEERING

1250 Wrights Lane, West Chester, PA 19380
Phone: 610-918-9002 Fax: 610-918-9003



SENT VIA ELECTRONIC MAIL ONLY

December 18, 2023

Mr. Dave DiCecco
Howell Engineering
1250 Wrights Lane
West Chester, PA 19380

Re: Application for Planning Modules
Checklist Letter – Component 3
Schiffer Tract Residential Subdivision
DEP Code No. 1-15919-254-3, 1-15971-488-3
East Goshen Township, West Whiteland Township
Chester County

Dear Mr. DiCecco:

In response to your application mailer, this checklist letter outlines what is required to be submitted to the municipality and the Department of Environmental Protection (“DEP”) as a complete module packet for the proposed development. The project proposes a 16-lot residential subdivision that will be served by a connection to public sewer. The project is located at 1338 Morstein Road, in East Goshen Township, and 1375 Old Phoenixville Pike, in West Whiteland Township, Chester County.

Sewage Facilities Planning Module forms are available online at www.dep.pa.gov. At the top of the page, select Businesses, then Water. On the right-side of the page, select the following: Bureau of Clean Water; Wastewater Management; Act 537; and Sewage Facilities Planning. Select the appropriate forms from the center of the page.

Your project requires the following forms. Please enter the above-referenced DEP Code Number on the first page of each form.

Sewage Facilities Planning Module Transmittal Letter, Form 3850-FM-BCW0355

Sewage Facilities Planning Module Resolution, Form 3850-FM-BCW0356

Sewage Facilities Planning Module Component 3, Form 3800-FM-BPNPSM0353

- Instructions
- Form

Sewage Facilities Planning Module Component 4

- 4A-Municipal Planning Agency Review, Form 3850-FM-BCW0362A
- 4B-County Planning Agency Review, Form 3850-FM-BCW0362B
- 4C-County or Joint Health Department Review, Form 3850-FM-BCW0362C

Please submit the completed planning modules and supporting information to the municipality or municipalities in which the project is located. DEP must receive 3 copies of the completed planning

module. Please answer all questions within the planning module. Do not simply answer "N/A" or "Not Applicable." If you feel a question does not apply, explain all reasons to support that answer.

On March 31, 2023, the United States Fish & Wildlife Service ("USFWS") issued a final rule to reclassify the federal listing of the Northern Long-Eared Bat as an Endangered Species under the Endangered Species Act. To ensure your project considers potential impacts to this federally listed species, all PNDI receipts and clearance letters from USFWS, if applicable, must be dated after March 31, 2023.

Please refer to the Standard Operating Procedures ("SOP") that govern Act 537 sewage facilities planning module reviews. The SOPs can be found on the DEP website. Consistent with the SOP, DEP may disapprove an administratively incomplete planning module submission. Please use the checklist provided in this letter below to guide both you and the municipality in providing an administratively complete planning module submission to DEP for review.

A copy of this letter should be attached to the planning module when submitted through the municipality to DEP. This letter is to be used by the applicant (or the applicant's authorized representative) as a checklist and guide to completing the planning modules and does not supersede the rules and regulations found in Chapter 71. The municipality must submit a complete module package. (See end of letter for applicant and municipal certification statements.)

In all cases, address the immediate and long-range sewage disposal needs of the proposal and comply with 25 Pa. Code, Chapter 71, Subchapter C relating to New Land Development Plan Revisions.

If you have any questions concerning the information required, please contact me at 484.250.5188 or at laawalke@pa.gov.

Sincerely,

Laura Walker

Laura Walker
Environmental Trainee
Clean Water

cc: Chester County Health Department (via email)
Chester County Planning Commission (via email)
Chester County Conservation District (via email)
East Goshen Township (via email)
West Whiteland Township (via email)
West Chester University Foundation (via email)
East Goshen Township Municipal Authority (via email)
Downingtown Area Regional Authority (via email)
Planning Section
Re 30

Component 4A



**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
 Schiffer Tract Residential Subdivision

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency _____
2. Date review completed by agency September 24, 2024

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?

SECTION C. AGENCY REVIEW (continued)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	13. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	14. Is this plan consistent with the municipal Official Sewage Facilities Plan? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances? If no, describe the inconsistencies _____
17. Name, title and signature of planning agency staff member completing this section:		
Name: _____		
Title: <u>Chairman, East Goshen Planning Commission</u>		
Signature: _____		
Date: <u>September 24, 2024</u>		
Name of Municipal Planning Agency: <u>East Goshen Township Planning Commission</u>		
Address <u>1580 Paoli Pike, West Chester, PA 19380</u>		
Telephone Number: <u>610-692-7171</u>		

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.