

**EAST GOSHEN TOWNSHIP  
PLANNING COMMISSION  
Meeting Agenda  
Tuesday, November 26, 2024  
7:00 PM**

- A. Call to Order / Pledge of Allegiance and Moment of Silence
- B. Chairman will ask if anyone is going to record the meeting.
- C. Review of Tracking Log / Determine need for Workshop Meeting
- D. Public Comment on Non-Agenda Items
- E. Approval of Minutes
  - 1. October 22, 2024**
- F. Acknowledge Receipt of New Applications (Initial Submission)
- G. Subdivision and Land Development Applications
  - 1. 1344 Morstein Road- K.A. Thomas- Preliminary/Final Subdivision Plan**
- H. Conditional Uses Applications-
- I. Zoning Hearing Board Variances
- J. Ordinance Amendments
- K. Old Business
- L. New Business
- M. Liaison Reports
- N. Correspondence
- O. Announcements
- P. Next Meeting – **Tuesday, January 21, 2025 at 7:00 PM**

**Bold Items indicate new information to review or discuss.**

**East Goshen Township Planning Commission  
Application Tracking Log  
NOVEMBER 26, 2024**

Application Name	Application (CU,LD,ZO,SD,SE,CA)	Type (Sk, P, F)	Date Filed	Start Date	Date to Township Engineer	Date to CCPC	Date to Abutting Prop. / ABC's	Extension	PC MUST Act Date (70-Days)	BOS Must Act Date (90-Days)	Hearing Date	Drop Dead date	Comments
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**PENDING PROJECTS**

**Bold = New Application or PC action required**

<b>1344 Morstein Road- K.A. Thomas</b>	<b>SD</b>	<b>P/F</b>	<b>9/19/2024</b>	<b>9/24/2024</b>	<b>9/19/2024</b>			<b>NA</b>	<b>11/26/2024</b>	<b>12/17/2024</b>	<b>NA</b>	<b>12/23/2024</b>	<b>Preliminary plan for review 11/26/2024</b>
<i>Enterprise Drive- CTDI</i>	<i>LD</i>	<i>F</i>	<i>pending</i>										<i>Preliminary approved granted- Final plan to follow</i>
<i>Malvern Institute</i>	<i>LD</i>	<i>P</i>	<i>6/28/2021</i>	<i>7/1/2021</i>	<i>6/30/2021</i>	<i>6/29/2021</i>	<i>8/13/2021</i>		<i>2/2/2022</i>	<i>2/15/2022</i>	<i>NA</i>	<i>2/28/2022</i>	<i>ZHB condition of approval for barn renovations expired 11/2024</i>
1338 Morstein Road- WCU Foundation	SD	P/F	2/5/2024	2/27/2024	9/13/2024			11/3/2024	5/3/2024 8/3/2024 11/3/2024	5/3/2024 11/3/2024	NA	5/3/2024 8/3/2024 11/3/2024	PC recommended approval on 10/22/2024
1302 Goshen Pkwy - ZEKS	CU	n/a	10/3/2024	10/3/2024	10/3/2024			NA	11/17/2024	12/2/2024	12/17/2022	1/3/2025	PC recommended approval on 10/22/2024

**PROJECTS COMPLETED IN 2024**

1306 West Chester Pike	CU	NA	3/15/2024	3/15/2024	NA	NA	NA	NA	4/30/2024	5/15/2024	4/16/2024	5/15/2024	Approved at BoS meeting:4/16/2024
1344 Morstein Road Sketch Plan	SD	SK	2/16/2024	2/27/2024	NA	NA	NA	NA	NA	NA	NA	NA	PC Meeting: 2/27/24 (initial submission), 3/26/2024 (discussion)
Timbermill- 301 Reservoir Road	SD	P	1/29/2024	2/27/2024				4/11/2024	7/3/2024	7/3/2024		7/3/2024	Approved at BoS meeting: 6/18/2024
Millstone Meadows- 1010 Hershey Mill Rd	SD	P	5/16/2023	5/16/2023		5/5/2023		6/28/2024	9/25/2024	9/25/2024		9/25/2024	Approved at BoS meeting: 9/3/2024
Timbermill SD- 301 Reservoir Road	SD	F											Approved at BoS meeting: 9/3/2024
14 Reservoir Road	SD	F	9/28/2022	9/28/2022	10/12/2022	10/19/2022		5/13/2024	8/28/2024	8/28/2024		8/28/2024	Approved at BoS meeting: 9/17/2024
Enterprise Drive- CTDI	LD	P	5/7/2024	5/7/2024	7/9/2024			10/31/2024	9/24/2024	10/31/2024		10/31/2024	Approved at BoS meeting: 10/15/24
1671 & 1681 E. Strasburg Road- Connors	CU	n/a	9/27/2024	9/27/2024	9/27/2024			NA	11/11/2024	11/26/2024	11/19/2024	1/3/2025	Conditional Use approved by BoS on 11/19/2024

**DRAFT**  
**EAST GOSHEN TOWNSHIP**  
**PLANNING COMMISSION MEETING**  
**October 22, 2024**

The East Goshen Township Planning Commission held their regular monthly meeting on Tuesday, October 22, 2024 at 7:00 pm in the Township Building.

Members present are highlighted:

**Chair – Ernest Harkness**

**Vice Chair – John Stipe**

Dan Daley

**Michael Koza**

**Michael Pagnanelli**

**Fred Pioggia**

**Dan Truitt**

Also present was:

**Duane Brady, Fire Marshall**

**Kelly A. Krause, Zoning Officer**

**John Hertzog , BOS Liaison**

Nathan Cline, Township Engineer

Mark Thompson, Township Solicitor

**COMMON ACRONYMS:**

*BOS – Board of Supervisors*

*BC – Brandywine Conservancy*

*CB – Conservancy Board*

*CCPC – Chester Co Planning Commission*

*CPTF – Comprehensive Plan Task Force*

*CVS – Community Visioning Session*

*SWM – Storm Water Management*

*ZHB – Zoning Hearing Board*

**FORMAL MEETING – 7 p.m.**

1. Ernest called the meeting to order at 7:00 pm. He led the Pledge of Allegiance and asked for a moment of silence to remember our first responders, police, military, and all who protect us.
2. Ernest asked if anyone would be recording the meeting and if there were any public comments about non-agenda items. There was no response.
3. The tracking log was checked and no need for a workshop meeting.
4. The minutes of the September 24, 2024 meeting were approved.

**CHAIRMAN’S REPORT – None**

**Acknowledge Receipt of New Applications (initial Submission)**

1. 1302 Goshen Parkway – ZEKS – Amendment to Conditional Use (Outdoor storage) – Steve Savselen and Henry Mark were present. Steve explained the property and its use – refrigerants. They want to add 3 new external areas to the building, one with a lean to roof and 2 smaller areas. He described the uses. Henry explained the necessity of this request. Refrigerants are changing. Global warming is a cause. Additional systems have to be added to handle these refrigerants. There are leak detection systems to prevent buildup in the building. Only a certain amount is allowed to be stored in the building. The additional tanks are stored on pads outside. Henry has all the information needed to respond to the Fire Marshall’s letter. Duane mentioned that he did a walk through the building with them. The response letter must be received before they go to the BOS.

Dan Truitt made a motion that the Planning Commission recommend that the Board of Supervisors approve an amendment to the Conditional Use approval for the property located at 1302 Goshen Parkway contingent upon the applicant resolving all items identified within the review letter dated October 16,

1 2024 to the satisfaction of the Township Fire Marshal. John seconded the motion. The motion passed  
2 unanimously.

3  
4 2. 1671 & 1681 E. Strasburg Road – Connors – Conditional Use (R-2 animal husbandry) - Gina Gerber,  
5 Esq. and Andrea Connors (property owner) were present. Gina gave an overview of the application.  
6 They are building a home and a horse barn. The intent is to raise and train horses there. There will be a  
7 1,200 sf apartment on the second floor of the barn. Andrea explained the set-up of the barn. Willistown  
8 Conservation Trust has been reviewing the plans from the start. It is a training facility. Her daughter has  
9 competed in tournaments. They are requesting conditional use for animal husbandry. They have a water  
10 management system.

11 John made a motion that the Planning Commission recommend that the Board of Supervisors approve the  
12 Condition Use application to allow animal husbandry at the property located at 1671 & 1681 E. Strasburg  
13 Road. Dan Truitt seconded the motion. The motion passed unanimously.

14  
15 **Subdivision and Land Development Applications**

16 1. 1338 Morstein Road – Preliminary/Final Plan Review – Dave Gibbons, Howell Engineering,  
17 mentioned that this plan is for 16 lots, 3 of which are in East Goshen. Since they were here in the spring,  
18 they met with West Whiteland. One issue is access through Phoenixville Pike which is very narrow.  
19 Current residents are concerned about traffic and water runoff. They agreed to make the width of the road  
20 20 feet. Also, they are going to collect current ponding water and send it to the SWM system they will be  
21 installing. East Goshen requires a green center in the cul-de-sac. They want a waiver to exclude the  
22 green center. Gas Pipelines – he is going out with them to determine the depth of the gas pipelines. They  
23 need approval from the pipeline company to allow the houses near the pipeline. Trash services, etc. will  
24 be worked out by an intermunicipal agreement.

25 Ernest made a motion to recommend that the Board of Supervisors approve the Preliminary/Final Plan for  
26 1338 Morestein Road provided that the Board of Supervisors approves the following two waiver requests  
27 and the Fire Marshall and Township Engineer approve the response to questions identified in their  
28 review:

- 29 1. Remove the green center island
- 30 2. Joint Submission of Preliminary and Final subdivision and land development

31 The Board of Supervisors will have to discuss an intermunicipal agreement with West Whiteland  
32 Township. Mike K seconded the motion. The motion passed unanimously.

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34  
35 **CONDITIONAL USES AND VARIANCES** - None

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37  
38 **ZONING HEARING BOARD VARIANCES** - None

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40  
41 **ORDINANCE AMENDMENTS** - None

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43  
44 **OLD BUSINESS**

45 1. New Member Package - Ernest mentioned that the Commission needs to review the new member  
46 package at the next meeting.

47 2. By Laws – Ernest has to sign the Bylaws.

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49  
50 **NEW BUSINESS** – None

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52  
53 **LIAISON REPORTS**

1 **1. Board of Supervisors** – John mentioned that they are keeping Pennoni as the township engineer. The  
2 Police Commission is considering cutting down the number of cars to save money. The Municipal  
3 Authority has two new members.  
4

5  
6 **ANY OTHER MATTER** – None  
7

8  
9 **CORRESPONDENCE** - None  
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11  
12 **ADJOURNMENT**

13 There being no further business, Dan T. made a motion to adjourn the meeting. John seconded the  
14 motion. The meeting was adjourned at 8:35 pm.

15 The next meeting will be held on Tuesday November 26, 2024 at 7 p.m.  
16

17 Respectfully submitted,  
18

19  
20  
21 \_\_\_\_\_  
22 *Ruth Kiefer, Recording Secretary*

# Memorandum

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East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380  
610-692-7171 ext. 3103  
[kkrause@eastgoshen.org](mailto:kkrause@eastgoshen.org)

Date: October 17, 2024  
To: East Goshen Township Planning Commission  
From: Kelly A. Krause, Zoning Officer  
Re: 1344 Morstein Road- 2 Lot Preliminary/Final Subdivision Plan

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The Township Staff has received a Preliminary/Final Subdivision Plan application for 1344 Morstein Road. The proposal is to develop the property into two (2) single family residential lots, accessed by private road.

## **Background information:**

- Existing single-family residential lot on 5.5 acres with multiple structures.
- The property was subdivided in 1998 from one (1) lot into two (2) lots as they exist today.
- A sketch plan was previously presented to the Planning Commission as a three (3) lot subdivision. The plan has been revised to create (1) one new lot, with the existing house to remain, shown on the plan as Lot 2.
- The revised plan proposes an easement on Lot 2 (existing house) for the construction and maintenance of the required stormwater facilities for the new house proposed on Lot 1.

## **Zoning Information:**

- The property is in the R-2 Low Density Residential District (240-9).
- Single family detached dwellings are a use permitted by right.
- The minimum lot area is 1 acre.
- The front yard is 45 feet, the side yard is 20 feet, and the rear yard is 50 feet.
- The minimum building height is 30 feet (3 stories).
- Total impervious cover is 35%.
- Total building cover is 25%.
- The zoning also notes that design and landscape controls in 240-27D shall apply to residential development in this district.
- The property is outside the flood area.
- The property may be located within the 660 feet requirement for a pipeline awareness study for 2 separate pipelines.

## **Comments:**

- 1344 & 1344 A Morstien Road are currently accessed by a private “driveway”, as defined in §205-7 of the Subdivision and Land Development Ordinance, which is a permitted access for a maximum of two residential parcels. The existing driveway is proposed to become a private street, with a cartway width of 20 feet where 22 feet is the minimum

## **Memorandum**

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required. §205-44E(2) allows the Board of Supervisors to reduce the minimum width to 20 feet if a cul-de-sac street is proposed and meets the following standards:

A cul-de-sac street is a minor street. Turnaround shall have a right-of-way diameter of 120 feet. Turnaround cartway paving width shall be 40 feet with a ten-foot radius center island. See Appendix and Subsection E(1) and (2).

In lieu of a cul-de-sac, a 30'x 39.73' rectangular turnaround is proposed to be located on Lot 1.

- The plan proposes an easement to be located on Lot 2 (existing house) for the purpose of providing the required stormwater management facilities for the new house on Lot 1. Consideration should be given to adjust the proposed lot lines to incorporate the stormwater facilities onto Lot 1.

# Memorandum

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East Goshen Township  
1580 Paoli Pike  
West Chester, PA 19380  
Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [dbrady@eastgoshen.org](mailto:dbrady@eastgoshen.org)

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Date: October 17, 2024  
To: Zoning Officer  
From: Duane J. Brady Sr., East Goshen Township Fire Marshal  
Re: **1344 Morstein Road Subdivision Plan Application**

Dear Zoning Officer,

The Township Fire Marshal has reviewed the Subdivision Plan dated April 11, 2024, for the creation of a new two lot Subdivision. The plan shows that the road will be a private road with one new lot and one existing lot. I provide following comments:

All code information is from the International Fire Code 2018 Edition (IFC) and East Goshen Township Code Chapter 205 Subdivision and Land Development section 205-30 Preliminary plan requirements, Part C.3.D.

1. Private road (fire access road) shall be installed to carry a minimum of 75,000 pounds as required for a fire access road. IFC 2018 section 503.2.3 Surface.
2. Private road (fire access road) shall be installed with a grade that does not exceed 10 percent in grade. 2018 section 503.2.7 Grade.
3. Private road (fire access road) shall meet the required apparatus turning requirements. As required in the IFC 2018 section 503.2 Specifications.
4. Private road (fire access road) the private road is required to have Fire Lane No Parking signs if the minimum of 20 feet width is installed. 2018 section 503.3 Marking.
5. Private road (fire access road) shall meet the required apparatus turning requirements. As required in the IFC 2018 section 503.2 Specifications.
6. Driveway (fire access road) a driveway is considered a fire access road and shall be a minimum of twenty feet as required pre the IFC 2018 section 503.2. specifications.
7. The driveway (fire access road) shall be installed to carry a minimum of 75,000 pounds as required for a fire access road. IFC 2018 section 503.2.3 Surface.
8. The driveway (fire access road) shall be installed with a grade that does not exceed 10 percent in grade. 2018 section 503.2.7 Grade.
9. The driveway (fire access road) shall meet the required apparatus dead ends requirements. 2018 section 503.2.5 Dead ends. Please provide a Fire Turck Pathway Plan showing the requirements will meet code.
10. Fire hydrant, locations are not marked or located on the plans.
11. Fire hydrants show existing locations of hydrants in the area and distance to new development.
12. Fire hydrant will the new fire hydrant/s installed system be private or public.
13. Fire hydrants and fire flow rate must meet the IFC 2018 code requirements.



14. Provide the size of the largest dwelling unit to calculate the required fire flow rate for the development.
15. Provide the existing available fire flow rate to the development.
16. East Goshen Township Code Chapter 205 Subdivision and Land Development section 205-30 Preliminary plan requirements, Part C.3.D. requires size and location of fire hydrants be shown on plans. Fire hydrants were not marked on plans.
17. The existing driveway is a shared driveway with 1344 A Morstein Road. If an easement exists for the driveway, please provide a copy as this may affect this project.

Sincerely,

*Duane J. Brady Sr.*

Duane J. Brady Sr.  
East Goshen Township  
Fire Marshal



# Memorandum

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**East Goshen Township**  
**1580 Paoli Pike**  
**West Chester, PA 19380**  
Voice: 610-692-7171  
Fax: 610-692-8950  
E-mail: [dbrady@eastgoshen.org](mailto:dbrady@eastgoshen.org)

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Date: 2-17-2024  
To: Planning Commission  
From: Duane J. Brady Sr., East Goshen Township Zoning Officer  
Re: **1344 Morstein Road Subdivision/Sketch Plan Application**

Dear Commissioners,

The Township Staff has received a Sketch Plan application for 1344 Morstein Road. The proposal is to develop the property into three (3) single family residential lots. The application has been reviewed for completeness and was accepted by Township Staff on 2-16-2024.

## **Background information:**

- Existing single-family residential lot on 5.5 acres with multiple structures.
- The property was subdivided in 1998 from 1 lot into 2 lots as they exist today.
- The proposed plan is to create 3 building lots with 1 lot being used for the existing house and accessory structures.
- The proposal is to do a straightforward zoning by-right planning process.

## **Zoning Information:**

- The property is in the R-2 Low Density Residential District (240-9).
- Single family detached dwellings are a use permitted by right.
- The minimum lot area is 1 acre.
- The front yard is 45 feet, the side yard is 20 feet, and the rear yard is 50 feet.
- The minimum building height is 30 feet (3 stories).
- Total impervious cover is 35%.
- Total building cover is 25%.
- The zoning also notes that design and landscape controls in 240-27D shall apply to residential development in this district.
- The property is outside the flood area.
- The property may be located within the 660 feet requirement for a pipeline awareness study for 2 separate pipelines.

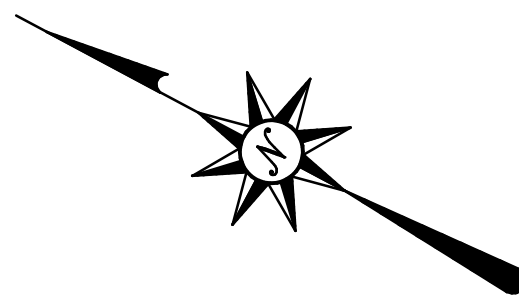
This is the initial sketch plan submission with background and zoning information. The plan will also be reviewed for comments by the Township Engineer, Township Zoning Officer, Township Fire Marshal, and will be offered for review by the Township Sewer Authority, Township Parks & Recreation Board, and Township Conservancy Board or review and comments.

The applicant will be at the March 26, 2024, Planning Commission Meeting to review comments and ask questions of the Planning Commission.

Respectfully,

Duane J. Brady Sr.  
East Goshen Township  
Zoning Officer (PA-CZO)





LEGEND	
	EXISTING FENCE
	EXISTING SIGN
	EXISTING CURB
	EXISTING EDGE OF PAVING/DRIVEWAY
	PROPOSED EDGE OF PAVING/DRIVEWAY
	WIDENING OF EXISTING DRIVE
	EXISTING BUILDING
	PROPOSED BUILDING

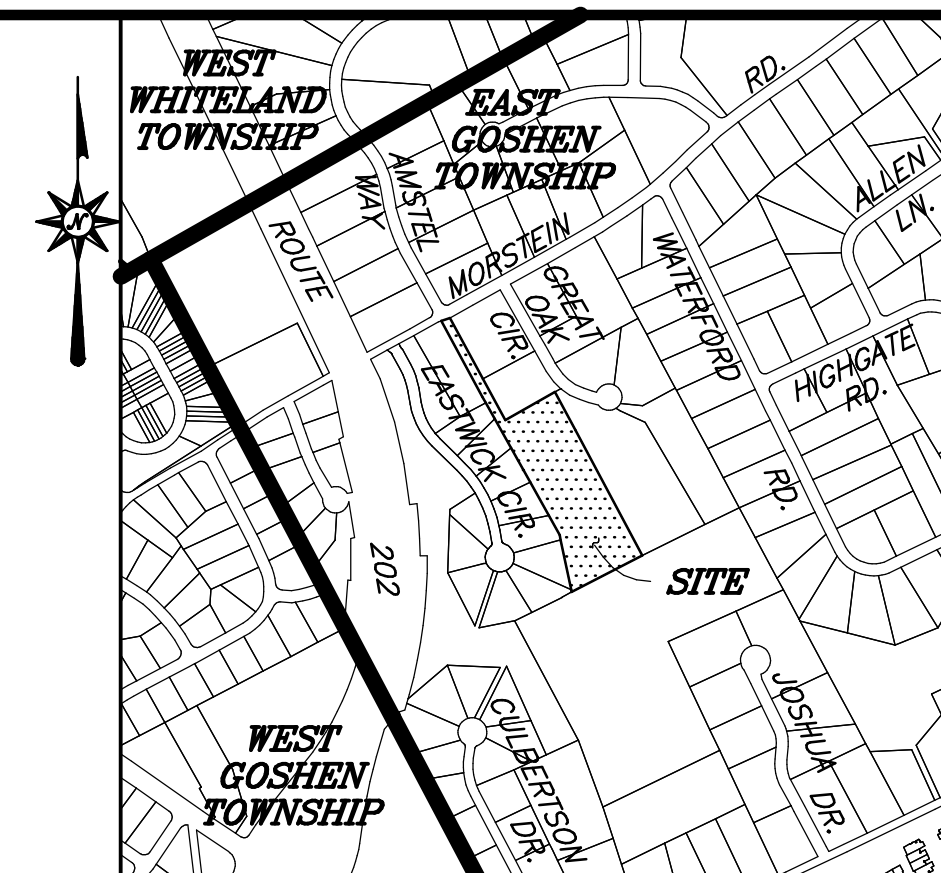
**ZONING DATA**

R-2 ZONING DISTRICT

	REQUIRED	LOT 1	LOT 2
MINIMUM LOT AREA	1 ACRE	1,251 AC	3,401 AC
MINIMUM LOT WIDTH	150 FEET AT BUILDING LINE	290 FT	274 FT
MINIMUM FRONT YARD	60 FEET AT STREET LINE	60 FT	50 FT (FLAG LOT)
	60 FEET AVERAGE	60 FT	60 FT
MINIMUM SIDE YARD	20 FEET	20 FT	20 FT
MINIMUM REAR YARD	50 FEET	50 FT	50 FT
MAXIMUM COVERAGE	25% BUILDINGS	2,446 SF, 4.49%	2,800 SF, 1.89%
	35% TOTAL	5,417 SF, 9.95%	11,432 SF, 7.72%

**IMPERVIOUS COVER BREAKDOWN**

	LOT 1	LOT 2
HOUSE	2,446 SF	2,800 SF
DRIVEWAY	2,719 SF	6,687 SF
ACCESSORY BUILDINGS	—	504 SF
SIDEWALK/PATIO	252 SF	1,441 SF
<b>TOTAL</b>	<b>5,417 SF</b>	<b>11,432 SF</b>



**LOCATION MAP**

SCALE: 1"=800'

COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER

On the \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_\_\_ before me, the subscriber, a Notary Public of the Commonwealth of Pennsylvania, residing in \_\_\_\_\_, personally appeared \_\_\_\_\_ who acknowledges herself to be the owner of said property as depicted hereon, and that as such she executed the foregoing plan by signing her name

\_\_\_\_\_ that she is the owner of the designated land, that all necessary approval of the plan has been obtained and is endorsed thereon and that the said he desires that the foregoing plan may be duly recorded.

Notary Public

My Commission Expires: \_\_\_\_\_

REVIEWED by the Planning Commission of East Goshen Township, Chester County, Pa., this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Chairman	Member
Vice-Chairman	Member
Member	Member
Member	Member

APPROVED by the Board of Supervisors of East Goshen Township, Chester County, Pa., this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Chairman	Supervisor
Vice-Chairman	Supervisor
Supervisor	Supervisor

REVIEWED by the Chester County Planning Commission this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Secretary

APPROVED by the East Goshen Township Engineer;

Date

Recorded in the Office of the Recorder of Deeds of Chester County at West Chester, Pennsylvania in Plan book \_\_\_\_\_ Page \_\_\_\_\_, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

(Deputy) Recorder of Deeds

**SURVEYOR'S CERTIFICATION**

I, \_\_\_\_\_ hereby certify that the boundary shown hereon was calculated by me and that the plan and survey accuracy is in conformance with all East Goshen Township Ordinances.

Signature \_\_\_\_\_ Date \_\_\_\_\_

**PRELIMINARY/FINAL TITLE PLAN**

**SUBDIVISION PLAN FOR 1344 MORSTEIN ROAD**

EAST GOSHEN TOWNSHIP CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.

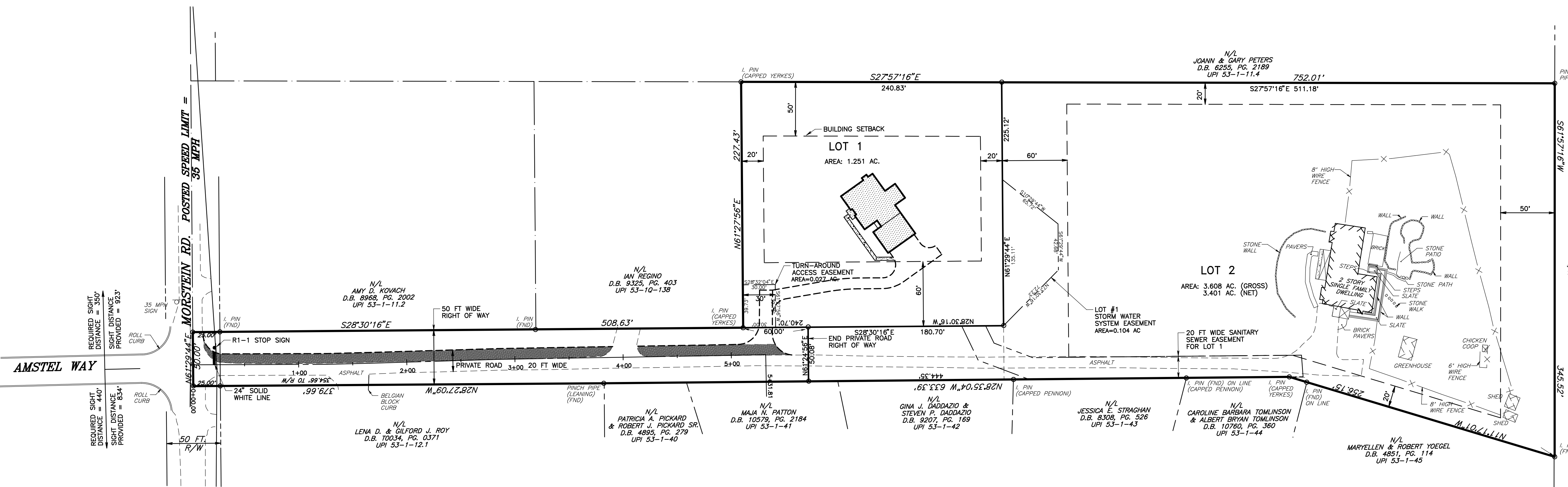
CIVIL ENGINEERS & SURVEYORS

Whiteland Business Park 855 Springdale Drive, Suite 202 Exton, Pennsylvania 19341 Phone: 610-903-0080 Fax: 610-903-0080



Project - 5019 Date - 4/11/24 Scale - 1" = 50' Drawn - D.B. Checked - A.J.B. Sheet - 1 OF 9

Plotted: 8/30/2024 File: F:\JIB\5019\FPS\5019-B.prt



**GENERAL NOTES:**

- BOUNDARY, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION IS FROM A FIELD SURVEY PERFORMED BY EDWARD B. WALSH & ASSOCIATES, INC. ON APRIL 11, 2024.
- BOUNDARY SURVEY WAS BASED UPON DEEDS OF RECORD. A TITLE REPORT WAS NOT PROVIDED; THEREFORE, THE SURVEY MAY NOT DEPICT ALL RIGHTS, EASEMENTS, ETC. ATTACHED TO THE PROPERTY THAT A CURRENT AND COMPLETE TITLE REPORT MAY DISCLOSE.
- OWNER OF RECORD: KYONG-AIE THOMAS
- SITE ADDRESS: 1344 MORSTEIN RD., WEST CHESTER, PA 19380
- RECORDING INFORMATION: DEED BOOK 10543, PAGE 119 RECORDED AT THE CHESTER COUNTY RECORDER OF DEEDS, BEING UPI 53-1-11.1 AT THE CHESTER COUNTY TAX BUREAU.
- BEARING BASIS FOR THE SURVEY AS SHOWN ARE REFERENCED TO NAD 83, PA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE AS DERIVED FROM GPS OBSERVATIONS.
- VERTICAL DATUM - NAVD 88
- LOT AREA = 240,226.21 SQ. FT. (5.515 ACRES)
- UTILITY LOCATIONS SHOWN HEREON ARE BASE UPON VISIBLE EVIDENCE, SUPPLEMENTED WITH INFORMATION SHOWN ON UTILITY COMPANY PLANS. EDWARD B. WALSH & ASSOCIATES, INC. (EBWA) DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS OF EXISTING SUBSURFACE UTILITY LINES, STRUCTURES, ETC. SHOWN ON THESE PLANS, NOR DOES EBWA GUARANTEE THAT ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. ARE SHOWN.
- THE PROPOSED LOT WILL CONNECT TO PUBLIC SANITARY SEWER AND WATER SUPPLY.
- A HOMEOWNERS ASSOCIATION WILL BE CREATED AND WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE ROAD LOCATED IN THE 50 FT WIDE RIGHT OF WAY AREA.
- THE HOMEOWNER OF LOT 1 WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM LOCATED ON LOTS 1 AND 2.

**SHEET INDEX**

TITLE PLAN	1 OF 9
EXISTING FEATURES PLAN	2 OF 9
CONSTRUCTION IMPROVEMENT PLAN	3 OF 9
EROSION & SEDIMENTATION CONTROL PLAN	4 OF 9
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN	5 OF 9
LANDSCAPE PLAN	6 OF 9
PROFILE SHEET	7 OF 9
DETAIL SHEET	8-9 OF 9

**Property Owners Certification:**

The landowner acknowledges that, per the provisions of the East Goshen Township Stormwater Management Ordinance, it is unlawful to modify, remove, fill, landscape, alter or impair the effectiveness of, or place any structure, other vegetation, yard waste, brush cuttings, or other waste or debris into any permanent stormwater management BMP or conveyance described in this O&M plan or to allow the BMP conveyance to exist in a condition which does not conform to this O&M plan, without written approval from the Township. The individual lot owner, his/her heirs, assigns or successors, shall be responsible for the perpetual maintenance of the said facilities. "A blanket stormwater management easement is provided over and across the property in favor of East Goshen Township to allow the Township and its agent and designees access to the proposed stormwater facilities. The Township is granted the right, but not the duty, to access and conduct periodic inspections and to undertake other actions that may be necessary to enforce the requirements of the Township's Stormwater Management Ordinance or of any applicable O&M plan or O&M agreement." If the property owner, his/her heirs, assigns or successors fails in any way to maintain the said facilities or causes these facilities to be altered or removed, upon written notification by the Township, the defects shall promptly be corrected by property owner. Upon the owner's failure to correct the defects within time specified by the Township, his/her heirs, assigns or successors do hereby authorize the Township and/or their contractor to enter upon the said property and cause the repair, maintenance, and/or correction to be made, a lien may be filed against the property for the cost of all corrections including applicable engineering and/or attorney's fees. The Township is under no obligation to take any action. All subsequent real estate transactions, the existence of these stormwater facilities and their maintenance responsibilities shall be disclosed to the new owners. Any revision to the approved SWM site plan shall be submitted to the Township along with an Erosion & Sedimentation Control Plan for review and approval.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ NAME \_\_\_\_\_

**ENGINEER CERTIFICATION:**

I, \_\_\_\_\_, ON THIS DATE \_\_\_\_\_, HEREBY CERTIFY THAT TO THE BEST OF KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE EAST GOSHEN TOWNSHIP ORDINANCE NO. 129-F "EAST GOSHEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE."

SIGNATURE \_\_\_\_\_ NAME \_\_\_\_\_

**OWNER OF RECORD**  
KYONG-AIE THOMAS  
1344 MORSTEIN RD.  
WEST CHESTER, PA 19380  
D.B. 10543 PG. 119

GRAPHIC SCALE 1"=50'



**ACT 287 PENNSYLVANIA ONE CALL NOTIFICATION**

Preliminary Serial No. 20241000545 date \_\_\_\_\_  
Final Serial No. \_\_\_\_\_ date \_\_\_\_\_

UNDERGROUND UTILITY LINE PROTECTION LAW (ACT 287, AS AMENDED) E. B. Walsh & Associates, Inc. (EBWA) does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does EBWA guarantee that all subsurface utility lines, structures, etc. are shown.

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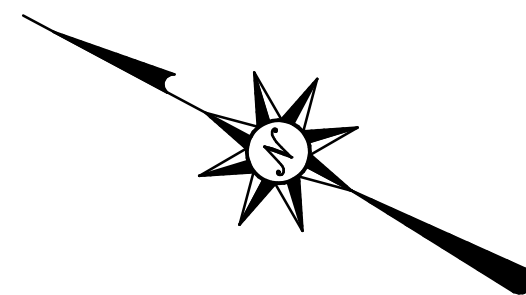
If construction does not occur within 90-days of the above final one-call notification, the project owner is required to make notification to Pa One Call not less than 10 nor more than 90 business days before initiating construction, as per Section 4 of Act 287.

**UTILITIES NOTIFIED**

- COMCAST PLMG
- EAST GOSHEN TOWNSHIP
- AQUA PA DESIGN
- COMCAST CABLE
- PECO EXELON CO.
- TRANSICO GAS PL
- VERIZON EASTERN

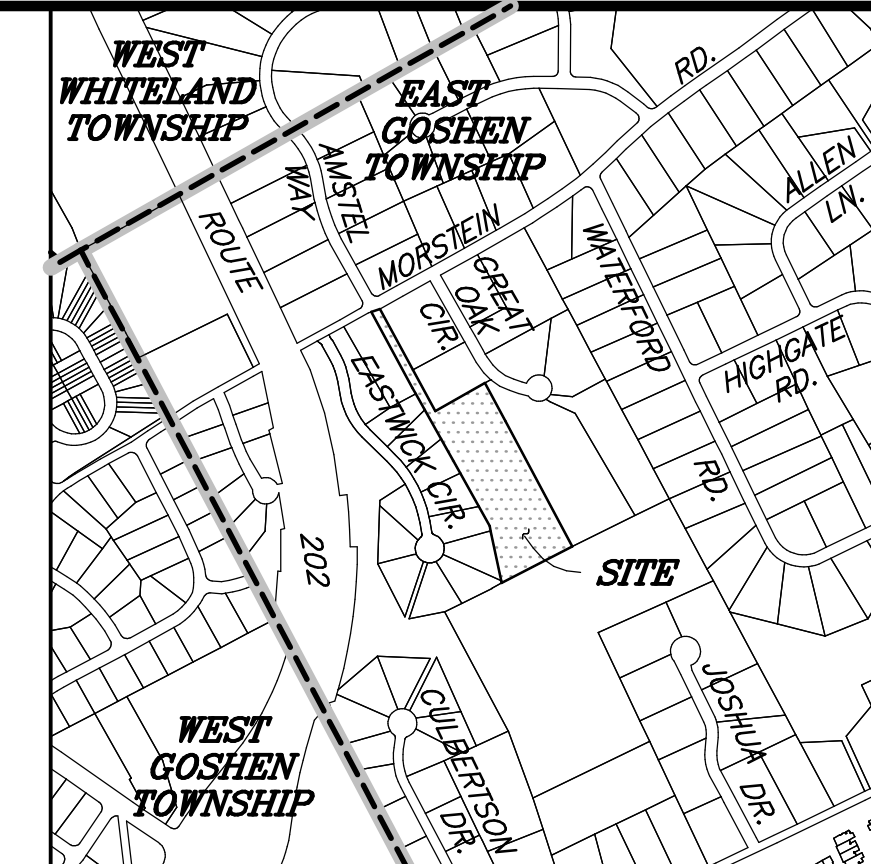


UPI NO. 53-1-11.1

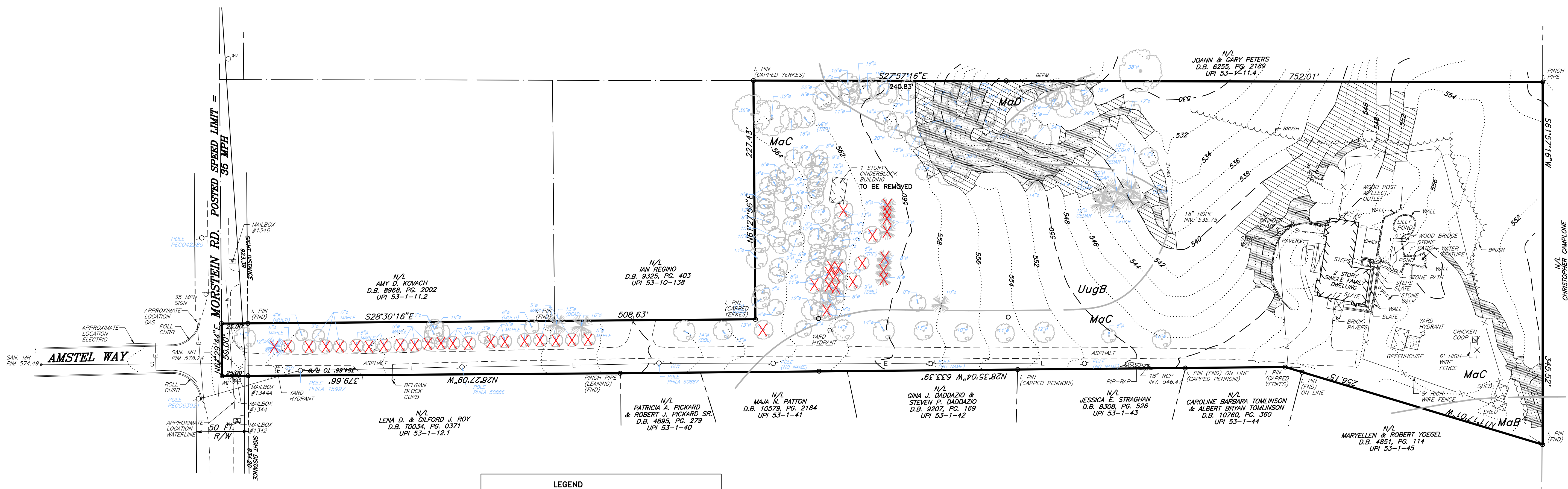


**SOILS CLASSIFICATION**

- MgB - MANOR LOAM, 3 TO 8 PERCENT SLOPES, HYDROLOGIC SOIL GROUP B
- MgC - MANOR LOAM, 8 TO 15 PERCENT SLOPES, HYDROLOGIC SOIL GROUP B
- MgD - MANOR LOAM, 15 TO 25 PERCENT SLOPES, HYDROLOGIC SOIL GROUP B
- UugB - URBAN LAND - UDRORTMENTS, SHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES, HYDROLOGIC GROUP C



LOCATION MAP  
SCALE: 1"=800'



LEGEND	
	4.30 EXISTING INDEX CONTOUR
	EXISTING INTERIOR CONTOUR
	EXISTING WATER SERVICE
	WATER VALVE
	EXISTING SANITARY SEWER PIPE
	EXISTING FORCE MAIN PIPE
	EXISTING SANITARY MANHOLE
	EXISTING GAS SERVICE
	EXISTING ELECTRIC SERVICE
	EXISTING UTILITY POLE
	SOILS BOUNDARY LINE
	EXISTING FENCE
	STEEP SLOPES 15-25%
	STEEP SLOPES 25%+
	EXISTING SIGN
	EXISTING CURB
	EXISTING EDGE OF PAVING/DRIVEWAY
	EXISTING CONCRETE
	EXISTING BUILDING
	EXISTING DECIDUOUS TREE
	EXISTING EVERGREEN TREE
	EXISTING DECIDUOUS TREE TO BE REMOVED
	EXISTING EVERGREEN TREE TO BE REMOVED

**ACT 287 PENNSYLVANIA ONE CALL NOTIFICATION**

Preliminary Serial No. 20241000545 date \_\_\_\_\_

Final Serial No. \_\_\_\_\_ date \_\_\_\_\_

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- TRANSICO GAS PL
- VERIZON EASTERN

UPI NO. 53-1-11.1

**PRELIMINARY/FINAL  
EXISTING FEATURES PLAN**

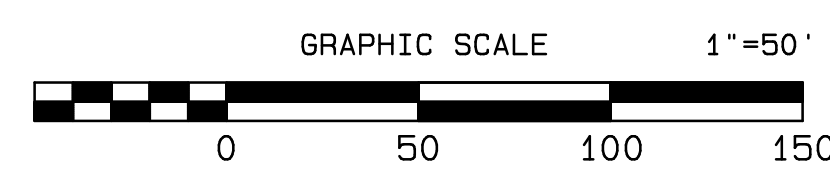
**SUBDIVISION PLAN  
FOR  
1344 MORSTEIN ROAD**

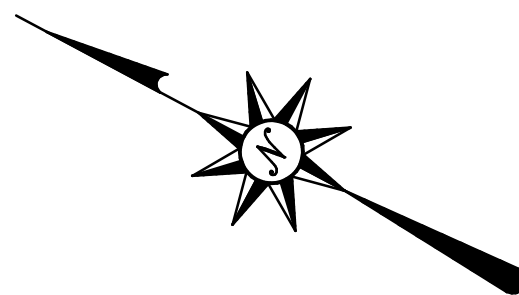
EAST GOSHEN TOWNSHIP CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.  
CIVIL ENGINEERS & SURVEYORS

Whiteland Business Park  
855 Springdale Drive, Suite 202  
Exton, Pennsylvania 19341  
Phone: 610-903-0060  
Fax: 610-903-0080

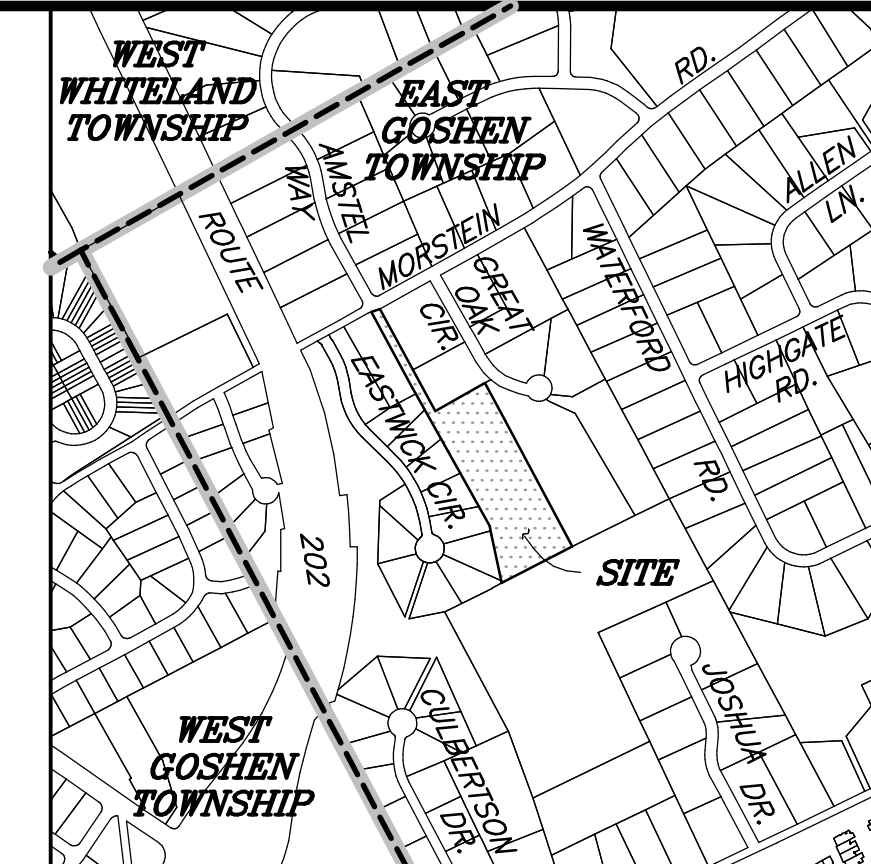
Project - 5019  
Date - 4/11/24  
Scale - 1" = 50'  
Drawn - D.B.  
Checked - A.J.B.  
Sheet - 2 OF 9



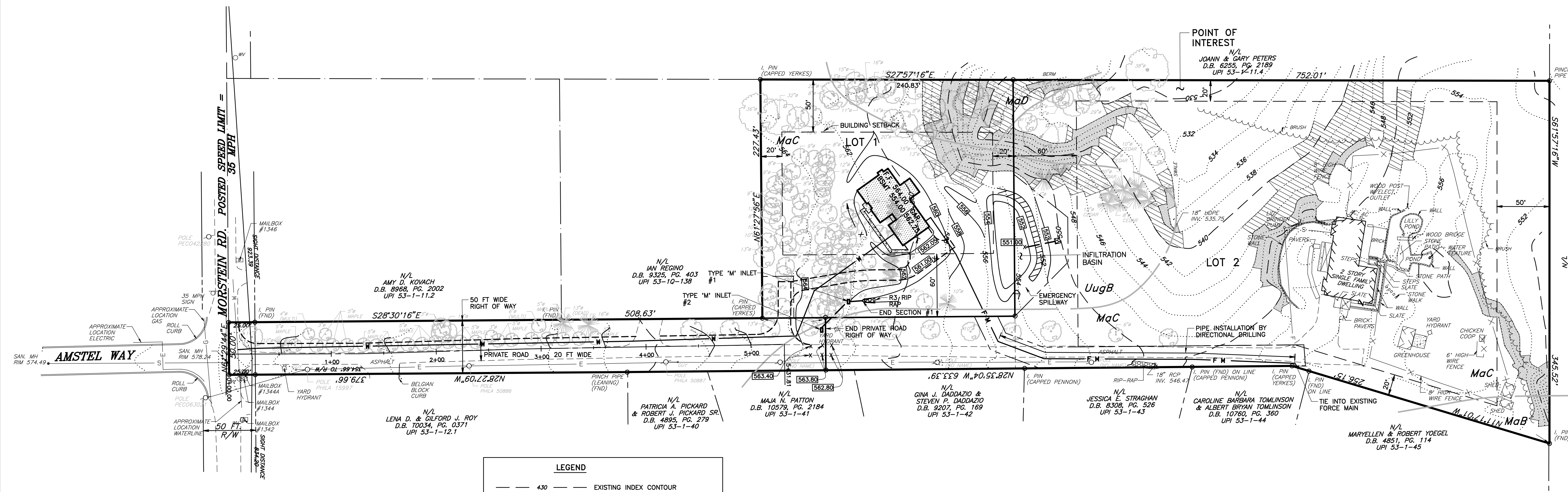


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LOCATION MAP  
SCALE: 1"=800'



LEGEND	
	EXISTING INDEX CONTOUR
	EXISTING INTERIOR CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED INLET
	PROPOSED STORM SEWER PIPE
	PROPOSED FLARED END SECTION
	EXISTING WATER SERVICE
	PROPOSED WATER SERVICE
	WATER VALVE
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	PROPOSED FORCE MAIN PIPE
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	EXISTING UTILITY POLE
	SOILS BOUNDARY LINE
	EXISTING FENCE
	STEEP SLOPES 15-25%
	STEEP SLOPES 25%+
	EXISTING SIGN
	EXISTING CURB
	EXISTING EDGE OF PAVING/DRIVEWAY
	PROPOSED EDGE OF PAVING/DRIVEWAY
	EXISTING CONCRETE
	PROPOSED CONCRETE
	EXISTING BUILDING
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	EXISTING EVERGREEN TREE

**ACT 287 PENNSYLVANIA ONE CALL NOTIFICATION**

Preliminary Serial No. 20241000545 date \_\_\_\_\_

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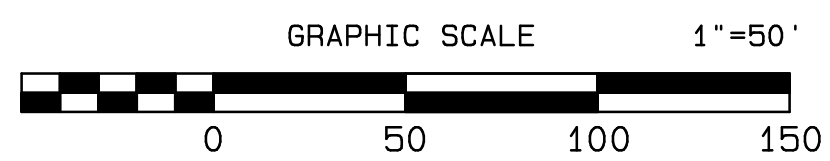
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- VERIZON EASTERN

UPI NO. 53-1-11.1



**PRELIMINARY/FINAL  
CONSTRUCTION IMPROVEMENT PLAN**

SUBDIVISION PLAN  
FOR  
**1344 MORSTEIN ROAD**

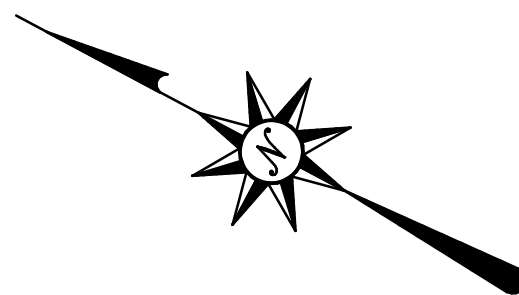
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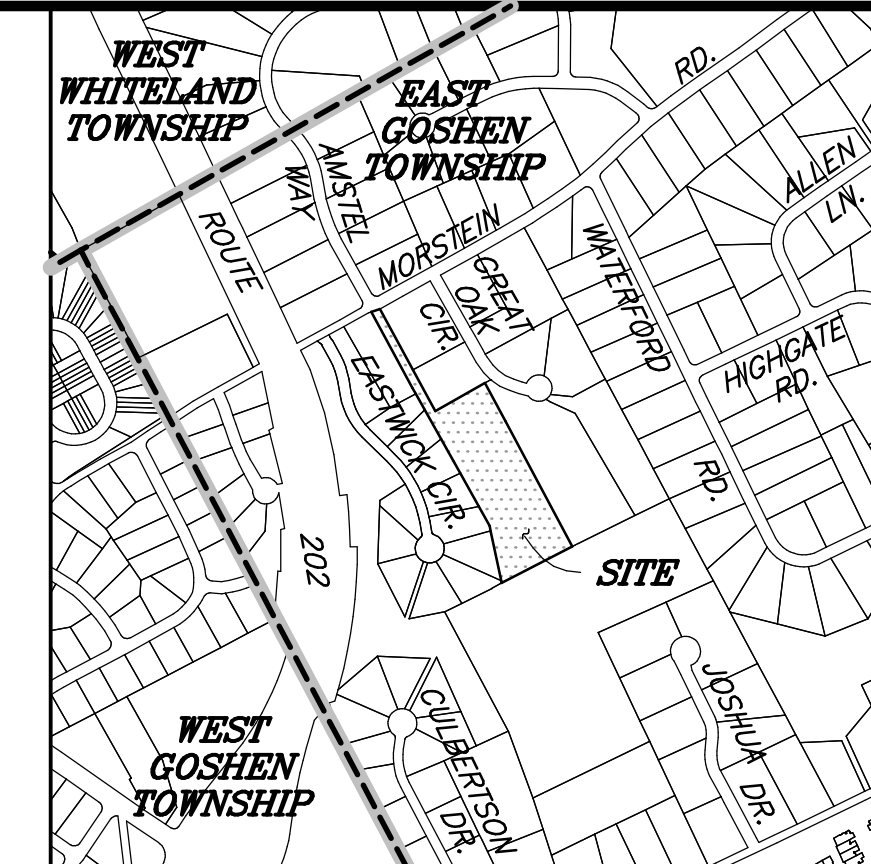
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Date- 4/11/24  
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Drawn- D.B.  
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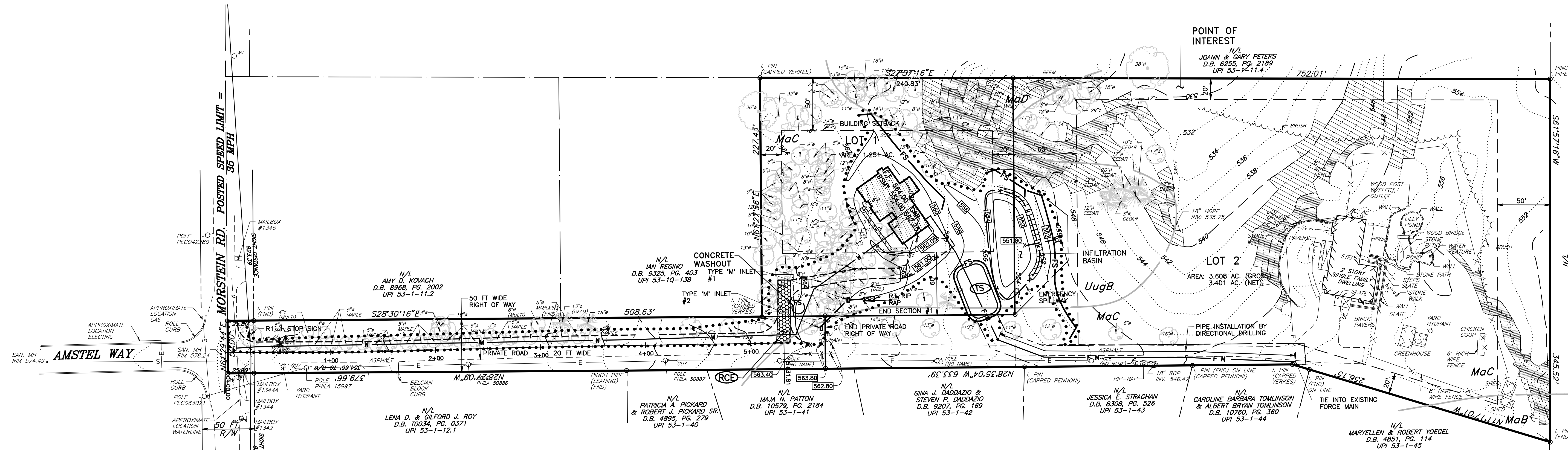


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LOCATION MAP  
SCALE: 1"=800'



DISTURBED AREA = .924 ACRES

**LEGEND**

---	430	EXISTING INDEX CONTOUR
---	430	EXISTING INTERIOR CONTOUR
---	430	PROPOSED CONTOUR
---	64.68	PROPOSED SPOT ELEVATION
---	□	PROPOSED INLET
---	▽	PROPOSED STORM SEWER PIPE
---	▽	PROPOSED FLARED END SECTION
---	W	EXISTING WATER SERVICE
---	W	PROPOSED WATER SERVICE
---	WV	WATER VALVE
---	S	EXISTING SANITARY SEWER PIPE
---	FM	EXISTING FORCE MAIN PIPE
---	FM	PROPOSED FORCE MAIN PIPE
---	⊙	EXISTING SANITARY MANHOLE
---	C	EXISTING GAS SERVICE
---	E	EXISTING ELECTRIC SERVICE
---	⊙	EXISTING UTILITY POLE
---	---	SOILS BOUNDARY LINE
---	X	EXISTING FENCE
---	---	STEEP SLOPES 15-25%
---	---	STEEP SLOPES 25%+
---	---	EXISTING SIGN
---	---	EXISTING CURB
---	---	EXISTING EDGE OF PAVING/DRIVEWAY
---	---	PROPOSED EDGE OF PAVING/DRIVEWAY
---	---	EXISTING CONCRETE
---	---	PROPOSED CONCRETE
---	---	EXISTING BUILDING
---	---	EXISTING DECIDUOUS TREE
---	---	EXISTING EVERGREEN TREE

**EROSION & SEDIMENTATION CONTROL LEGEND**

---	---	LIMIT OF DISTURBANCE
---	FS	FILTER SOCK
---	X	TEMPORARY ORANGE CONSTRUCTION FENCE
---	TS	TOPSOIL STOCKPILE
---	RCE	ROCK CONSTR. ENTRANCE

**CONSTRUCTION SEQUENCE**

- LIMIT OF DISTURBANCE IS TO BE FIELD DELINEATED PRIOR TO START OF ANY EARTH MOVING ACTIVITIES. THE LIMIT OF DISTURBANCE SHALL BE DELINEATED WITH ROPE AND STAKE OR ORANGE CONSTRUCTION FENCE. NO DISTURBANCE BEYOND THE STAKED LIMIT OF DISTURBANCE IS ALLOWED.
  - INSTALL STONE CONSTRUCTION ENTRANCE.
  - INSTALL FILTER SOCK AND ORANGE CONSTRUCTION FENCE AS SHOWN. ANY COMPACTION OF STORMWATER FACILITIES MUST BE AVOIDED.
  - PERFORM CLEARING IN AREA TO BE DISTURBED, STRIP TOPSOIL AND STOCKPILE WHERE SHOWN. INSTALL CONCRETE WASHOUT.
  - GRADE DRIVEWAY AND LOT. NOTE DISTURBANCE OF STORMWATER SWM MUST BE AVOIDED UNTIL IT IS INSTALLED. INSTALL UTILITIES TO SERVICE THE RESIDENCE.
  - INSTALL STONE BASE COURSE IN DRIVEWAY.
  - BEGIN HOUSE CONSTRUCTION.
  - INSTALL WATER SERVICE AND SANITARY SEWER SERVICE PIPING.
  - FINE GRADE AND SEED AND MULCH.
  - EXCAVATE AND CONSTRUCT STORMWATER SWM PER DETAIL. INSTALL EROSION CONTROL BLANKET IN SPILLWAY.
  - INSTALL INLET AND PIPING.
  - FINISH PAVE DRIVEWAY.
  - REMOVE ANY SEDIMENT IN THE BOTTOM OF SWM AND INSTALL AMENDED SOILS. STABILIZE, SEED AND MULCH WITH RAIN GARDEN SEED MIX.
  - REMOVE FILTER SOCK WHEN GRADED AREAS HAVE STABILIZED TO 70% DENSITY.
- NOTE:**
- NO WORK IS PERMITTED TO TAKE PLACE UNTIL ALL EROSION AND SEDIMENTATION PROTECTION CONTROL MEASURES HAVE BEEN SATISFACTORILY INSTALLED.
  - EXCAVATION SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE BED. EQUIPMENT SHALL NOT BE ALLOWED ON EXCAVATED AREAS OF THE SEEPAGE BEDS AT ANY TIME DURING ITS CONSTRUCTION.

**GENERAL NOTES**

- CONSTRUCTION SHALL IMMEDIATELY CEASE IF THE EARTH DISTURBANCE AREA EXCEEDS 1 ACRE AND NOT RESUME UNTIL A NPDES PERMIT OR APPROVAL OF A CORRECTIVE ACTION PLAN IS OBTAINED.
- "DURING SITE CONSTRUCTION, ALL INFILTRATION PRACTICE COMPONENTS SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL. INFILTRATION AREAS SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY. ADEQUATE DOCUMENTATION TO THIS EFFECT SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW. ALL AREAS DESIGNATED FOR INFILTRATION SHALL NOT RECEIVE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION.

**ACT 287 PENNSYLVANIA ONE CALL NOTIFICATION**

Preliminary Serial No. 20241000545 date \_\_\_\_\_

\*Final Serial No. \_\_\_\_\_ date \_\_\_\_\_

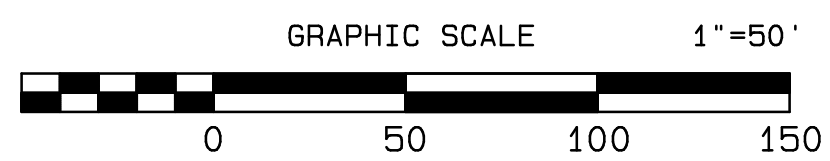
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UPI NO. 53-1-11.1



**PRELIMINARY/FINAL  
EROSION & SEDIMENTATION  
CONTROL PLAN**

SUBDIVISION PLAN FOR  
**1344 MORSTEIN ROAD**

EAST GOSHEN TOWNSHIP CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.  
CIVIL ENGINEERS & SURVEYORS

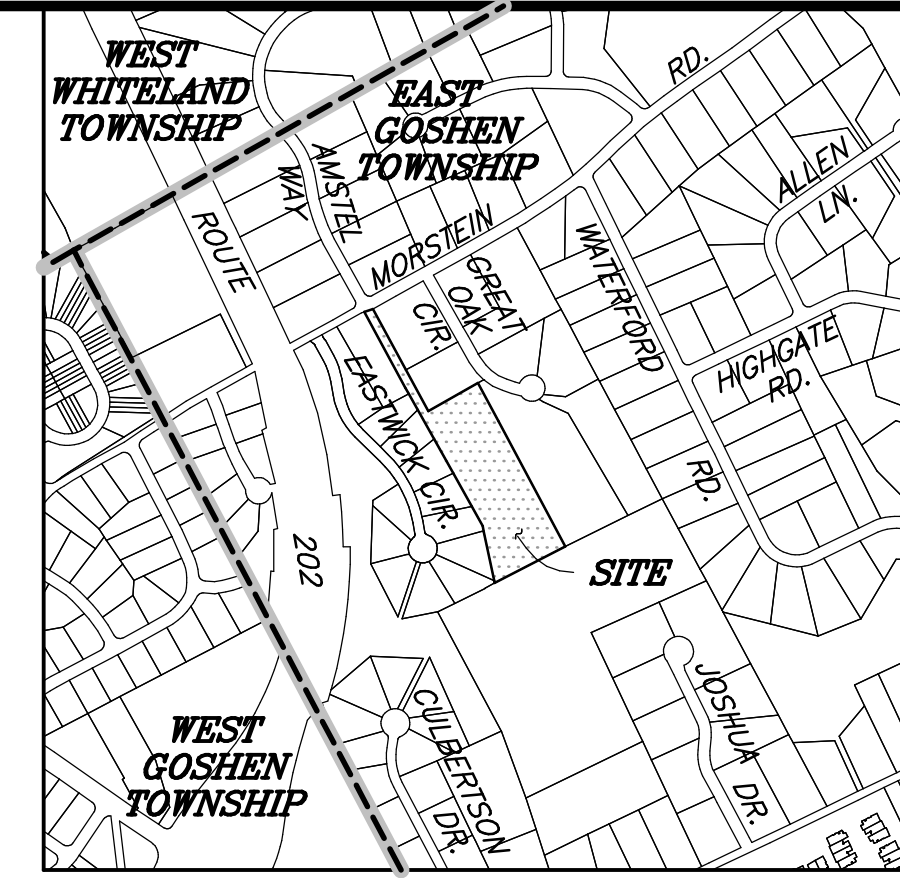
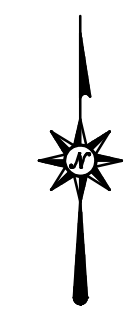
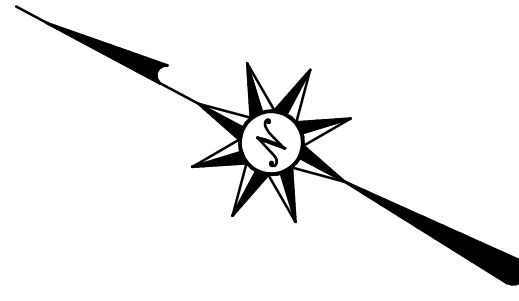
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Project - 5019  
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Drawn - D.B.  
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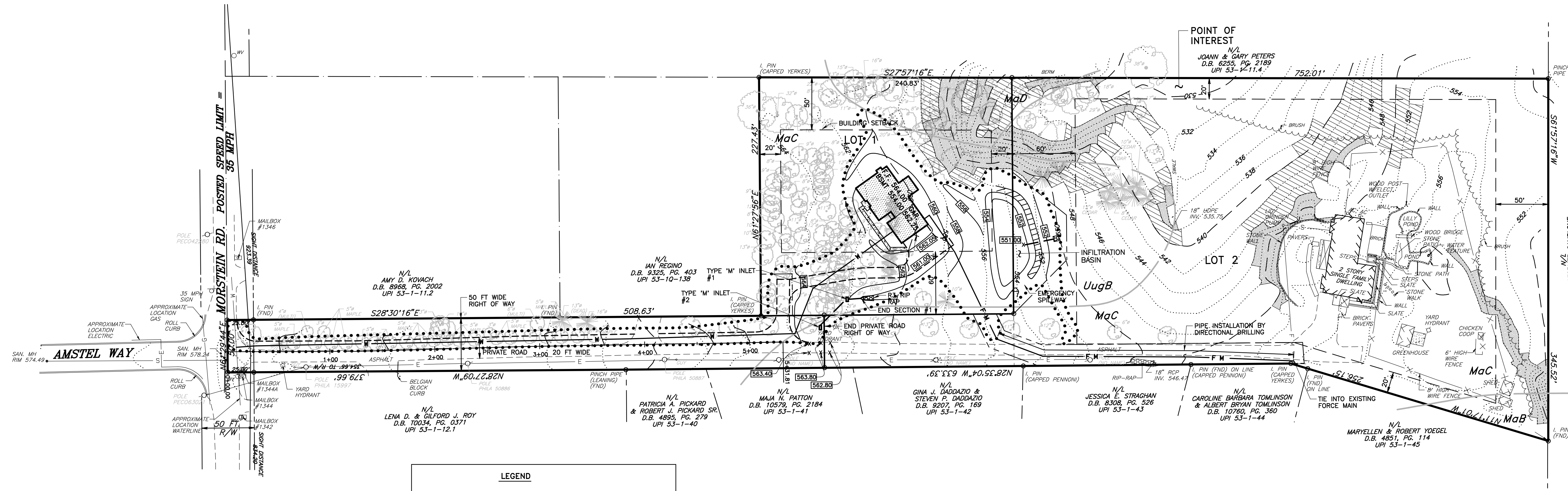
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LOCATION MAP  
SCALE: 1"=800'



LEGEND	
	EXISTING INDEX CONTOUR
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	PROPOSED FLARED END SECTION
	EXISTING WATER SERVICE
	PROPOSED WATER SERVICE
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	EXISTING SANITARY SEWER PIPE
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	PROPOSED CONCRETE
	EXISTING BUILDING
	EXISTING DECIDUOUS TREE
	EXISTING EVERGREEN TREE
	LIMIT OF DISTURBANCE

**POST CONSTRUCTION RETENTION AREA AND STORMWATER FACILITIES MAINTENANCE NOTES**

- Regular removal of filter and debris within the property shall be performed. Stormwater facilities shall be inspected quarterly and any trash, debris, sediment, etc., shall be removed and properly disposed of.
- Observations shall be made to determine the length of time needed for retained water to infiltrate into the soil after a storm event. The observations shall be made by reading the water level in the inlet box(es) of the underground system several times over a period of two (2) days after a large storm event. The first of these observations shall provide a record of how well the system is working when compared to future observations. Observations shall be made twice the first year and yearly thereafter.
- Stormwater detention and retention basins or facilities shall be inspected by, or under the direction of, a registered professional engineer licensed in the Commonwealth of Pennsylvania on behalf of the applicant or responsible entity (including the Township Engineer for dedicated facilities) on the following basis:
  - Annually for the first five (5) years.
  - Once every three (3) years thereafter.
  - During or immediately after the cessation of a 100-year or greater storm event.
 The professional engineer conducting the inspection shall be required to submit a written report to the Township within one (1) month following completion of the inspection. The report will present documentation and include pictures regarding the condition of the facility and recommend necessary repairs, if needed. Any needed repairs shall be implemented by the owner within one (1) month of the report issuance date.
- The stormwater management facilities shown on these plans, including storm inlets, storm drain pipes, underground detention/retention systems, and roof drain connections, are permanent and are not to be removed. The individual lot owner, his successor or assigns shall assume the responsibility for perpetual maintenance of the said facilities. If the lot owner, his successor or assigns in any way maintain the said facilities or causes the facilities to be altered or removed, upon written notification by the municipality, the defects shall be promptly corrected at the owner's expense. Upon the owner's failure to correct the defect within the time specified by the municipality, the owner, his successor or assigns do hereby authorize the municipality to enter upon the said property and cause the repairs maintenance and/or corrections to be made. A lien may be filed against the property for all costs of all corrections, including applicable engineering and/or attorney fees, although the municipality is under no obligation to take action. The permission granted herein shall constitute an access easement for maintenance purposes should some be necessary by the municipality in the sole opinion of the municipality. This maintenance responsibility shall be added into the deed.
- All inflow and outflow points to the individual on-lot systems should be kept clear of leaves and other debris. Any leaves or debris will negatively impact the performance of these systems. All downspouts and overflow pipes should be kept in good working order.

**EAST GOSHEN O&M NOTES**

- THE PERSON OR ENTITY RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF A BMP OR CONVEYANCE SHALL MAKE RECORDS OF THE INSTALLATION AND OF ALL MAINTENANCE AND REPAIRS, AND SHALL RETAIN THE RECORDS FOR AT LEAST 2 YEARS. A COPY OF THESE RECORDS SHALL BE SUBMITTED TO THE TOWNSHIP.
- UPON FINAL INSPECTION, THE MUNICIPALITY SHALL INFORM THE PERSON RESPONSIBLE FOR THE OPERATION AND MAINTENANCE WHETHER THE SUBMISSION OF PERIODIC (ANNUAL OR OTHER FREQUENCY) INSPECTIONS AND MAINTENANCE REPORTS WILL BE REQUIRED.
- THE OWNER OF EACH BMP AND CONVEYANCE SHALL KEEP ON FILE WITH THE TOWNSHIP THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR MAINTENANCE ACTIVITIES AND IMPLEMENTATION OF THE O&M PLAN. IN THE EVENT OF A CHANGE, NEW INFORMATION SHALL BE SUBMITTED BY THE BMP OR CONVEYANCE OWNER TO THE TOWNSHIP WITHIN 10 DAYS OF THE CHANGE.
- ALL INLETS SHOULD BE INSPECTED AND CLEANED AT LEAST 2 TIMES PER YEAR: THE OVERLYING VEGETATION SHOULD BE MAINTAINED IN GOOD CONDITION; AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.

**ACT 287 PENNSYLVANIA ONE CALL NOTIFICATION**

Preliminary Serial No. 20241000545 date \_\_\_\_\_

\*Final Serial No. \_\_\_\_\_ date \_\_\_\_\_

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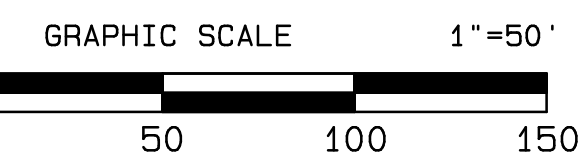
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UPU NO. 53-1-11.1



**PRELIMINARY/FINAL POST CONSTRUCTION STORMWATER MANAGEMENT PLAN**

SUBDIVISION PLAN FOR  
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EAST GOSHEN TOWNSHIP CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.  
CIVIL ENGINEERS & SURVEYORS

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